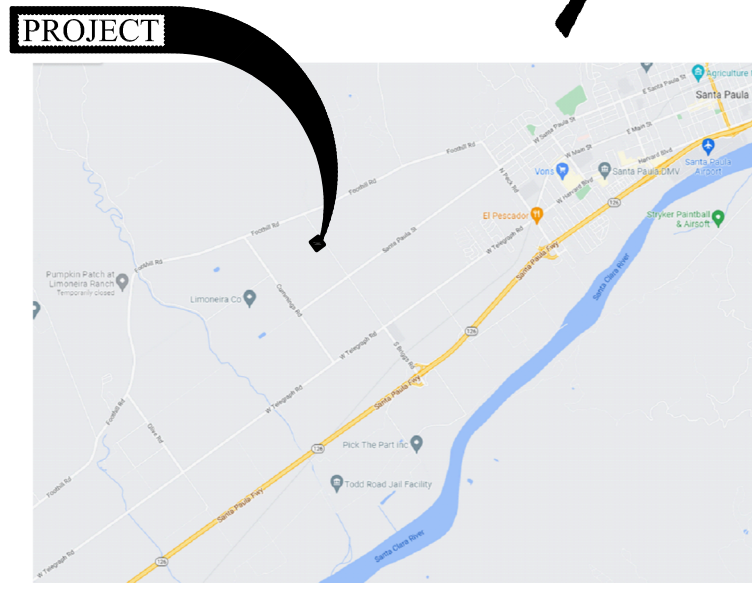


Tax Rate Area  
55002

90-21



Bk.97

Ventura County Assessor's Map.

Assessor's Block Numbers Shown in Ellipses.  
Assessor's Parcel Numbers Shown in Circles.  
Assessor's Mineral Numbers Shown in Squares.

DRAWN	REVISED	6-23-2004
REDRAWN	CREATED	
INKED	PLOTTED	EFFECTIVE
		ROLL
Compiled By Ventura County Assessor's Office		

- KEY NOTES:
- 1 DEMOLISH THE EXISTING 1,200 SQ.FT., SINGLE STORY DWELLING UNIT, INCLUDING FOUNDATION AND ALL ADJACENT IMPROVEMENTS/UTILITIES.
  - 2 DEMOLISH THE EXISTING 2,160 SQ.FT. CORRUGATED METAL GARAGE BUILDING, INCLUDING CONCRETE SLAB AND FOUNDATIONS.
  - 3 EXISTING 4340 SQ.FT. WOOD STORAGE BUILDING TO REMAIN.
  - 4 DEMOLISH THE EXISTING CONCRETE PAD/PARKING AREA.
  - 5 EXISTING MAIN HOUSE/SINGLE FAMILY DWELLING TO REMAIN (NO WORK PROPOSED).
  - 6 EXISTING CITRUS ORCHARDS TO REMAIN.
  - 7 THE ENTIRE AREA WHERE THE HOUSE, SHED, DRIVEWAY AND WALKWAYS HAVE BEEN REMOVED IS TO BE LEFT BARE SOIL AND FREE FROM ALL DEBRIS, SO THAT A NEW DWELLING AND GARAGE BUILDING CAN BE CONSTRUCTED UNDER A SEPARATE/FUTURE PERMIT.

REVISIONS:	DATE:

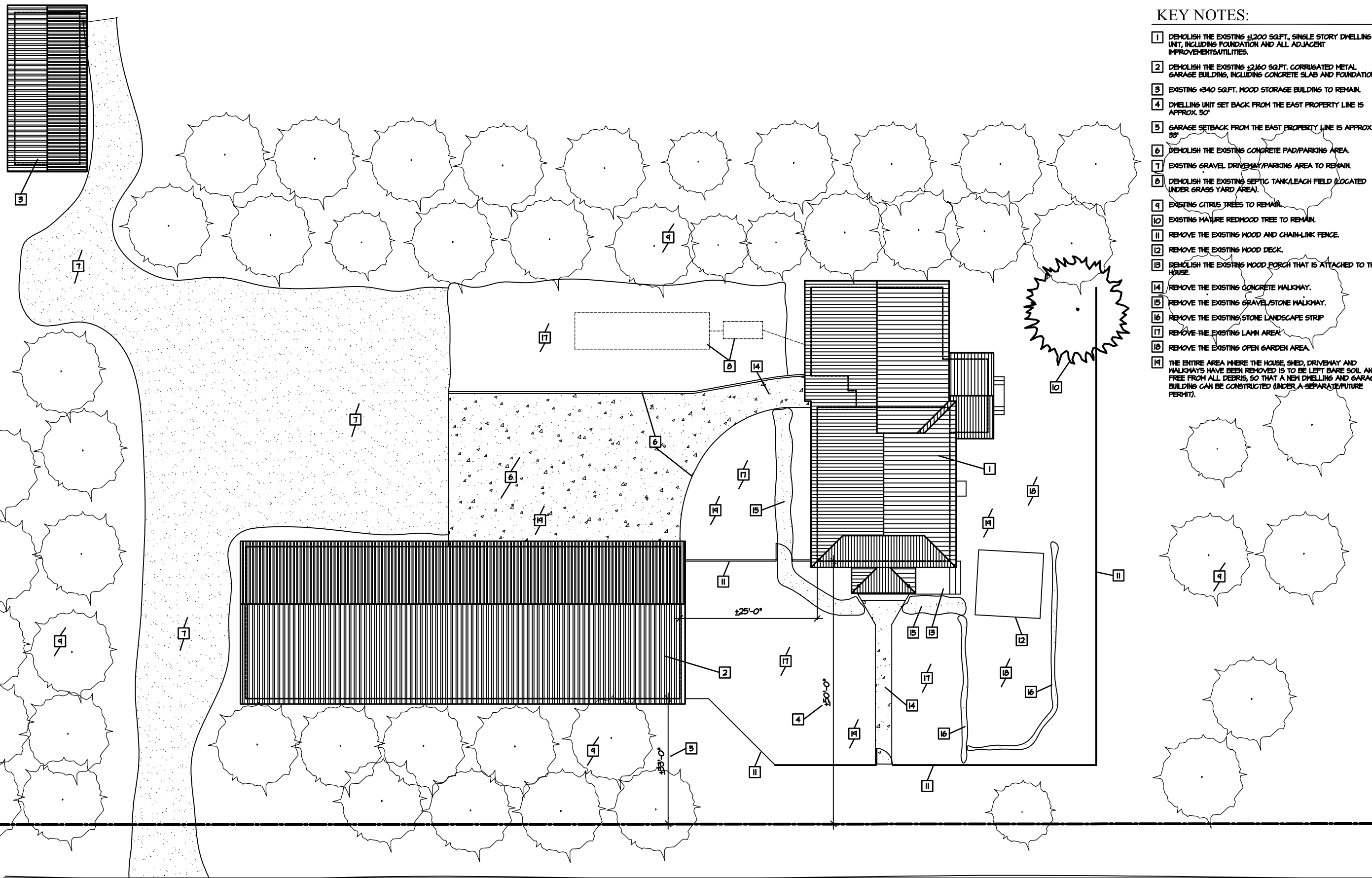
Subic & Associates, Inc.  
architecture & planning  
2353 East Main Street, Ventura, CA 93003  
ph: 805.644.7340 fax: 805.644.7341

OVERALL SITE PLAN / COVER SHEET

RANCH HOUSE  
1057 BRIGGS ROAD  
SANTA PAULA, CALIFORNIA

County of Ventura  
August 29, 2022  
Cultural Heritage Board Meeting  
Item 10a  
Exhibit 1 - Demolition Plan

DATE:	4/1/22
DRAWN:	NKS
JOB NO.:	21190
0	
SHEET NO. OF	



**KEY NOTES:**

- 1 DEMOLISH THE EXISTING 3,200 SQ.FT., SINGLE STORY DWELLING UNIT, INCLUDING FOUNDATION AND ALL ADJACENT IMPROVEMENTS/UTILITIES.
- 2 DEMOLISH THE EXISTING 2,160 SQ.FT. CORRUGATED METAL GARAGE BUILDING, INCLUDING CONCRETE SLAB AND FOUNDATIONS.
- 3 EXISTING 340 SQ.FT. WOOD STORAGE BUILDING TO REMAIN.
- 4 DWELLING UNIT SET BACK FROM THE EAST PROPERTY LINE IS APPROX. 50'
- 5 GARAGE SETBACK FROM THE EAST PROPERTY LINE IS APPROX. 33'
- 6 DEMOLISH THE EXISTING CONCRETE PAD/PARKING AREA.
- 7 EXISTING GRAVEL DRIVEWAY/PARKING AREA TO REMAIN.
- 8 DEMOLISH THE EXISTING SEPTIC TANK/LEACH FIELD (LOCATED UNDER GRASS YARD AREA).
- 9 EXISTING CITRUS TREES TO REMAIN.
- 10 EXISTING MATURE REDWOOD TREE TO REMAIN.
- 11 REMOVE THE EXISTING WOOD AND CHAIN-LINK FENCE.
- 12 REMOVE THE EXISTING WOOD DECK.
- 13 DEMOLISH THE EXISTING WOOD PORCH THAT IS ATTACHED TO THE HOUSE.
- 14 REMOVE THE EXISTING CONCRETE WALKWAY.
- 15 REMOVE THE EXISTING GRAVEL/STONE WALKWAY.
- 16 REMOVE THE EXISTING STONE LANDSCAPE STRIP.
- 17 REMOVE THE EXISTING LAWN AREA.
- 18 REMOVE THE EXISTING OPEN GARDEN AREA.
- 19 THE ENTIRE AREA WHERE THE HOUSE, SHED, DRIVEWAY AND WALKWAYS HAVE BEEN REMOVED IS TO BE LEFT BARE SOIL AND FREE FROM ALL DEBRIS, SO THAT A NEW DWELLING AND GARAGE BUILDING CAN BE CONSTRUCTED UNDER A SEPARATE/FUTURE PERMIT.

REVISIONS:	DATE:

**Subic & Associates, Inc.**  
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**EXISTING SITE PLAN**  
**RANCH HOUSE**  
 1057 BRIGGS ROAD  
 SANTA PAULA, CALIFORNIA

DATE:	4/1/22
DRAWN:	NKS
JOB NO.	21190

1  
SHEET NO. OF

BRIGGS ROAD

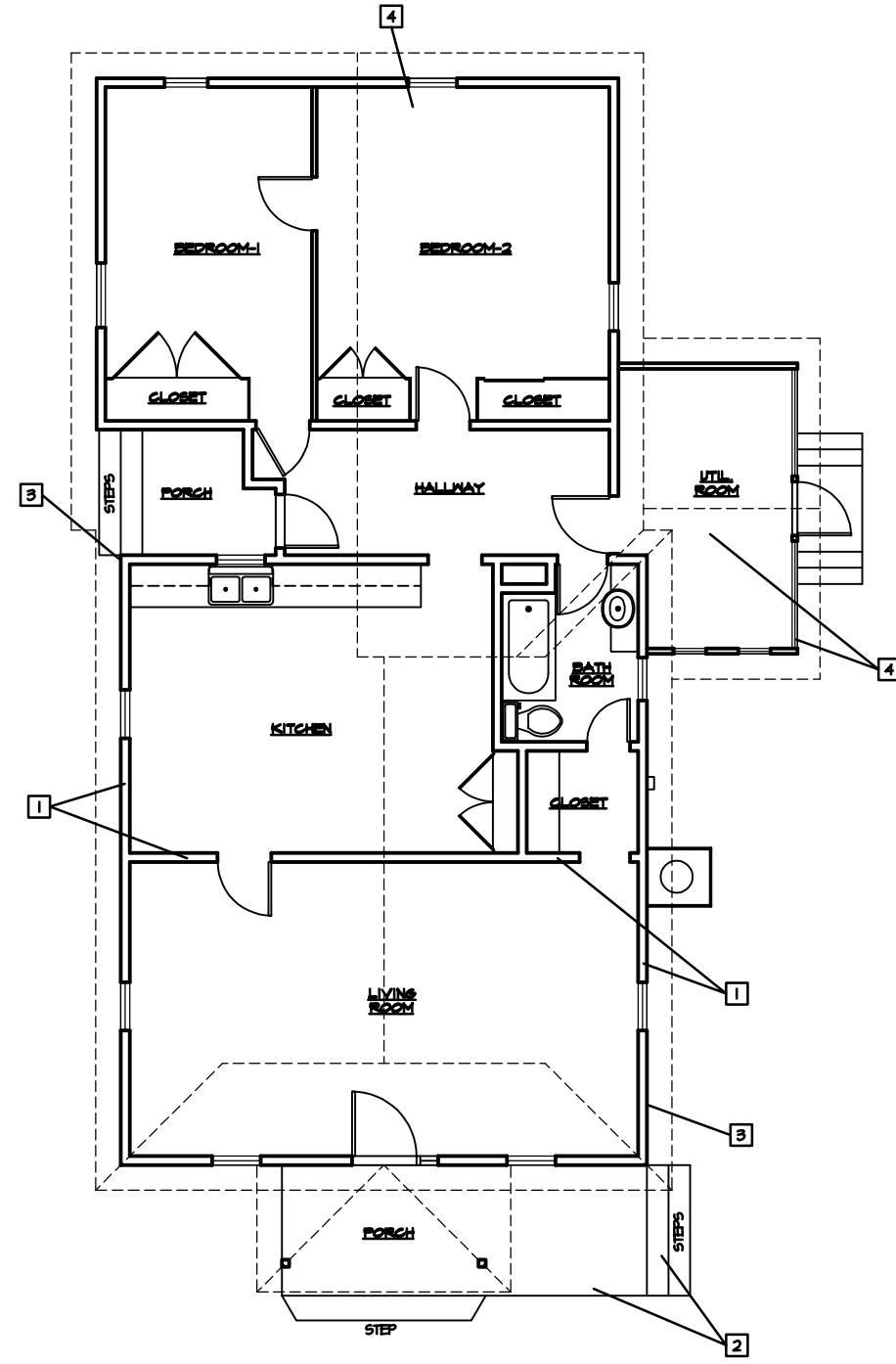
**DEMOLITION SITE PLAN**  
 SCALE: 1/8" = 1'-0"



REVISIONS:	DATE:

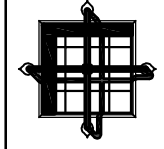
**KEY NOTES:**

- 1 DEMOLISH ALL EXISTING CONSTRUCTION/IMPROVEMENTS, INCLUDING WOOD STUD FRAMED WALLS, DOORS/FRAMES, WINDOWS, CABINETS, FLOORING MATERIALS, FLOOR SHEATHING, CEILING MATERIALS AND CEILING FRAMING, ELECTRICAL, LIGHTING, WIRING, AND PLUMBING.
- 2 REMOVE THE WOOD PORCH, STEPS, AND DECK.
- 3 REMOVES THE EXISTING CONCRETE/STONE FOUNDATION.
- 4 DEMOLISH THE ENTIRE ADDITION AREA, TO INCLUDE THE SIDE PORCH, HALLWAY, BEDROOMS 1&2, AND THE UTILITY ROOM. REMOVE THE CONCRETE/STONE FOUNDATION FROM UNDERNEATH THE ADDITION AREA AND LEAVE THE AREA BELOW CLEAN OF ALL DEBRIS.



**DEMOLITION FLOOR PLAN**  
 SCALE: NTS 1,200 SQ.FT.  
 NORTH  
 0' 1' 2' 4' 8'

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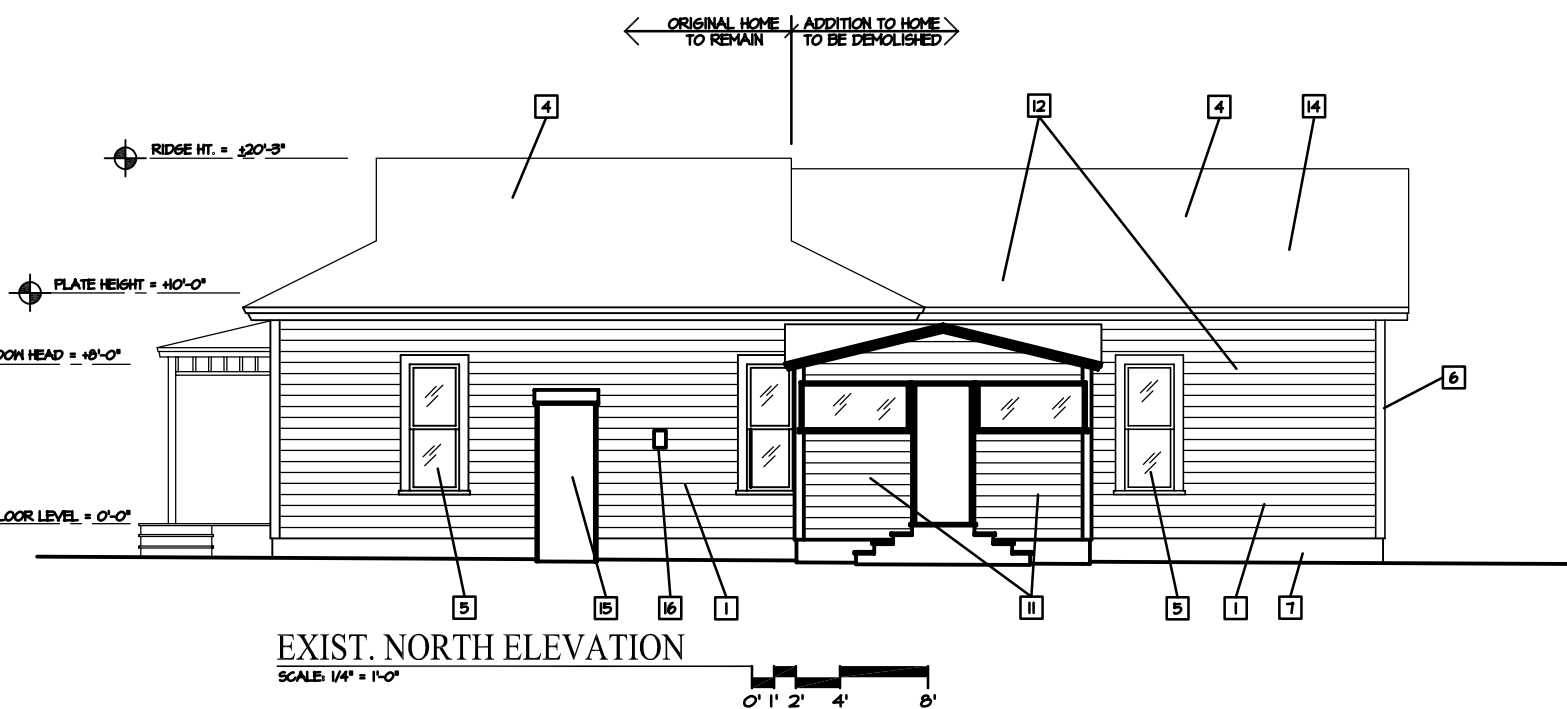
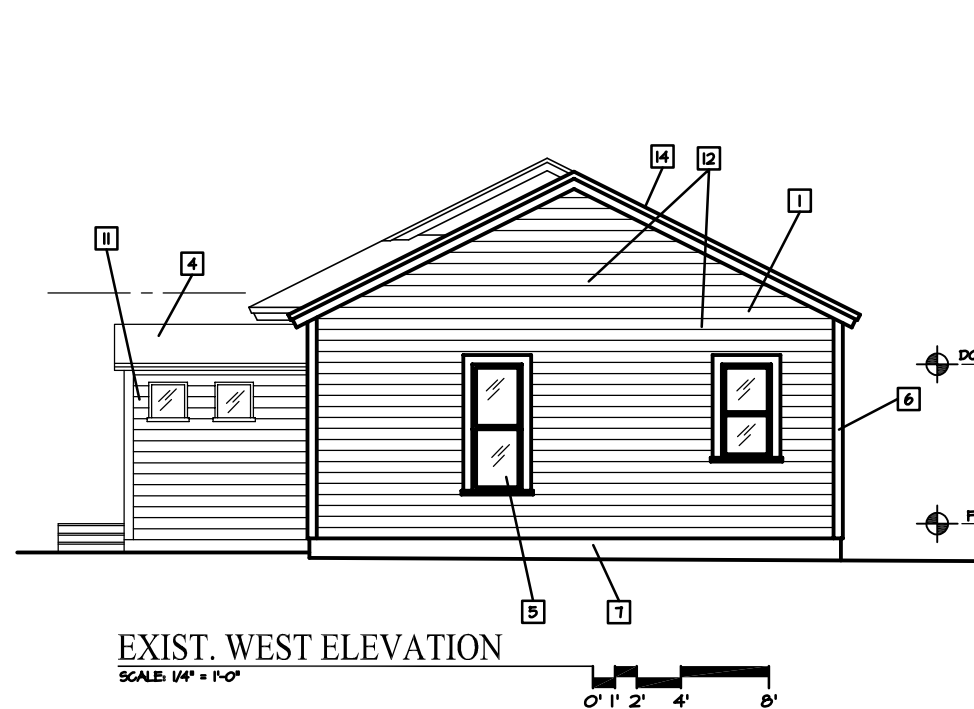
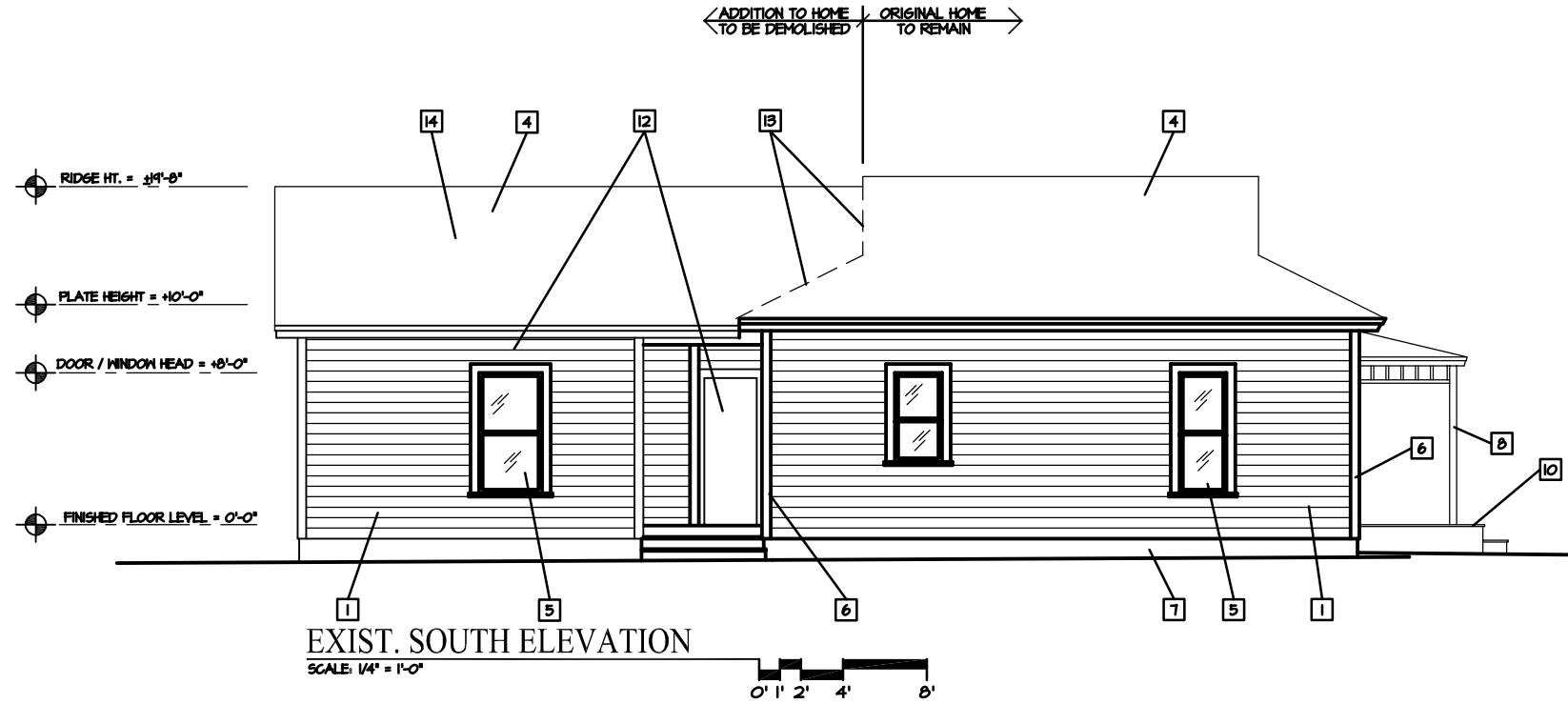


**EXISTING FLOOR PLAN**  
**BRIGGS RD. RANCH HOUSE**  
 1057 BRIGGS ROAD  
 SANTA PAULA, CALIFORNIA

DATE: 4/1/22  
 DRAWN: NKS  
 JOB NO. 21190

KEY NOTES:

- 1 EXISTING PAINTED, HORIZONTAL REDWOOD SIDING.
- 2 EXISTING 1x AND 2x FACIA BOARDS.
- 3 EXISTING SCREENED GABLE VENT.
- 4 EXISTING COMP SHINGLE ROOF MATERIAL WITH METAL DRIP EDGE.
- 5 EXISTING DOUBLE HUNG, SINGLE GLAZED, WOOD WINDOWS.
- 6 EXISTING 1x6 REDWOOD VERTICAL CORNER TRIM.
- 7 EXISTING CONCRETE AND STONE FOUNDATION WALLS.
- 8 EXISTING 4x4 SUPPORT POST.
- 9 EXISTING OAK DOOR WITH SIDELIGHT. THIS DOOR AND SIDELIGHT ARE NOT ORIGINAL TO THE HOUSE.
- 10 EXISTING WOOD DECK AND STAIRS.
- 11 EXISTING LAUNDRY/UTILITY ROOM ADDITION.
- 12 EXISTING HALLWAY AND BEDROOM ADDITION.
- 13 THIS DASHED LINE REPRESENTS THE ORIGINAL ROOF LINE OF THE ORIGINAL HOME.
- 14 THIS PORTION OF THE ROOF IS NOT ORIGINAL TO THE BUILT RESIDENCE.
- 15 EXISTING PLYWOOD WATER HEATER ENCLOSURE. THIS ENCLOSURE IS NOT ORIGINAL TO THE HOME.
- 16 LOCATION OF EXISTING 80A ELECTRICAL PANEL AND BREAKERS.



REVISIONS:	DATE:

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EXTERIOR ELEVATIONS  
**RANCH HOUSE**  
 1057 BRIGGS ROAD  
 SANTA PAULA, CALIFORNIA

DATE:	4/11/22
DRAWN:	NKS
JOB NO.:	21190