

UTILITIES PROVIDERS

WATER
 CALIFORNIA WATER SERVICE CO.
 2524 TOWNGATE RD #A
 WESTLAKE, CA 91361
 (805) 497-2757

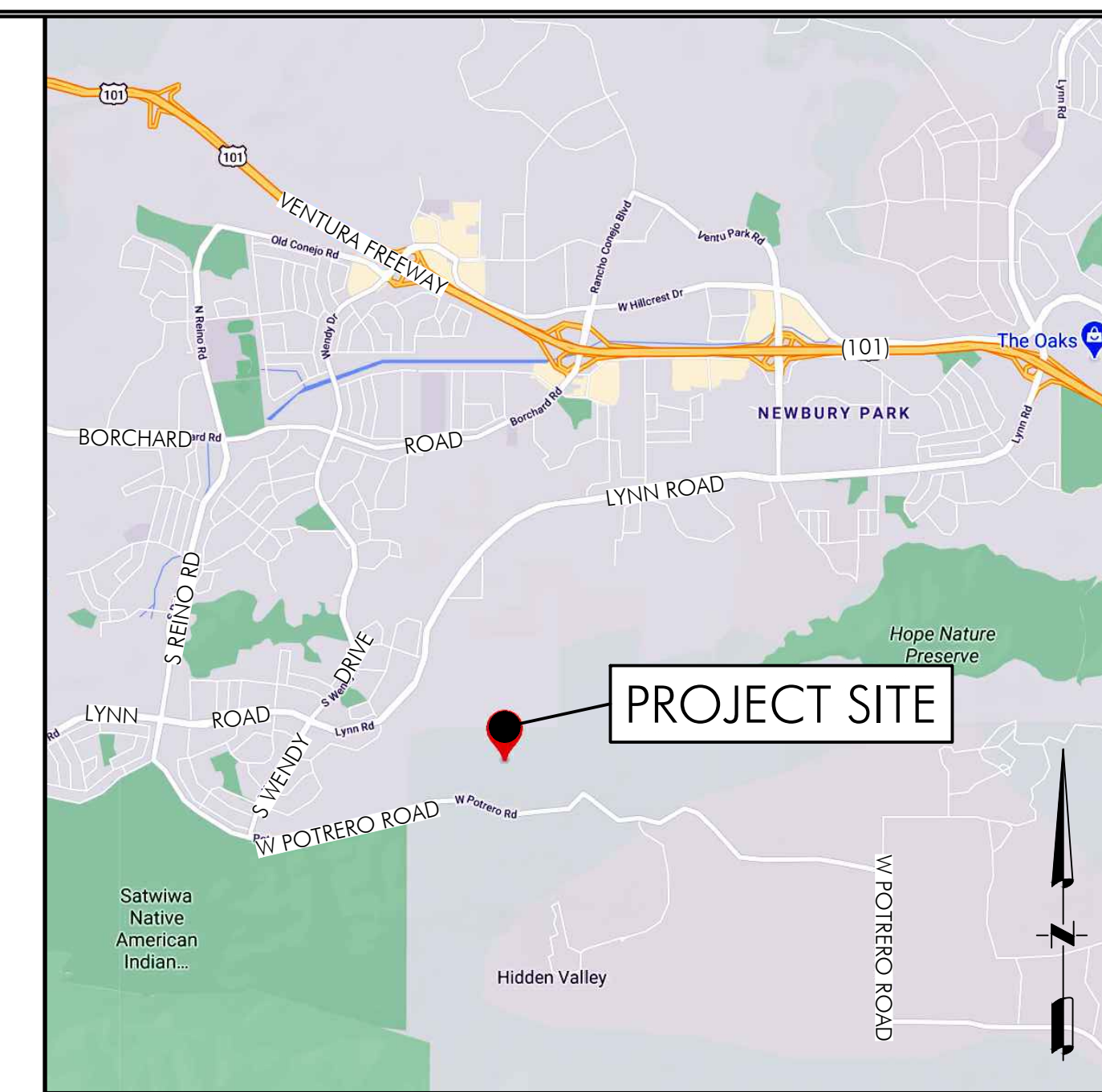
ELECTRIC
 SOUTHERN CALIFORNIA EDISON
 3589 FOOTHILL DRIVE
 THOUSAND OAKS, CA 91360
 (800) 655-4555

GAS
 SOUTHERN CALIFORNIA GAS COMPANY
 REGIONAL HEADQUARTERS
 9400 OAKDALE AVENUE
 CHATSWORTH, CA
 (800) 427-2200

TRASH
 W/M GI INDUSTRIES
 (805) 522-9400

LANDFILL
 SIMI VALLEY LANDFILL
 (805) 579-7267

SEWER
 SEPTIC ON-SITE



VICINITY MAP
 N.T.S.

PROPERTY SETBACKS:

FRONT YARD: 20'
 SIDE YARD: 10'
 REAR YARD: 15'

BENCH MARK:

VCIPD 1343
 22-274 RM 1
 EL = 376.313 METERS (NAVD 88)
 1234.62 FEET
 0.3 MILE WESTERLY ALONG POTRERO ROAD FROM ITS INTERSECTION WITH HIDDEN VALLEY ROAD, 50.0 FEET NORTHERLY FROM THE CENTER OF POTRERO ROAD, 6.0 FEET NORTHERLY FROM A CONCRETE DROP INLET AND IN THE EASTERLY CURB OF THE ENTRANCE TO WHITE STALLION RANCH.

PROJECT STATISTICS:

PARCEL SIZE: 20.79 ACRES (905,720.9 SQ.FT.)
 ZONING: OS-20
 GROSS AREA: 20.79 ACRES (905,725 SQ.FT.)
 NET AREA: 19.15 ACRES (835,673.8 SQ.FT.)

20-1701 - 2551 WHITE STALLION STRUCTURE AND PROPERTY STATISTICS

STRUCTURE TYPE	EXISTING/ PROPOSED	DESCRIPTION (§18-05-04)	GROSS AREA (SQ.FT.)	BUILDING COVERAGE (SQ.FT.)	TOTAL GROSS FLOOR AREA (SQ.FT.)	TOTAL NET BUILDING COVERAGE (%)	REQUIRED PARKING	PROPOSED PARKING
MAIN HOUSE	PROPOSED	DWELLING	15,784	17,726	21,334	2.4	4	8
POOL HOUSE	PROPOSED	DWELLING/ ACCESSORY STRUCTURE	1,799	2,161	21,334	2.4	1	8
DETACHED GARAGE	PROPOSED	GARAGE	1,272	1,446	21,334	2.4	N/A	N/A

20-1701 - 2551 WHITE STALLION IMPERVIOUS SURFACES

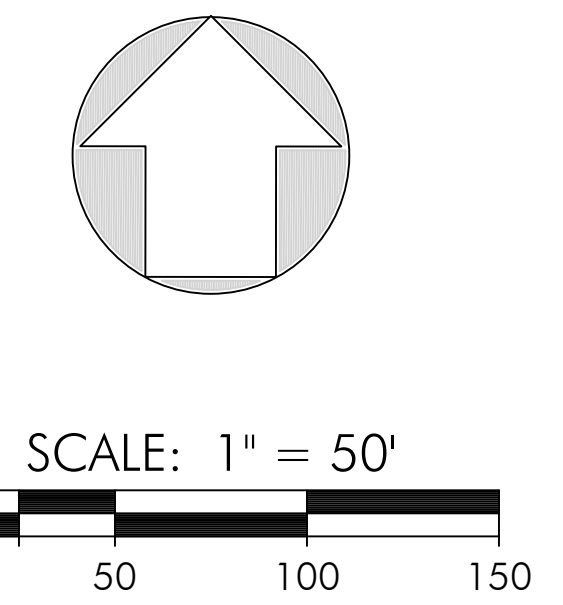
PROPOSED IMPERVIOUS SURFACE TYPE	IMPERVIOUS AREA (SQ.FT.)
STRUCTURES-ROOF TOPS	21,334
HARDSCAPE: DRIVEWAYS, SIDEWALKS, & STEPPING STONES	6,413

20-1701 - 2551 WHITE STALLION PERVIOUS SURFACES

PROPOSED PERVIOUS SURFACE TYPE	IMPERVIOUS AREA (SQ.FT.)
LANDSCAPE	44,729

LEGEND:

- PROPERTY LINE
- CENTER LINE
- FLOW LINE
- FUEL MOD LINE
- SETBACKS
- EXISTING WATER LINE
- PROPOSED WATER LINE
- CUT/FILL LINE
- DAYLIGHT
- FINISHED FLOOR
- FINISHED GROUND
- C/F
- DL
- F.F.
- F.G.



**DISCRETIONARY
 LAND USE
 ENTITLEMENT PLAN
 SINGLE FAMILY RESIDENCE**

2551 WHITE STALLION ROAD
 THOUSAND OAKS, CALIFORNIA

A.P.N.: 668-0-080-140 & 668-0-080-150

PARCEL 9, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON THE MAP FILED FEBRUARY 18, 1983, IN BOOK 37, PAGES 10, 11, 12 AND 13, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

February 18, 2021

DEVELOPER:
 ALLIED PROPERTY GROUP LLC
 1411 WINDSOR DRIVE
 THOUSAND OAKS, CA 91360
 (805) 760-4522

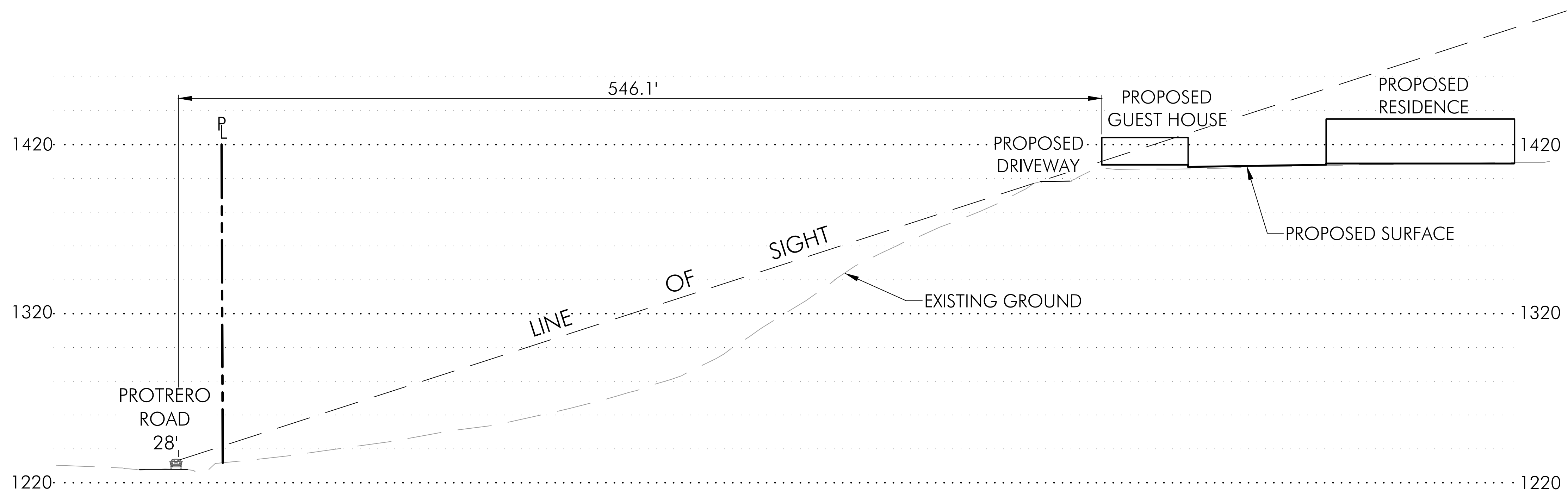
ARCHITECT:
 GREYSON TERRIO, PE
 22647 VENTURA BLVD. #362
 WOODLANDS HILLS, CA
 (805) 469-4883
 GREYSON@CREATIONINC.COM

PREPARED BY:

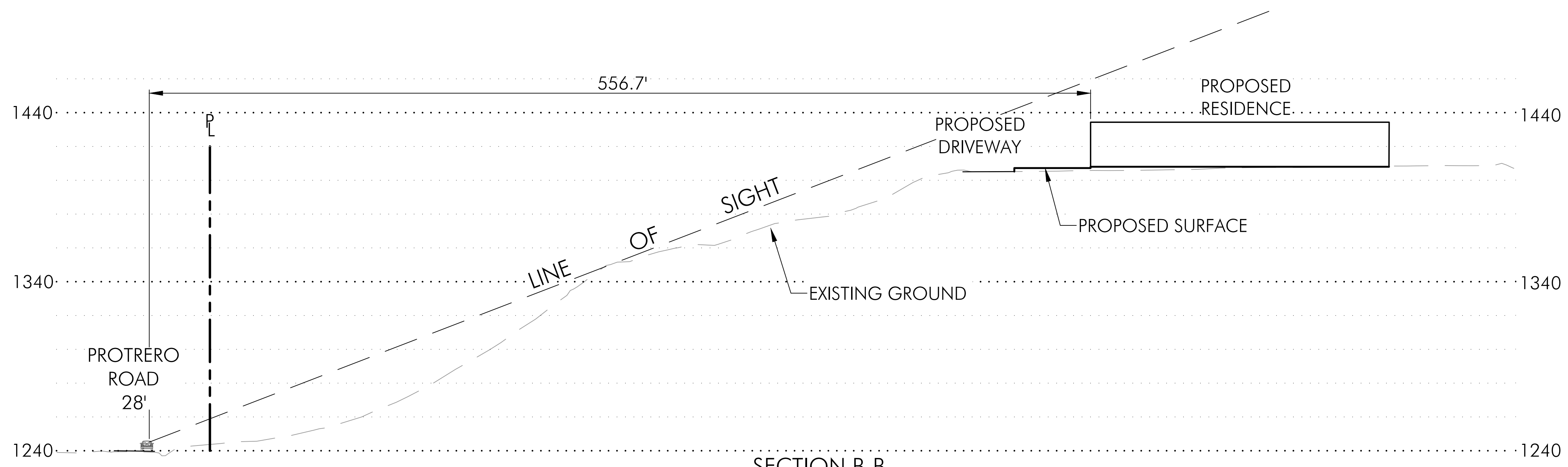
PACIFIC COAST CIVIL, INC.
 30141 AGOURA ROAD, SUITE 200
 AGOURA HILLS, CA 91301
 PH: (818) 865-4168
 FAX: (818) 865-4198

LANDSCAPE DESIGN:
 JOANNE PERRIN
 2393 TELLER ROAD
 NEWBURY PARK, CA
 (805) 795-7995
 JJPERRIN@VERIZON.NET.COM

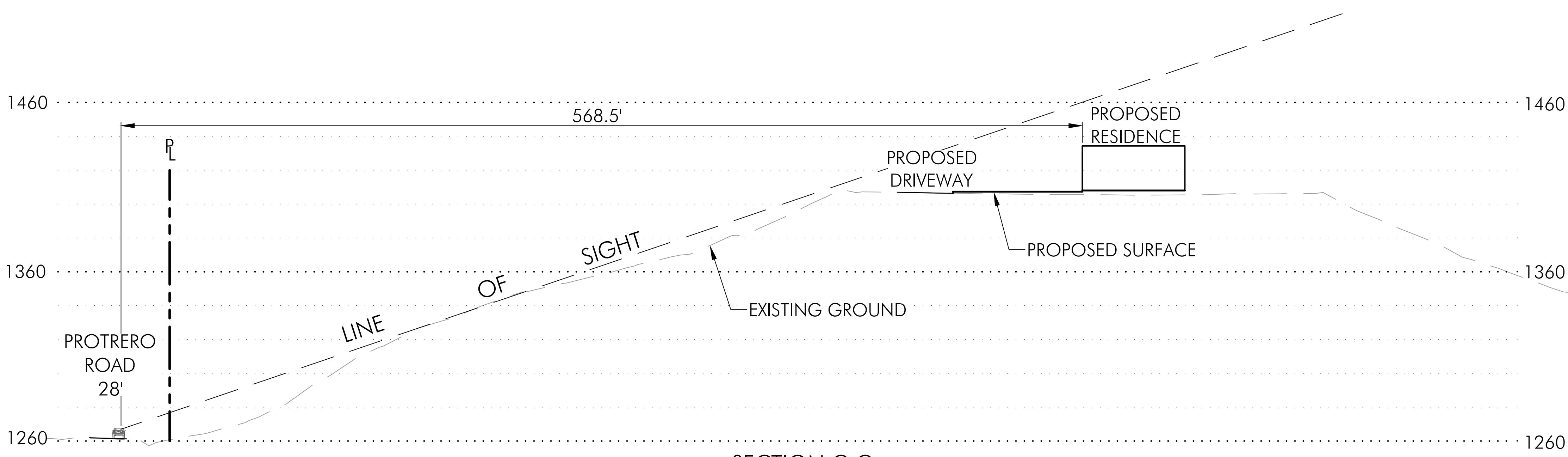
County of Ventura
 Mitigated Negative Declaration
 PL21-0020
 Attachment 2 - Plans



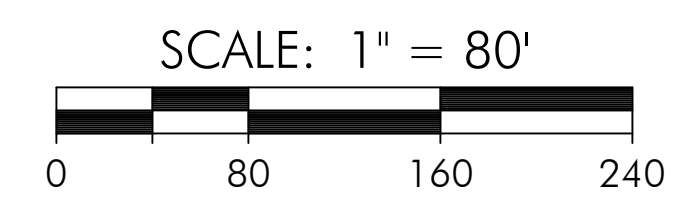
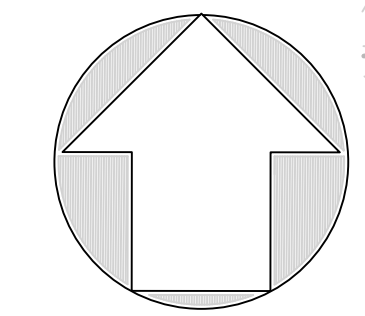
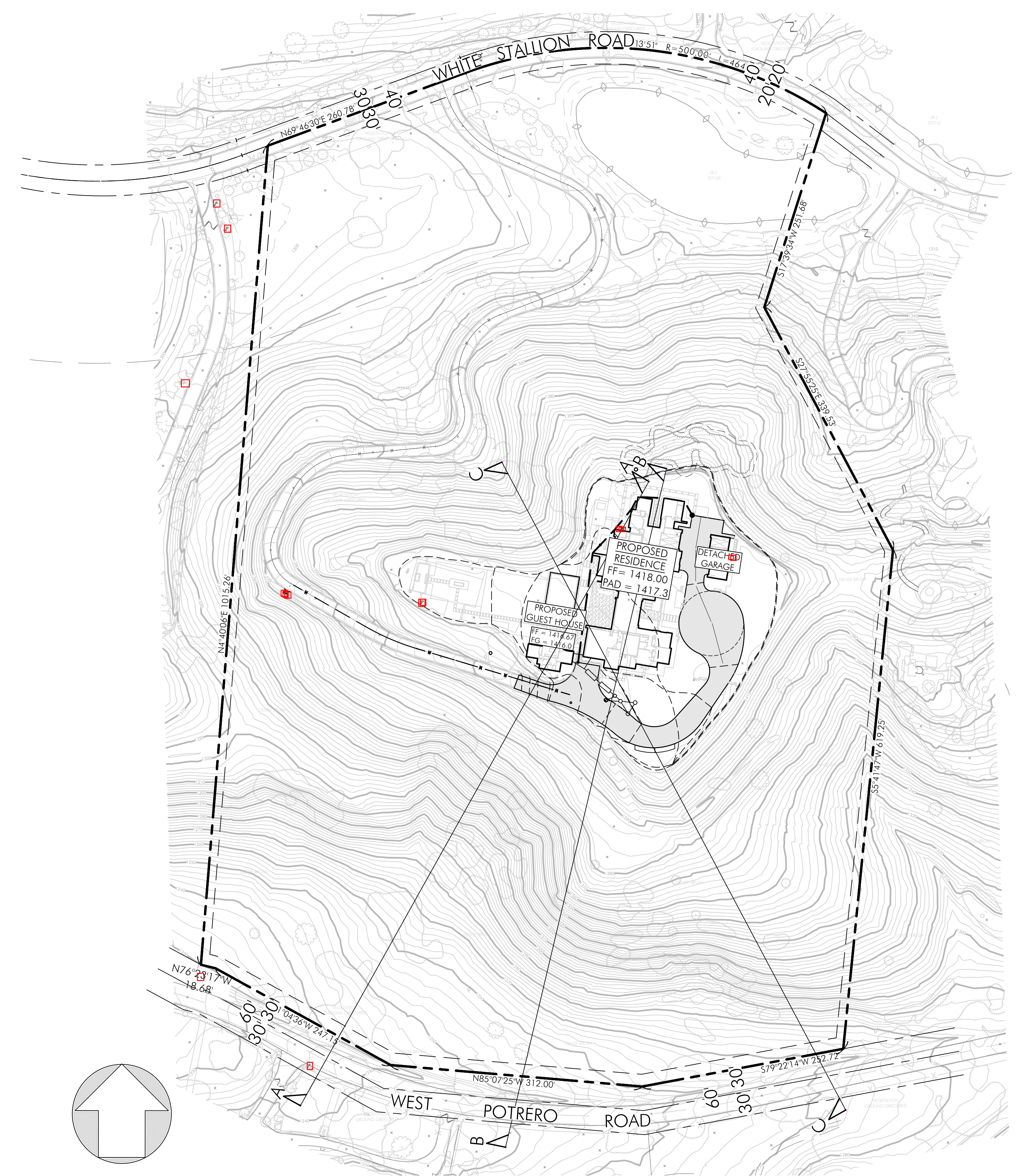
SECTION A-A
HOR. & VERT. SCALE
1" = 40'



SECTION B-B
HOR. & VERT. SCALE
1" = 40'



SECTION C-C
HOR. & VERT. SCALE
1" = 40'



LEGEND:

- PROPERTY LINE
- CENTER LINE
- PROPOSED GRADED SURFACE
- FUEL MOD LINE
- EXISTING GROUND
- PROPOSED DRIVEWAY
- LINE OF SIGHT
- FF FINISHED FLOOR
- FG FINISHED GROUND

SCENIC ROUTE CROSS SECTIONS

2551 WHITE STALLION ROAD
THOUSAND OAKS, CALIFORNIA

A.P.N.: 668-0-080-140 & 668-0-080-150

PARCEL 9, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA,
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IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

February 18, 2021

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(805) 760-4522

ARCHITECT:
GREYSON TERRIO, PE
22647 VENTURA BLVD. #362
WOODLANDS HILLS, CA
(805) 469-4883
GREYSON@CREATIONGINC.COM

PREPARED BY:



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AGOURA HILLS, CA 91301
PH: (818) 865-4168
FAX: (818) 865-4198

LANDSCAPE DESIGN:
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2393 TELLER ROAD
NEWBURY PARK, CA
(805) 795-7995
JPERRIN@VERIZON.NET.COM

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www.creationginc.com

Greyson F. Terrio, P.E., CEO
 22647 VENTURA BLVD, #362
 WOODLAND HILLS, CA 91364
 (805) 469-4883

PRINTS ISSUED

DATE	PURPOSE	NO.

CLIENTS INFORMATION:

2551 WHITE STALLION ROAD
 THOUSAND OAKS, CA 91361

SITE PLAN

PROJECT ADDRESS:
2551 WHITE STALLION ROAD
THOUSAND OAKS, CA 91361

DRAWINGS VALID ONLY WITH ENGINEER'S WET SIGNATURE OVER SEAL ON EACH SHEET IN INK

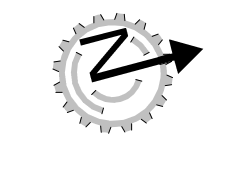


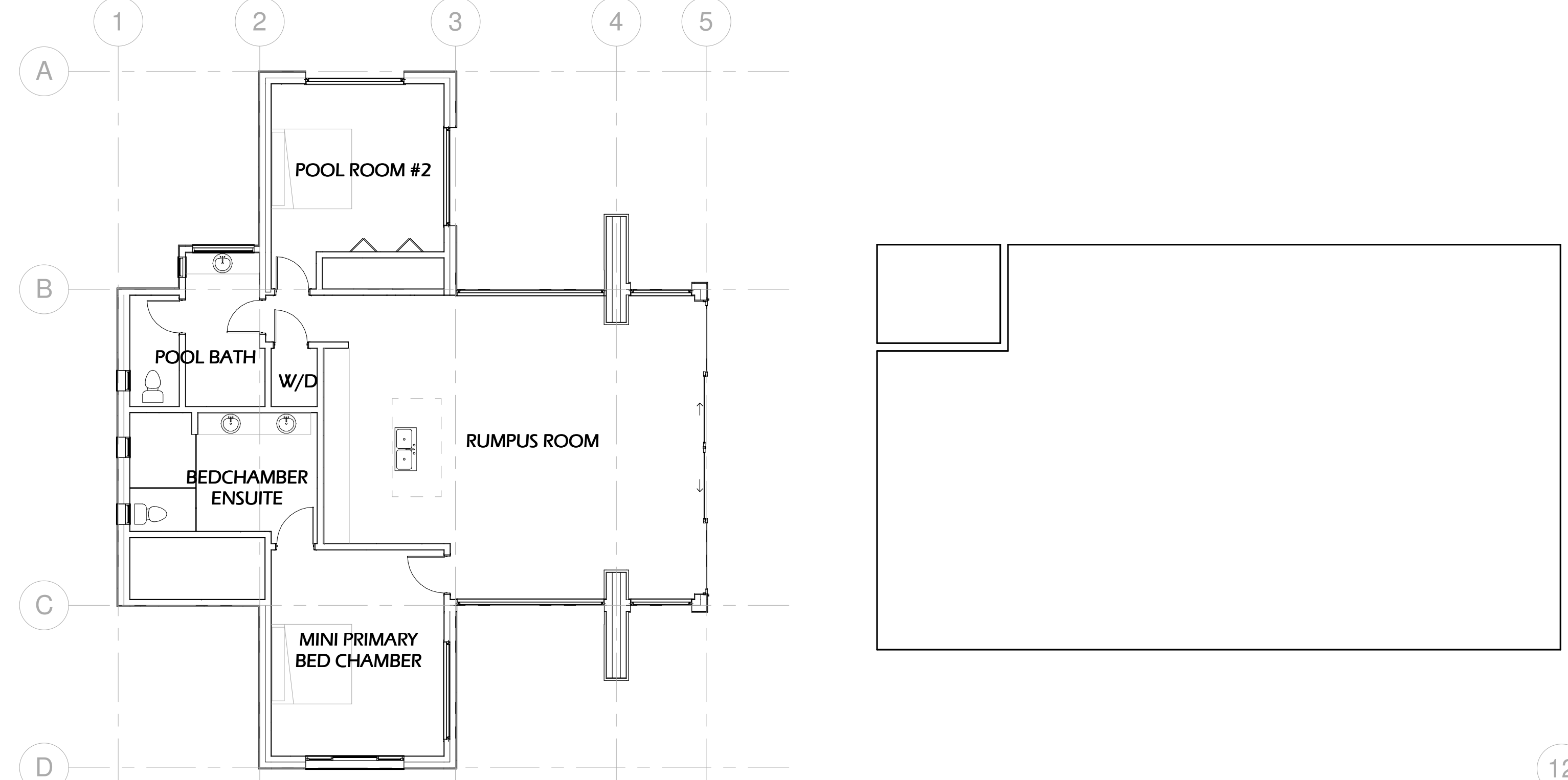
Author 20.1012.179

SHEET NUMBER: **A-0.1**

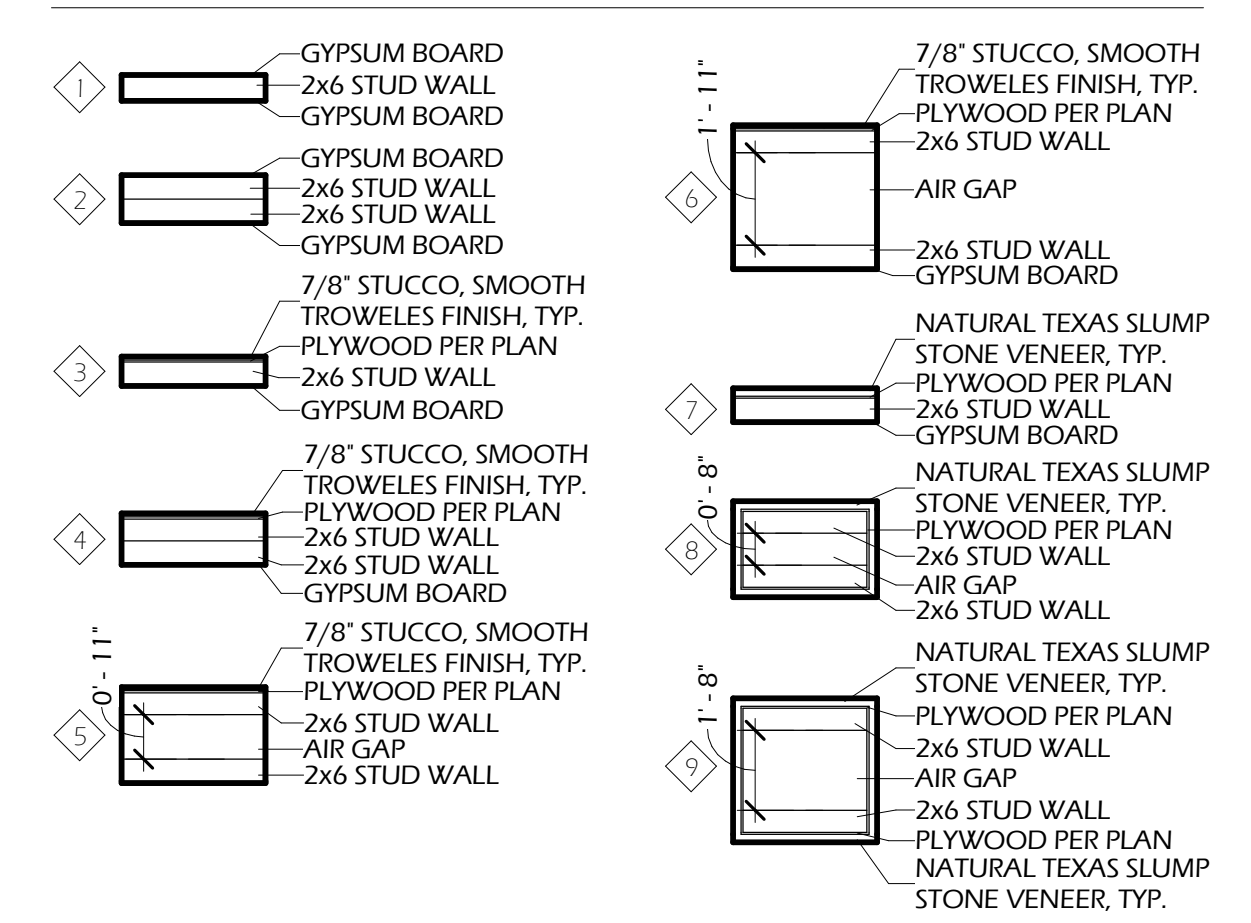
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1 Site 1" = 40'-0"





THE LEGEND, THE WALL

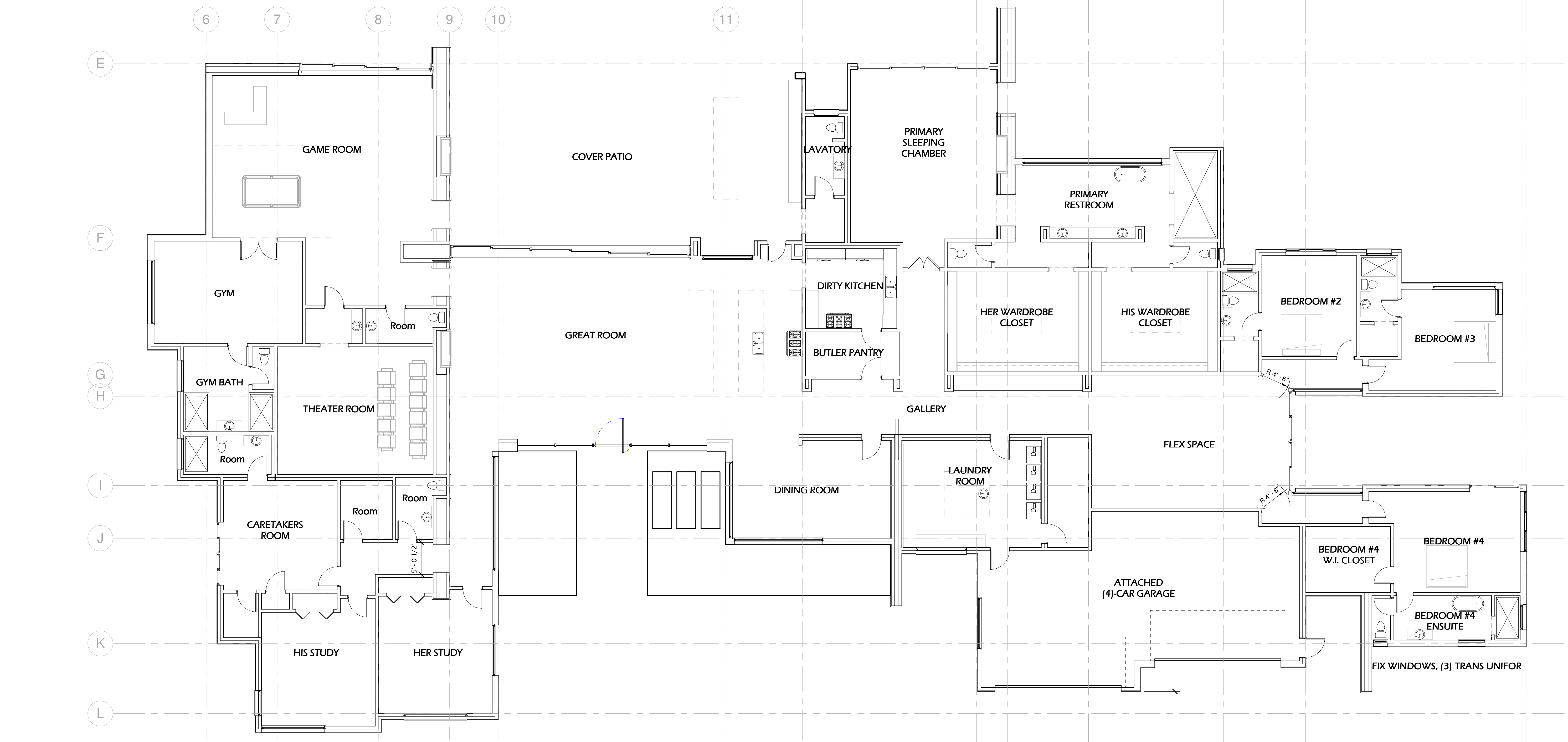


WINDOW SCHEDULE

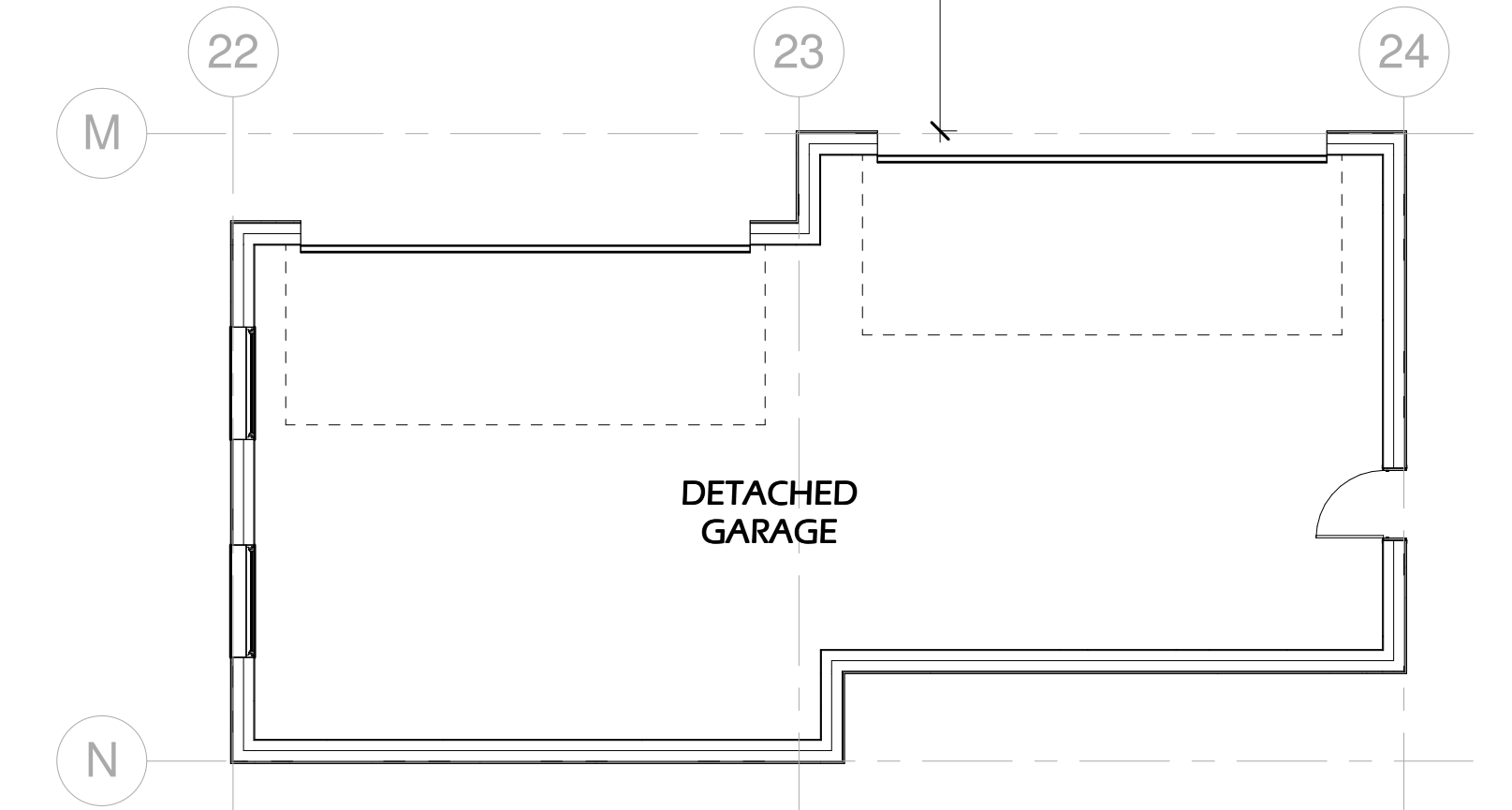
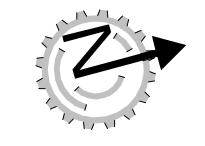
WINDOW LABELING IS TO REMAIN IN PLACE ON THE WINDOWS AT THE TIME OF THE INSPECTION AND SHALL MATCH THE FACTORS AND COEFFICIENTS ON THE TITLE 24 ENERGY CALCULATIONS.

Mark	Width	Height	Count	Notes
A	4'-3 1/2"	4'-5 1/2"	1	
B	2'-3 1/2"	4'-5 1/2"	1	
C	2'-0"	6'-0"	1	
D	3'-11 1/2"	1'-11 1/2"	1	
E	9'-6"	5'-0"	1	
F	5'-0"	5'-6"	2	
G	8'-0"	7'-0"	1	
H	5'-0"	5'-0"	3	
I	10'-0"	10'-0"	4	
J	14'-0"	10'-0"	1	
K	4'-0"	10'-0"	2	
L	18'-0"	10'-0"	1	
M	22'-0"	10'-0"	1	
N	10'-0"	2'-0"	3	
O	8'-0"	10'-0"	1	
P	4'-0"	2'-0"	3	
Q	8'-0"	8'-0"	3	
R	8'-0"	4'-0"	2	
S	8'-0"	5'-0"	2	
T	12'-0"	10'-0"	3	
U	5'-0"	10'-0"	1	
V	1'-8"	5'-0"	4	
W	5'-0"	10'-0"	2	
X	6'-0"	3'-0"	8	
Y	11'-0"	10'-0"	2	
Z	8'-0"	4'-0"	5	

New: 59



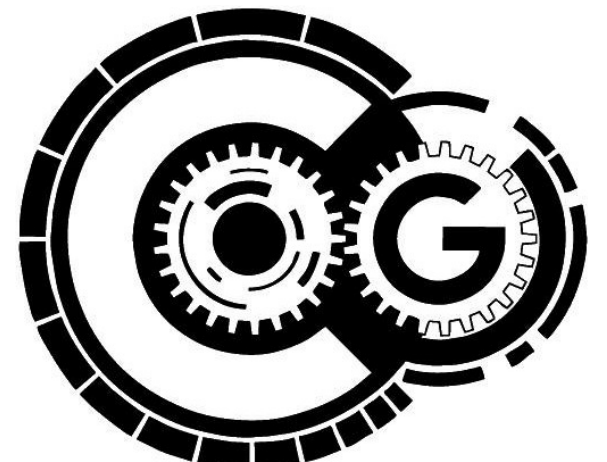
1 FLOOR PLAN - 1/8" SCALE
1/8" = 1'-0"



DOOR SCHEDULE

	Width	Height	Count	Keynote
1	6'-0"	6'-8"	3	
2	2'-8"	8'-0"	15	
3	3'-0"	8'-0"	22	
4	6'-0"	8'-0"	1	
5	2'-8"	6'-8"	1	
6	2'-11"	10'-0"	1	
7	3'-0"	8'-0"	1	
8	5'-0"	8'-0"	1	
9	5'-11 1/2"	9'-11 1/2"	1	
10	24'-0"	10'-0"	1	
11	10'-0"	8'-0"	1	
12	8'-0"	8'-0"	1	
13	16'-0"	10'-0"	1	
14	37'-11"	9'-11 1/2"	1	
15	20'-11"	9'-11 1/2"	1	
16	20'-0"	8'-0"	4	

New: 56



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Greyson F. Terrio, P.E., CEO
22647 VENTURA BLVD, #362
WOODLAND HILLS, CA 91364
(805) 469-4883

PRINTS ISSUED

DATE	PURPOSE	NO.

CLIENTS INFORMATION:

Owner
2551 WHITE STALLION ROAD
THOUSAND OAKS, CA 91361

SHEET TITLE:
1/8" SCALE FLOOR PLAN
 PROJECT ADDRESS:
**2551 WHITE STALLION ROAD
 THOUSAND OAKS, CA 91361**

DRAWINGS VALID ONLY WITH ENGINEERS WET SIGNATURE OVER SEAL ON EACH SHEET IN INK
SEP 30, 2019

Author: 20.1012.179

SHEET NUMBER:
A-1.0

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LEGENDS AND SCHEDULES

SYMBOL	DESCRIPTION
Ⓜ	WINDOW SCHEDULE REFERENCE KEY: COORDINATE WITH TITLE 24 REQUIREMENTS ON SHEET N-1 IF PROVIDED, OTHERWISE USE A MIN U-FACTOR OF LESS THAN OR EQUAL TO 0.4 AND AN SHGC LESS THAN OR EQUAL TO 0.35. FOR ADDITIONAL INFORMATION, REFER TO THE WINDOW SCHEDULE.
Ⓝ	DOOR SCHEDULE REFERENCE KEY: FOR EXTERIOR DOOR WITH GLASS, COORDINATE WITH TITLE 24 REQUIREMENTS ON SHEET N-1 IF PROVIDED, OTHERWISE USE A MIN U-FACTOR OF LESS THAN OR EQUAL TO 0.4 AND AN SHGC LESS THAN OR EQUAL TO 0.35. ALL GLASS TO BE TEMPERED. FOR ADDITIONAL INFORMATION, REFER TO THE WINDOW SCHEDULE.
Ⓝ	NOTES & PRODUCT REFERENCE KEY: FOR ADDITIONAL INFORMATION, REFER TO THE NOTES & PRODUCT SCHEDULE.

NOTES & PRODUCT INFORMATION - A-2

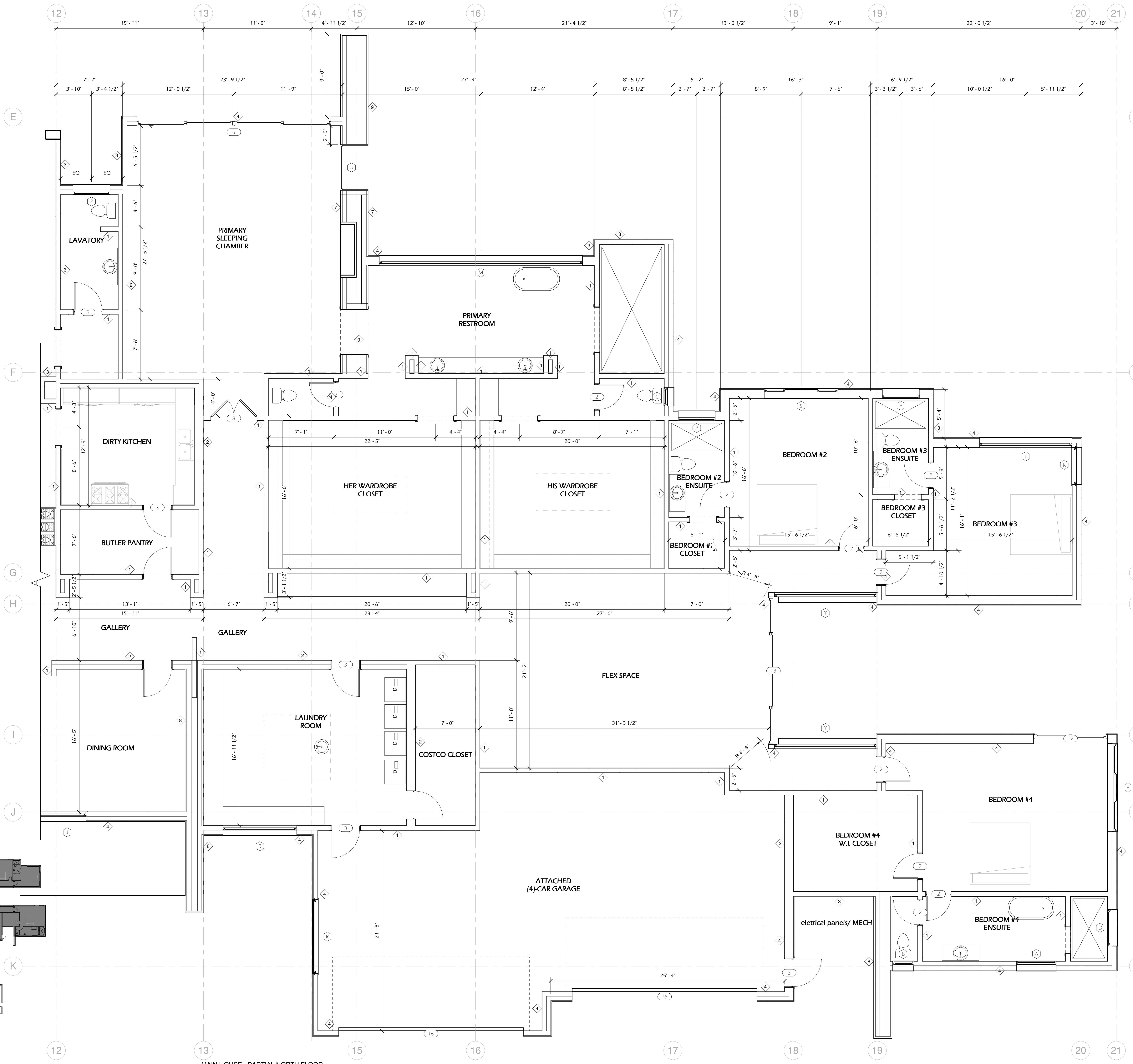
WINDOW SCHEDULE

WINDOW LABELING IS TO REMAIN IN PLACE ON THE WINDOW(S) AT THE TIME OF THE INSPECTION AND SHALL MATCH THE FACTORS AND COEFFICIENTS ON THE TITLE 24 ENERGY CALCULATIONS.

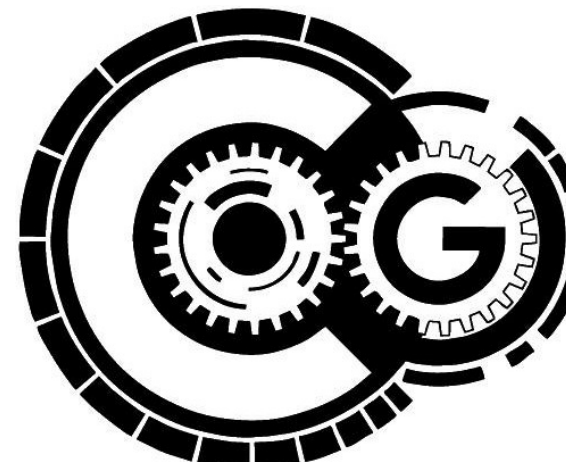
Mark	Width	Height	Count	Notes
A	4'-3 1/2"	4'-5 1/2"	1	
B	2'-3 1/2"	4'-5 1/2"	1	
C	2'-0"	6'-0"	1	
D	3'-11 1/2"	1'-11 1/2"	1	
E	9'-6"	5'-0"	1	
F	5'-0"	5'-6"	2	
G	8'-0"	7'-0"	1	
H	5'-0"	5'-0"	3	
I	10'-0"	10'-0"	4	
J	14'-0"	10'-0"	1	
K	4'-0"	10'-0"	2	
L	18'-0"	10'-0"	1	
M	22'-0"	10'-0"	1	
N	10'-0"	2'-0"	3	
O	8'-0"	10'-0"	1	
P	4'-0"	2'-0"	3	
Q	8'-0"	8'-0"	3	
R	8'-0"	4'-0"	2	
S	8'-0"	5'-0"	2	
T	12'-0"	10'-0"	3	
U	5'-0"	10'-0"	1	
V	1'-8"	5'-0"	4	
W	5'-0"	10'-0"	2	
X	6'-0"	3'-0"	8	
Y	11'-0"	10'-0"	2	
Z	8'-0"	4'-0"	5	

DOOR SCHEDULE

#	Width	Height	Count	Keynote
1	6'-0"	6'-8"	3	
2	2'-8"	8'-0"	15	
3	3'-0"	8'-0"	22	
4	6'-0"	8'-0"	1	
5	2'-8"	6'-8"	1	
6	21'-0"	10'-0"	1	
7	3'-0"	8'-0"	1	
8	5'-0"	8'-0"	1	
9	5'-11 1/2"	9'-11 1/2"	1	
10	24'-0"	10'-0"	1	
11	10'-0"	8'-0"	1	
12	8'-0"	8'-0"	1	
13	16'-0"	10'-0"	1	
14	37'-11"	9'-11 1/2"	1	
15	20'-11"	9'-11 1/2"	1	
16	20'-0"	8'-0"	4	



MAIN HOUSE - PARTIAL NORTH FLOOR PLAN
1/4" = 1'-0"



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Greyson F. Terrio, P.E., CEO
22647 VENTURA BLVD, #362
WOODLAND HILLS, CA 91364
(805) 469-4883

PRINTS ISSUED

DATE	PURPOSE	NO.

CLIENTS INFORMATION:

Owner
2551 WHITE STALLION ROAD
THOUSAND OAKS, CA 91361

SHEET TITLE:
MAIN HOUSE - PARTIAL NORTH FLOOR PLAN

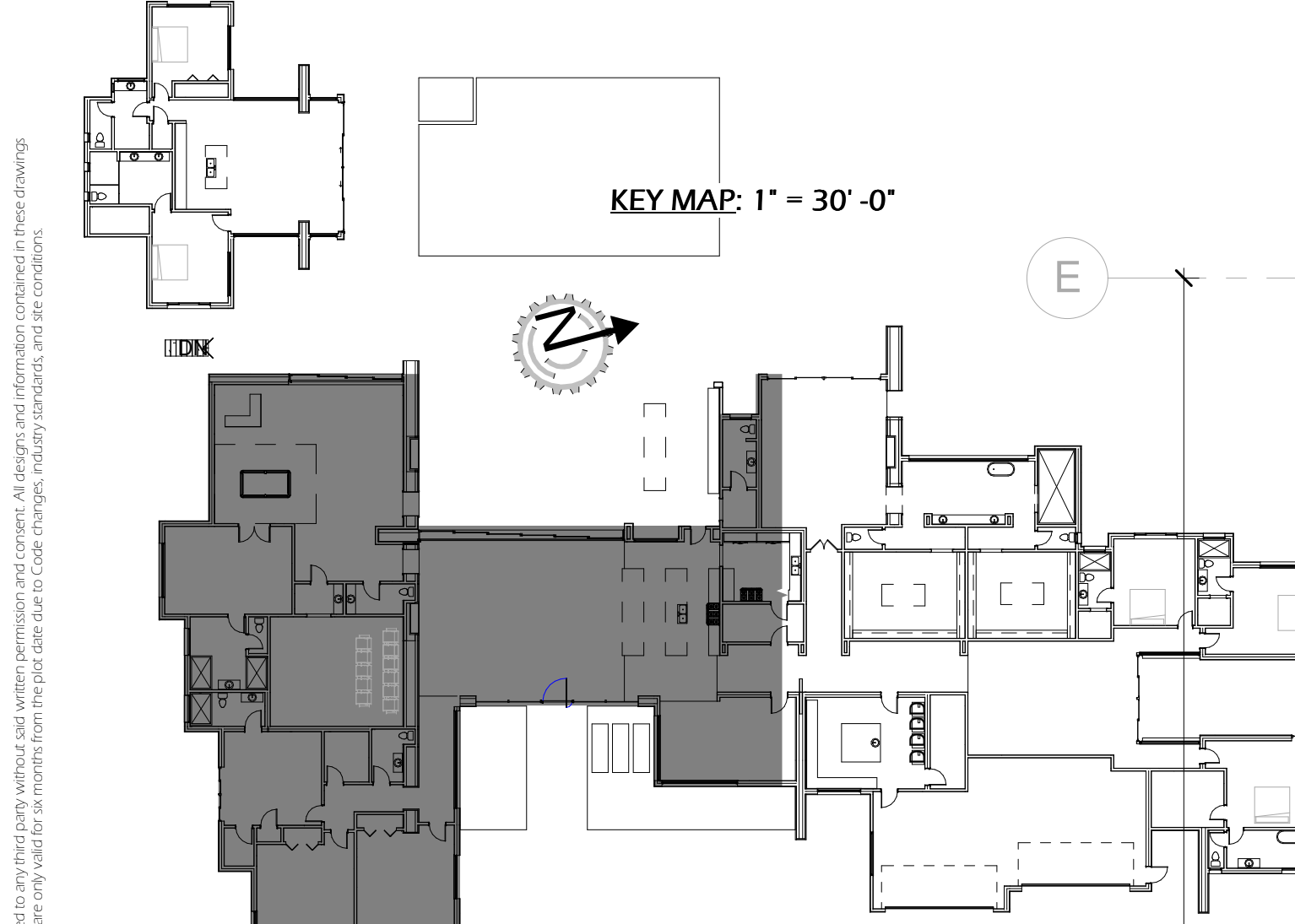
PROJECT ADDRESS:
**2551 WHITE STALLION ROAD
THOUSAND OAKS, CA 91361**

DRAWINGS VALID ONLY WITH ENGINEERS WET SIGNATURE OVER SEAL ON EACH SHEET IN INK

Author: 20.1012.179

SHEET NUMBER:
A-1.1

2/21/2021 11:09:36 PM



LEGENDS AND SCHEDULES

WINDOW SCHEDULE REFERENCE KEY:
COORDINATE WITH TITLE-24 REQUIREMENTS ON SHEET N-1 IF PROVIDED, OTHERWISE USE A MIN U-FACTOR OF LESS THAN OR EQUAL TO 0.4 AND AN SHGC LESS THAN OR EQUAL TO 0.35. FOR ADDITIONAL INFORMATION, REFER TO THE WINDOW SCHEDULE.

DOOR SCHEDULE REFERENCE KEY:
FOR EXTERIOR DOOR WITH GLASS, COORDINATE WITH TITLE-24 REQUIREMENTS ON SHEET N-1 IF PROVIDED, OTHERWISE USE A MIN U-FACTOR OF LESS THAN OR EQUAL TO 0.4 AND AN SHGC LESS THAN OR EQUAL TO 0.35. ALL GLASS TO BE TEMPERED. FOR ADDITIONAL INFORMATION, REFER TO THE WINDOW SCHEDULE.

NOTES & PRODUCT REFERENCE KEY:
FOR ADDITIONAL INFORMATION, REFER TO THE NOTES & PRODUCT SCHEDULE.

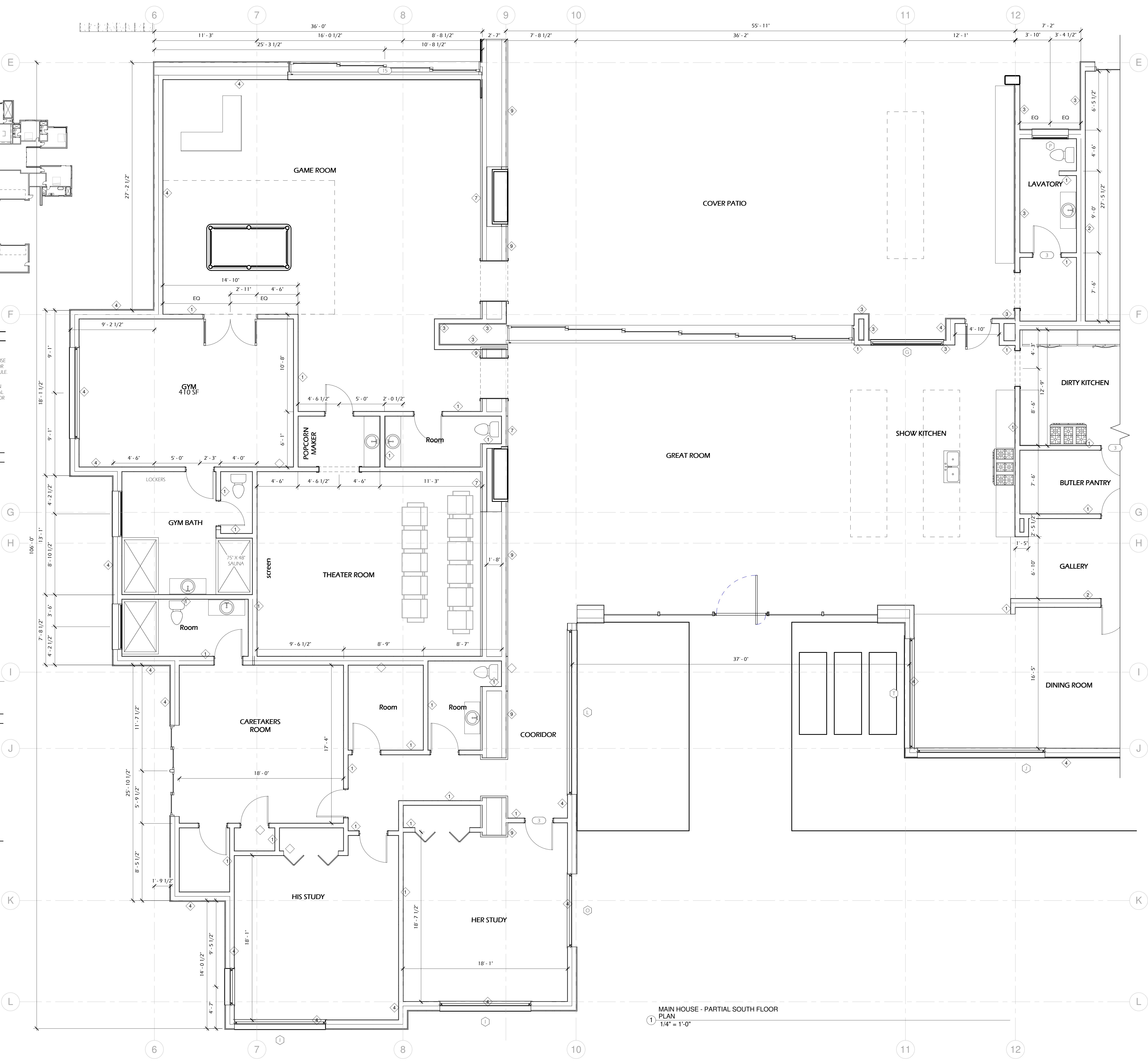
WINDOW SCHEDULE

WINDOW LABELING IS TO REMAIN IN PLACE ON THE WINDOW(S) AT THE TIME OF THE INSPECTION AND SHALL MATCH THE FACTORS AND COEFFICIENTS ON THE TITLE-24 ENERGY CALCULATIONS

Mark	Width	Height	Count	Notes
A	4'-3 1/2"	4'-5 1/2"	1	
B	2'-3 1/2"	4'-5 1/2"	1	
C	2'-0"	6'-0"	1	
D	3'-11"	1'-11 1/2"	1	
E	1/2"		1	
F	9'-6"	5'-0"	1	
G	5'-0"	5'-6"	2	
H	8'-0"	7'-0"	1	
I	5'-0"	5'-0"	3	
J	10'-0"	10'-0"	4	
K	14'-0"	10'-0"	1	
L	4'-0"	10'-0"	2	
M	18'-0"	10'-0"	1	
N	22'-0"	10'-0"	1	
O	10'-0"	2'-0"	3	
P	8'-0"	10'-0"	1	
Q	4'-0"	2'-0"	3	
R	8'-0"	8'-0"	3	
S	8'-0"	4'-0"	2	
T	8'-0"	5'-0"	2	
U	12'-0"	10'-0"	3	
V	5'-0"	10'-0"	1	
W	1'-8"	5'-0"	4	
X	5'-0"	10'-0"	2	
Y	6'-0"	3'-0"	8	
Z	11'-0"	10'-0"	2	
New: 59	8'-0"	4'-0"	5	

DOOR SCHEDULE

#	Width	Height	Count	Keynote
1	6'-0"	6'-8"	3	
2	2'-8"	8'-0"	15	
3	3'-0"	8'-0"	22	
4	6'-0"	8'-0"	1	
5	2'-8"	6'-8"	1	
6	21'-0"	10'-0"	1	
7	3'-0"	8'-0"	1	
8	5'-0"	8'-0"	1	
9	5'-11 1/2"	9'-11 1/2"	1	
10	24'-0"	10'-0"	1	
11	10'-0"	8'-0"	1	
12	8'-0"	8'-0"	1	
13	16'-0"	10'-0"	1	
14	37'-11"	9'-11 1/2"	1	
15	20'-11"	9'-11 1/2"	1	
16	20'-0"	8'-0"	4	
New: 56				



MAIN HOUSE - PARTIAL SOUTH FLOOR PLAN
1/4" = 1'-0"



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PRINTS ISSUED

DATE	PURPOSE	NO.

CLIENTS INFORMATION:
 Owner
 2551 WHITE STALLION ROAD
 THOUSAND OAKS, CA 91361

SHEET TITLE:
MAIN HOUSE - PARTIAL SOUTH FLOOR PLAN

PROJECT ADDRESS:
**2551 WHITE STALLION ROAD
 THOUSAND OAKS, CA 91361**

DRAWINGS VALID ONLY WITH ENGINEERS WET SIGNATURE OVER SEAL ON EACH SHEET IN INK

Author: 20.1012.179

SHEET NUMBER:
A-1.2
 2/21/2021 11:09:38 PM

WINDOW SCHEDULE

WINDOW LABELING IS TO REMAIN IN PLACE ON THE WINDOW(S) AT THE TIME OF THE INSPECTION AND SHALL MATCH THE FACTORS AND COEFFICIENTS ON THE TITLE 24 ENERGY CALCULATIONS

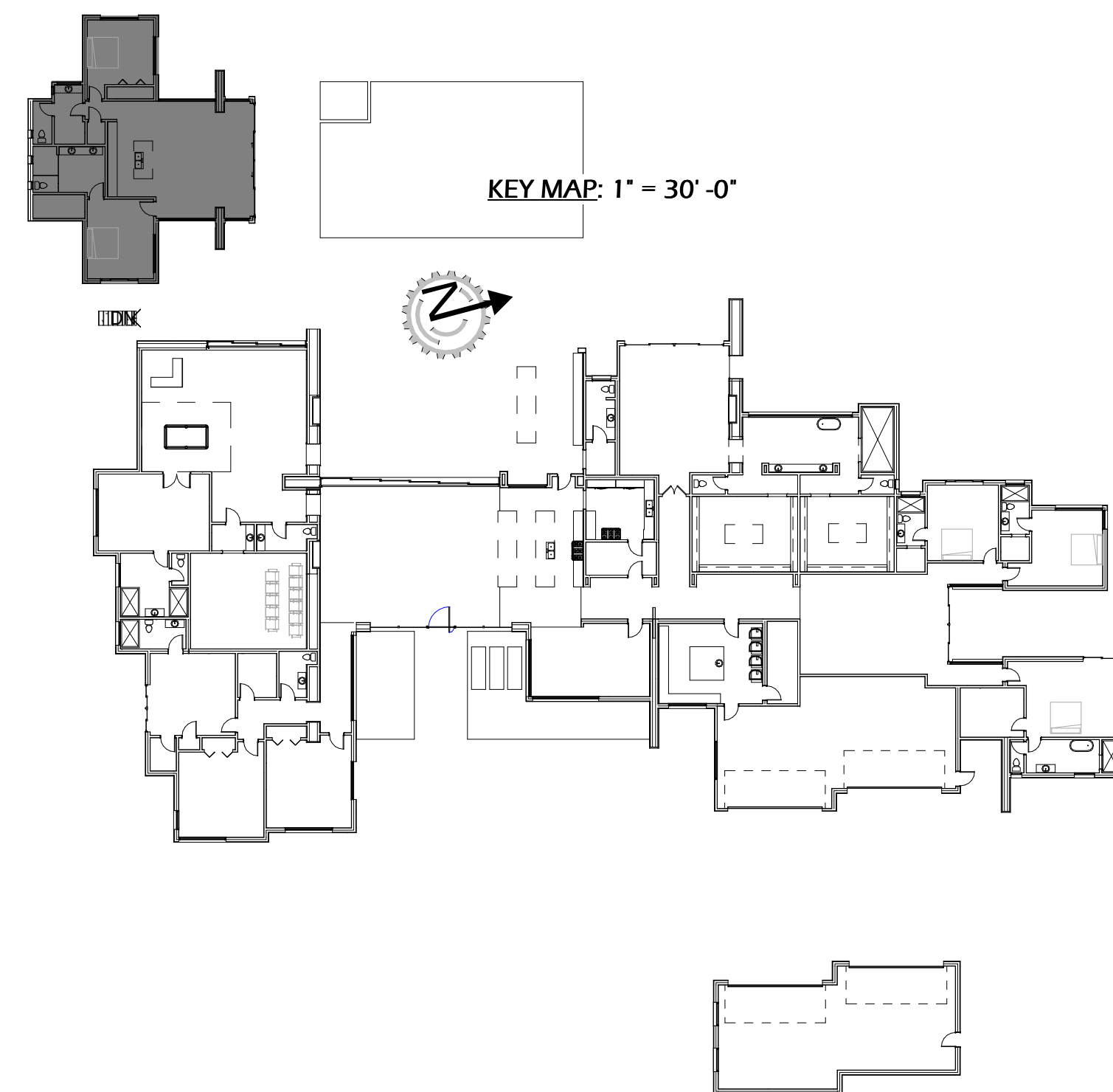
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C	2'-0"	6'-0"	1	
D	3'-11 1/2"	1'-11 1/2"	1	
E	9'-6"	5'-0"	1	
F	5'-0"	5'-6"	2	
G	8'-0"	7'-0"	1	
H	5'-0"	5'-0"	3	
I	10'-0"	10'-0"	4	
J	14'-0"	10'-0"	1	
K	4'-0"	10'-0"	2	
L	18'-0"	10'-0"	1	
M	22'-0"	10'-0"	1	
N	10'-0"	2'-0"	3	
O	8'-0"	10'-0"	1	
P	4'-0"	2'-0"	3	
Q	8'-0"	8'-0"	3	
R	8'-0"	4'-0"	2	
S	8'-0"	5'-0"	2	
T	12'-0"	10'-0"	3	
U	5'-0"	10'-0"	1	
V	1'-8"	5'-0"	4	
W	5'-0"	10'-0"	2	
X	6'-0"	3'-0"	8	
Y	11'-0"	10'-0"	2	
Z	8'-0"	4'-0"	5	

New: 59

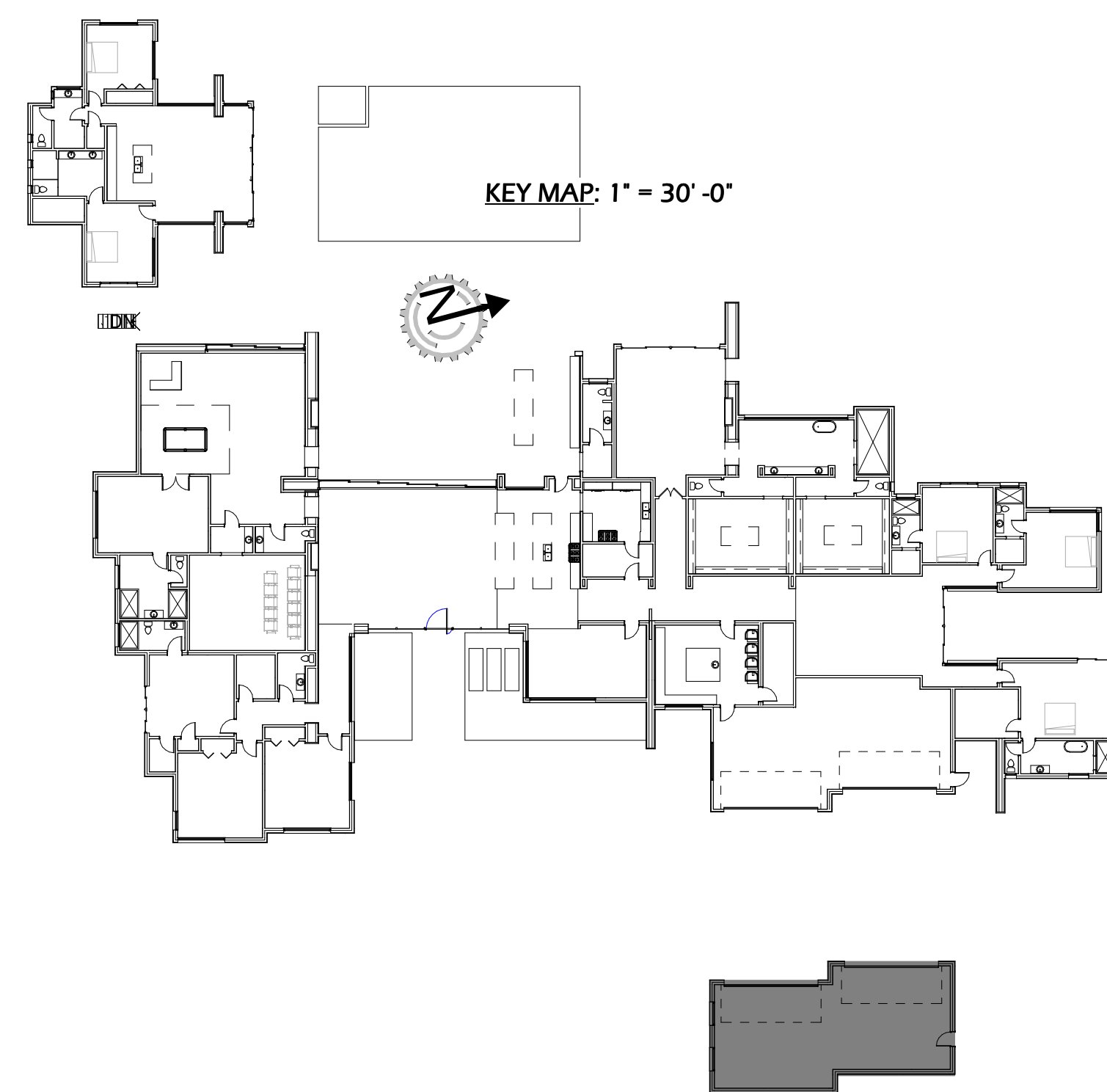
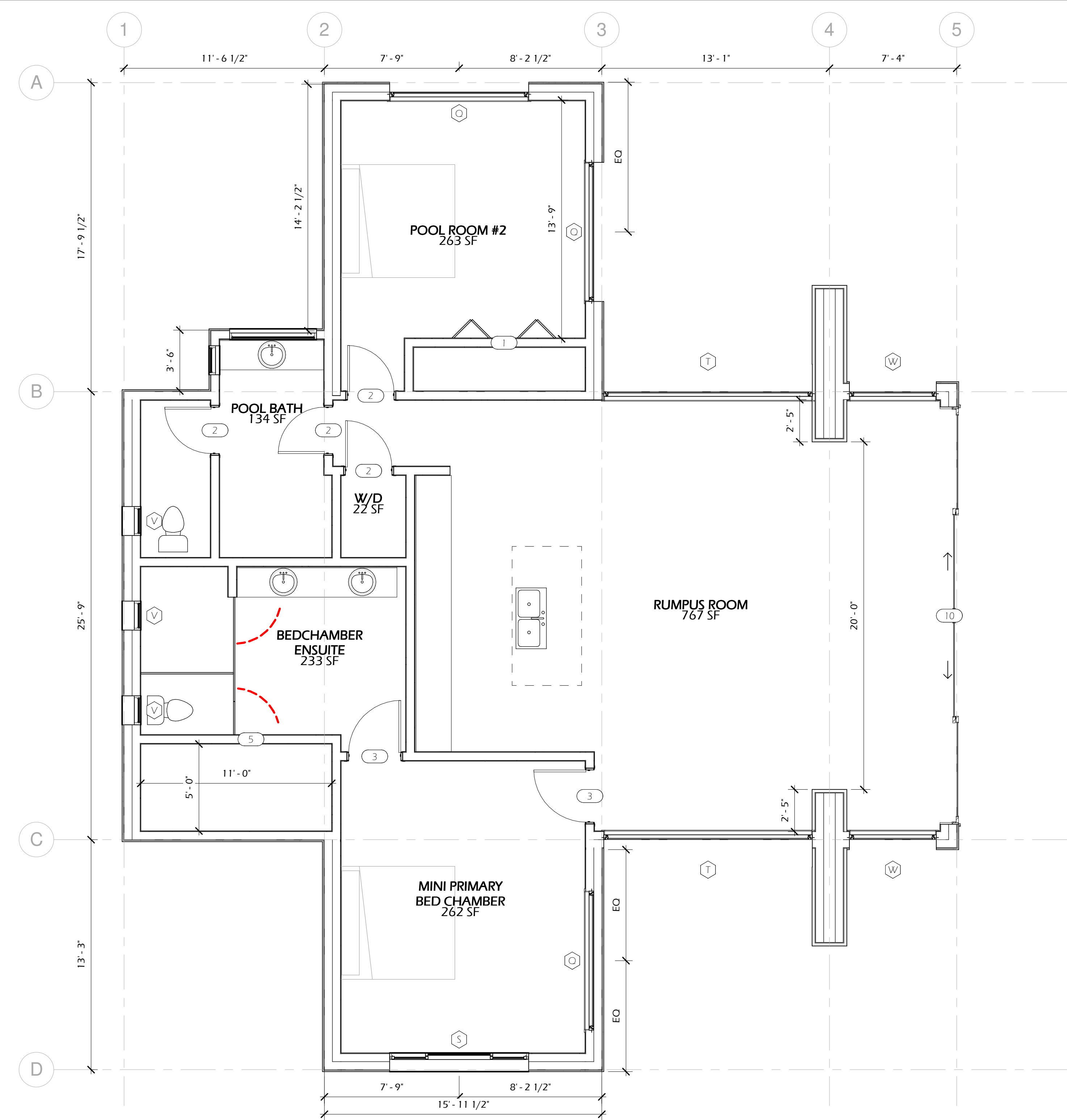
DOOR SCHEDULE

#	Width	Height	Count	Keynote
1	6'-0"	6'-8"	3	
2	2'-8"	8'-0"	15	
3	3'-0"	8'-0"	22	
4	6'-0"	8'-0"	1	
5	2'-8"	6'-8"	1	
6	21'-0"	10'-0"	1	
7	3'-0"	8'-0"	1	
8	5'-0"	8'-0"	1	
9	5'-11 1/2"	9'-11 1/2"	1	
10	24'-0"	10'-0"	1	
11	10'-0"	8'-0"	1	
12	8'-0"	8'-0"	1	
13	16'-0"	10'-0"	1	
14	37'-11"	9'-11 1/2"	1	
15	20'-11"	9'-11 1/2"	1	
16	20'-0"	8'-0"	4	

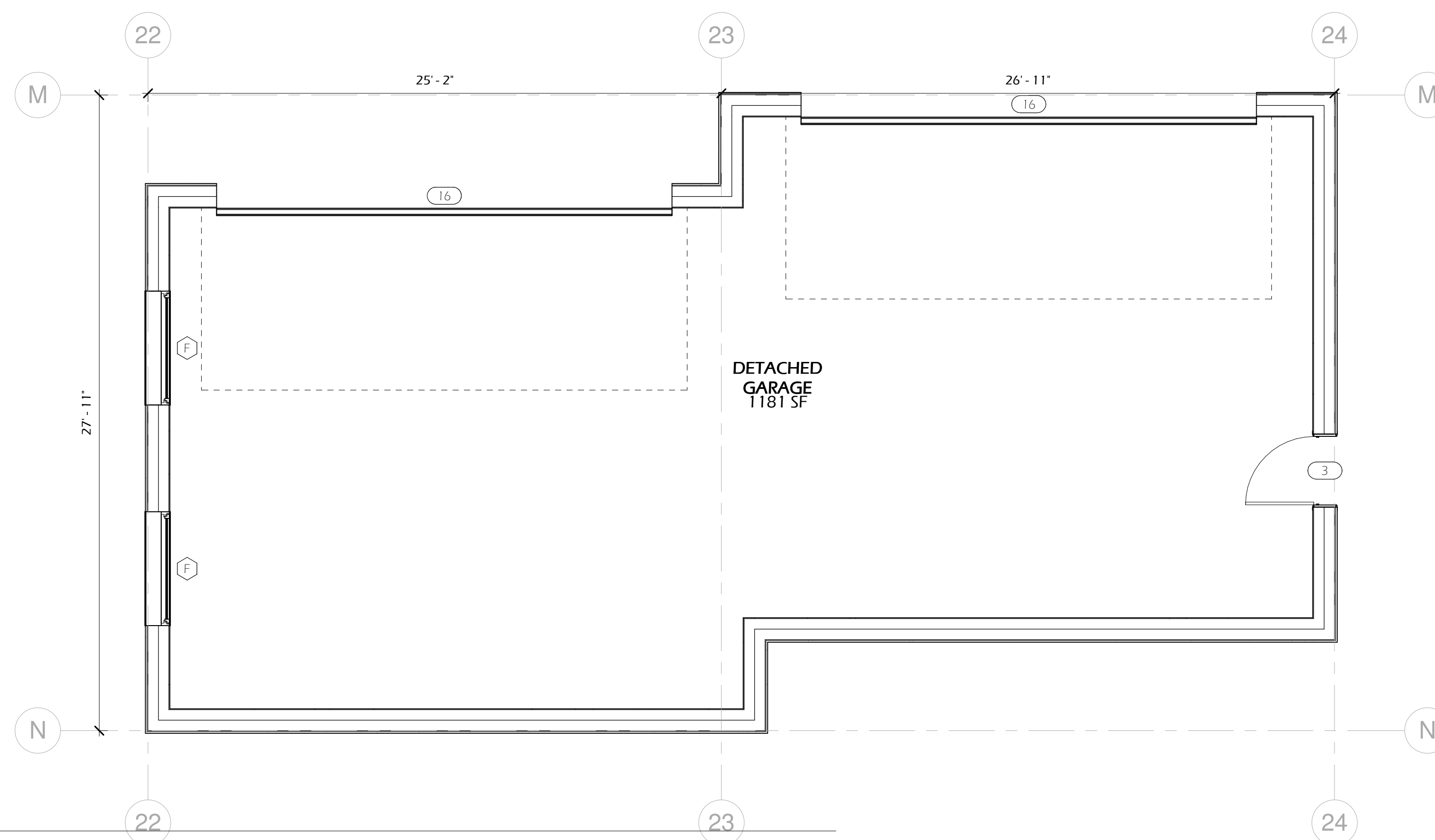
New: 56



1 POOL HOUSE - FLOOR PLAN
1/4" = 1'-0"



3 DETACHED GARAGE - FLOOR PLAN
1/4" = 1'-0"



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(805) 469-4883

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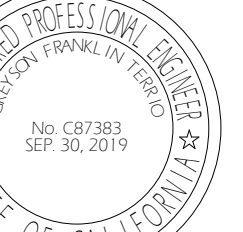
CLIENTS INFORMATION:

Owner
2551 WHITE STALLION ROAD
THOUSAND OAKS, CA 91361

SHEET TITLE:
POOL HOUSE & DETACHED GARAGE FLOOR PLANS

PROJECT ADDRESS:
**2551 WHITE STALLION ROAD
THOUSAND OAKS, CA 91361**

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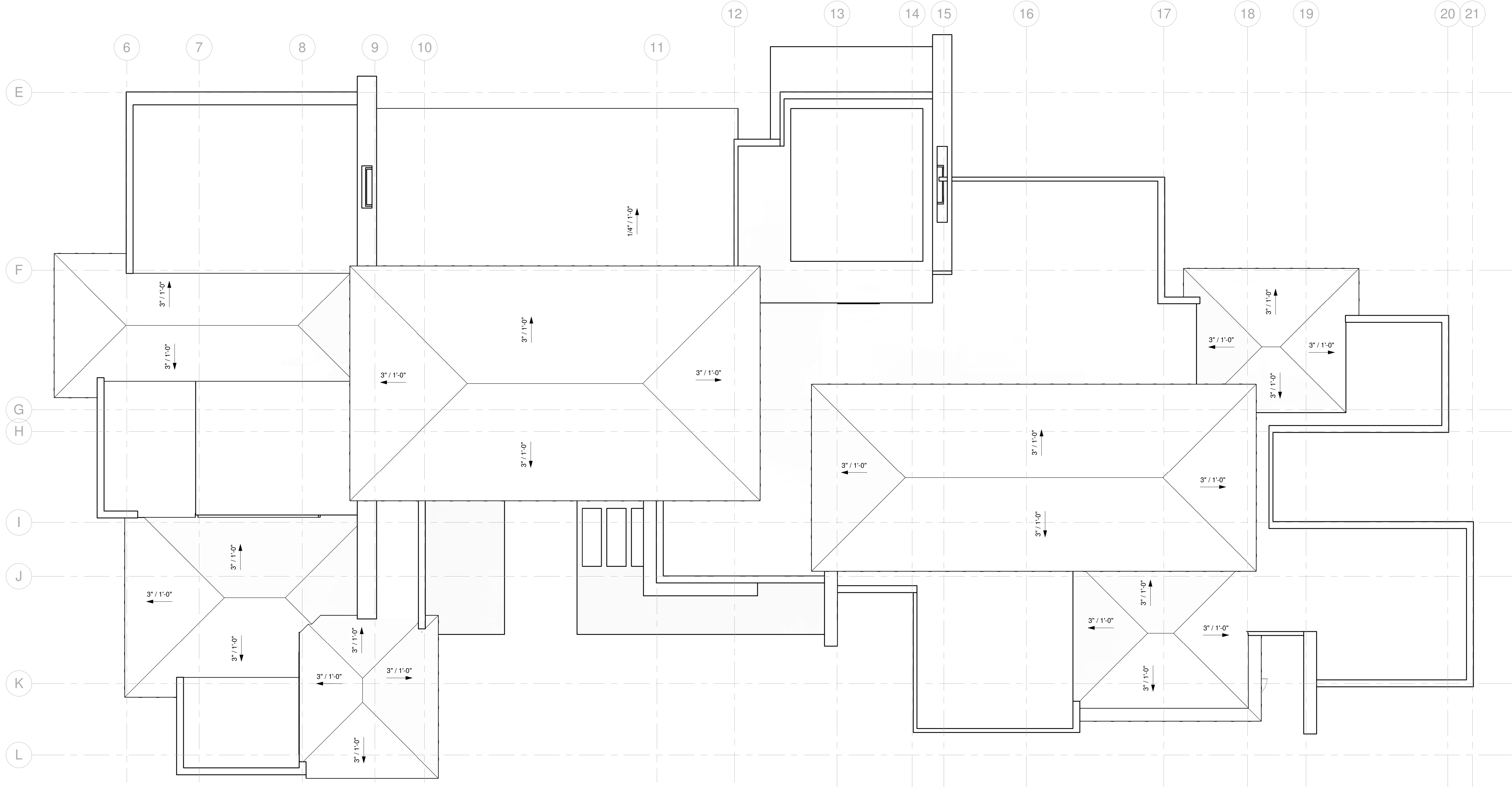
Author 20.1012.179

SHEET NUMBER

A-1.3

2/21/2021 11:09:42 PM

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1 ROOF PLAN - MAIN HOUSE
 1/8" = 1'-0"



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PRINTS ISSUED		
DATE	PURPOSE	NO.

CLIENTS INFORMATION:
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 THOUSAND OAKS, CA 91361

SHEET TITLE:
ROOF PLAN - MAIN HOUSE
 PROJECT ADDRESS:
**2551 WHITE STALLION ROAD
 THOUSAND OAKS, CA 91361**

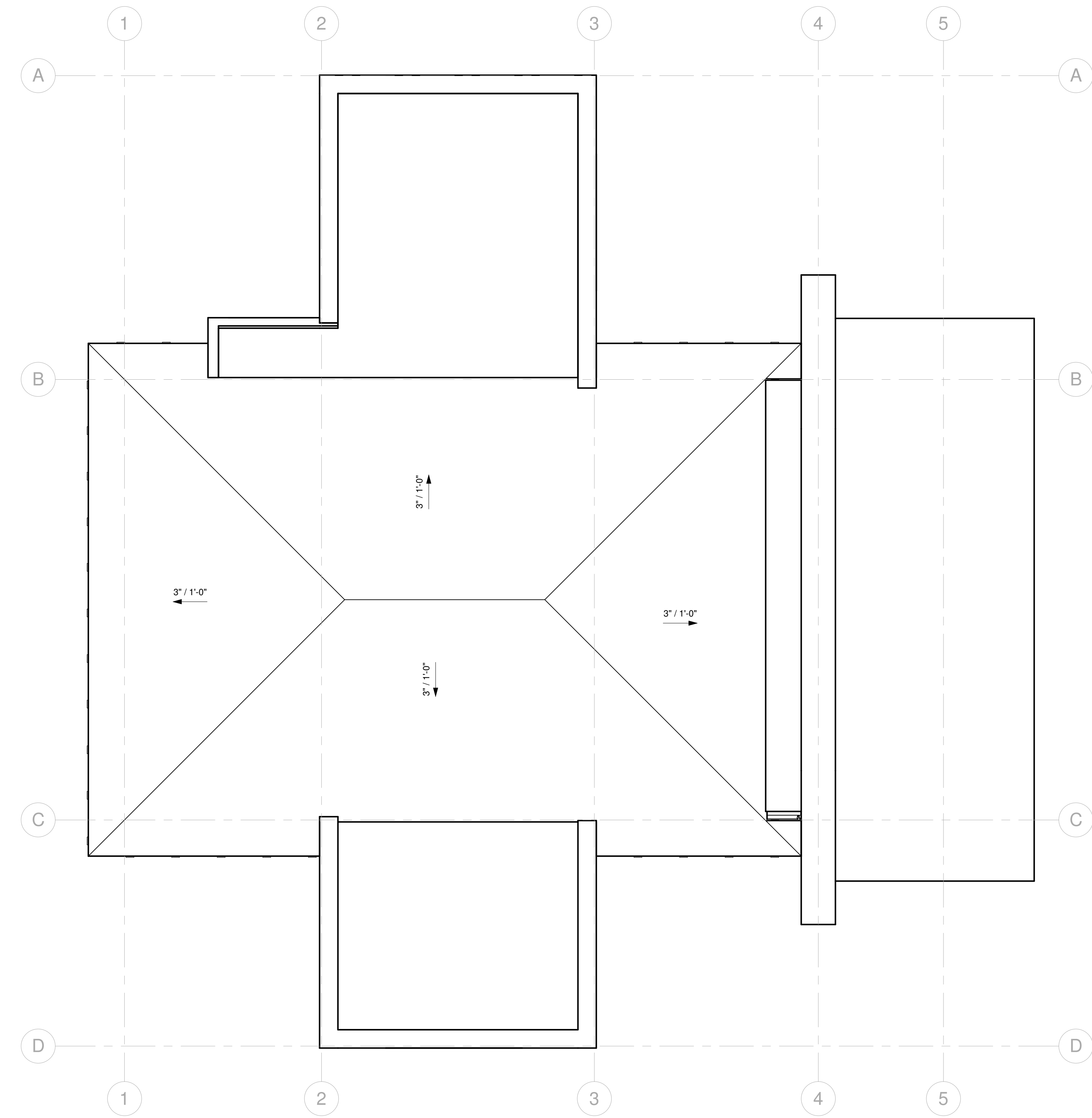
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Author: 20.1012.179

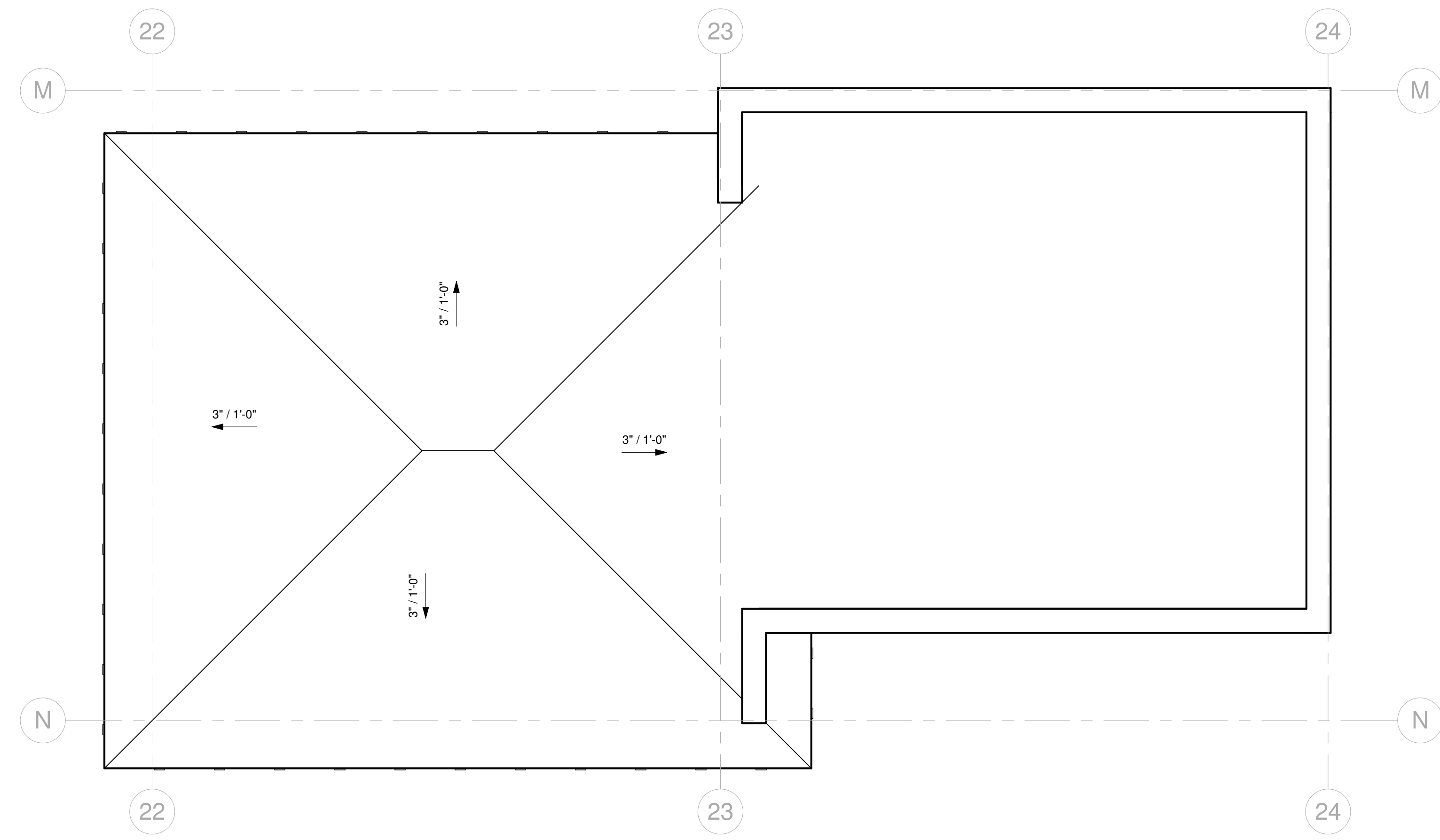
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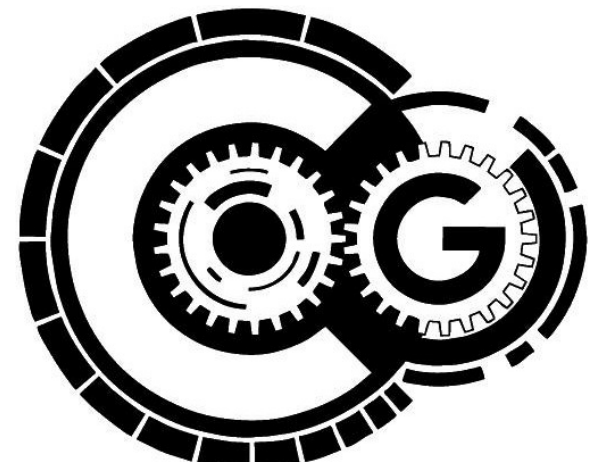
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1 ROOF PLAN - POOL HOUSE
1/4" = 1'-0"



2 ROOF PLAN - DETACHED GARAGE
1/4" = 1'-0"



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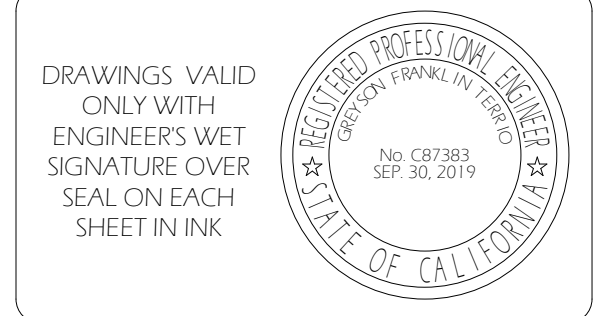
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PRINTS ISSUED		
DATE	PURPOSE	NO.

CLIENTS INFORMATION:
Owner
2551 WHITE STALLION ROAD
THOUSAND OAKS, CA 91361

SHEET TITLE:
ROOF PLAN - POOL HOUSE & DETACHED GARAGE

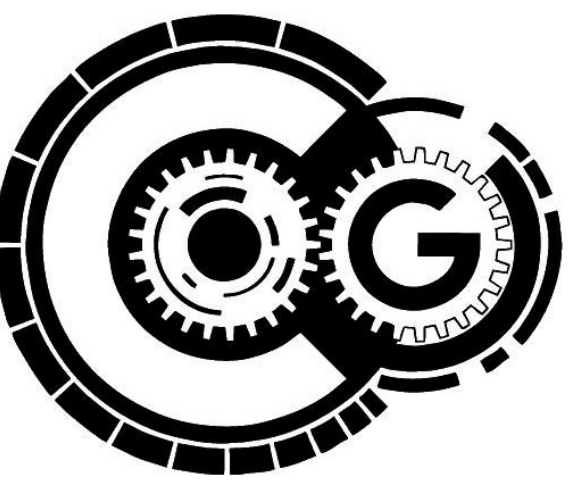
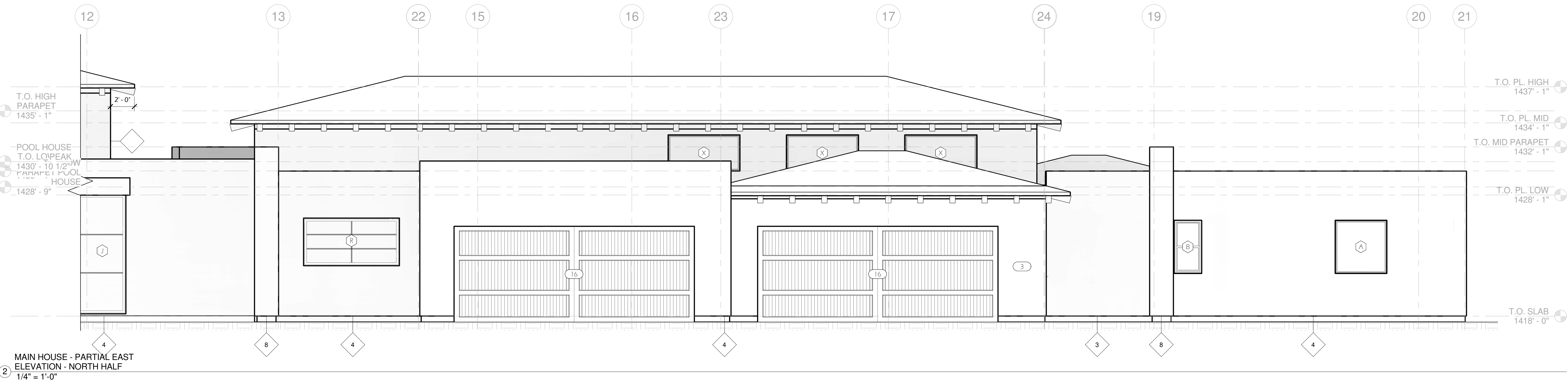
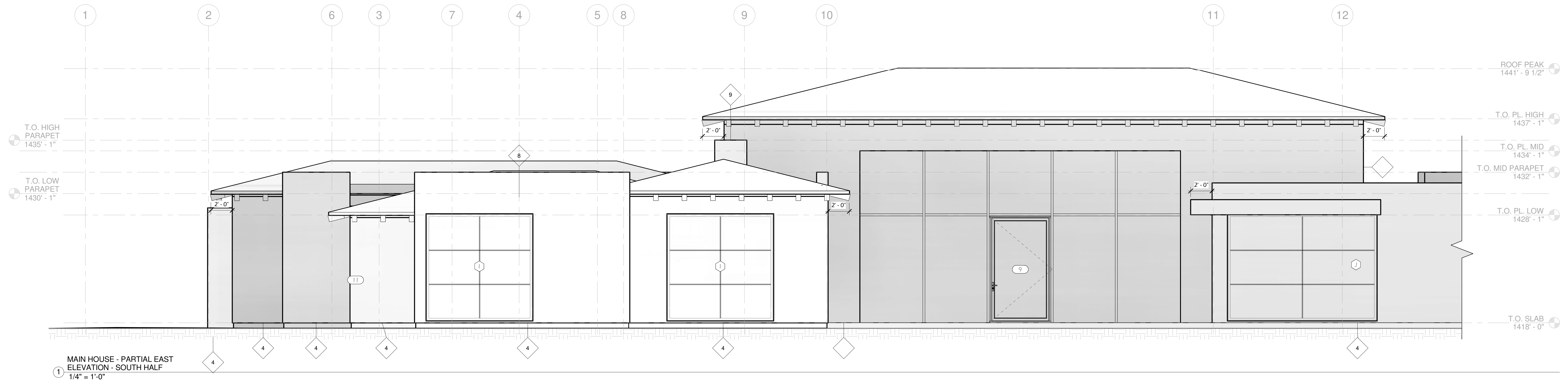
PROJECT ADDRESS:
**2551 WHITE STALLION ROAD
THOUSAND OAKS, CA 91361**



Author: Greyson F. Terrio
20.1012.179

SHEET NUMBER:
A-2.1

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PRINTS ISSUED

DATE	PURPOSE	NO.

CLIENTS INFORMATION:
Owner
2551 WHITE STALLION ROAD
THOUSAND OAKS, CA 91361

SHEET TITLE:
MAIN HOUSE - EAST ELEVATION

PROJECT ADDRESS:
**2551 WHITE STALLION ROAD
THOUSAND OAKS, CA 91361**

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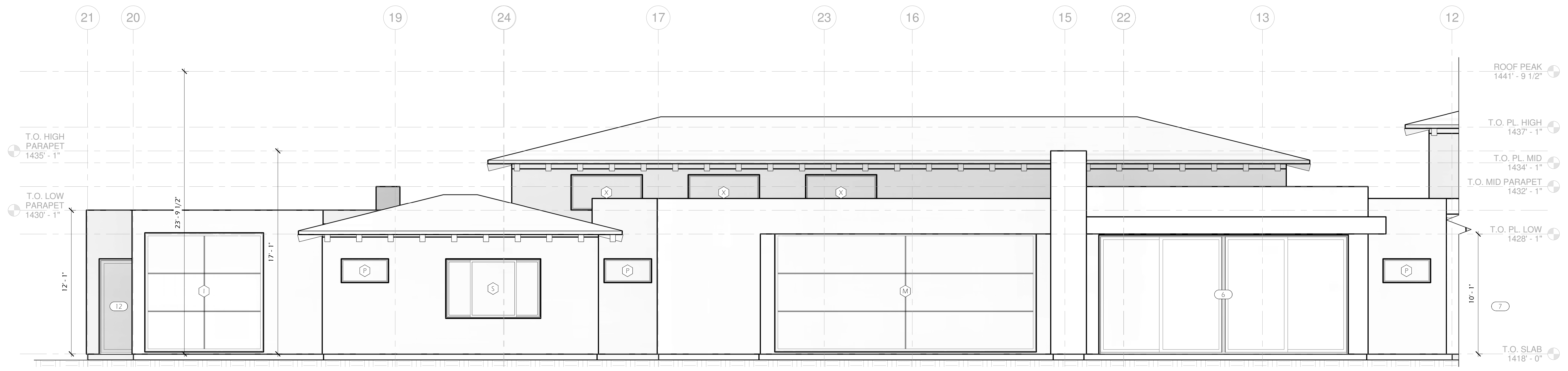
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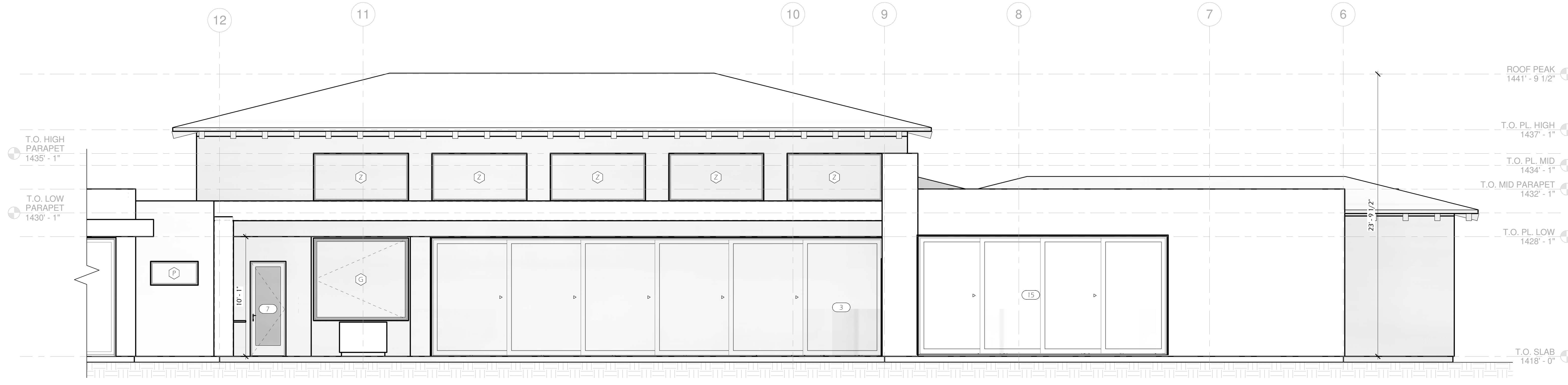
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NOTES & PRODUCT INFORMATION - A-3



1 MAIN HOUSE - PARTIAL WEST
ELEVATION - NORTH HALF
1/4" = 1'-0"



2 MAIN HOUSE - PARTIAL WEST
ELEVATION - SOUTH HALF
1/4" = 1'-0"



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DATE	PURPOSE	NO.

CLIENTS INFORMATION:
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THOUSAND OAKS, CA 91361

SHEET TITLE:
MAIN HOUSE - WEST ELEVATION

PROJECT ADDRESS:
**2551 WHITE STALLION ROAD
THOUSAND OAKS, CA 91361**

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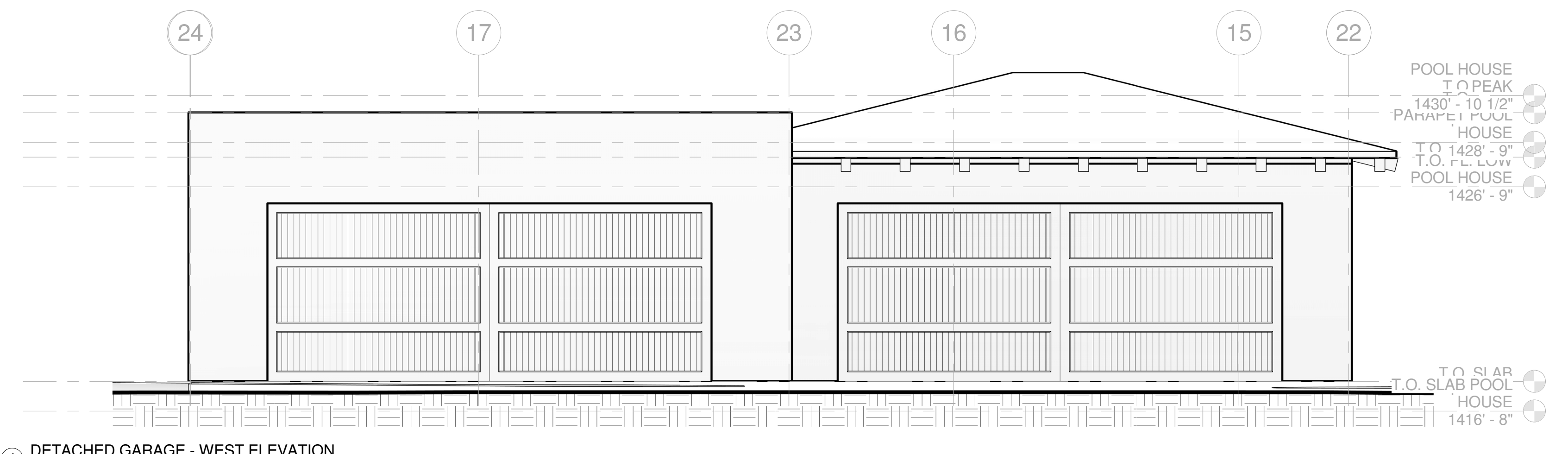
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A-3.1

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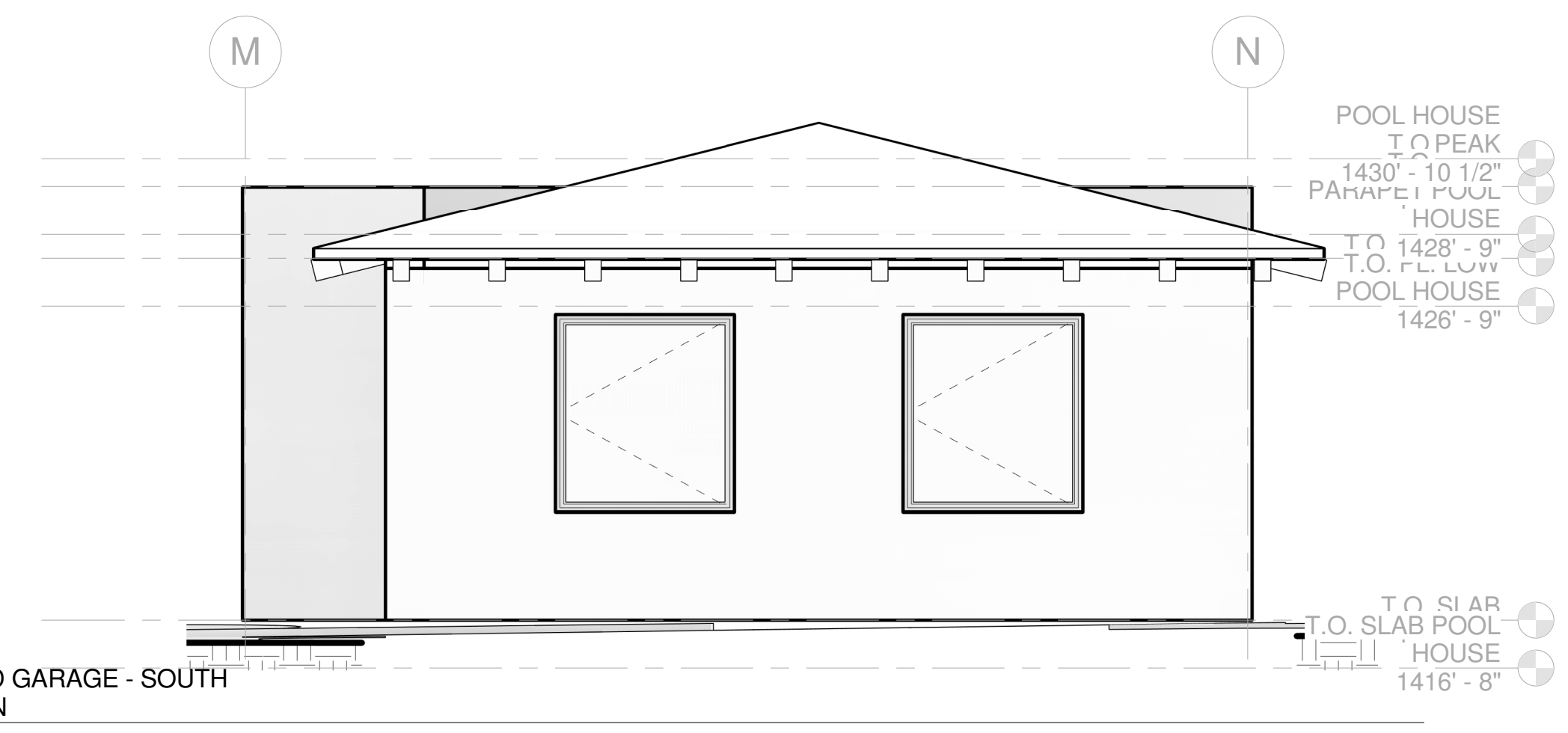
NOTES & PRODUCT INFORMATION - A-3

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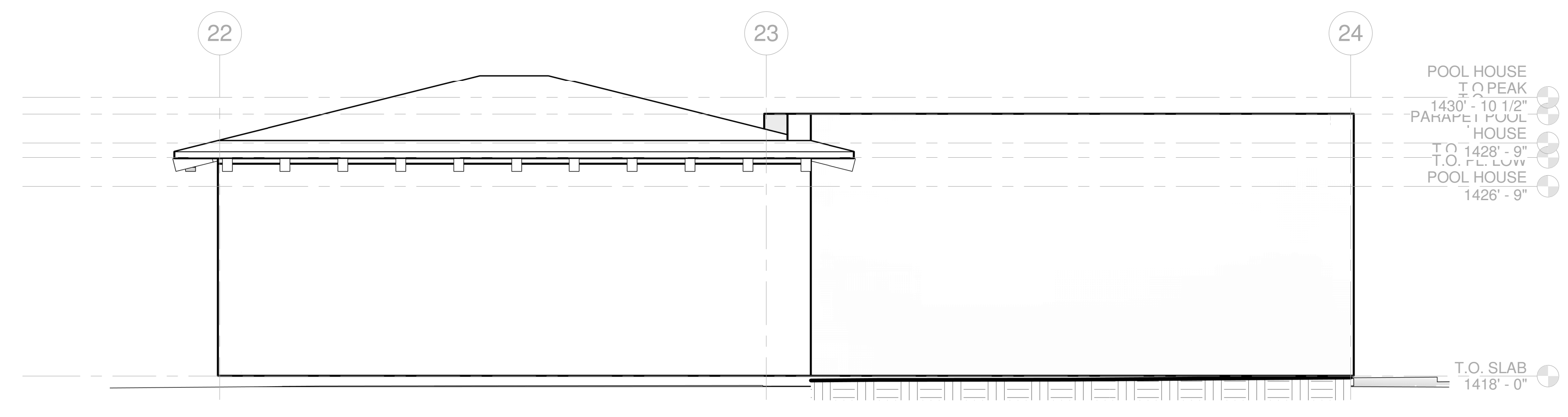
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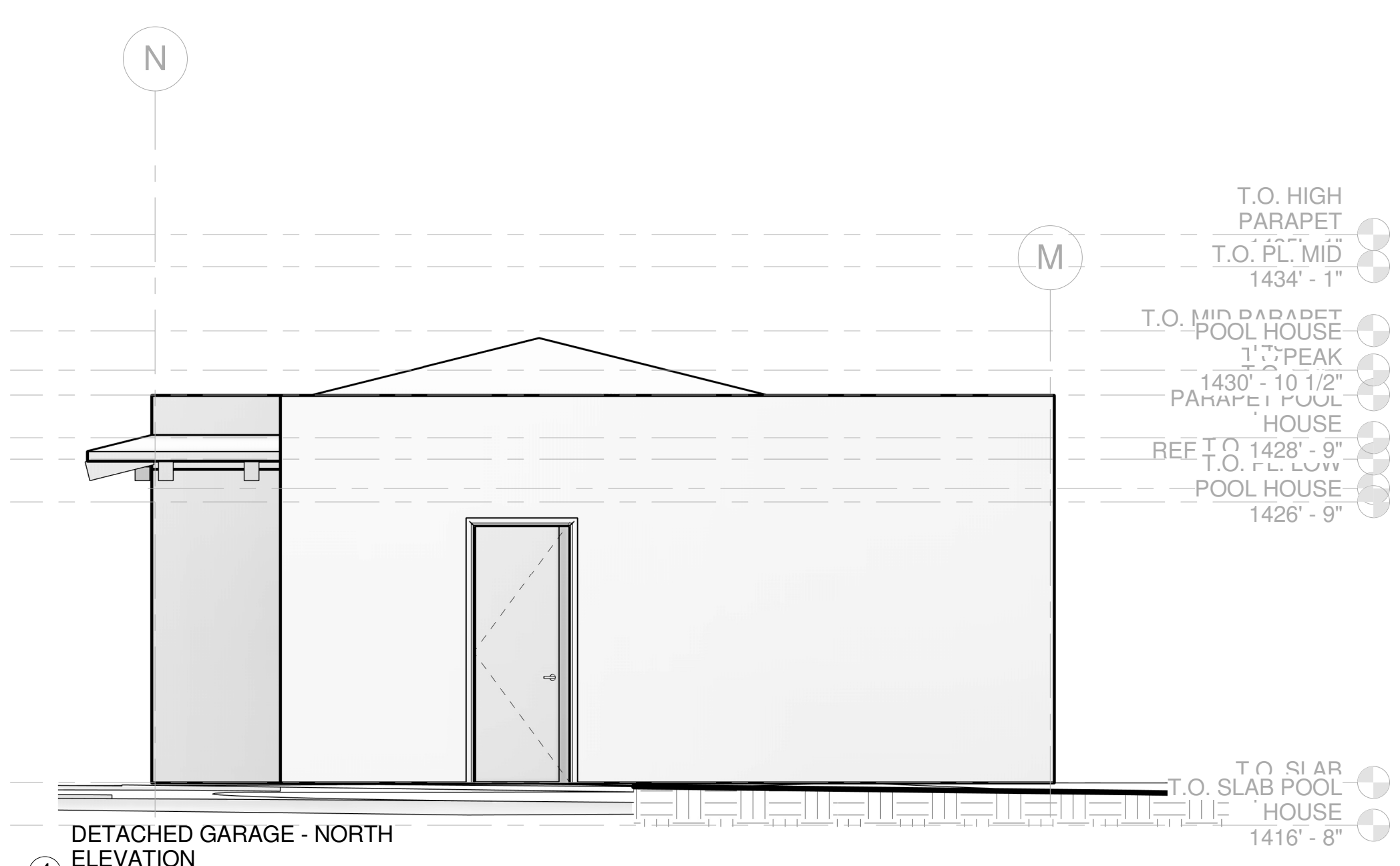
1 DETACHED GARAGE - WEST ELEVATION
1/4" = 1'-0"



2 DETACHED GARAGE - SOUTH ELEVATION
1/4" = 1'-0"



3 DETACHED GARAGE - EAST ELEVATION
1/4" = 1'-0"



4 DETACHED GARAGE - NORTH ELEVATION
1/4" = 1'-0"



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DATE	PURPOSE	NO.

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2551 WHITE STALLION ROAD
THOUSAND OAKS, CA 91361

SHEET TITLE: **DETACHED GARAGE ELEVATIONS**
 PROJECT ADDRESS: **2551 WHITE STALLION ROAD
THOUSAND OAKS, CA 91361**

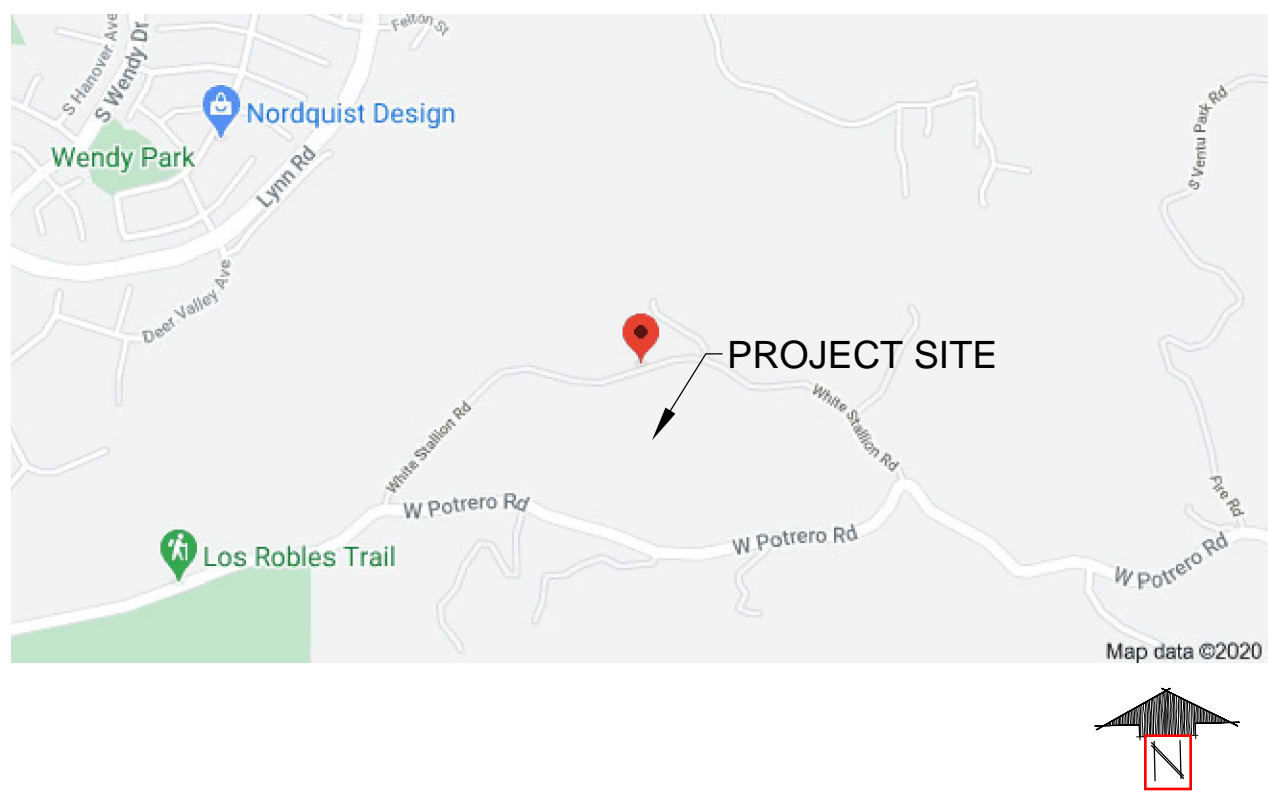
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Author: 20.1012.179
 SHEET NUMBER: **A-3.4**
 2/21/2021 11:10:02 PM

NEW SINGLE FAMILY DWELLING
2551 WHITE STALLION ROAD
THOUSAND OAKS, CA 91361
APN 668-0-080-140

VICINITY MAP

SCALE: NTS



SHEET INDEX

SHEET #	DESCRIPTION
L-0	COVER SHEET
L-1	SITE PLAN
L-2	LANDSCAPE PLAN - (PAD AREA) & SECTION
L-3	LANDSCAPE PLAN - (ENTRY GATE)
L-4	PLANTING PLAN - (PAD AREA)
L-5	PLANTING PLAN - (ENTRY GATE)
L-6	FUEL MODIFICATION PLAN - (PAD AREA)
L-7	FUEL MODIFICATION PLAN - (ENTRY GATE)

SCOPE OF WORK

- PROPOSED NEW SINGLE FAMILY HOME AND PROPOSED NEW LANDSCAPE.
- CONCEPTUAL LANDSCAPE PLAN

PROJECT STATISTICS:

TOTAL PROJECT SITE (S.F.):	20.79 ACRES (905,720.9 S.F.)
TOTAL LANDSCAPED AREA (S.F.):	52,105 S.F.
NATIVE PLANTER AREAS	26,940 S.F.
LOW WATER ORNAMENTAL	7,050 S.F.
ARTIFICIAL TURF	14,890 S.F.
GRASSCRETE	3,225 S.F.
TOTAL PROPOSED TREES:	57 TOTAL
36" BOX TREES	43
48" BOX TREES	6
60" BOX TREES	4
72" BOX TREES	4
TOTAL HARDSCAPE (S.F.):	21,000 S.F.
NEW CONCRETE DRIVEWAY (NOT INCLUDING EXISTING ASPHALT DRIVEWAY)	14,300 S.F.
CONCRETE PAVING	4,400 S.F.
DECOMPOSED GRANITE PAVING	2,300 S.F.

PERRIN DESIGN GROUP, INC.
 LANDSCAPE DESIGN + BUILD
 2753 Lander Ct. • Newbury Park, CA 91320
 805-795-7995 (Cell) • jlperrin@verizon.net (Email)

SINGLE FAMILY RESIDENCE
 2551 WHITE STALLION ROAD
 THOUSAND OAKS, CA 91361

COVER SHEET & GENERAL INFORMATION
 CONCEPTUAL PLANS
 FOR PLAN CHECK ONLY

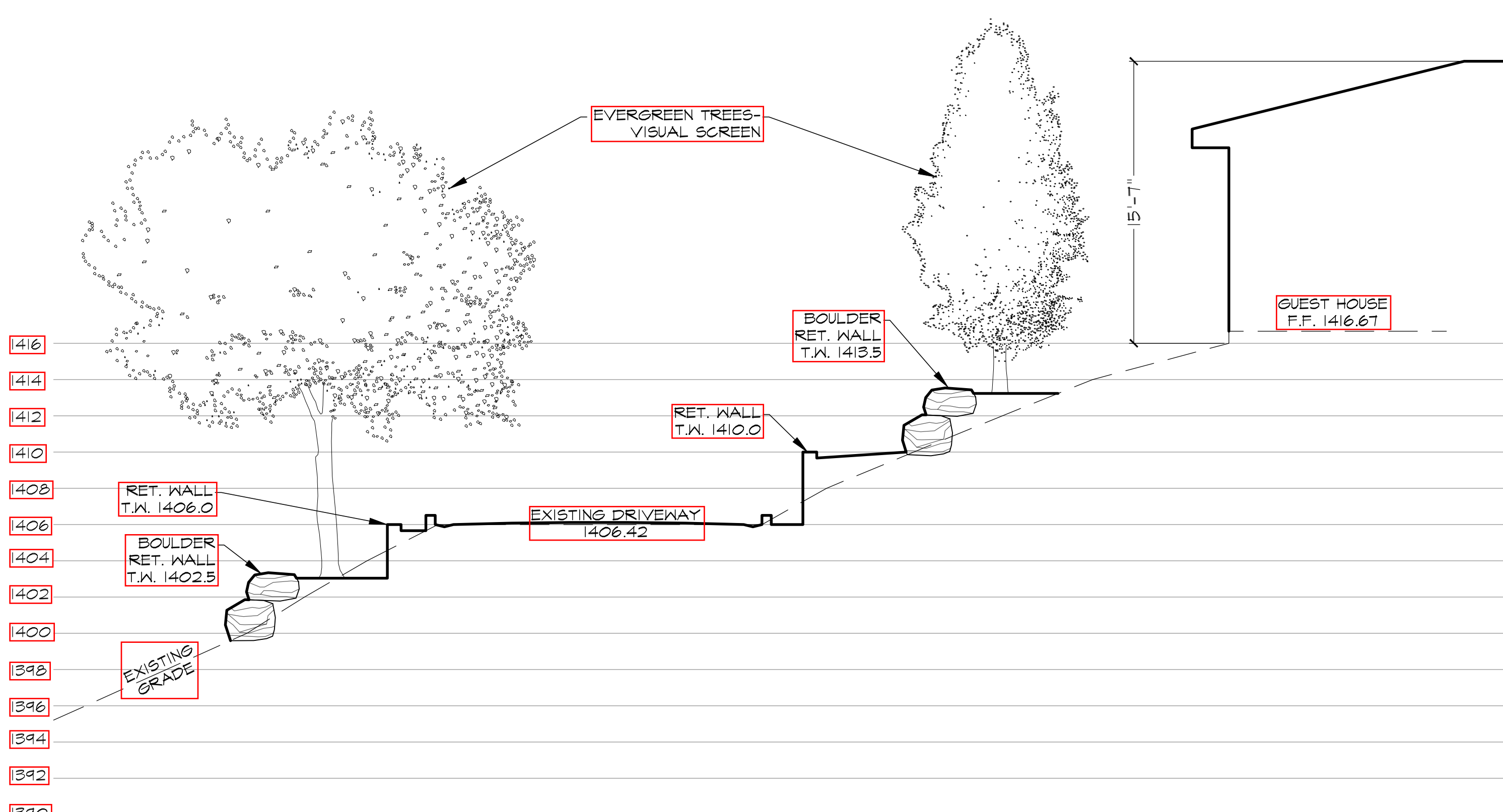
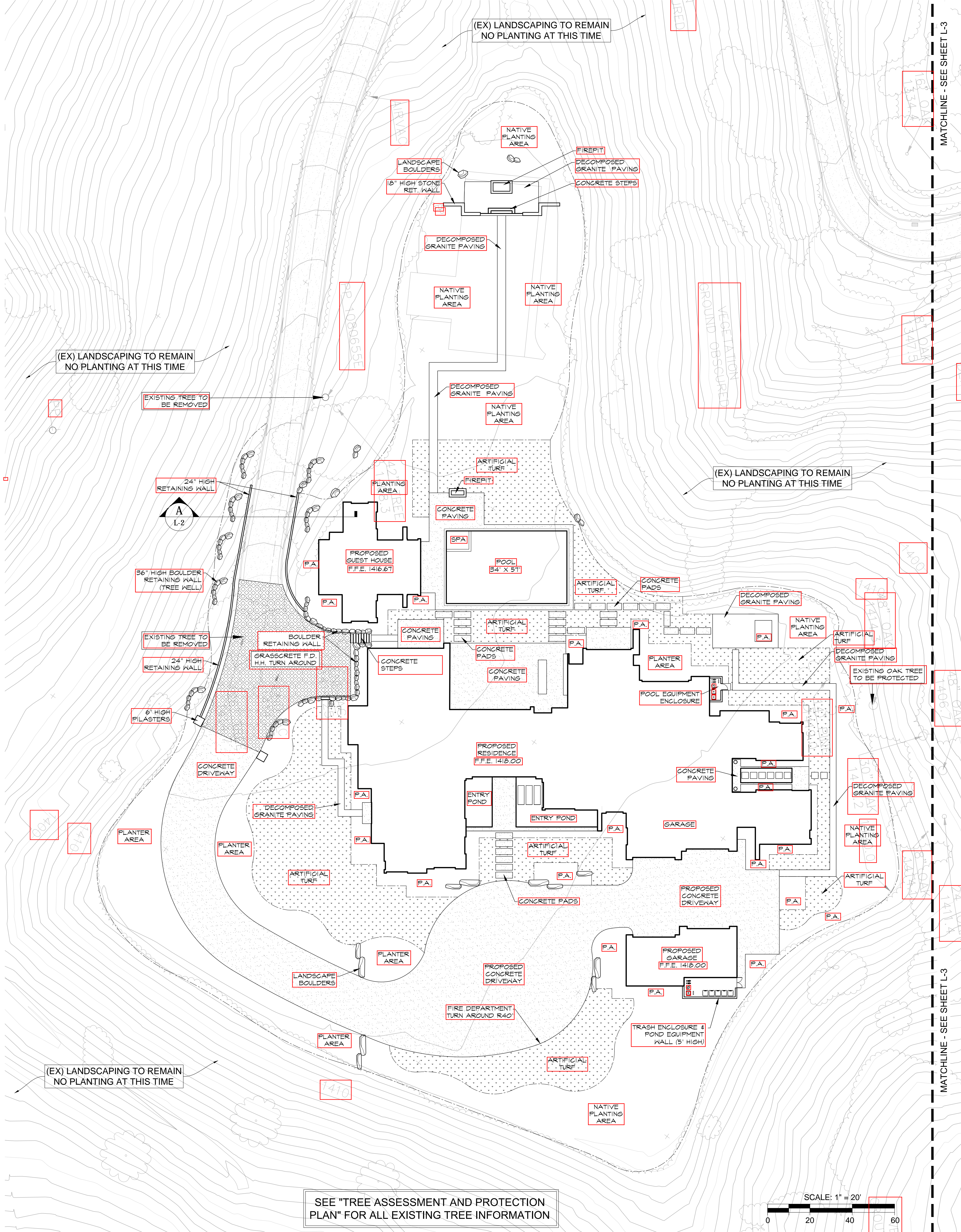
Date: FEBRUARY 9, 2021

Drawn: [Signature]

Scale:

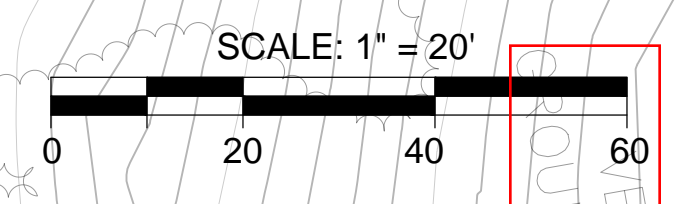
L-0

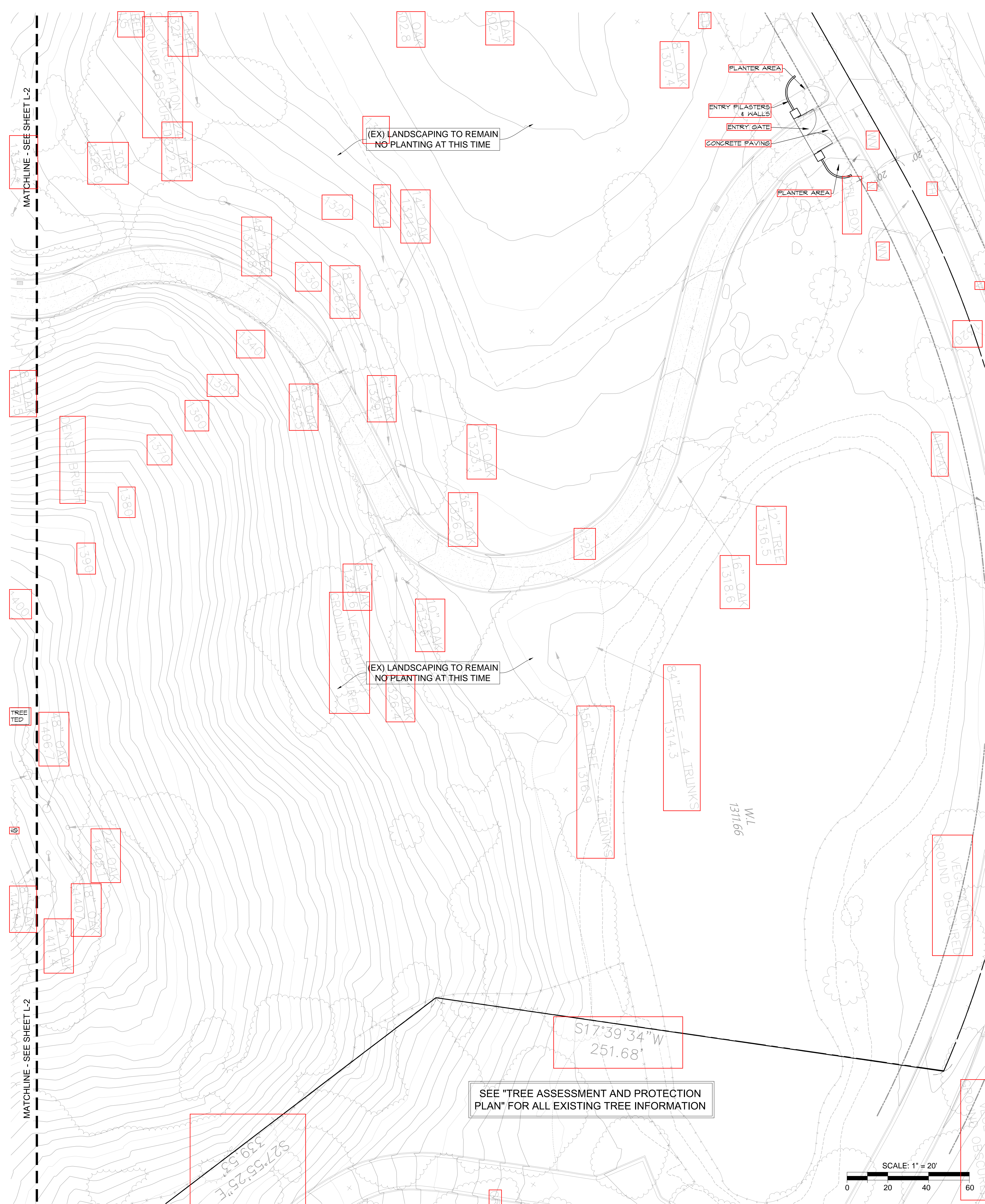
2/9/21 PLOTTED 2/9/21



A GUEST HOUSE SECTION
SCALE: 3/16"=1'-0"

SEE "TREE ASSESSMENT AND PROTECTION PLAN" FOR ALL EXISTING TREE INFORMATION





MATCHLINE - SEE SHEET L-2

MATCHLINE - SEE SHEET L-2

(EX) LANDSCAPING TO REMAIN
NO PLANTING AT THIS TIME

(EX) LANDSCAPING TO REMAIN
NO PLANTING AT THIS TIME

SEE "TREE ASSESSMENT AND PROTECTION
PLAN" FOR ALL EXISTING TREE INFORMATION

PLANTER AREA
ENTRY PILASTERS
& WALLS
ENTRY GATE
CONCRETE PAVING

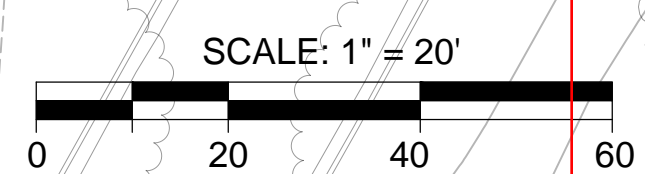
PLANTER AREA

HILL BOY

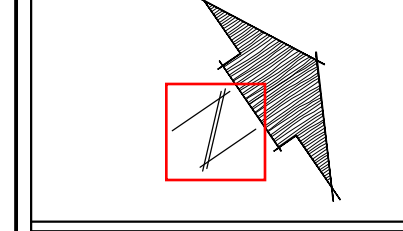
W/L
1371.66

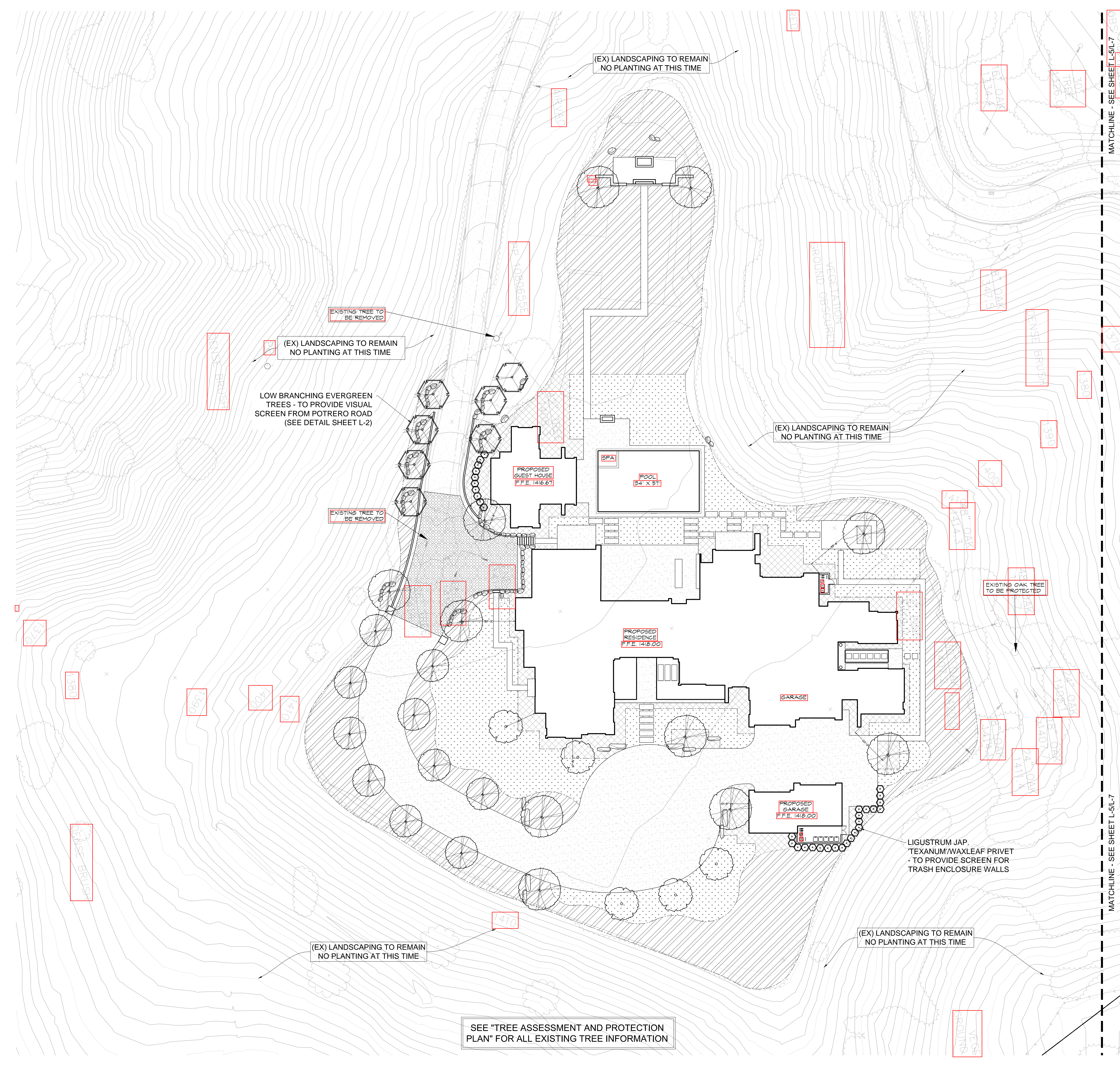
S17°39'34"W
251.68'

S27°55'25"E
339.53'



SCALE: 1" = 20'





PROPOSED PLANT LEGEND

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
TREES				
	1	36" BOX	AREBUTUS UNEDO 'MARINA' MARINA STRAWBERRY TREE	EVERGREEN STD TRUNK
	1	36" BOX	LAGERSTROEMIA INDICA 'TUSCARORA' TUSCARORA GRAPE MYRTLE	DECIDUOUS STD TRUNK
	1	36" BOX	ACACIA SALISMA BLUE-LEAF KEEPING WATTLE	EVERGREEN LE
	2	36" BOX	OLEA EUROPAEA 'MAJESTIC BEAUTY' MAJESTIC BEAUTY FRUITLESS OLIVE	EVERGREEN MULTI TRUNK
	2	36" BOX	OLEA EUROPAEA 'MAJESTIC BEAUTY' MAJESTIC BEAUTY FRUITLESS OLIVE	EVERGREEN MULTI TRUNK
	1	36" BOX	PARKINSONIA HYBRID 'AZT' PALO VERDE THORNLESS HYBRID	EVERGREEN STD

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
VINES				
	5	5 GAL	GALLIANDREA HAEMATOCEPHALA PINK POWDER PUFF	EVERGREEN STAKED

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
SHRUBS				
	5	5 GAL	AGAVE ATTENUATA FOXTAIL AGAVE	EVERGREEN
	5	5 GAL	CALLISTEMON VIMINALIS 'SLIM' SLIM BOTTLEBRUSH	EVERGREEN
	5	5 GAL	GIBBUS PULVERULENTUS 'SUNSET' MAGENTA ROCK ROSE	EVERGREEN
	5	5 GAL	HELIOTRICHON SEM. 'SAPPHIRE' SAPPHIRE BLUE OAT GRASS	EVERGREEN
	5	5 GAL	LIGUSTRUM JAP. TEXANUM WAXLEAF PRIVET	EVERGREEN STAKED
	1	5 GAL	NASSELLA TENUISSIMA MEXICAN FEATHER GRASS	EVERGREEN
	5	5 GAL	PHORMIUM TEXAS 'PINK STRIPE' PINK STRIPE FLAX	EVERGREEN
	5	5 GAL	PITTOSPORIUM TOB. 'CREME DE MINT' CREME DE MINT DWARF PITTOSPORIUM	EVERGREEN
	5	5 GAL	PITTOSPORIUM TOB. 'WHEELER'S DWARF' WHEELER'S DWARF PITTOSPORIUM	EVERGREEN
	5	5 GAL	ROSMARINUS OFFICINALIS 'PROSTRATE' PROSTRATE ROSEMARY	EVERGREEN
	5	5 GAL	BENECIO MANDRALISCAE BLUE CHALK STICKS	SUCCULENT
	1	5 GAL	TEUCCRIUM X LUCIDRYS WALL GERMANDER	EVERGREEN
	5	5 GAL	NESTRINSEA FRU. 'MADI' DWARF MADI COAST ROSEMARY	EVERGREEN

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
SHRUBS - NATIVE				
	1	5 GAL	AQUILEGIA FORMOSA WESTERN COLUMBINE	EVERGREEN
	1	5 GAL	BACCHARIS PILLULARIS 'TWIN PEAKS' PROSTRATE COYOTE BUSH	EVERGREEN
	5	5 GAL	CEANOETHUS GRIS. HOR. 'YANKEE POINT' YANKEE POINT CALIFORNIA LILAC	EVERGREEN
	5	5 GAL	CEANOETHUS GRIS. HOR. 'GONGHA' GONGHA CALIFORNIA LILAC	EVERGREEN
	5	5 GAL	EPILOBIUM CAL. 'EVERETT'S CHOICE' GHOSTLY RED CALIFORNIA FUCHSIA	EVERGREEN
	5	5 GAL	LAVATERA MARITIMA MEDITERRANEAN TREE MALLOW	EVERGREEN
	1	5 GAL	LUPINUS EXCUBITUS GRAPE SODA LUPINE	EVERGREEN
	1	5 GAL	MIMULUS AURANTIAGUS STICKY MONKEY FLOKER	EVERGREEN
	1	5 GAL	PENSTEMON BACCHARIFOLIUS 'DIABLO' DIABLO ROCK PENSTEMON	EVERGREEN

SYMBOL	QTY	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
	14,890 S.F.	ARTIFICIAL TURF	500'
	1,050 S.F.	ORNAMENTAL PLANTING	NOTE: ALL PLANTINGS WITHIN 5' WALK AROUND TO BE HERBACIOUS PLANTS ADHERING TO L.A. COUNTY FIRE CODE.
	26,450 S.F.	NATIVE PLANTING	
ALL PLANTER AREAS - (SEE NOTE)			
NOTE: A MIN. OF 3" INCH LAYER OF MULCH SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS KEEPING OR TOOTING GROUND COVER, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.			

LIGHTING LEGEND - LOW VOLTAGE

SYMBOL	DESCRIPTION	MANUF. & MODEL NO.	TYPE	FINISH	QTY
	UP LIGHT	SPJ LIGHTING INC. 800-461-5631 MR-UNIVERSE	2IN LEP 12V-2100K	MBR	X
	PATH LIGHT	SPJ-3124	2IN LEP 12V-2100K	MBR	X
	BELL LIGHT	SPJ-M1000-P-RE	6IN LEP 12V-2100K	MBR	X
	NICHE LIGHT	SPJ-55-1	2IN LEP 12V-2100K	MBR	X
	WALL MOUNT LIGHT	SPJ-LH-2	6IN LEP 12V-2100K	MBR	X
	UNDER WATER LIGHT	SPJ-LH-2	2IN LEP 12V-2100K	MBR	X
	RECESSED UP LIGHT	SPJ-M1000-F	2IN LEP 12V-2100K	MBR	X

GENERAL NOTES

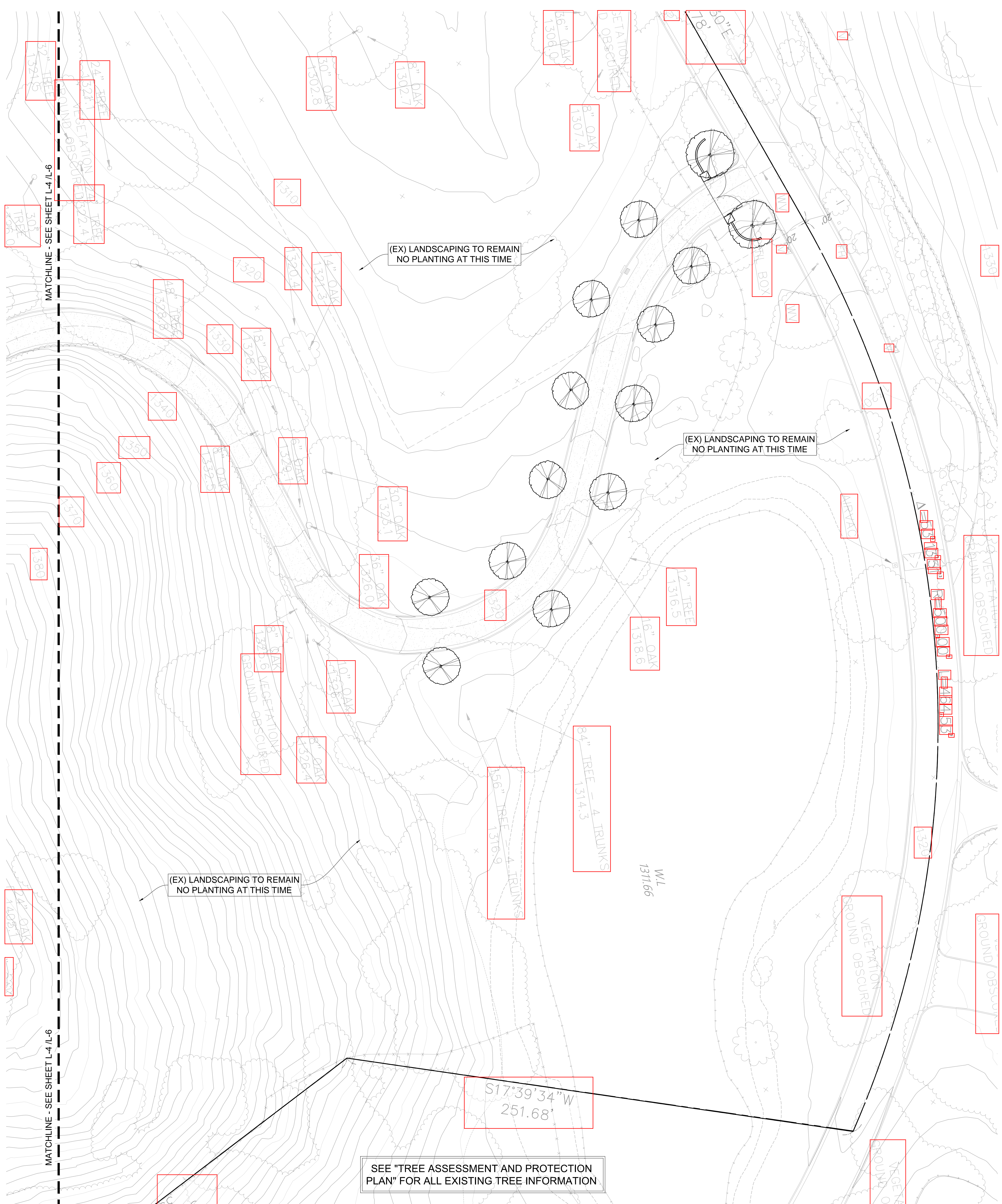
- PROVIDE 100% IRRIGATION TO ALL PLANTING AREAS FROM CURB LINE.
- BURY LINES 18" MAINLINE (P.V.C.) AND 12" LATERAL (SCH. 40).
- PROVIDE SOILS AMENDMENTS PER SOILS REPORT (PROVIDED BY OTHERS).
- SEPARATE SHRUB, LAWN AND SUN EXPOSURE SYSTEMS.
- PROVIDE DEEP ROOT BARRIERS ON ALL TREES.
- PROVIDE 4' X 3' DEEP VENTILATION HOLE FILLED WITH 3/4" GRAVEL IN ALL TREE PITS.
- 12 PER TREE
- PROVIDE ESPALIER SUPPORTS.
- ALL EXISTING IRRIGATION TO REMAIN AND CONTRACTOR TO VERIFY PROPER COVERAGE AND ALL FUNCTIONING.
- ALL NEW PLANTER AREAS TO RECEIVE NEW DRIP LINES. USE EXISTING VALVES AND INSTALL PRESSURE REGULATORS WHERE NECESSARY.
- PROVIDE 100% IRRIGATION TO ALL PLANTING AREAS FROM CURB LINE.
- BURY LINES 18" MAINLINE (P.V.C.) AND 12" LATERAL (SCH. 40).
- SEPARATE SHRUB, LAWN AND SUN EXPOSURE SYSTEMS.
- EXISTING IRRIGATION CLOCK TO BE USED. IF NONE, PROVIDE NEW IRRIGATION CONTROLLER LOCATED IN GARAGE. POWER TO BE SUPPLIED BY OWNER.
- CONTRACTOR TO VERIFY ALL EXISTING DRAINAGE INLETS AND DRAIN LINES ARE FUNCTIONING AND HAVE POSITIVE UNLOCKED FLOW TO EXISTING OUTLETS.
- CONTRACTOR TO REPAIR OR REPLACE NON-FUNCTIONING DRAINAGE INLETS AND DRAIN LINES WHERE NEEDED.
- ALL PAVED AREAS WITHOUT DRAINS ARE TO BE SLOPED AT 1/2% AWAY FROM STRUCTURE AND TOWARDS PLANTERS WITH DRAINS.
- CONNECT ALL ROOF DOWNSPOUTS INTO DRAINAGE SYSTEM.
- ANY DRAINS SHOWN ON PLAN ARE DIAGRAMMATIC ONLY AND NOT REPRESENTATIVE OF THE DRAINAGE PLAN. IF A GRADING AND DRAINAGE PLAN IS REQUIRED OR NECESSARY, CLIENT SHALL EMPLOY A CIVIL ENGINEER FOR A GRADING AND DRAINAGE PLAN.

PERRIN DESIGN GROUP, INC.
LANDSCAPE DESIGN + BUILD
2753 Lindero Ct. • Newbury Park, CA 91320
805-795-7995 (cell) • jlperrin@verizon.net (Email)

SINGLE FAMILY RESIDENCE
2551 WHITE STALLION ROAD
THOUSAND OAKS, CA 91361

PLANTING PLAN
CONCEPTUAL PLANS
FOR PLAN CHECK ONLY

Date: FEBRUARY 9, 2021
Drawn: [Signature]
Scale: 1" = 20'-0"
Sheet: L-4 of 7
Plotted: 2/9/21



PROPOSED PLANT LEGEND

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
TREES				
	1	56" BOX	ARECATUS UNEDO MARINA MARINA STRAWBERRY TREE	EVERGREEN STD TRUNK
	1	56" BOX	LAGERSTROEMIA INDICA TUSCARORA TUSCARORA CRAPE MYRTLE	DECIDUOUS STD TRUNK
	1	56" BOX	ACACIA SALIGNA BLUE-LEAF KEEPER HATTLE	EVERGREEN LB
	22	56" BOX	OLEA EUROPAEA MAJESTIC BEAUTY MAJESTIC BEAUTY FRUITLESS OLIVE	EVERGREEN MULTI TRUNK
	12	56" BOX	PARKINSONIA HYBRID 'AZI' PALO VERDE THORNLESS HYBRID	EVERGREEN STD
VINES				
	5	5 GAL	CALLIANDRA HEMATOCOPHALA PINK POWDER PUFF	EVERGREEN STAKED
SHRUBS				
	5	5 GAL	AGAVE ATTENUATA FOXTAIL AGAVE	EVERGREEN
	5	5 GAL	CALLISTEMON VINCINALIS 'SLIM' SLIM BOTTLEBRUSH	EVERGREEN
	5	5 GAL	CISTUS PULVERULENTUS 'SUNSET' MAGENTA ROCK ROSE	EVERGREEN
	5	5 GAL	HELIOTRICHON SEN. 'SAPPHIRE' SAPPHIRE BLUE OAT GRASS	EVERGREEN
	15	5 GAL STAKED	LIGUSTRUM JAP. 'TEXANUM' WAXLEAF PRIVET	EVERGREEN STAKED
	1	1 GAL	NASSELLA TENNISSIMA MEXICAN FEATHER GRASS	EVERGREEN
	5	5 GAL	PHORUM TEXAS 'PINK STRIPE' PINK STRIPE FLAX	EVERGREEN
	5	5 GAL	PITOSPORUM TOB. 'CREME DE MINT' CREME DE MINT DWARF PITOSPORUM	EVERGREEN
	5	5 GAL	PITOSPORUM TOB. 'WHEELER'S DWARF' WHEELER'S DWARF PITOSPORUM	EVERGREEN
	1	1 GAL	ROSMARINUS OFFICINALIS 'PROSTRATE' PROSTRATE ROSEMARY	EVERGREEN
	1	1 GAL	SENEGIO MANDRALISCAE BLUE CHALK STICKS	SUCCULENT
	1	1 GAL	TEUCRIUM X LUCIDRYS WALL GERMANDER	EVERGREEN
	5	5 GAL	WESTRINGEA FRU. 'MUNDI' DWARF MUNDI COAST ROSEMARY	EVERGREEN
SHRUBS - NATIVE				
	1	1 GAL	AQUILEGIA FORMOSA WESTERN COLUMBINE	EVERGREEN
	1	1 GAL	BACCHARIS PILLULARIS 'TWIN PEAKS' PROSTRATE GOYOTE BUSH	EVERGREEN
	5	5 GAL	CEANOTHUS GRIS HOR. 'YANKEE POINT' YANKEE POINT CALIFORNIA LILAC	EVERGREEN
	5	5 GAL	CEANOTHUS GRIS HOR. 'CONCHA' CONCHA CALIFORNIA LILAC	EVERGREEN
	5	5 GAL	EPILOBIUM GAL. EVERETT'S CHOICE GHOSTLY RED CALIFORNIA FUCHSIA	EVERGREEN
	5	5 GAL	LAYATERA MARITIMA MEDITERRANEAN TREE MALLOW	EVERGREEN
	1	1 GAL	LUPINES EXCUBITUS GRAPE SOGA LUPINE	EVERGREEN
	1	1 GAL	MIMULUS ALPANTACUS STICKY MOXY FLORES	EVERGREEN
	1	1 GAL	PENSTEMON BACCHANIFOLIUS 'DIABLO' DIABLO ROCK PENSTEMON	EVERGREEN

SYMBOL	QTY	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
	4,840	ARTIFICIAL TURF	500
	1,050	ORNAMENTAL PLANTING	NOTE: ALL PLANTINGS WITHIN 5' WALK AROUND TO BE HERBACIOUS PLANTS ADHERING TO L.A. COUNTY FIRE CODE
	26,450	NATIVE PLANTING	

ALL PLANTER AREAS - (SEE NOTE)

MULCH- AGROMIN ES2

NOTE: A MIN. OF 3" HIGH LAYER OF MULCH SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS CREEPING OR TIGHTING GROUND COVERS OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

LIGHTING LEGEND - LOW VOLTAGE

SYMBOL	DESCRIPTION	MANUF. & MODEL NO.	TYPE	FINISH	QTY
	UP LIGHT	SPJ LIGHTING INC. 800-462-3631 MVA-1000	2X LED 2V-2700K	MBR	X
	PATH LIGHT	SPJ-S124	2X LED 2V-2700K	MBR	X
	BELL LIGHT	SPJ-M1000-P-RE	2X LED 2V-2700K	MBR	X
	NIGHT LIGHT	SPJ-SC-1	2X LED 2V-2700K	MBR	X
	WALL MOUNT LIGHT	SPJ-L112	2X LED 2V-2700K	MBR	X
	UNDER WATER LIGHT	SPJ-L112	2X LED 2V-2700K	MBR	X
	RECESSED UP LIGHT	SPJ-M1000-P	2X LED 2V-2700K	MBR	X

GENERAL NOTES

- PROVIDE 100% IRRIGATION TO ALL PLANTING AREAS FROM CURB LINE.
- BURY LINES, 18" MAINLINE (P.V.C.) AND 12" LATERAL (SCH. 40).
- PROVIDE SOILS AMENDMENTS PER SOILS REPORT (PROVIDED BY OTHERS).
- SEPARATE SHRUB, LAWN AND SUN EXPOSURE SYSTEMS.
- PROVIDE DEEP ROOT BARRIERS ON ALL TREES.
- PROVIDE 4" X 3" DEEP VENTILATION HOLE FILLED WITH 3/4" GRAVEL IN ALL TREE PITS. (2 PER TREE)
- PROVIDE ESPALIER SUPPORTS.
- ALL EXISTING IRRIGATION TO REMAIN AND CONTRACTOR TO VERIFY PROPER COVERAGE AND ALL FUNCTIONING.
- ALL NEW PLANTER AREAS TO RECEIVE NEW DRIP LINES. USE EXISTING VALVES AND INSTALL PRESSURE REGULATORS WHERE NECESSARY.
- PROVIDE 100% IRRIGATION TO ALL PLANTING AREAS FROM CURB LINE.
- BURY LINES, 18" MAINLINE (P.V.C.) AND 12" LATERAL (SCH. 40).
- SEPARATE SHRUB, LAWN AND SUN EXPOSURE SYSTEMS.
- EXISTING IRRIGATION CLOCKS TO BE USED. IF NONE, PROVIDE NEW IRRIGATION CONTROLLER LOCATED IN GARAGE. POWER TO BE SUPPLIED BY OWNER.
- CONTRACTOR TO VERIFY ALL EXISTING DRAINAGE INLETS AND DRAIN LINES ARE FUNCTIONING AND HAVE POSITIVE UNBLOCKED FLOW TO EXISTING OUTLETS.
- CONTRACTOR TO REPAIR OR REPLACE NON-FUNCTIONING DRAINAGE INLETS AND DRAIN LINES WHERE NEEDED.
- ALL PAVED AREAS WITHOUT DRAINS ARE TO BE SLOPED AT 1/2% AWAY FROM STRUCTURE AND TOWARDS PLANTERS WITH DRAINS.
- CONNECT ALL ROOF DOWNSPOUTS INTO DRAINAGE SYSTEM.
- ANY DRAINS SHOWN ON PLAN ARE DIAGNOSTIC ONLY AND NOT REPRESENTATIVE OF THE DRAINAGE PLAN. IF A GRADING AND DRAINAGE PLAN IS REQUIRED OR NECESSARY, CLIENT SHALL EMPLOY A CIVIL ENGINEER FOR A GRADING AND DRAINAGE PLAN.

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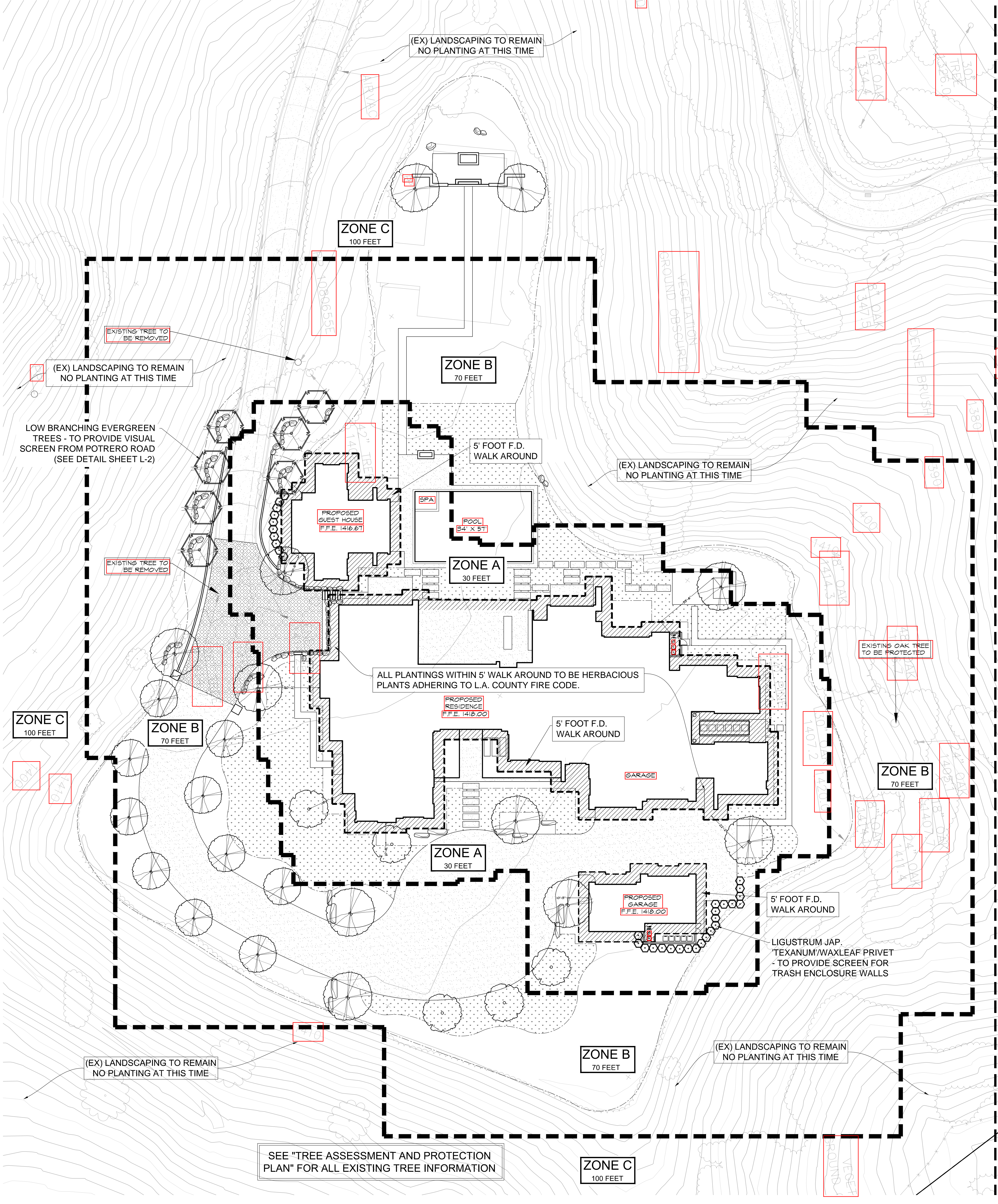
SINGLE FAMILY RESIDENCE
2551 WHITE STALLION ROAD
THOUSAND OAKS, CA 91361

PLANTING PLAN -
ENTRY GATE
CONCEPTUAL PLANS
FOR PLAN CHECK ONLY

Date: FEBRUARY 9, 2021
Drawn: [Signature]
Scale: 1" = 20'-0"

L-5

OF SEVEN PLOTTED 2/9/21



FUEL MODIFICATION GUIDELINES

VEGETATION SHALL BE MAINTAINED AS APPROVED. THE FOLLOWING NOTES SHALL BE ADHERED TO.

- MAINTENANCE OF ZONE A:** 30 FEET (FROM EDGE OF THE STRUCTURE TO A DISTANCE OF 30 FEET)
- PROVIDE FOR 5FT FIRE DEPARTMENT WALK AROUND WITH HERBACEOUS PLANTS RECOMMENDED TO PLACE WALKWAYS, PATIOS, SPORTS COURTS ETC. ABUTTING STRUCTURE
 - AVOID PLANTING WOODY PLANTS WITHIN 10 FEET OF STRUCTURE
 - USE HERBACEOUS PLANTS, SUCCULENTS, LOW GROWING GRASSES AND GRASS LIKE PLANTS
 - USE INORGANIC MULCHES SUCH AS GRAVEL WITHIN 10 FEET OF THE STRUCTURE. DO NOT USE RECYCLED RUBBER.
 - SMALL TREE SPECIES (15'-25' IN HEIGHT) MAY BE PLANTED 10' FROM STRUCTURE IF USED SPARINGLY
 - NO CLIMBING VINES ON STRUCTURES
 - REMOVE DEAD AND DOWN PLANT MATERIAL, WOOD PILES, PATIO FURNITURE, ETC.
- MAINTENANCE OF ZONE B:** 70 FEET
- ARRANGE PLANTS AND LIMIT DENSITIES SO NOT TO CREATE LADDER FUELS OR DENSE THICKETS OF VEGETATION
 - DENSITIES CAN BE INCREASED SLIGHTLY IN THIS ZONE
- MAINTENANCE OF ZONE C:** 100 FEET
- MAINTENANCE EXCEEDING 100 FEET BUT NOT TO EXCEED 200 FROM STRUCTURES MAY BE DEEMED NECESSARY BY THE FIRE OFFICIAL IN ACCORDANCE WITH SECTION 325.2.2 OF THE LOS ANGELES COUNTY FIRE CODE (CLEARANCE OF BRUSH AND VEGETATION GROWTH, EXTRA HAZARD)

NOTE: ALL FUEL MODIFICATION ZONES ARE TERMINATED AT THE SUBJECT PARCEL/TRACT BOUNDARY

- MAINTENANCE:** YEAR ROUND
- CLEAR ALL LEAVES, LITTER AND DEBRIS FROM RAIN GUTTERS, ROOFS AND ACCUMULATIONS AGAINST STRUCTURES
 - REGULARLY REMOVE ALL DEAD VEGETATION, FLAMMABLE DEBRIS, FLAMMABLE PATIO FURNITURE FROM LANDSCAPE
 - STORE WOOD PILES, COMPOST BINS, MULCH BINS, ETC. 30' FROM STRUCTURES
 - CUT AND REMOVE ANNUAL GRASSES DOWN TO 4 INCHES
 - IRRIGATION OF ANY FORM SHALL BE APPLIED TO MAINTAIN HIGH FUEL MOISTURE. IRRIGATION TO NATIVE PLANTS IS BENEFICIAL IN SMALL AMOUNTS 1-2 TIMES PER MONTH DURING SUMMER MONTHS

PROPOSED PLANT LEGEND

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
TREES				
[Symbol]	01	36" BOX	ARBUS UNEDO MARINA MARINA STRAWBERRY TREE	EVERGREEN STD TRUNK
[Symbol]	01	36" BOX	LASERSTROEMIA INDICA 'TUSCARORA' TUSCARORA GRAPE MYRTLE	DECIDUOUS STD TRUNK
[Symbol]	01	36" BOX	ACACIA SALICINA BLUE-LEAF WEEPING WATTLE	EVERGREEN LB
[Symbol]	02	36" BOX	OLEA EUROPAEA MALESTIC BEAUTY MALESTIC BEAUTY FRUITLESS OLIVE	EVERGREEN MULTI TRUNK
[Symbol]	01	36" BOX	PARKINSONIA HYBRID 'AZI' PALM VERDE THORNLESS HYBRID	EVERGREEN STD
VINES				
[Symbol]	05	5 GAL	GALLIANDRA HAEMATOCEPHALA PINK POWDER PUFF	EVERGREEN STAKED
SHRUBS				
[Symbol]	05	5 GAL	AGAVE ATTENUATA FOXTAIL AGAVE	EVERGREEN
[Symbol]	05	5 GAL	CALLISTEMON VIMINALIS SLIM SLIM BOTTLEBRUSH	EVERGREEN
[Symbol]	05	5 GAL	CISTUS PULVERULENTUS 'SUNSET' MAGENTA ROCK ROSE	EVERGREEN
[Symbol]	05	5 GAL	HELIOTROPICUM SEM 'SAPPHIRE' SAPPHIRE BLUE CAT GRASS	EVERGREEN
[Symbol]	02	15 GAL STAKED	LIGUSTRUM JAP TEXANUM WAXLEAF PRIVET	EVERGREEN STAKED
[Symbol]	01	5 GAL	NAUSEBELLIA TENNISIANA MEXICAN FEATHER GRASS	EVERGREEN
[Symbol]	05	5 GAL	PHORUM TEXAS 'PINK STRIPE' PINK STRIPE FLAX	EVERGREEN
[Symbol]	05	5 GAL	PITTOSPORUM TOB 'CREME DE MINT' CREME DE MINT DWARF PITTOSPORUM	EVERGREEN
[Symbol]	05	5 GAL	PITTOSPORUM TOB 'WHEELER'S DWARF' WHEELER'S DWARF PITTOSPORUM	EVERGREEN
[Symbol]	01	5 GAL	ROSMARINUS OFFICINALIS PROSTRATE PROSTRATE ROSEMARY	EVERGREEN
[Symbol]	01	5 GAL	SENECIO MANDRALSICAE BLUE CHALK STICKS	SUCCULENT
[Symbol]	01	5 GAL	TEUCCRIUM X LUCIDICRYS WALL GERMANDER	EVERGREEN
[Symbol]	05	5 GAL	WESTRINGIA FRU 'MUNDI' DWARF MUNDI COAST ROSEMARY	EVERGREEN
SHRUBS - NATIVE				
[Symbol]	01	5 GAL	AGULLEGIA FORMOSA WESTERN COLUMBINE	EVERGREEN
[Symbol]	01	5 GAL	BACCHARIS PILLULARIS 'TWIN PEAKS' PROSTRATE COYOTE BUSH	EVERGREEN
[Symbol]	05	5 GAL	CEANOTHUS GRIS HOR 'YANKEE POINT' YANKEE POINT CALIFORNIA LILAC	EVERGREEN
[Symbol]	05	5 GAL	CEANOTHUS GRIS HOR 'CONCHA' CONCHA CALIFORNIA LILAC	EVERGREEN
[Symbol]	05	5 GAL	EPILOBIUM CAL 'EVERETT'S CHOICE' GHOSTLY RED CALIFORNIA FUCHSIA	EVERGREEN
[Symbol]	05	5 GAL	LAVATERA MARITIMA MEDITERRANEAN TREE MALLOW	EVERGREEN
[Symbol]	01	5 GAL	LUPINUS EXALBATUS GRAPE SODA LUPINE	EVERGREEN
[Symbol]	01	5 GAL	MIMULUS AURANTIACUS STICKY MONKEY FLOWER	EVERGREEN
[Symbol]	01	5 GAL	PENSTEMON BACCHARIFOLIUS DIABLO DIABLO ROCK PENSTEMON	EVERGREEN

GROUND COVER

SYMBOL	QTY	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
[Symbol]	4,890 S.F.	ARTIFICIAL TURF	8000
[Symbol]	1,050 S.F.	ORNAMENTAL PLANTING	
[Symbol]	26,950 S.F.	NATIVE PLANTING	

NOTE: ALL PLANTINGS WITHIN 5' WALK AROUND TO BE HERBACEOUS PLANTS ADHERING TO L.A. COUNTY FIRE CODE

MULCH: AGRONIM 852
NOTE: A MIN OF 3" INCH LAYER OF MULCH SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS. 6" DEEP TURF AREAS KEEPING OR TOOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

FUEL MODIFICATION PLAN NOTES

- ZONE A - SETBACK ZONE**
- EXTENDS 30 FEET BEYOND THE EDGE OF ANY COMBUSTIBLE STRUCTURE, ACCESSORY STRUCTURE, APPENDAGE OR PROJECTION. OVERHANGS OR PARTS OF STRUCTURES NOT ACCURATELY REFLECTED ON THE PLANS MAY NEGATE THE APPROVAL OF PLAN LOCATION ON THE APPROVED PLAN.
 - IRRIGATION BY AUTOMATIC OR MANUAL SYSTEMS SHALL BE PROVIDED TO MAINTAIN HEALTHY VEGETATION AND FIRE RESISTANCE
 - VEGETATION IN THIS ZONE SHALL CONSIST PRIMARILY OF GREEN LAWNS, GROUND COVERS NOT EXCEEDING 6 INCHES IN HEIGHT, AND ADEQUATELY SPACED SHRUBS, THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
 - PLANTS IN ZONE A SHALL BE INHERENTLY HIGHLY FIRE RESISTANT AND APPROPRIATELY SPACED. SPECIES SELECTION SHOULD REFERENCE THE FUEL MODIFICATION PLANT LIST. OTHER SPECIES MAY BE USED SUBJECT TO APPROVAL. PLANS RE-SUBMITTED 6 MONTHS AFTER THE INITIAL REVIEW WILL BE EVALUATED BASED ON THE CURRENT FUEL MODIFICATION PLANT LIST, AVAILABLE FROM THE FUEL MODIFICATION UNIT.
 - TREES ARE GENERALLY NOT RECOMMENDED, EXCEPT FOR DWARF VARIETIES OR MATURE TREES SMALL IN STATURE.
 - TARGET SPECIES WILL TYPICALLY NOT BE WITHIN 30 FEET OF COMBUSTIBLE STRUCTURES AND MAY REQUIRE REMOVAL IF EXISTING.
 - VINES AND CLIMBING PLANTS SHALL NOT BE ALLOWED ON ANY COMBUSTIBLE STRUCTURE REQUIRING REVIEW.
- ZONE B - IRRIGATED ZONE**
- EXTENDS FROM THE OUTER EDGE OF ZONE A TO 100 FEET FROM STRUCTURES.
 - IRRIGATION BY AUTOMATIC OR MANUAL SYSTEMS SHALL BE PROVIDED TO MAINTAIN HEALTHY VEGETATION AND FIRE RESISTANCE.
 - VEGETATION IN THIS ZONE SHALL PRIMARILY CONSIST OF GREEN LAWNS, GROUND COVERS, AND ADEQUATELY SPACED SHRUBS AND TREES.
 - UNLESS OTHERWISE APPROVED, GROUND COVERS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 6 INCHES. ON SLOPES, 12 INCHES IS ACCEPTABLE WITHIN 50 FEET OF A STRUCTURE, AND 18 INCHES BEYOND 50 FEET. THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT. SPECIMEN NATIVE PLANTS MAY BE APPROVED TO REMAIN IF PROPERLY MAINTAINED FOR ADEQUATE DEFENSIBLE SPACE. ANNUAL GRASSES OR WEEDS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 3 INCHES.
 - PLANTS SHALL BE FIRE RESISTANT AND APPROPRIATELY SPACED. PLANT SELECTION SHOULD REFERENCE THE FUEL MODIFICATION PLANT LIST. OTHER PLANTS MAY BE USED SUBJECT TO APPROVAL.
 - REPLACEMENT PLANTING TO MEET MINIMUM CITY OR COUNTY SLOPE COVERAGE REQUIREMENTS OR ORDINANCES WILL BE CONSIDERED. IN ALL CASES, THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
 - TARGET SPECIES MAY REQUIRE REMOVAL WITHIN 50 FEET OF STRUCTURES, DEPENDING ON SITE CONDITIONS.
 - ALL TREES, UNLESS OTHERWISE APPROVED, SHALL BE PLANTED FAR ENOUGH FROM STRUCTURES AND FIRE ACCESS ROADS, AS TO NOT OVERHANG ANY STRUCTURE OR ACCESS AT MATURITY.
- ZONE C - NATIVE BRUSH THINNING ZONE**
- EXTENDS FROM THE OUTER EDGE OF ZONE B UP TO 200 FEET FROM STRUCTURES OR TO THE PROPERTY LINE.
 - REQUIRED THINNING AND CLEARANCE WILL BE DETERMINED UPON INSPECTION.
 - IRRIGATION SYSTEMS ARE NOT REQUIRED.
 - VEGETATION MAY CONSIST OF MODIFIED EXISTING NATIVE PLANTS, ADEQUATELY SPACED ORNAMENTAL SHRUBS AND TREES, OR BOTH. REPLACEMENT PLANTING TO MEET MINIMUM CITY OR COUNTY SLOPE COVERAGE REQUIREMENTS OR ORDINANCES WILL BE CONSIDERED. IN ALL CASES, THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
 - PLANTS SHALL BE SPACED APPROPRIATELY. EXISTING NATIVE VEGETATION SHALL BE MODIFIED BY THINNING AND REMOVAL OF PLANTS CONSTITUTING A FIRE RISK. THESE INCLUDE, BUT ARE NOT LIMITED TO: CHAMISE, SAGE, SAGE BRUSH, AND BUCKWHEAT.
 - ANNUAL GRASSES AND WEEDS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 3 INCHES.
 - GENERAL SPACING FOR EXISTING NATIVE SHRUBS OR GROUPS OF SHRUBS IS 15 FEET BETWEEN CANOPIES. NATIVE PLANTS MAY BE THINNED BY REDUCED AMOUNTS AS THE DISTANCE FROM DEVELOPMENT INCREASES.
 - GENERAL SPACING FOR EXISTING NATIVE TREES OR GROUPS OF TREES IS 30 FEET BETWEEN CANOPIES. THIS DISTANCE MAY VARY DEPENDING ON THE SLOPE, ARRANGEMENT OF TREES IN RELATION TO SLOPE, AND THE TREE SPECIES.
- FIRE ACCESS ROAD ZONE**
- EXTENDS A MINIMUM OF 10 FEET FROM THE EDGE OF ANY PUBLIC OR PRIVATE ROAD USED BY FIRE-FIGHTING RESOURCES.
 - CLEAR AND REMOVE FLAMMABLE GROWTH FOR A MINIMUM OF 10 FEET ON EACH SIDE OF FIRE ACCESS ROADS. (FIRE CODE 325.10) ADDITIONAL CLEARANCE BEYOND 10 FEET MAY BE REQUIRED UPON INSPECTION.
 - FIRE ACCESS ROADS, DRIVEWAYS AND TURNAROUNDS SHALL BE MAINTAINED IN ACCORDANCE WITH FIRE CODE. FIRE ACCESS ROADS SHALL HAVE UNOBSTRUCTED VERTICAL CLEARANCE CLEAR TO THE SKY FOR A WIDTH OF 20 FEET. (FIRE CODE 503.1)
 - REMAINING PLANTS SHALL BE APPROPRIATELY SPACED AND MAINTAINED TO PROVIDE SAFE EGRESS IN WILDLAND FIRE ENVIRONMENTS.
 - ALL TREES, UNLESS OTHERWISE APPROVED, SHALL BE PLANTED FAR ENOUGH FROM STRUCTURES AND FIRE ACCESS ROADS, AS TO NOT OVERHANG ANY STRUCTURE OR ACCESS AT MATURITY.

- MAINTENANCE**
- ROUTINE MAINTENANCE SHALL BE REGULARLY PERFORMED IN ALL ZONES. REQUIREMENTS INCLUDE ITEMS IN THE FUEL MODIFICATION GUIDELINES AND THOSE OUTLINED BELOW.
- REMOVAL OR THINNING OF UNDESIRABLE COMBUSTIBLE VEGETATION AND REMOVAL OF DEAD OR DYING PLANTS TO MEET MINIMUM BRUSH CLEARANCE REQUIREMENTS.
 - PRUNING AND THINNING TO REDUCE THE OVERALL FUEL LOAD AND CONTINUITY OF FUELS.
 - FUEL LOADS SHALL BE REDUCED BY PRUNING LOWER BRANCHES OF TREES AND TREE-FORM SHRUBS TO 1/2 OF THEIR HEIGHT, OR 6 FEET FROM LOWEST HANGING BRANCHES TO THE GROUND, TO HELP PREVENT FIRE FROM SPREADING AND MAKE MAINTENANCE EASIER. TREES WITH UNDERSTORY PLANTS SHOULD BE LIMBED UP AT LEAST THREE TIMES THE HEIGHT OF THE UNDERLYING VEGETATION OR UP TO ONE THIRD THE HEIGHT OF THE TREE, WHICHEVER IS LESS, TO HELP PREVENT FIRE FROM SPREADING UPWARD INTO THE CROWN.
 - ACCUMULATED PLANT LITTER AND DEAD WOOD SHALL BE REMOVED. DEBRIS AND TRIMMINGS PRODUCED BY MAINTENANCE SHOULD BE REMOVED FROM THE SITE OR CHIPPED AND EVENLY DISPERSED IN THE SAME AREA TO A MAXIMUM DEPTH OF 6 INCHES.
 - ALL INVASIVE SPECIES AND THEIR PARTS SHOULD BE REMOVED FROM THE SITE.
 - MANUAL AND AUTOMATIC IRRIGATION SYSTEMS SHALL BE MAINTAINED FOR OPERATIONAL INTEGRITY AND PROGRAMMING. EFFECTIVENESS SHOULD BE REGULARLY EVALUATED TO AVOID OVER OR UNDER-WATERING.
 - COMPLIANCE WITH THE FIRE CODE IS A YEAR-ROUND RESPONSIBILITY. ENFORCEMENT WILL OCCUR FOLLOWING INSPECTION BY THE FIRE DEPARTMENT. ANNUAL INSPECTIONS FOR BRUSH CLEARANCE CODE REQUIREMENTS ARE CONDUCTED FOLLOWING THE NATURAL DRYING OF GRASSES AND FINE FUELS, BETWEEN THE MONTHS OF APRIL AND JUNE DEPENDING ON THE REGION. INSPECTION FOR COMPLIANCE WITH AN APPROVED FUEL MODIFICATION PLAN MAY OCCUR AT ANY TIME OF YEAR.
 - BRUSH CLEARANCE ENFORCEMENT ISSUES ON ADJACENT PROPERTIES SHOULD BE DIRECTED TO THE COUNTY OF LOS ANGELES FIRE DEPARTMENT'S BRUSH CLEARANCE UNIT AT (626) 969-2375.
 - ALL FUTURE PLANTINGS SHALL BE IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT FUEL MODIFICATION GUIDELINES AND APPROVED PRIOR TO INSTALLATION. CHANGES TO THE APPROVED PLAN WHICH REQUIRE AN ADDITIONAL PLAN REVIEW WILL INCUR A PLAN REVIEW FEE.
 - QUESTIONS REGARDING LANDSCAPE PLANTING AND MAINTENANCE WITH REGARD TO FIRE SAFETY SHOULD BE DIRECTED TO THE FIRE DEPARTMENT'S FUEL MODIFICATION UNIT AT (626) 969-5205.

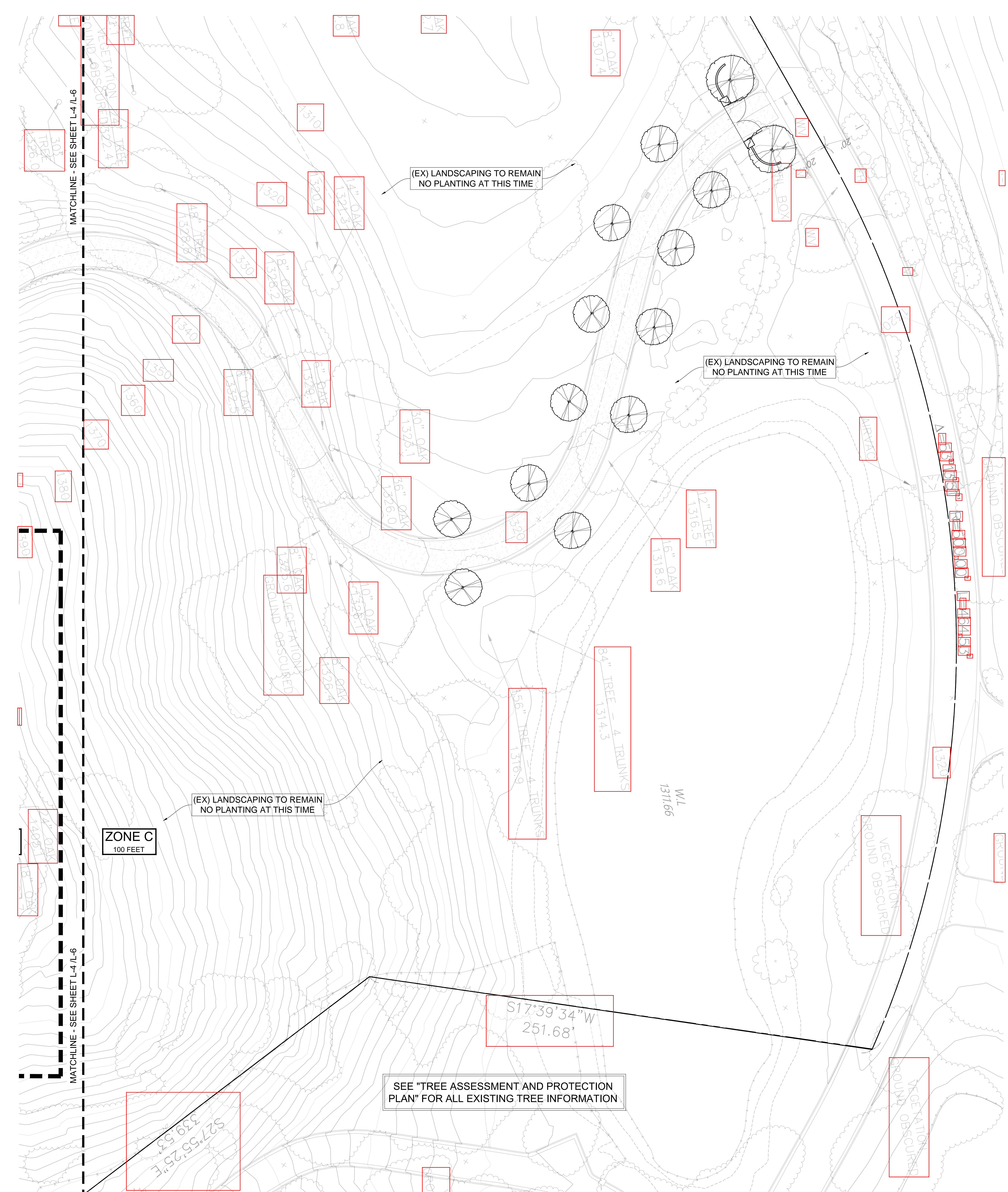
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SINGLE FAMILY RESIDENCE
2551 WHITE STALLION ROAD
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FUEL MODIFICATION PLAN
CONCEPTUAL PLANS
FOR PLAN CHECK ONLY

DATE: FEBRUARY 9, 2021
DRAWN: [Signature]
SCALE: 1"=20'-0"

L-6
OF 7 PLOTTED: 2/9/21



FUEL MODIFICATION GUIDELINES

VEGETATION SHALL BE MAINTAINED AS APPROVED. THE FOLLOWING NOTES SHALL BE ADHERED TO.

MAINTENANCE OF ZONE A: 30 FEET FROM EDGE OF THE STRUCTURE TO A DISTANCE OF 30 FEET

- PROVIDE FOR 5FT FIRE DEPARTMENT WALK AROUND WITH HERBACEOUS PLANTS
- RECOMMENDED TO PLACE WALKWAYS, PATIOS, SPORTS COURTS ETC. ABUTTING STRUCTURE
- AVOID PLANTING WOODY PLANTS WITHIN 10 FEET OF STRUCTURE
- USE HERBACEOUS PLANTS, SUCULENTS, LOW GROWING GRASSES AND GRASS LIKE PLANTS
- USE INORGANIC MULCHES SUCH AS GRAVEL WITHIN 10 FEET OF THE STRUCTURE. DO NOT USE RECYCLED RUBBER.
- SMALL TREE SPECIES (15'-25' IN HEIGHT) MAY BE PLANTED 10' FROM STRUCTURE IF USED SPARINGLY
- NO CLIMBING VINES ON STRUCTURES
- REMOVE DEAD AND DOWN PLANT MATERIAL, WOOD PILES, PATIO FURNITURE, ETC.

MAINTENANCE OF ZONE B: 70 FEET

- ARRANGE PLANTS AND LIMIT DENSITIES SO NOT TO CREATE LADDER FUELS OR DENSE THICKETS OF VEGETATION
- DENSITIES CAN BE INCREASED SLIGHTLY IN THIS ZONE

MAINTENANCE OF ZONE C: 100 FEET

- MAINTENANCE EXCEEDING 100 FEET BUT NOT TO EXCEED 200 FROM STRUCTURES MAY BE DEEMED NECESSARY BY THE FIRE OFFICIAL IN ACCORDANCE WITH SECTION 325.2.2 OF THE LOS ANGELES COUNTY FIRE CODE (CLEARANCE OF BRUSH AND VEGETATION GROWTH, EXTRA HAZARD)

NOTE: ALL FUEL MODIFICATION ZONES ARE TERMINATED AT THE SUBJECT PARCEL/TRACT BOUNDARY

MAINTENANCE: YEAR ROUND

- CLEAR ALL LEAVES, LITTER AND DEBRIS FROM RAIN GUTTERS, ROOFS AND ACCUMULATIONS AGAINST STRUCTURES
- REGULARLY REMOVE ALL DEAD VEGETATION, FLAMMABLE DEBRIS, FLAMMABLE PATIO FURNITURE FROM LANDSCAPE
- STORE WOOD PILES, COMPOST BINS, MULCH BINS, ETC. 30' FROM STRUCTURES
- CUT AND REMOVE ANNUAL GRASSES DOWN TO 4 INCHES
- IRRIGATION OF ANY FORM SHALL BE APPLIED TO MAINTAIN HIGH FUEL MOISTURE. IRRIGATION TO NATIVE PLANTS IS BENEFICIAL IN SMALL AMOUNTS 1-2 TIMES PER MONTH DURING SUMMER MONTHS

PROPOSED PLANT LEGEND

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
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TREES				
	1	36" BOX	ARBUS USNEO 'MARINA' MARINA STRAVERBERRY TREE	EVERGREEN STD TRUNK
	1	36" BOX	LAGERSTROEMIA INDICA 'TUSCARORA' TUSCARORA GRAPE MYRTLE	DECIDUOUS STD TRUNK
	1	36" BOX	ACACIA SALIGNA 'BLUE-LEAF' KEEPING WATTLE	EVERGREEN LB
	2	36" BOX	OLEA EUROPAEA 'MAJESTIC BEAUTY' MAJESTIC BEAUTY FRUITLESS OLIVE	EVERGREEN MULTI TRUNK
	1	36" BOX	PARKINSONIA HYBRID 'AZT' PALM VERDE THORNLESS HYBRID	EVERGREEN STD

VINES				
	15	5 GAL	CALLIANDRA HAEMATOCEPHALA PINK POWDER PUFF	EVERGREEN STAKED

SHRUBS				
	5	5 GAL	AGAVE ATTENUATA 'FOXTAIL AGAVE'	EVERGREEN
	5	5 GAL	CALLISTEMON VIMINALIS 'SLIM' SLIM BOTTLEBRUSH	EVERGREEN
	5	5 GAL	CISTUS PULVERULENTUS 'SUNSET' MAGENTA ROCK ROSE	EVERGREEN
	5	5 GAL	HELICTOTRICHON SEX 'SAPPHIRE' SAPPHIRE BLUE OAT GRASS	EVERGREEN
	15	5 GAL	LIGUSTRUM JAP 'TEXANUM' REXLEAF PRIVET	EVERGREEN STAKED
	1	1 GAL	NASSELLA TENNESSENSIS MEXICAN FEATHER GRASS	EVERGREEN
	5	5 GAL	PHORMIUM TEXAS 'PINK STRIPE' PINK STRIPE FLAX	EVERGREEN
	5	5 GAL	PITTOSPORIUM TOB 'CREME DE MINT' CREME DE MINT DWARF PITTOSPORIUM	EVERGREEN
	5	5 GAL	PITTOSPORIUM TOB 'WHEELER'S DWARF' WHEELER'S DWARF PITTOSPORIUM	EVERGREEN
	1	1 GAL	ROSMARINUS OFFICINALIS 'PROSTRATE' PROSTRATE ROSEMARY	EVERGREEN
	1	1 GAL	SENEGIO MANDRALISCAE BLUE CHALK STICKS	SUCULENT
	1	1 GAL	TEUCRIUM X LIGUDRY'S WALL GERMANDER	EVERGREEN
	5	5 GAL	WESTRINGIA FRU 'MUNDI' DWARF MUNDI COAST ROSEMARY	EVERGREEN

SHRUBS - NATIVE				
	1	1 GAL	AQUILEGIA FORMOSA WESTERN COLUMBINE	EVERGREEN
	1	1 GAL	BACCHARIS PILLULARIS 'TWIN PEAKS' PROSTRATE COYOTE BUSH	EVERGREEN
	5	5 GAL	GEANTHUS GRIS HOR 'YANKEE POINT' YANKEE POINT CALIFORNIA LILAC	EVERGREEN
	5	5 GAL	GEANTHUS GRIS HOR 'CONCHA' CONCHA CALIFORNIA LILAC	EVERGREEN
	5	5 GAL	EPILOBUM CAL 'EVERETT'S CHOICE' GHOSTLY RED CALIFORNIA FUCHSIA	EVERGREEN
	5	5 GAL	LAVATERA MARITIMA MEDITERRANEAN TREE MALLOW	EVERGREEN
	1	1 GAL	LUPINUS ENGIPIBUS GRAPE SODA LUPINE	EVERGREEN
	1	1 GAL	MIMULUS AURANTIACUS STICKY MONKEY FLOWER	EVERGREEN
	1	1 GAL	PENSTEMON BACCHARIFOLIUS DIABLO DIABLO ROCK PENSTEMON	EVERGREEN

GROUND COVER				
	4,890	S.F.	ARTIFICIAL TURF	50P
	7,050	S.F.	ORNAMENTAL PLANTING	
	26,450	S.F.	NATIVE PLANTING	

NOTE: ALL PLANTINGS WITHIN 5' WALK AROUND TO BE HERBACEOUS PLANTS ADHERING TO L.A. COUNTY FIRE CODE

NOTE: A MIN. OF 3" INCH LAYER OF MULCH SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CEILING OR TOOTHING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED

FUEL MODIFICATION PLAN NOTES

ZONE A - SETBACK ZONE

- EXTENDS 30 FEET BEYOND THE EDGE OF ANY COMBUSTIBLE STRUCTURE, ACCESSORY STRUCTURE, APPENDAGE OR PROJECTION, OVERHANGS OR PARTS OF STRUCTURES NOT ACCURATELY REFLECTED ON THE PLANS MAY NEGATE THE APPROVAL OF PLANT LOCATION ON THE APPROVED PLAN.
- IRRIGATION BY AUTOMATIC OR MANUAL SYSTEMS SHALL BE PROVIDED TO MAINTAIN HEALTHY VEGETATION AND FIRE RESISTANCE
- VEGETATION IN THIS ZONE SHALL CONSIST PRIMARILY OF GREEN LAWNS, GROUND COVERS NOT EXCEEDING 6 INCHES IN HEIGHT, AND ADEQUATELY SPACED SHRUBS, THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
- PLANTS IN ZONE A SHALL BE INHERENTLY HIGHLY FIRE RESISTANT AND APPROPRIATELY SPACED. SPECIES SELECTION SHOULD REFERENCE THE FUEL MODIFICATION PLANT LIST. OTHER SPECIES MAY BE USED SUBJECT TO APPROVAL. PLANS RE-SUBMITTED 6 MONTHS AFTER THE INITIAL REVIEW WILL BE EVALUATED BASED ON THE CURRENT FUEL MODIFICATION PLANT LIST, AVAILABLE FROM THE FUEL MODIFICATION UNIT.
- TREES ARE GENERALLY NOT RECOMMENDED, EXCEPT FOR DWARF VARIETIES OR MATURE TREES SMALL IN STATURE.
- TARGET SPECIES WILL TYPICALLY NOT BE ALLOWED WITHIN 30 FEET OF COMBUSTIBLE STRUCTURES AND MAY REQUIRE REMOVAL IF EXISTING.
- VINES AND CLIMBING PLANTS SHALL NOT BE ALLOWED ON ANY COMBUSTIBLE STRUCTURE REQUIRING REVIEW.

ZONE B - IRRIGATED ZONE

- EXTENDS FROM THE OUTER EDGE OF ZONE A TO 100 FEET FROM STRUCTURES.
- IRRIGATION BY AUTOMATIC OR MANUAL SYSTEMS SHALL BE PROVIDED TO MAINTAIN HEALTHY VEGETATION AND FIRE RESISTANCE.
- VEGETATION IN THIS ZONE SHALL PRIMARILY CONSIST OF GREEN LAWNS, GROUND COVERS, AND ADEQUATELY SPACED SHRUBS AND TREES.
- UNLESS OTHERWISE APPROVED, GROUND COVERS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 6 INCHES. ON SLOPES, 12 INCHES IS ACCEPTABLE WITHIN 50 FEET OF A STRUCTURE, AND 18 INCHES BEYOND 50 FEET. THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT. SPECIMEN NATIVE PLANTS MAY BE APPROVED TO REMAIN IF PROPERLY MAINTAINED FOR ADEQUATE DEFENSIBLE SPACE. ANNUAL GRASSES OR WEEDS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 3 INCHES.
- PLANTS SHALL BE FIRE RESISTANT AND APPROPRIATELY SPACED. PLANT SELECTION SHOULD REFERENCE THE FUEL MODIFICATION PLANT LIST. OTHER PLANTS MAY BE USED SUBJECT TO APPROVAL.
- REPLACEMENT PLANTING TO MEET MINIMUM CITY OR COUNTY SLOPE COVERAGE REQUIREMENTS OR ORDINANCES WILL BE CONSIDERED. IN ALL CASES, THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
- TARGET SPECIES MAY REQUIRE REMOVAL WITHIN 50 FEET OF STRUCTURES, DEPENDING ON SITE CONDITIONS.
- ALL TREES, UNLESS OTHERWISE APPROVED, SHALL BE PLANTED FAR ENOUGH FROM STRUCTURES AND FIRE ACCESS ROADS, AS TO NOT OVERHANG ANY STRUCTURE OR ACCESS AT MATURITY.

ZONE C - NATIVE BRUSH THINNING ZONE

- EXTENDS FROM THE OUTER EDGE OF ZONE B UP TO 200 FEET FROM STRUCTURES OR TO THE PROPERTY LINE.
- REQUIRED THINNING AND CLEARANCE WILL BE DETERMINED UPON INSPECTION.
- IRRIGATION SYSTEMS ARE NOT REQUIRED.
- VEGETATION MAY CONSIST OF MODIFIED EXISTING NATIVE PLANTS, ADEQUATELY SPACED ORNAMENTAL SHRUBS AND TREES, OR BOTH. REPLACEMENT PLANTING TO MEET MINIMUM CITY OR COUNTY SLOPE COVERAGE REQUIREMENTS OR ORDINANCES WILL BE CONSIDERED. IN ALL CASES, THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
- PLANTS SHALL BE SPACED APPROPRIATELY. EXISTING NATIVE VEGETATION SHALL BE MODIFIED BY THINNING AND REMOVAL OF PLANTS CONSTITUTING A FIRE RISK. THESE INCLUDE, BUT ARE NOT LIMITED TO: CHAMISE, SAGE, SAGE BRUSH, AND BUCKWHEAT.
- ANNUAL GRASSES AND WEEDS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 3 INCHES.
- GENERAL SPACING FOR EXISTING NATIVE SHRUBS OR GROUPS OF SHRUBS IS 15 FEET BETWEEN CANOPIES. NATIVE PLANTS MAY BE THINNED BY REDUCED AMOUNTS AS THE DISTANCE FROM DEVELOPMENT INCREASES.
- GENERAL SPACING FOR EXISTING NATIVE TREES OR GROUPS OF TREES IS 30 FEET BETWEEN CANOPIES. THIS DISTANCE MAY VARY DEPENDING ON THE SLOPE, ARRANGEMENT OF TREES IN RELATION TO SLOPE, AND THE TREE SPECIES.

FIRE ACCESS ROAD ZONE

- EXTENDS A MINIMUM OF 10 FEET FROM THE EDGE OF ANY PUBLIC OR PRIVATE ROAD USED BY FIRE-FIGHTING RESOURCES.
- CLEAR AND REMOVE FLAMMABLE GROWTH FOR A MINIMUM OF 10 FEET ON EACH SIDE OF FIRE ACCESS ROADS (FIRE CODE 325.10) ADDITIONAL CLEARANCE BEYOND 10 FEET MAY BE REQUIRED UPON INSPECTION.
- FIRE ACCESS ROADS, DRIVEWAYS AND TURNAROUNDS SHALL BE MAINTAINED IN ACCORDANCE WITH FIRE CODE. FIRE ACCESS ROADS SHALL HAVE UNOBSTRUCTED VERTICAL CLEARANCE CLEAR TO THE SKY FOR A WIDTH OF 20 FEET. (FIRE CODE 503.2.1)
- REMAINING PLANTS SHALL BE APPROPRIATELY SPACED AND MAINTAINED TO PROVIDE SAFE EGRESS IN WILDLAND FIRE ENVIRONMENTS.
- ALL TREES, UNLESS OTHERWISE APPROVED, SHALL BE PLANTED FAR ENOUGH FROM STRUCTURES AND FIRE ACCESS ROADS, AS TO NOT OVERHANG ANY STRUCTURE OR ACCESS AT MATURITY.

MAINTENANCE

ROUTINE MAINTENANCE SHALL BE REGULARLY PERFORMED IN ALL ZONES. REQUIREMENTS INCLUDE ITEMS IN THE FUEL MODIFICATION GUIDELINES AND THOSE OUTLINED BELOW:

- REMOVAL OR THINNING OF UNDESIRABLE COMBUSTIBLE VEGETATION AND REMOVAL OF DEAD OR DYING PLANTS TO MEET MINIMUM BRUSH CLEARANCE REQUIREMENTS.
- PRUNING AND THINNING TO REDUCE THE OVERALL FUEL LOAD AND CONTINUITY OF FUELS.
- FUEL LOADS SHALL BE REDUCED BY PRUNING LOWER BRANCHES OF TREES AND TREE-FORM SHRUBS TO 1/3 OF THEIR HEIGHT, OR 6 FEET FROM LOWEST HANGING BRANCHES TO THE GROUND, TO HELP PREVENT FIRE FROM SPREADING AND MAKE MAINTENANCE EASIER. TREES WITH UNDERSTORY PLANTS SHOULD BE LIMBED UP AT LEAST THREE TIMES THE HEIGHT OF THE UNDERLYING VEGETATION OR UP TO ONE THIRD THE HEIGHT OF THE TREE, WHICHEVER IS LESS, TO HELP PREVENT FIRE FROM SPREADING UPWARD INTO THE CROWN.
- ACCUMULATED PLANT LITTER AND DEAD WOOD SHALL BE REMOVED. DEBRIS AND TRIMMINGS PRODUCED BY MAINTENANCE SHOULD BE REMOVED FROM THE SITE OR CHIPPED AND EVENLY DISPERSED IN THE SAME AREA TO A MAXIMUM DEPTH OF 6 INCHES.
- ALL INVASIVE SPECIES AND THEIR PARTS SHOULD BE REMOVED FROM THE SITE.
- MANUAL AND AUTOMATIC IRRIGATION SYSTEMS SHALL BE MAINTAINED FOR OPERATIONAL INTEGRITY AND PROGRAMMING. EFFECTIVENESS SHOULD BE REGULARLY EVALUATED TO AVOID OVER OR UNDER-WATERING.
- COMPLIANCE WITH THE FIRE CODE IS A YEAR-ROUND RESPONSIBILITY. ENFORCEMENT WILL OCCUR FOLLOWING INSPECTION BY THE FIRE DEPARTMENT. ANNUAL INSPECTIONS FOR BRUSH CLEARANCE CODE REQUIREMENTS ARE CONDUCTED FOLLOWING THE NATURAL DRYING OF GRASSES AND FINE FUELS, BETWEEN THE MONTHS OF APRIL AND JUNE DEPENDING ON GEOGRAPHIC REGION. INSPECTION FOR COMPLIANCE WITH AN APPROVED FUEL MODIFICATION PLAN MAY OCCUR AT ANY TIME OF YEAR.
- BRUSH CLEARANCE ENFORCEMENT ISSUES ON ADJACENT PROPERTIES SHOULD BE DIRECTED TO THE COUNTY OF LOS ANGELES FIRE DEPARTMENT'S BRUSH CLEARANCE UNIT AT (626) 969-2375.
- ALL FUTURE PLANTINGS SHALL BE IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT FUEL MODIFICATION GUIDELINES AND APPROVED PRIOR TO INSTALLATION. CHANGES TO THE APPROVED PLAN WHICH REQUIRE AN ADDITIONAL PLAN REVIEW WILL INCUR A PLAN REVIEW FEE.
- QUESTIONS REGARDING LANDSCAPE PLANTING AND MAINTENANCE WITH REGARD TO FIRE SAFETY SHOULD BE DIRECTED TO THE FIRE DEPARTMENT'S FUEL MODIFICATION UNIT AT (626) 969-2375.

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SINGLE FAMILY RESIDENCE
 2551 WHITE STALLION ROAD
 THOUSAND OAKS, CA 91361

FUEL MODIFICATION PLAN - ENTRY GATE

CONCEPTUAL PLANS FOR PLAN CHECK ONLY

FEBRUARY 9, 2021
 Date

Drawn

Scale 1"=20'-0"

L-7

OF 7 PLOTTED 2/9/21

2551 White Stallion Road, Thousand Oaks



2551 White Stallion Rd Thousand Oaks, CA

Stone:

Texas Limestone

Style: Cut Course, Staggard, Linear Pattern

Door & Window Trim:

Black Metal

Concrete:

Top Cast Concrete- Natural Finish

Stucco:

434 Vanilla Cream- Smooth Finish



2551 White Stallion Rd
Thousand Oaks, CA

Stucco:

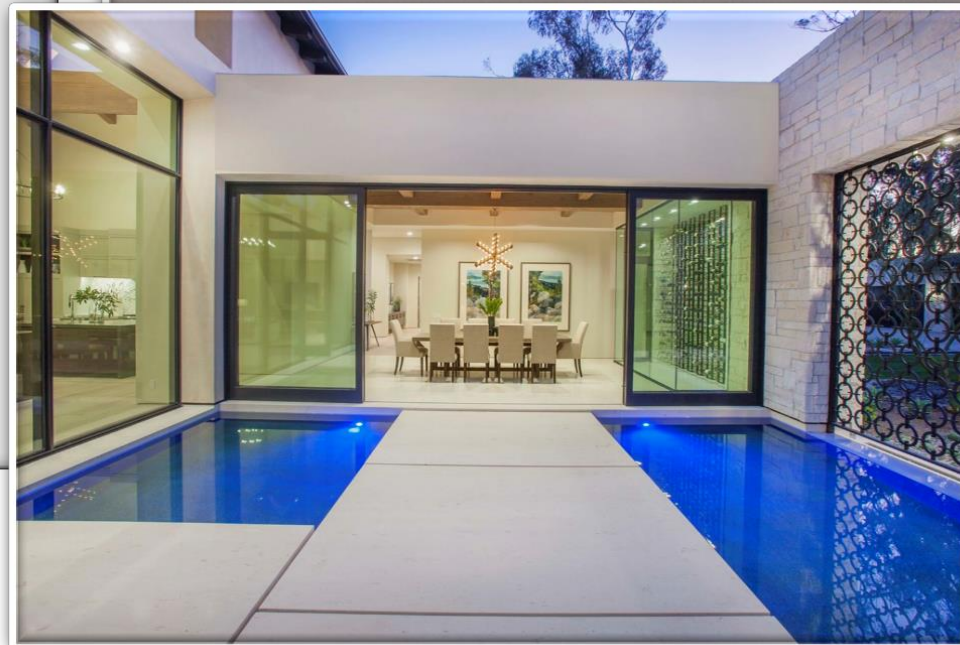
434 Vanilla Cream- Smooth Finish

Door & Window Trim:

Black Metal

Garage Door Stain:

Full Coverage Espresso Finish



434 VANILLA CREAM



Espresso

2551 White Stallion Rd Thousand Oaks, CA

Exterior Trim:

Black Metal

Exterior Wood Accent:

IPE Wood

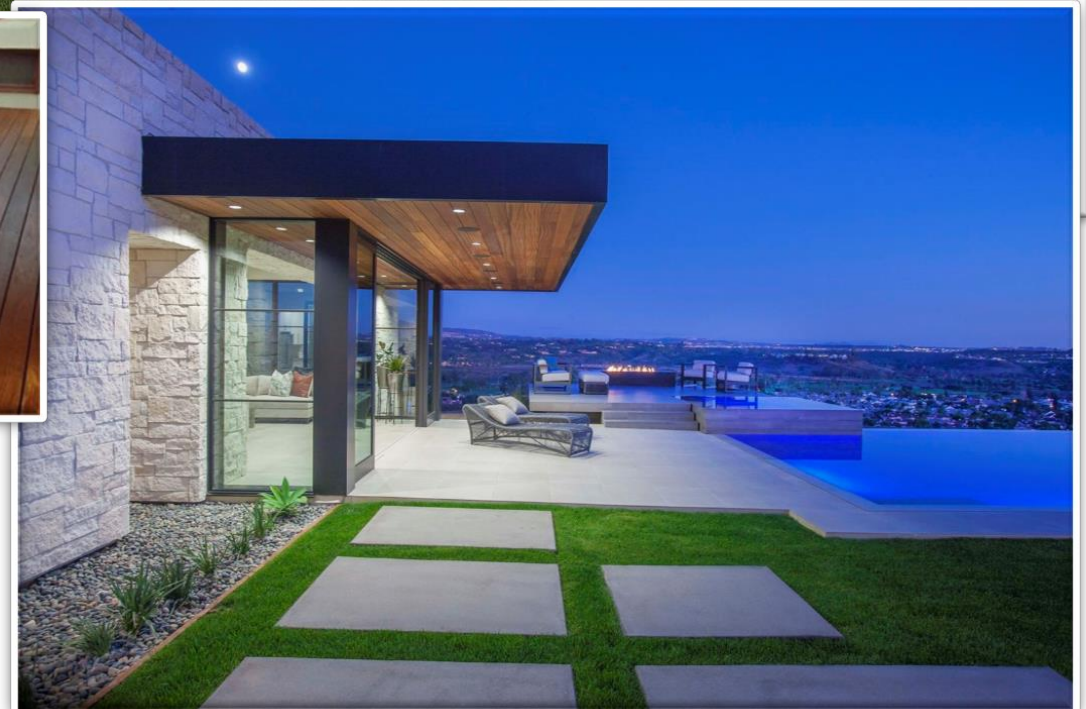
Stone:

Texas Limestone

Style: Course Cut, Staggard, Linear Pattern

Concrete:

Top Cast Concrete- Finish: Natural



2551 White Stallion Rd Thousand Oaks, CA

Eaves Trim Finish:

Full Coverage Espresso Finish

Redlands 2-Piece Baja Clay Roof Tile:

65% Old Sedona

20% Adobe Brown

15% Café Antigua

Install w/ mortar bird stop w/ 100%

field mortar boost and 10% field tile boost



2551 White Stallion Rd
Thousand Oaks, CA

Outdoor Sconces:

Finish: Black metal X-Frame

Size: 36" H – LED (Wet Listed)

