Planning Director Staff Report– Hearing on November 4, 2021

County of Ventura · Resource Management Agency

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MCGINITY RESIDENCE COASTAL PLANNED DEVELOPMENT, CASE NO. PL20-0138

A. PROJECT INFORMATION

- Request: The applicant requests approval of a Coastal Planned Development (PD) permit for an addition to an existing single-family dwelling (Case No. PL20-0138).
- **2. Applicant:** Jose Eduardo Gonzalez, 2907 Buckingham Road, Los Angeles, CA 90016
- **3. Property Owner:** Timothy and Gregory McGinity, 3321 Ocean Drive, Oxnard, CA 93035
- **4. Decision-Making Authority:** Pursuant to the Ventura County Coastal Zoning Ordinance (CZO) (Section 8174-5 and Section 8181-3 et seq.), the Planning Director is the decision-maker for the requested PD Permit.
- 5. Project Site Size, Location, and Parcel Number: The 0.06-acre/2,625-square foot project site is located at 3321 Ocean Drive, approximately 180 feet north of Santa Ana Avenue, in the community of Hollywood Beach, in the unincorporated area of Ventura County. The Tax Assessor's parcel number for the parcel that constitutes the project site is 206-0-233-130 (Exhibit 2).
- 6. Project Site Land Use and Zoning Designations (Exhibit 2):
 - a. <u>Countywide General Plan Land Use Map Designation</u>: Residential Beach
 - b. <u>Coastal Area Plan Land Use Map Designation</u>: Residential High, 6.1-36 DU/acre
 - c. Zoning Designation: RBH (Residential Beach Harbor)

7. Adjacent Zoning and Land Uses/Development (Exhibit 2):

Location in Relation to the Project Site	Zoning	Land Uses/Development
North	RBH (Residential Beach Harbor)	Single-family dwellings
East	RBH (Residential Beach Harbor)	Single-family dwellings
South	RBH (Residential Beach Harbor)	Single-family dwellings

Location in Relation to the Project Site	Zoning	Land Uses/Development
West	COS-10 ac (Coastal Open Space, 10 acre minimum parcel size)	Beach

- **9. History:** The subject property is part of the Hollywood Beach Tract (Block A, Lot 48), which was subdivided in 1924. The existing single-family dwelling was originally constructed in 1956 under Building Permit No. 5022 as a single-story home with attached garage. The garage maintains a front setback of 8 foot, 6 inches, which was legally established, but is now non-conforming. In 1981, under Coastal Commission Permit No. 4-81-384 and Zoning Clearance 37070, construction of a second floor over the rear portion of the structure was approved. In 1984, PD No. 1224 was approved authorizing a second-floor addition of a bedroom and bathroom at the front of the residence. This addition was never constructed, and the PD permit expired.
- 10. Project Description: The Project is a request for a Coastal Planned Development (PD) Permit to authorize a 667 square foot (sq. ft.) addition to the second floor of an existing 1,797 sq. ft. two-story single-family beachfront dwelling with a 388 sq. ft. attached two-car garage. The proposed addition includes the addition of 2 bedrooms making the bedroom count 4 and the square footage of the residence to total 2,464 sq. ft. of living space. The project will also include reinforcement of ground floor walls under the proposed addition through the installation of half-inch plywood panels.¹ The existing building coverage is 1,555 sq. ft. and will not increase with the second-story addition. Parking requirements will be met with the existing two-car garage.

Access to the project site is provided by a private driveway which connects to Ocean Drive. Water and sewer services will be provided by Channel Islands Beach Community Services District. (Exhibit 3)

B. CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) COMPLIANCE

Pursuant to CEQA (Public Resources Code Section 21000 et seq.) and the CEQA Guidelines (Title 14, California Code or Regulations, Division 6, Chapter 3, Section 15000 et seq.), the proposed project is subject to environmental review.

The State Legislature through the Secretary for Resources has found that certain classes of projects are exempt from CEQA environmental impact review because they do not have a significant effect on the environment. These projects are declared to be categorically exempt from the requirement for the preparation of environmental impact documents. The proposed project involves an addition to an existing single-family

¹ The project does not constitute a "substantial improvement," because construction costs are estimated to be less than 50 percent of the improvement value on the property (County of Ventura – FEMA 50% Substantial Cost Improvement Breakdown for 3321 Ocean Drive; Blue Coast, Inc.; June 7, 2021).

dwelling. Therefore, the project is determined not to have a significant effect on the environment pursuant to CEQA Section 15301, Existing Facilities. Further, the project will not trigger any of the exceptions to the exemptions listed under CEQA Guidelines Section 15300.2. Therefore, no further environmental review is required.

C. CONSISTENCY WITH THE GENERAL PLAN

The 2040 Ventura County General Plan *Goals, Policies and Programs* (2020, page 1-1) states:

All area plans, specific plans subdivision, public works projects, and zoning decisions must be consistent with the direction provided in the County's General Plan.

Finally, the Ventura County CZO (Section 8181-3.5.a) states that in order to be approved, a project must be found consistent with all applicable policies of the Ventura County Coastal Area Plan.

Evaluated below is the consistency of the proposed project with the applicable policies of the *Ventura County General Plan* Goals, Policies and Programs and *Coastal Area Plan*.

Land Use and Community Character

1. General Plan Policy LU-16.1 (Community Character and Quality of Life): The County shall encourage discretionary development to be designed to maintain the distinctive character of unincorporated communities, to ensure adequate provision of public facilities and services, and to be compatible with neighboring uses.

General Plan Policy LU-16.8 (Residential Design that Complements the Natural Environment): The County shall encourage discretionary development that incorporates design features that provide a harmonious relationship between adjoining uses and the natural environment.

General Plan Policy LU-16.9 (Building Orientation and Landscaping): The County shall encourage discretionary development to be oriented and landscaped to enhance natural lighting, solar access, and passive heating or cooling opportunities to maximize energy efficiency.

General Plan Policy COS-3.1 (Scenic Roadways): The County shall protect the visual character of scenic resources visible from state or County designated scenic roadways.

Coastal Act Section 30250(a) (Location; Existing Developed Area): New residential, commercial, or industrial development, except as otherwise provided in this division, shall be located within, contiguous with, or in close proximity to, existing developed areas able to accommodate it or, where such areas are not

able to accommodate it, in other areas with adequate public services and where it will not have significant adverse effects, either individually or cumulatively, on coastal resources. In addition, land divisions, other than leases for agricultural uses, outside existing developed areas shall be permitted only where 50 percent of the usable parcels in the area have been developed and the created parcels would be no smaller than the average size of surrounding parcels.

Coastal Act Section 30251 (Scenic and Visual Qualities): The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect views to and along the ocean and scenic coastal areas, to minimize the alteration of natural land forms, to be visually compatible with the character of surrounding areas, and, where feasible, to restore and enhance visual quality in visually degraded areas. New development in highly scenic areas such as those designated in the California Coastline Preservation and Recreation Plan prepared by the Department of Parks and Recreation and by local government shall be subordinate to the character of its setting.

Coastal Act Section 30253(e) (Minimization of Adverse Impacts): New development shall do all of the following:

(e) Where appropriate, protect special communities and neighborhoods that, because of their unique characteristics, are popular visitor destination points for recreational uses.

The project site is zoned RBH (Residential Beach Harbor) and is located between Ocean Drive and Hollywood Beach. The purpose and intent of the RBH zone is to provide for development and preservation of unique beach-oriented residential communities with small-lot subdivision patterns. The single-family dwelling is located on a 35-foot-wide by 75-foot-long lot, which is the standard lot configuration in the Hollywood Beach Tract. The permitted maximum building coverage in the RBH zone is 65 percent; the dwelling and proposed addition will have a building coverage of 64 percent. The project will result in no increase in height from the existing two-story dwelling, which is 23 feet. The proposed project includes the construction of a second-floor addition at the front (street side) of the residence. When considered within the existing community of dwellings that currently obstruct public views of the beach, the project would not lead to a significant adverse impact to public views as seen from Ocean Drive.

The proposed residential addition would not degrade or significantly alter the existing scenic of visual qualities of the Hollywood Beach community and will be similar in visual character (e.g., size, scale, and style) to other residential dwellings in the surrounding area. In the immediate vicinity of the project site, neighboring homes vary in size from 1,100 sq. ft. to 5,300 sq. ft. and include a variety of architectural styles and forms. With the proposed addition, the residence would be within the range of house sizes in the area. Therefore, the single-family dwelling

addition would be visually compatible with the character of the surrounding area and will not significantly degrade visual resources or obscure significant views both from and to the coast.

Based on the above discussion, the proposed project is consistent with *Ventura County General Plan* Land Use and Community Character Policies LU-16.1, LU-16.8, LU-16.9, and COS-3.1 and Coastal Act Sections 30250(a), 30251, and 30253(e).

Circulation, Transportation and Mobility

2. General Plan Policy CTM-1.1 (Vehicle Miles Travelled (VMT) Standards and CEQA Evaluation): The County shall require evaluation of County General Plan land use designation changes, zone changes, and discretionary development for their individual (i.e., project-specific) and cumulative transportation impacts based on Vehicle Miles Traveled (VMT) under the California Environmental Quality Act (CEQA) pursuant to the methodology and thresholds of significance criteria set forth in the County Initial Study Assessment Guidelines.

General Plan Policy CTM-1.4 (Level of Service Evaluation) County General Plan land use designation changes and zone changes shall be evaluated for their individual (i.e., project-specific) and cumulative effects, and discretionary developments shall be evaluated for their individual effects, on Level of Service (LOS) on existing and future roads, to determine whether the project:

- Would cause existing roads within the Regional Road Network or Countymaintained roadways that are currently functioning at an acceptable LOS to function below an acceptable LOS;
- Would add traffic to existing roads within the Regional Road Network or County-maintained roadways that are currently functioning below an acceptable LOS; and
- c. Could cause future roads planned for addition to the Regional Road Network or County maintained roadways to function below an acceptable LOS. d. The Level of Service (LOS) evaluation shall be conducted based on methods established by the County.

General Plan Policy CTM-1.7 (Pro Rata Share of Improvements): The County shall require discretionary development that would generate additional traffic pays its pro rata share of the cost of added vehicle trips and the costs of necessary improvements to the Regional Road Network pursuant to the County's Traffic Impact Mitigation Fee Ordinance.

Coastal Act Section 30253(d) (Minimization of Adverse Impacts): New development shall do all of the following:

(d) Minimize energy consumption and vehicle miles traveled.

The existing single-family dwelling connects to the County roadway network by way of a private driveway to Ocean Drive. Ventura County Public Works Agency Roads and Transportation Department staff have reviewed the proposed project and determined that approval of the project will not result in the degradation of LOS for any identified roadway segments or intersections within the project area. Because the proposed addition will not generate additional traffic, there is no need to pay for a pro-rata share of Regional Road Network improvements.

The California Natural Resources Agency has adopted new CEQA Guidelines that require an analysis of vehicle miles travelled (VMT). Based on guidance provided by the Office of Planning and Research (OPR), certain projects may be screened out of requiring VMT analysis, because their impacts are known to be less than significant. Screened projects include those that generate fewer than 110 average daily vehicle trips. As proposed, the project will not generate additional vehicle trips beyond what the existing single-family dwelling already generates. Based on this, the project is exempt from further VMT analysis.

Based upon the above discussion, the proposed project is consistent with *Ventura County General Plan* Circulation, Transportation and Mobility Policies CTM-1.1, CTM-1.4, and CTM-1.7, and Coastal Act Section 30253(d).

Public Facilities, Services, and Infrastructure, Water Resources, Hazards and Safety

3. General Plan Policy PFS-1.7 (Public Facilities, Services, and Infrastructure): The County shall only approve discretionary development in locations where adequate public facilities, services, and infrastructure are available and functional, under physical construction, or will be available prior to occupancy.

General Plan Policy WR-1.11 (Adequate Water for Discretionary Development): The County shall require all discretionary development to demonstrate an adequate long-term supply of water.

General Plan Policy WR-3.2 (Water Use Efficiency for Discretionary Development): The County shall require the use of water conservation techniques for discretionary development, as appropriate. Such techniques include low-flow plumbing fixtures in new construction that meet or exceed the California Plumbing Code, use of graywater or reclaimed water for landscaping, retention of stormwater runoff for direct use and/or groundwater recharge, and landscape water efficiency standards that meet or exceed the standards in the California Model Water Efficiency Landscape Ordinance.

The existing dwelling is served by the Channel Islands Beach Community Services District (CIBCSD) for both water and wastewater disposal. A recent water bill (dated December 1, 2020) provides verification of service. CIBCSD is a member of the Port Hueneme Water Agency. Port Hueneme Water Agency maintains an Urban Water Management Plan (UWMP), which it implements and regularly updates to ensure a long-term sustainable water supply for its users. CIBCSD has an approved Water Availability Letter on file with the Ventura County Public Works Agency (May 18, 2015).

The proposed project will be required to meet the standards of the California Plumbing Code and California Building Code. These standards include requirements for water conservation, low flow plumbing fixtures, and efficient appliances. No landscaping is proposed as part of this project.

The project will not interrupt the continued delivery of emergency services or significantly degrade service levels for Police and Fire within the Hollywood Beach community. Ventura County Fire Protection District (VCFPD) Station 53 is approximately 5.3 miles southeast in the City of Port Hueneme. VCFPD does maintain a mutual aid agreement with the City of Oxnard, which operates Oxnard Fire Department Station 6, located 1.5 miles north of the project site. Police services are provided by the Ventura County Sheriff, with the nearest station at the County Government Center, approximately 9 miles north. The Oxnard Police Department, located at 251 South C Street, 5.5 miles northeast of the project site, may also respond to emergencies.

The site is in the Oxnard School District and Oxnard Union High School District. The nearest library is also in the City of Oxnard (Oxnard Public Library, 251 South A Street, 5.5 miles northeast of the project site). There are no nearby County parks, but the project site is immediately adjacent to a state beach. Additionally, Oxnard Beach Park is located 1.8 miles north in the City of Oxnard.

Access to the site is by way of Ocean Drive, a public road. The project site's Ocean Drive frontage has been improved with a rolled curb, gutter, and sidewalk.

Based upon the above discussion, the proposed project is consistent with *Ventura County General Plan* Public Facilities, Services, and Infrastructure Policy PFS-1.7 and Water Resources Policies WR-1.11 and WR-3.2.

4. General Plan Policy PFS-5.9 (Waste Reduction Practices for Discretionary Development): The County shall encourage applicants for discretionary development to employ practices that reduce the quantities of wastes generated and engage in recycling activities to further reduce the volume of waste disposed of in landfills.

The proposed residential addition would not result in a significant generation of waste. CIBCSD will continue to provide curbside garbage and recycling pickup services to the project site.

As required by California Public Resources Code (PRC) 41701, Ventura County's Countywide Siting Element (CSE), adopted in June 2001 and updated annually, Ventura County has at least 15 years of disposal capacity available for waste generated by in-County projects. Because the County currently exceeds the minimum disposal capacity required by the state PRC, the proposed project will have less than a significant project-specific impact upon Ventura County's solid waste disposal capacity. Ventura County Ordinance 4421 requires all discretionary permit applicants whose proposed project includes construction and/or demolition activities to reuse, salvage, recycle, or compost a minimum of 65% of the solid waste generated by their project. The Integrated Waste Management Division's (IWMD) waste diversion program (Form B Recycling Plan/Form C Report) ensures this 65% diversion goal is met prior to Building and Safety Division's issuance certificate of occupancy, consistent with the Ventura County General Plan. The project has been conditioned to address recycling during the demolition and construction phases of the project (Exhibit 4, Condition Nos. 18 and 19).

Based on the above discussion, the proposed project is consistent with Ventura County General Plan Public Facilities, Services, and Infrastructure Policy PFS-5.9.

5. General Plan Policy PFS-6.1 (Flood Control and Drainage Facilities Required for Discretionary Development): The County shall require discretionary development to provide flood control and drainage facilities, as deemed necessary by the County Public Works Agency and Watershed Protection District. The County shall also require discretionary development to fund improvements to existing flood control facilities necessitated by or required by the development.

General Plan Policy PFS-6.5 (Stormwater Drainage Facilities): The County shall require that stormwater drainage facilities are properly designed, sited, constructed, and maintained to efficiently capture and convey runoff for flood protection and groundwater recharge.

General Plan Policy WR-2.2 (Water Quality Protection for Discretionary Development): The County shall evaluate the potential for discretionary development to cause deposition and discharge of sediment, debris, waste, and other contaminants into surface runoff, drainage systems, surface water bodies, and groundwater. In addition, the County shall evaluate the potential for discretionary development to limit or otherwise impair later reuse or reclamation of wastewater or stormwater. The County shall require discretionary development to minimize potential deposition and discharge through point source controls, storm water treatment, runoff reduction measures, best management practices, and low impact development.

General Plan Policy WR-3.3 (Low-Impact Development): The County shall require discretionary development to incorporate low impact development design features and best management practices, including integration of stormwater capture facilities, consistent with County's Stormwater Permit.

General Plan Policy HAZ-2.5 (Recordation of a Notice of Flood Hazard): The County shall require the recordation of a Notice of Flood Hazard with the County Recorder for all new discretionary entitlements (including subdivisions and land use permits) within areas subject to flooding as determined by the Federal Emergency Management Agency on the latest available Digital Flood Insurance Rate Maps (DFIRMs).

General Plan Policy HAZ-4.5 (Soil Erosion and Pollution Prevention): The County shall require discretionary development be designed to prevent soil erosion and downstream sedimentation and pollution.

The proposed project involves a second-floor addition to an existing single-family dwelling. No new site disturbance is proposed. The project would not introduce new impervious surfacing or alter drainage patterns. Therefore, drainage characteristics (e.g., volume, peak flow, etc.) will remain unchanged from existing conditions. There is, therefore, no need for new drainage or stormwater control facilities.

Based on the above discussion, the proposed project is consistent with Ventura County General Plan Public Facilities, Services, and Infrastructure Policies PFS-6.1, PFS-6.5, WR-3.3, and Hazards and Safety Policies HAZ-2.5, HAZ-4.5.

Conservation and Open Space

6. General Plan Policy COS-1.1 (Protection of Sensitive Biological Resources): The County shall ensure that discretionary development that could potentially impact sensitive biological resources be evaluated by a qualified biologist to assess impacts and, if necessary, develop mitigation measures that fully account for the impacted resource. When feasible, mitigation measures should adhere to the following priority: avoid impacts, minimize impacts, and compensate for impacts. If the impacts cannot be reduced to a less than significant level, findings of overriding considerations must be made by the decision-making body.

The project site is a developed lot in the Existing Community of Hollywood Beach. The lot is approximately 2,625 sq. ft. in size and is developed with a single-family dwelling that covers approximately 64 percent of the lot. The remainder of the lot includes a rear patio and front yard that is surfaced with stamped concrete. There is no substantial vegetation on the parcel. Because there are no biological resources on the site and proposed construction is limited to a second-floor

addition, there is no potential for impact to biological resources. Therefore, a biological evaluation was not required.

Based on the above discussion, the proposed project is consistent with *Ventura County General Plan* Conservation and Open Space Policy COS-1.1.

7. General Plan Policy COS-2.1 (Beach Erosion): The County shall strive to minimize the risk from the damaging effects of coastal wave hazards and beach erosion and reduce the rate of beach erosion, when feasible.

The project does not constitute a "substantial improvement" because the construction costs are estimated to be less than 50 percent of the improvement value on the property (County of Ventura – FEMA 50% Substantial Improvement Cost Breakdown; Blue Coast, Inc.; June 7, 2021). As a result, the project is exempt from the requirement for a coastal hazard and wave run-up analysis. Because the addition is on the second floor of the structure and no new site disturbance will occur, the addition is not expected to experience coastal flooding or cause beach erosion hazards.

Based on the above discussion, the proposed project is consistent with *Ventura County General Plan* Conservation and Open Space Policy COS-2.1.

8. General Plan Policy COS-4.2b (Cooperation for Tribal Cultural Resource Protection): For discretionary projects, the County shall request local tribes contact information from Native American Heritage Commission, to identify known tribal cultural resources. If requested by one or more of the identified local tribes, the County shall engage in consultation with each local tribe to preserve, and determine appropriate handling of, identified resources within the county.

General Plan Policy COS-4.4 (Discretionary Development and Tribal, Cultural, Historical, Paleontological, and Archaeological Resource Preservation): The County shall require that all discretionary development projects be assessed for potential tribal, cultural, historical, paleontological, and archaeological resources by a qualified professional and shall be designed to protect existing resources. Whenever possible, significant impacts shall be reduced to a less-than-significant level through the application of mitigation and/or extraction of maximum recoverable data. Priority shall be given to measures that avoid resources.

Coastal Act Section 30244 (Archaeological and Paleontological Resources): Where development would adversely impact archaeological or paleontological resources as identified by the State Historic Preservation Officer, reasonable mitigation measures shall be required.

Coastal Area Plan Policy 4.1.1.1: Discretionary development shall be reviewed to identify potential locations for sensitive archaeological resources.

Coastal Area Plan Policy 4.1.1.2: New development shall be sited and designed to avoid adverse impacts to archaeological resources to the maximum extent feasible. If there is no feasible alternative that can eliminate all impacts to archaeological resources, then the alternative that would result in the fewest or least significant impacts to resources shall be selected. Impacts to archaeological resources that cannot be avoided through siting and design alternatives shall be mitigated. When impacts to archaeological resources cannot be avoided, mitigation shall be required and shall be designed in accordance with established federal, state and/or County standards and shall be consistent with the policies and provisions of the LCP.

Coastal Area Plan Policy 4.1.2.1: Discretionary development shall be reviewed to determine the geologic unit(s) to be impacted and paleontological significance of the geologic rock units containing them.

Coastal Area Plan Policy 4.1.2.2: New development shall be sited and designed to avoid adverse impacts to paleontological resources to the maximum extent feasible. If there is no feasible alternative that can eliminate all impacts to paleontological resources, then the alternative that would result in the fewest or least significant impacts to resources shall be selected. Impacts to paleontological resources that cannot be avoided through siting and design alternatives shall be mitigated. When impacts to paleontological resources cannot be avoided, mitigation shall be required that includes procedures for monitoring grading and handling fossil discoveries that may occur during development.

The project site is not within a sensitive area for archaeological resources and located in an area of undetermined risk with respect to paleontological resources. The nearest designated archaeologically sensitive area is approximately 1.1 miles northwest of the project site (Ventura County Resource Management Agency Geographic Information System (VCRMA GIS), 2021). The underlying geology is comprised of Quaternary alluvial sands (Pleistocene-Holocene age). Because Quaternary alluvium is of a relatively recent age, typically less than 10,000 years, paleontological importance is considered low to none.

As stated above under Section C.6, the project site is developed with a single-family dwelling and the remainder of the parcel is surfaced with concrete. The proposed project is limited to a second-floor addition. No new ground disturbance will occur. As a result, there is no potential to disturb cultural or paleontological resources.

Based on the above discussion, the proposed project is consistent with *Ventura County General Plan* Conservation and Open Space Policies COS-4.2b and COS-4.4; Coastal Act Section 30244; and Coastal Area Plan Policies 4.1.1.1, 4.1.1.2, 4.1.2.1, and 4.1.2.2.

Hazards and Safety

9. General Plan Policy HAZ-1.1 (Fire Prevention Design and Practices): The County shall continue to require development to incorporate design measures that enhance fire protection in areas of high fire risk. This shall include but is not limited to incorporation of fire-resistant structural design, use of fire-resistant landscaping, and fuel modification around the perimeter of structures.

General Plan Policy CTM 2.28 (Emergency Access): The County shall ensure that all new discretionary projects are fully evaluated for potential impacts to emergency access. Mitigation of these impacts shall be handled on a project-by project basis to guarantee continued emergency service operations and service levels.

General Plan Policy PFS-11.4 (Emergency Vehicle Access): The County shall require all discretionary development to provide, and existing development to maintain, adequate access for emergency vehicles, including two points of access for subdivisions and multifamily developments.

General Plan Policy PFS-12.3 (Adequate Water Supply, Access, and Response Times for Firefighting Purposes): The County shall prohibit discretionary development in areas that lack and cannot provide adequate water supplies, access, and response times for firefighting purposes.

General Plan Policy PFS-12.4 (Consistent Fire Protection Standards for New Development): The County, in coordination with local water agencies and the Fire Protection District, shall require new discretionary development to comply with applicable standards for fire flows and fire protection.

The Ventura County Fire Protection District reviewed this project and determined that there were no significant concerns with respect to access or fire flow. Emergency access to the project site is provided by Ocean Drive, a public road. Ocean Drive is improved to a sufficient width to provide adequate emergency access. The existing single-family dwelling is provided with water service by CIBCSD. CIBCSD's facilities are adequate to provide the needed fire flow.

The nearest full-time fire station is City of Oxnard Fire Station 6 (2601 Peninsula Drive), located 1.5 miles northeast of the project site. Given the station's proximity to the project site, there will be adequate response time to provide fire protection services. The VCFPD has conditioned the project to ensure adequate water supply, access and response time will be available for fire protection (Exhibit 4, Condition 25).

Based on the above discussion, the proposed project is consistent with *Ventura County General Plan* Hazard and Safety Policy HAZ-1.1, Circulation, transportation and Mobility Policy CTM-2.28, and Public Facilities, Services and Infrastructure Policies PFS-11.4, PFS-12.3, and PFS-12.4.

10.General Plan Policy HAZ-4.1 (Projects in Earthquake Fault Zones): The County shall prohibit new structures for human occupancy and subdivisions that contemplate the eventual construction of structures for human occupancy in Earthquake Fault Zones unless a geologic investigation is performed to delineate any hazard of surface fault rupture and appropriate and sufficient safeguards, based on this investigation, are incorporated into the project design.

General Plan Policy HAZ-4.3 (Structural Design): The County shall require that all structures designed for human occupancy incorporate engineering measures to reduce the risk of and mitigate against collapse from ground shaking.

Coastal Act Section 30253(a) and (b) (Minimization of Adverse Impacts): New development shall do all of the following:

- (a) Minimize risks to life and property in areas of high geologic, flood, and fire hazard.
- (b) Assure stability and structural integrity, and neither create nor contribute significantly to erosion, geologic instability, or destruction of the site or surrounding area or in any way require the construction of protective devices that would substantially alter natural landforms along bluffs and cliffs.

Coastal Area Plan, North Coast Hazards Policy 2: New development shall be sited and designed to minimize risks to life and property in areas of high geologic, flood, and fire hazards.

Coastal Area Plan, North Coast Hazards Policy 3: All new development will be evaluated for its impacts to, and from, geologic hazards (including seismic safety, landslides, expansive soils, subsidence, etc.), flood hazards, and fire hazards. Feasible mitigation measures shall be required where necessary.

The nearest fault is approximately 6 miles north of the project site. The project site is not located within 50 feet of the Alquist-Priolo Special Fault Hazard Area. The site will be subject to strong ground shaking caused by regionally active faults. Additionally, the project site is located in an area subject to liquefaction (VCRMA GIS, 2021).

The addition to the existing single-family dwelling would neither create nor contribute significantly to geologic instability or destruction of the site or surrounding areas. The proposed project has been designed in compliance with

the 2019 California Building Code, which ensures stability and structural integrity. Compliance with the Building Code standards will also ensure that risks from seismic events or liquefaction are minimized.

Based on the above discussion, the proposed project is consistent with *Ventura County General Plan* Hazards and Safety Policies HAZ-4.1 and HAZ-4.3, Coastal Act Sections 30253(a) and (b), and Coastal Area Plan, North Coast Hazards Policies 2 and 3.

- **11.General Plan Policy HAZ-9.2 (Noise Compatibility Standards):** The County shall review discretionary development for noise compatibility with surrounding uses. The County shall determine noise based on the following standards:
 - New noise sensitive uses proposed to be located near highways, truck routes, heavy industrial activities and other relatively continuous noise sources shall incorporate noise control measures so that indoor noise levels in habitable rooms do not exceed Community Noise Equivalent Level (CNEL) 45 and outdoor noise levels do not exceed CNEL 60 or Leq1H of 65 dB(A) during any hour.
 - 2. New noise sensitive uses proposed to be located near railroads shall incorporate noise control measures so that indoor noise levels in habitable rooms do not exceed Community Noise Equivalent Level (CNEL) 45 and outdoor noise levels do not exceed L10 of 60 dB(A)
 - 3. New noise sensitive uses proposed to be located near airports:
 - a. Shall be prohibited if they are in a Community Noise Equivalent Level (CNEL) 65 dB or greater, noise contour; or
 - Shall be permitted in the Community Noise Equivalent Level (CNEL)
 60 dB to CNEL 65 dB noise contour area only if means will be taken to ensure interior noise levels of CNEL 45 dB or less.
 - 4. New noise generators, proposed to be located near any noise sensitive use, shall incorporate noise control measures so that ongoing outdoor noise levels received by the noise sensitive receptor, measured at the exterior wall of the building, does not exceed any of the following standards:
 - a. Leq1H of 55dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 6:00 a.m. to 7:00 p.m.;
 - b. Leq1H of 50dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 7:00 p.m. to 10:00 p.m.; and

- c. Leq1H of 45dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 10:00 p.m. to 6:00 a.m.
- 5. Construction noise and vibration shall be evaluated and, if necessary, mitigated in accordance with the Construction Noise Threshold Criteria and Control Plan (Advanced Engineering Acoustics, November 2005).

The proposed single-family dwelling qualifies as a noise-sensitive land use. The proposed project is outside the CNEL 65dB(A) noise contour (RMA GIS Viewer, Noise Contour Maps, 2018). The residential use of the property is not considered a noise generator that will adversely affect any nearby noise sensitive uses (e.g., surrounding residences). While the proposed single-family dwelling is not considered a noise generating use, construction noise will be generated during the development phase of the proposed project

The existing single-family dwelling qualifies as a noise-sensitive land use. Noise sensitive uses include, but are not limited to, dwellings, schools, hospitals, nursing homes, churches, and libraries. The project site is located approximately 2.4 miles south of the designated noise contour for Harbor Boulevard, outside of the 60 dB(A) CNEL noise contour (VCRMA GIS, 2021). In addition, the proposed project site is not located near any active railroad tracks or the Oxnard airport (both of which are approximately 1.7 miles to the northeast and 2.3 miles to the north, respectively). Therefore, the proposed project will not be subject to unacceptable levels of noise from these noise generators.

A single-family dwelling is not considered a noise-generating use. Nonetheless, construction noise will be generated during the development phase of the project that has the potential to adversely affect surrounding residential uses. Pursuant to the requirements of the Ventura County Construction Noise Threshold Criteria and Control Plan, the proposed project would be subject to a condition of approval to limit noise-generating activities to the days and times when such noise is least likely to adversely affect surrounding residential uses (Exhibit 4, Condition 17).

Based on the above discussion, the proposed project is consistent with *Ventura County General Plan* Hazards and Safety Policies HAZ-9.2, HAZ-9.4, and HAZ-9.5.

12. General Plan Policy HAZ-10.11 (Air Quality Assessment Guidelines): In evaluating air quality impacts, the County shall consider total emissions from both stationary and mobile sources, as required by the California Environmental Quality Act. The County shall evaluate discretionary development for air quality impacts using the Air Quality Assessment Guidelines as adopted by the Ventura County Air Pollution Control District (APCD), except that emissions from APCD-permitted sources shall also be included in the analysis. The County shall revise the Initial Study Assessment Guides to implement this policy.

General Plan Policy HAZ-10.12 (Conditions for Air Quality Impacts): The County shall require that discretionary development that would have a significant adverse air quality impact shall only be approved if it is conditioned with all feasible mitigation measures to avoid, minimize or compensate (offset) for the air quality impact. The use of innovative methods and technologies to minimize air pollution impacts shall be encourage in project design.

General Plan Policy HAZ-10.13 (Construction Air Pollutant Best Practices): Discretionary development projects that will generate construction-related air emissions shall be required by the County to incorporate best management practices (BMPs) to reduce emissions. These BMPs shall include the measures recommended by VCAPCD in its Air Quality Assessment Guidelines or otherwise to the extent applicable to the project.

General Plan Policy HAZ-10.14 (Fugitive Dust Best Management Practices): The County shall ensure that discretionary development which will generate fugitive dust emissions during construction activities will, to the extent feasible, incorporate appropriate BMPs to reduce emissions to be less than applicable thresholds.

Coastal Act Section 30253(c) (Minimization of Adverse Impacts): New development shall do all of the following:

(c) Be consistent with requirements imposed by an air pollution control district or the State Air Resources Board as to each particular development.

The proposed project has been reviewed by the Ventura County Air Pollution Control District (APCD). The APCD has determined that the project would have less than significant impacts to air quality. Additionally, the project will be subject to standard conditions of approval relating to construction best practices and fugitive dust control (Exhibit 4, Conditions 21 through 23).

Based on the above discussion, the proposed project is consistent with *Ventura County General Plan* Hazards and Safety Policies HAZ-10.11 through HAZ-10.14 and Coastal Act Section 30253(c).

Coastal Access

13. Coastal Act Section 30212(a) (New Development Projects): Public access from the nearest public roadway to the shoreline and along the coast shall be provided in new development projects except where: (1) it is inconsistent with public safety, military security needs, or the protection of fragile coastal resources, (2) adequate access exists nearby, or, (3) agriculture would be adversely affected. Dedicated accessway shall not be required to be opened to public use until a public agency or private association agrees to accept responsibility for maintenance and liability of the accessway.

Coastal Area Plan, North Coast Access Policy 1: For all new development between the first public road and the ocean, granting of an easement to allow vertical access to the mean high tide line shall be mandatory unless:

- a. Adequate public access is already available within a reasonable distance of the site measured along the shoreline, or
- b. Access at the site would result in unmitigable adverse impacts on areas designated as sensitive habitats or tidepools by the land use plan, or
- c. Findings are made, consistent with Section 30212 of the Act, that access is inconsistent with public safety, military security needs, or that agriculture would be adversely affected, or
- d. The parcel is too narrow to allow for an adequate vertical access corridor without adversely affecting the privacy of the property owner, or

Coastal Area Plan, North Coast Access Policy 2: For all new development between the first public road and the ocean, granting of lateral easements to allow for public access along the shoreline shall be mandatory unless subsection (a) below is found. In coastal areas, where the bluffs exceed five feet in height, all beach seaward of the base of the bluff shall be dedicated. In coastal areas where the bluffs are less than five feet, the area to be dedicated shall be determined by the County. At a minimum, the dedicated easement shall be adequate to allow for lateral access during periods of high tide. In no case shall the dedicated easement be required to be closer than 10 feet to a residential structure. In addition, all fences, no trespassing signs, and other obstructions that may limit public lateral access shall be removed as a condition of development approval.

The proposed project will not obstruct or adversely impact access to a public recreation source (e.g., the beach). The nearest vertical beach access is approximately 180 feet south. The proposed residential addition would not extend beyond the boundaries of the property in a way that impedes horizontal public access routes. There is limited parking available along Ocean Drive, which would not be affected by the project. Therefore, the proposed development will not interfere with the public's right of access to the sea and will not require development of new dedicated accessways to the public beach.

Based on the above discussion, the proposed project is consistent with Coastal Act Section 30212(a) and Coastal Area Plan North Coast Access Policies 1 and 2.

D. ZONING ORDINANCE COMPLIANCE

The proposed project is subject to the requirements of the Ventura County CZO.

Pursuant to the Ventura County Ventura County CZO (Section 8174-4), the proposed use is allowed in the RBH (Residential Beach Harbor) zone district with the granting of a Coastal PD Permit. Upon the granting of the Coastal PD Permit, the proposed project will comply with this requirement.

The proposed project includes the construction of a building addition that is subject to the development standards of the Ventura County CZO (Section 8175-2). Table 1 lists the applicable development standards and a description of whether the proposed project complies with the development standards.

Table 1 – Development Standards Consistency Analysis

Type of Requirement	Zoning Ordinance Requirement	Complies?
Minimum Lot Area (Gross)	1,750 sq. ft.	Yes. (2,625 sq. ft.)
Maximum Percentage of Building Coverage	65 percent	Yes. (64 percent)
Front Setback – Ground Floor	20 feet	No. (8 feet, 6 inches). The setback is legal non-conforming. There is no expansion to the ground floor of the structure.
Front Setback – Upper Floor	16 feet	Yes. (16 feet)
Side Setback	3 feet	Yes. (3 feet)
Rear Setback	6 feet	Yes. (6 feet)
Maximum Building Height	28 feet	Yes. (23 feet)
Minimum Parking	2 covered spaces	Yes. (2 covered spaces)

E. PD PERMIT FINDINGS AND SUPPORTING EVIDENCE

The Planning Director must make certain findings in order to determine that the proposed project is consistent with the permit approval standards of the Ventura County CZO (Section 8181-3.5 et seq.). The proposed findings and supporting evidence are as follows:

1. The proposed development is consistent with the intent and provisions of the County's Certified Local Coastal Program [Section 8181-3.5.a].

Based on the information and analysis presented in Sections C and D of this staff report, the finding that the proposed development is consistent with the intent and provisions of the County's Certified Local Coastal Program can be made.

2. The proposed development is compatible with the character of surrounding development [Section 8181-3.5.b].

The proposed project consists of a second-floor addition to an existing single-family dwelling. Based on the information and analysis presented in Sections C

and D of this staff report, the proposed project is consistent wit the applicable provisions of the General Plan, Coastal Area Plan, and Ventura County CZO.

The project is located in Hollywood Beach in an area with a General Plan land use designation of Residential Beach Harbor and a zoning designation of Residential Beach Harbor (RBH). Hollywood beach is characterized by one-, two-, and three-story single-family dwellings with a variety of sizes, ages, and architectural styles on small lots (generally 35 feet by 75 feet). Properties immediately to the north, south, and east are zoned RBH; to the west, the shoreline is zoned COS-10 ac. The purpose and intent of the RBH zone is to provide for development and preservation of unique beach-oriented residential communities with small lot subdivision patterns. The project site is adequately served by existing public facilities.

As discussed in Section C, above, the proposed project does not include a change of use that has the potential to create any land use conflicts with surrounding residential development. Additionally, the project will not generate new traffic or introduce physical development that is incompatible with the character of the surrounding residential development. Furthermore, with the condition to limit days and times of noise-generating construction activities will ensure that the proposed project does not generate noise that is incompatible with surrounding residential and beach uses (Exhibit 4, Condition 17). Therefore, the residential addition will be consistent with the character of the surrounding residential development.

Based on the discussion above, this finding can be made.

3. The proposed development, if a conditionally permitted use, is compatible with planned land uses in the general area where the development is to be located [Section 8181-3.5.c].

The proposed development involves an addition to an existing single-family dwelling. The proposed use is not conditionally permitted; therefore, the requirement of this finding does not apply to the proposed project.

Based on the discussion above, this finding can be made.

4. The proposed development would not be obnoxious or harmful, or impair the utility of neighboring property or uses [Section 8181-3.5.d].

As discussed in Section E.2 of this staff report, above, the proposed development will be compatible with surrounding residential uses on properties located within the vicinity of the project site. Water and wastewater disposal services for the project will be provided by CIBCSD. As discussed above in Section C, Items 2, 3, and 11, the project has been analyzed for impacts to transportation, groundwater, and noise. No significant impacts were identified. The proposed project will not include any new physical development that may interfere with beach uses or

surrounding residential uses. The project will not result in a change in traffic generation or water or sewage disposal service connections. Existing public services are adequate to serve the proposed development along with existing residential development on neighboring properties. Additionally, as discussed in Section D of this staff report, above, the proposed project will comply with maximum building height, maximum building coverage, and minimum setback standards for the Residential Beach Harbor zone. Therefore, the proposed project will not be obnoxious, harmful, or impair the utility of neighboring properties or uses.

Based on the discussion above, this finding can be made.

5. The proposed development would not be detrimental to the public interest, health, safety, convenience, or welfare [Section 8181-3.5.e].

As discussed in Section C of this staff report, adequate public resources and infrastructure exist to serve the residential addition. CIBCSD will continue to provide water and sewer services to the subject property. Adequate fire flow, access, and response times exist for fire protection purposes. VCFPD reviewed the project and conditioned the project to comply with the applicable standards of the Ventura County Fire Code and VCFPD Ordinances (Exhibit 4, Condition 24). Furthermore, the proposed project will not generate new traffic. Ocean Drive and the surrounding public road network are adequate to continue serving the residential addition. Therefore, the proposed project will not be detrimental to the public interest, health, safety, convenience, or welfare.

Based on the discussion above, this finding can be made.

F. PLANNING DIRECTOR HEARING NOTICE, PUBLIC COMMENTS, AND JURISDICTIONAL COMMENTS

The Planning Division provided public notice regarding the Planning Director hearing in accordance with the Government Code (Section 65091), CZO (Section 8181-6.2 et seq.). On October 20, 2021, the Planning Division mailed notice to owners of property within 300 feet and residents within 100 feet of the property on which the project site is located. On October 25, 2021, the Planning Division placed a legal ad in the *Ventura County Star*. As of the date of this document, no comments have been received.

The project site is located within the City of Oxnard's Sphere of Influence. Therefore, on October 19, 2021 the Planning Division notified the City of Oxnard of the proposed project and requested the City of Oxnard to submit any comments that the City might have on the proposed project. No comments have been received as of the date of publication of this report.

G. RECOMMENDED ACTIONS

Based upon the analysis and information provided above, Planning Division Staff recommends that the Planning Director take the following actions:

- CERTIFY that the Planning Director has reviewed and considered this staff report and all exhibits thereto, and has considered all comments received during the public comment process;
- 2. **FIND** that this project is categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) of the CEQA Guidelines.
- MAKE the required findings to grant a Coastal PD Permit pursuant to Section 8181-3.5 of the Ventura County CZO, based on the substantial evidence presented in Section E of this staff report and the entire record;
- 4. **GRANT** Coastal PD Permit PL20-0138, subject to the conditions of approval (Exhibit 4).
- 5. **SPECIFY** that the Clerk of the Planning Division is the custodian, and 800 S. Victoria Avenue, Ventura, CA 93009 is the location, of the documents and materials that constitute the record of proceedings upon which this decision is based.

The decision of the Planning Director is final unless appealed to the Planning Commission within 10 calendar days after the permit has been approved, conditionally approved, or denied (or on the following workday if the 10th day falls on a weekend or holiday). Any aggrieved person may file an appeal of the decision with the Planning Division. The Planning Division shall then set a hearing date before the Planning Commission to review the matter at the earliest convenient date.

If you have any questions concerning the information presented above, please contact Michael Conger at (805) 654-5038 or Michael.Conger@ventura.org.

Prepared by:

Michael T. Conger, AICP, Case Planner

Residential Permits Section

Ventura County Planning Division

Reviewed by:

Jennifer Trunk, Manager Residential Permits Section

Ventura County Planning Division

EXHIBITS

Exhibit 2 Maps Exhibit 3 Plans

Exhibit 4 Conditions of Approval





Ventura County, California Resource Management Agency GIS Development & Mapping Services Map created on 09-28-2021

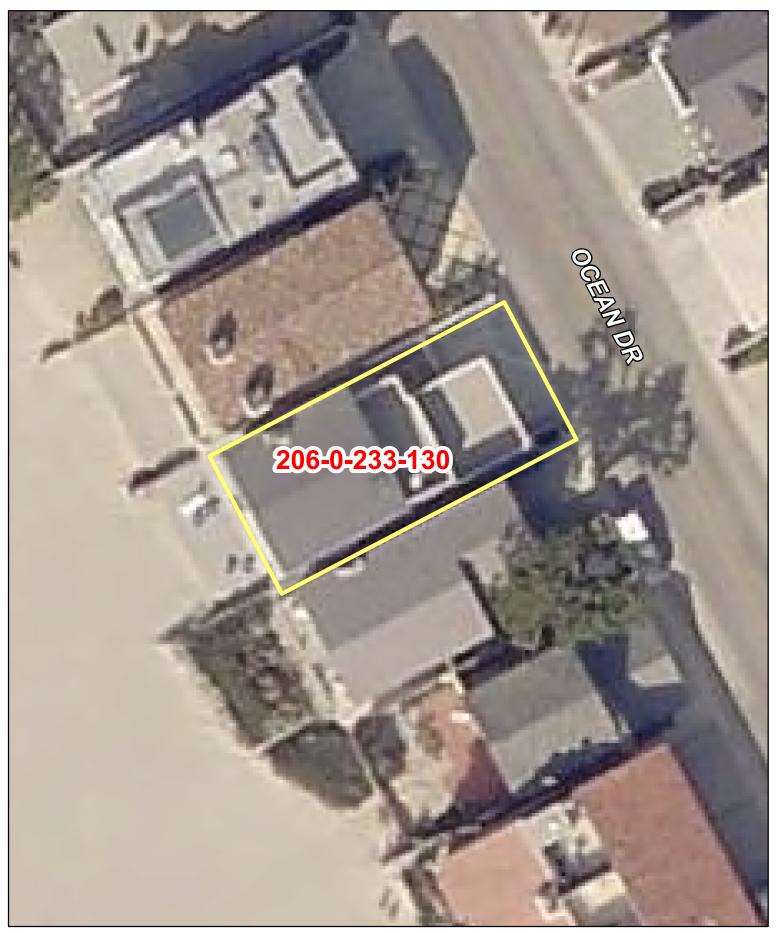


County of Ventura
Planning Director Hearing
Case No. PL20-0138
Exhibit 2 - Maps



Disclaimer: This Map was created by the Ventura County Resourc Management Agency, Mapping Services - GIS which is designed and operated solely for the convenience of the County and related public agencies. The County does no twarrant the accuracy of this mapand no decision involving a risk of economic loss or physical injury should be made in reliance thereon.







Ventura County, California Resource Management Agency GIS Development & Mapping Services Map Created on 09-28-2021 This aerial imagery is under the copyrights of Pictometry: DEC. 2019



County of Ventura Planning Director Hearing PL20-0138

Aerial Photography



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Ventura County, California

Resource Management Agency
IS Development & Mapping Services
Map Created on 09-28-2021
This aerial imagery is under the
copyrights of Pictometry
Source: Pictometry, 2019



County of Ventura
Planning Director Hearing
PL20-0138
General Plan & Zoning Map





GENERAL NOTES

1. These plans are the property of JOSE EDUARDO GONZALEZ. Use or copy is permitted by contract only. Any revisions to these drawings or use of these drawings or specifications, regardless of scope, without permission of the Designer is prohibited and shall thereby absolve the Designer from any liability claims, suits or litigation by any interested parties in the project.

2. All work shall conform to 2013 California Building Code and all other applicable governmental requirements, orders, ordinances, amendments and standards, as well as AIA DOC A201–1997, "General Conditions of the Contract for Constructions".

3. The contractor shall supervise and direct the work using the contractors best skill and attention. The contractor shall be solely responsible for and have control over constrcution means, techniques, sequences, and procedures and for coordinating all portions of the work under the contract unless contract documents give other specific instrcutions concerning these

4. The Construction Documents are provided to illustrate the design desired and imply the finest quality workmanship throughout. Any design or detail which appears to be inconsistent with the above should immediately be brought to the attention of the Designer by the Contractor.

5. Should the specification fail to particularly describe the material of goods to be used in any place, then it shall be the duty of the contractor to make inquiry of the Designer for what is best suited. The material that would be normally used in this place to produce first quality finished work shall be considered a part of the contract.

6. The Contractor shall consult with the Owner regarding scheduling of work. The Contractor shall submit a construction schedule to the Owner for approval before the start of construction activities.

7. Any excavation or removal of structural elements shall be temporarily shored Temporary shoring shall be able to restrain the required load allowing for a substantial margin of safety. Permanent construction shall be restrained per structural drawings.

8. The Contractor shall take all precautionary measures to protect existing pipelines and utilities that are to remain in service. The Contractor shall verify that those pipelines and utilities to be removed have been disconnected, shut down or abandoned prior to attempting removal or demolition in a manner to avoid any disruption to existing facilities or the inhabited area of the residence.

9. The contractor shall be responsible to the owner for acts and omissions of contractor's employees, subcontractors and their agents and employees, and other persons performing portions of the work under contract with the

10. The Contractor shall "broom" clean and secure the area of construction after each day of work. General contractor to provide dumpster for clean-up and is responsible for removal of trash from site.

11. Structural, Mechanical, Electrical, Plumbing, and Landscape drawings are suplimental to the Architectural drawings. It will be the responsibility of the contractor to check with the Architectural drawings before installation of above mentioned work. Should there be a discrepancy between the Architectual drawings and the consulting engineers drawings it shall be brought to the attention of the Designer for clarification prior to installation of said work. Any work installed within conflict with the Architectural drawings shall be corrected by the contractor at his expense and at no additional cost to the owner or the Designer.

12. All work shall be performed in a manner that minimizes the amount of noise, dust, traffic and/or other forms of disturbances so that the Owner and neighbors are subjected to as little disruption as reasonably possible.

13. Routes of ingress and egress for materials and workmen, and limits of the project area, will be designated by the Contractor and approved by the

SCALE: N.T.S.

SCALE: N.T.S.

14. Shut down and/or continued operation of portions of the plumbing, mechanical and electrical systems shall be coordinated with the Owner. 15. Permits, Tests, and Inspections : The Owner shall pay for all plan checking and building permit fees. The General Contractor and each Subcontractor shall secure and pay for permits required for their work and for all tests and inspections which may be required of their work. The Contractor shall arrange for all testing and inspection required by applicable building codes, ordinances, and directives of the building official. The Owner shall pay for all costs of such testing if the tests indicate conformance. The Contractor shall pay costs when tests indicate

A. Separate Permits are required for plumbing, mechanical, and electrical work as applicable. B. Separate permits are required for retaining walls and fences.

C. A separate permit is required for demolition.

16. All dimensions are to centerline or face of structure unless otherwise

same as if specifically mentioned or shown or both. In the event that work

or materials are shown on one drawing and not shown on another, it shall be

17. Any Work or materials shown on the drawings and not mentioned in the notes or vice versa, shall be provided and installed by the Contractor the

the same as shown on either or both drawings. 18. The Contractor shall verify all construction documents, site dimensions and other conditions, and shall notify the Designer of any discrepancies or

inconsistencies prior to starting work. 19. Applicable trades shall use a common datum to be designated by the General Contractor for all critical measurements. Construction Documents

are diagrammatic. Do not scale drawings. Field Verify all dimensions. 20. Specific notes and details take precedence over more general notes and

details. Consult the Designer regarding discrepancies.

21 Contractor to coordinate the exact dimensions sizes and positions of openings in slabs and walls.

22. Expect where shown in dimensional detail the location of plumbing, mechanical, equipment, ducts, piping and fitings are only approximate. The exact locations shall be determined by the contractor subject to the

approvals by the architect. 23. The locations of underground utilities are shown in an approximate way only and have not been independently verified by the Owner or its representative The Contractor shall determine the exact location of all existing utilities before commencing work, and shall agree to be fully responsible for any and all damages which might be occasioned by the

Contractor's failure to exactly locate and preserve any and all 24. The Contractor shall verify the locations and clearances of all inserts and embedded items with all applicable drawings prior to pouring the

25. Contractor shall verify sizes and locations of all mechanical equipment pads and bases as well as power and water and drain installations with equipment manufacturers before proceeding with the work. Changes to accomodate field conditions or substitutions shall be made without additional

26. All shop drawings for woodwork, cabinets, countertop specialties, metal work, and all mechanical and electrical layouts shall be submitted to the Designer for approval prior to fabrication.

27. Material and paint color samples are to be submitted to the Designer

28. Unless otherwise specified herein, the Contractor, upon completion of

the entire work described in the contract, shall provide the Owner with a

written guarantee stating that all Work performed as part of the contract is fully guaranteed for a period of one year from the date of the Certificate of Occupancy, and that during said one year period all defective workmanship and/or materials shall be repaired and/or replaced in place including any work of others which has been damaged by such defective workmanship and/or materials and by the repair and/or replacement of such workmanship and/or materials, at no additional cost to the Owner.

29. Substitutions, revisions or changes may be allowed only if such items are submitted to the Designer in a timely manner in writing and subsequently approved by the Designer in writing. All substitutions must be at least of equal quality, design, and performance to the items originally

specified. The Contractor is liable for replacement, repair, and delays caused by any unauthorized substitution of any item of this project. 30. All manufactured materials shall bear the appropriate UL label and be installed per manufacturers standard details and specifications where

31 Contact between dissimilar metals shall be protected by bituminous or

32. Install metal corner beads at all exposed wallboard edges. Install casing beads wherever wallboard, plaster etc. abuts a dissimilar finish material and

33. Contractor shall provide and install all stiffeners, bracing's back-up plasters and supporting brackets required for the installations of all handrails, casework, toilet room accessories and partitions and all wall mounted or suspended mechanical, electrical, plumbing or miscellaneous

34. When a notation appears multiple times to indicate the installation of a particular building element in many locations, the Contractor shall understand the overall intent and question any similar location where the notation may be identified as missing. The Contractor shall be responsible for the comprehensive, complete installation of all specified items in similar

35. Wood in contact with concrete shall be pressure treated or redwood.

36. At exterior wall openings, flashing, counter flashing and expansion join materials shall be constructed in such a manner as to be waterproof. 37. Where wood framed walls and partitions are covered on the interior wit

framing shall be protected with approved waterproof wall panels. 38. Provide access panels at wall and ceiling locations for electrical, Plumbing, and Air Conditioning controls, valves, dampers, shutters, roof vents, or other devices as required by the work and applicable even if access panel is not shown on contract documents. The contractor shall submit shop drawings indicating the exact locations of all access panels. N

plaster, tile, or similar materials and are subjected to water splash, the

39. Any and all warrantees, guarantees, or other such certifications for equipment, installed systems and other such products installed or used in the construction of the house shall be placed into a binder and given to the owner upon completion of the project.

installation of access panels shall be made until the Designer has approved

40. Typical R-values are as follows unless noted otherwise. Wall R-15 Roof R-30

GLAZING AND DOORS NOTES

GLAZING REQUIREMENTS

. Glass and glazing shall conform to code and with U.S. Consumer Product Safety Commission requirements. Tempered or laminated glass shall be provided for all glazing in the following locations:

B. Fixed and sliding panels of sliding doors. C. Adjacent to a door, where the glazing is within a 24" arc of the door in

the closed position, and whose bottom edge is less than 5ft. above the floor or walking surface. D. Meets all of the following conditions:

1) Exposed area of individual pane greater than 9 square feet. 2) Bottom edge less than 18" above the floor. 3) Top edge greater than 36" above the floor.

4) One or more walking surfaces within 36" horizontally of the glazing.

1. All windows and doors shall be installed according to manufacturer

2. All storefront windows and glazing within doors shall be insulated, clear, Low E glass. All windows and doors will be aluminum frame, unless otherwise noted. All windows and doors shall come with manufacturer's stated U and R factors. Designer to approve glazing sample prior to order

3. Wood flush-type doors shall be 1-3/8" thick minimum with solid core construction. 91.6709.01 - Door stops of in-swinging doors shall be of one-piece construction with the jamb or joined by rabbet to the jamb.

 All pin-type door hinges accessible from outside shall have non-removable hinge pins. Hinges shall have a min. 1/4" dia. steel jamb stud with 1/4" min. protection. The strike plate for latches and holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws no less than 2–1/2" long. (6709.5, 6709.7)

5. Provide dead bolts with hardened inserts; deadlocking latch with key-operated locks on exterior. Locks must be openable from inside without key, special knowledge or special effort (latch not required in B, F,

6. Straight dead bolts shall have a min. throw of 1" and an embedment of not less than 5/8", and a hook-shaped or an expanding-lug deadbolt shall have a minimum throw of 3/4". (6709.2)

. The use of locking system which consists of deadlocking latch operated by a doorknob and a dead bolt operated by a non-removable thumb turn which is independent of the deadlocking latch and which must be separately operated, shall not be considered as a system of which requires special knowledge or effort when used in dwelling units. The door knob and the thumb turn which operates the deadbolt shall not be separated by more

8. Wood panel type doors must have panels at least 9/16" thick with shaped portions not less than 1/4" thick and individual panels must be no more than 300 sq. in. in area. Mullions shall be considered a part of adjacent panels except mullions not over 18 inches long may have an overall width of not less than 2 inches. Stiles and rails shall be of solid lumber in thickness with overall dimensions of not less than 1–3/8" and 3" in width. (6709.1 item 2)

POOL NOTES

 The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power noles pull-hoxes transformers vaults numps valves meters appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of my power lines-whether or not the lines are located on the property. Failure to comply may cause

An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping.@ (Per Ordinance 170,158) (Separate plumbing permit is required.)

onstruction delays and/or additional expenses

Provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall activate within 7 seconds and sound continuously for a min. of 30 seconds when the door is opened It shall automatically reset and be equipped with a manual means to deactivate (for 15 max.) for a single pening. The deactivation switch shall be at least 54" above the floor.

Suction outlets shall be designed and installed in accordance with ANSI / APSP-7 (3109.5) Provide the following requirements for the Public

Show the pool enclosure on the plan. 5= high fence wall and self-closing, self-latching gate are required. (3109.3)

b. The latch to be minimum 4.5 ft above the ground (6109(a)) Pools for more than 3 units on site shall be approval by Health

Pools shall be in compliance with the requirement for access to public accommodations by physically handicapped persons. Glazing in walls and fences used as the barrier for indoor and

The bottom edge of the glazing is less than 60 inches (1525 mm) above the pool side of the glazing.

outdoor swimming pools and spas when all of the following conditions are

The glazing is within 5 feet (1525 mm) of a swimming pool or spa

Glazing in walls enclosing stairway landings or within 5 feet (1525 mm) of the bottom and top of stairways where the bottom edge of the glass is less than 60 inches (1525 mm) above a walking surface.

GRADING NOTES

a. All grading slopes shall be planted and sprinklered. (7012.1) Standard 12 inch high berm is required at top of all graded slopes

No fill to be placed, until the city grading inspector has inspected and approved the bottom excavation.

d. Man-made fill shall be compacted to a minimum relative compaction of 90% max. dry density within 40 feet below finish grade and 93% of max. dry density deeper than 40 feet below finish grade, unless a lower relative compaction (not less than 90% of max. dry density) is justified by

PROJECT NOTES

e. Temporary erosion control to be installed between October 1 and April 15. Obtain Grading Inspector's and Department of Public Works pproval of proposed procedures. [>200 CY] (7007.1)

PROJECT DESCRIPTION:

2 BEDROOM AND 2 BATHROOM ADDITION TO SECOND FLOOR BY WAY OF 670 SF ADDITION OVER EXISTING ROOF DECK AND PORTION OF EXISTING 2 CAR GARAGE AND ADDITION 11' OF WALL TO PARTIALLY PARTITION AN AREA TO BE USED AS A DEN.

PROJECT INFORMATION:

Prepared by:

206-0-233-130 County Assessor A.P.N. County Zoning A.P.N. 206023313 Timothy McGinity Owners:

3321 Ocean Drive, Oxnard Project Address

2907 Buckingham Rd Los Angeles CA 90016

> goeduardo@gmail.com 310 384 8766

Gregory McGinity

Jose Eduardo Gonzalez

Document Date: 20180322 180033065 Document Number: 013MR002 Map Number: Acreage: 0.06 Acres 2625 sf Lot Area:

Residential Beach Land Use: **RBH** Zoning:

Earthquake Fault Hazard Zones No Yes Liquefaction Military Operations Areas No Yes Tsunami Inundation

1,797 sf Total Existing Living Area (sqft): 667 sf Proposed Addition (sqft): Proposed Total Living Area (spft): 2,464 sf 1,555 sf Existing Building Coverage

Proposed Building Coverage 1,555 sf (NO CHANGE)

Existing Bedroom Count 2 Bedrooms **Proposed Bedroom Count** 4 Bedrooms **Existing Parking Spaces** 2 Parking Spaces

Proposed Parking Spaces 2 Parking Spaces Percentage of Roof to Remain Intact

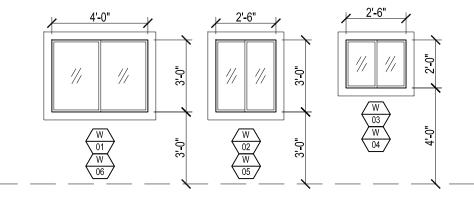
Percentage of Proposed New Roof Area

DETAILS OF POPOSED WINDOWS/DOORS TO BE REMOVED

LOCATION	WIDTH X HEIGHT	OPERABLE	MATERIAL	NOTE	FACADE
ROOF DECK DOOR	2'-8"X 6'-8"	LEFT HINGE	WHITE VINYL	ONE LITE	NORTHEAST ELEVATION
NEW BATHROOM 2 WINDOW	2'-0"X 2'-0"	FIXED	WHITE VINYL	DUAL GLAZE, LOW E	NORTHEAST ELEVATION
2'-8" 		2'-0"Ø			

DETAILS OF POPOSED ADDITIONAL/NEW WINDOWS/DOORS

					I	
LOCATION	#	WIDTH X HEIGHT	OPERABLE	MATERIAL	TRIM	FACADE
NEW BEDROOM 1 WINDOW	W01	4'-0"X 3'-0"	SLIDING	WHITE VINYL	4" WIDE FLAT PAINTED WOOD	SOUTHEAST ELEVATION
NEW BEDROOM 1 WINDOW	W02	2'-6"X 3'-0"	SLIDING	WHITE VINYL	4" WIDE FLAT PAINTED WOOD	SOUTHEAST ELEVATION
NEW BATHROOM 1 WINDOW	W03	2'-6"X 2'-0"	SLIDING	WHITE VINYL	4" WIDE FLAT PAINTED WOOD	NORTHEAST ELEVATION
NEW BATHROOM 2 WINDOW	W04	2'-6"X 2'-0"	SLIDING	WHITE VINYL	4" WIDE FLAT PAINTED WOOD	NORTHEAST ELEVATION
NEW BEDROOM 2 WINDOW	W05	2'-6"X 3'-0"	SLIDING	WHITE VINYL	4" WIDE FLAT PAINTED WOOD	NORTHWEST ELEVATION
NEW BEDROOM 2 WINDOW	W06	4'-0"X 3'-0"	SLIDING	WHITE VINYL	4" WIDE FLAT PAINTED WOOD	NORTHWEST ELEVATION



NOTE: FOR NEW INTERIOR DOOR DETAILS SEE 2_A-03 DOOR SCHEDULE

ARCHITECTURAL STYLE:

The Proposed Architectural style of the addition is to match the existing building Coastal/Nautical Style consisting of a rectangular block clad in vertical grain T-111 plywood siding painted one solid color with painted flat wood accent trim at floor lines and ceiling lines and corners, topped with a continuous gable roof with a 10" high stepped fascia painted to match trim

Blue Coast Inc.

CONTRACTOR:

P O Box 5562 Santa Monica CA 90409

310 401 1414

Bradley Moser P.E.

STRUCTURAL ENGINEER:

116 Oakside Ln Buellton, Ca, 93427 bcmnsse@hotmail.com (916) 792-8527

DRAWN BY:

José Eduardo González

2907 Buckingham Rd Los Angeles CA 90016 goeduardo@gmail.com 310 384 8766

PROJECT:

3321 OCEAN SECOND FLOOR ADDITION

PROJECT ADDRESS:

3321 OCEAN DR **OXNARD, CA 93035**

CONSTRUCTION **DOCUMENTS**

JUNE 7TH, 2021

PROJECT **INFORMATION AND GENERAL NOTES**

JOB NO.: 12479

SHEET NO.:

G-01

ARCHITECTURAL SET

PROJECT INFORMATION AND NOTES

NOTES AND SPECIFICATIONS

ROOF/SITE PLAN

PROJECT FLOOR PLANS

EXISTING SECOND FLOOR PLAN AND WINDOW AND DOOR SCHEDULE

PROJECT ELEVATIONS

PROJECT ELEVATIONS

PROJECT ELEVATIONS

DETAILS

STRUCTURAL SET

GENERAL NOTES

FOUNDATION PLAN

2ND FLOOR FRAMING PLAN

ROOF FRAMING PLAN

DETAILS

DETAILS

BUILDING ENERGY ANALYSIS (TITLE 24)

BUILDING ENERGY ANALYSIS REPORT

BUILDING ENERGY ANALYSIS REPORT

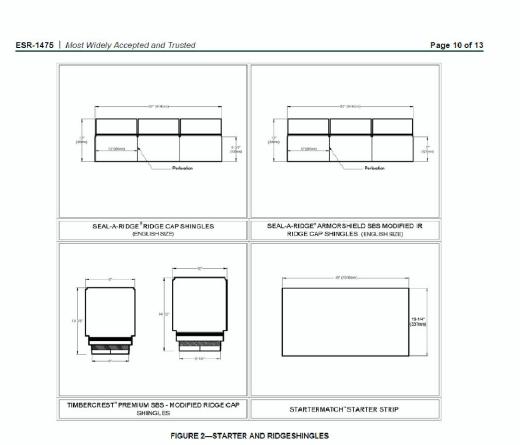
County of Ventura Planning Director Hearing Case No. PL20-0138 Exhibit 3 - Plans

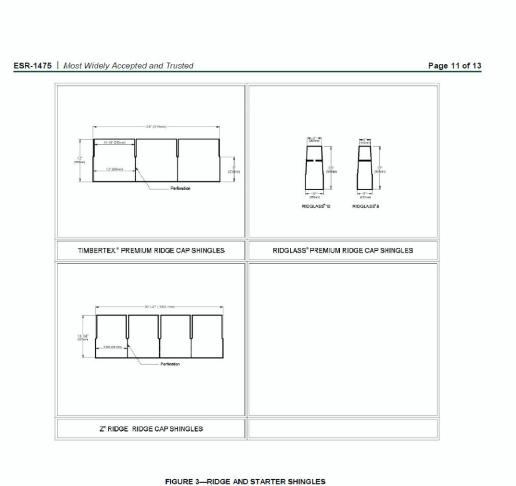
LOCATION MAP & DISTANCE TO PUBLIC TRANSIT | 4 SCALE: N.T.S.

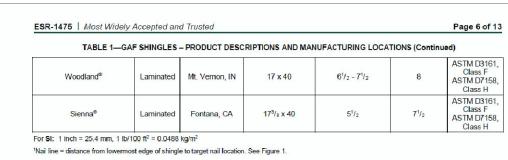
SHEET INDEX

SCALE: N.T.S.

PROJECT INFORMATION







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comply with the following, as applicable:

4.4 Wind Resistance:

5.0 CONDITIONS OF USE

removed. Except as noted in this section, the shingles

must be installed in accordance with Section 4.1 of this

3/4 inch (19.1 mm) into the sheathing, or through the sheathing, whichever is less. Flashing and edging must

IBC: 2018 and 2015 Sections 1511.5 and 1511.6 (2012,

IRC: 2018 and 2015 Sections R908.5 and R908.6

GAF asphalt shingles have been tested for wind resistance in accordance with ASTM D3161 or ASTM D7158.

Shingles tested in accordance with ASTM D3161 are classified as Class F and qualify for use under 2018 and

2015 IBC Section 1504.1.1 (2012 and 2009 IBC Section 1507.2.7.1 and 2006 IBC 1504.1.1) or IRC Section

R905.2.4.1, as applicable. Shingles tested in accordance

with ASTM D7158 are classified as Class H and qualify for use in locations where the maximum basic wind speed is

150 mph (67 m/s) or less with an exposure category of B or C (ASCE 7) and a maximum building height of 60 feet

(18.3 m). Installation must be in accordance with 2018 IBC

Section 1507.2.6 (2015, 2012, 2009 and 2006 IBC Section 1507.2.7) or IRC Section R905.2.6, as applicable.

The GAF asphalt shingle roof covering systems described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of

5.1 The shingles must be manufactured, identified, and

5.2 Installation must be in accordance with Section 4.0 of

5.3 The GAF shingle products are manufactured at the locations noted in Table 1, under a quality control

program with inspections by ICC-ES.

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Royal Sovereign®

Sentinel[®]

Camelot® II

TABLE 1—GAF SHINGLES - PRODUCT DESCRIPTIONS AND MANUFACTURING LOCATIONS

131/4 x 393/8

12 x 36

13¹/₄ x 39³/₈

17 x 40

131/4 x 393/8

Fontana, CA

Mt. Vernon, IN Myerstown, PA Savannah, GA Tampa, FL

Mt. Vernon, IN Savannah, GA

Fontana, CA

Five-tab Mt. Vernon, IN

Laminated Mt. Vernon, IN

Laminated Mt. Vernon, IN

Laminated Tuscaloosa, AL

Sequoia® Laminated Fontana, CA

(height x width) (inches) (inches) (inches) (inches) (inches) (inches) (inches) (inches) (inches) (inches)

installed in accordance with the applicable codes, this instructions. In the event of a conflict between this report and the manufacturer's published installation instructions, this report governs.

this report, subject to the following conditions:

2009 and 2006 Sections 1510.5 and 1510.6).

Prior to the reroofing, hip and ridge covering must be 6.0 EVIDENCE SUBMITTED

6.1 Data in accordance with ASTM D3462.

ASTM D7158 and ASTM D3161.

D7158, Class H, as applicable.

PARSIPPANY, NEW JERSEY 07054 (800) 766-3411

name and address of the GAF manufacturing plant location; the product name; the roof classification

(Class A): the installation instructions: the evaluation

Additionally, in accordance with ASTM D3462, each

bundle of shingles must be marked with the area of roof surface covered and the style, type and color of

Page 4 of 13

CLASS

ASTM D7158, Class H ASTM D3161, Class F ASTM D7158,

ASTM D3161.

Class H
ASTM D3161
Class F
ASTM D7158,

ASTM D3161,

Class H ASTM D3161,

7.2 The report holder's contact information is the

6.4 Quality documentation.

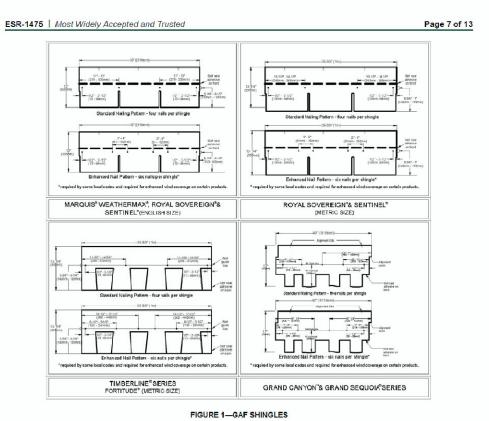
7.0 IDENTIFICATION

the product.

GAF 1 CAMPUS DRIVE

SHINGLE	SHINGLE TYPE	PLANT LOCATION	DIMENSIONS (height x width) (inches)	MAXIMUM EXPOSURE TO THE WEATHER (inches)
Ridglass [®] Premium Ridge Cap Shingles	Hip and Ridge	Fontana, CA	8 x 23 pieces or 10 x 23 pieces	8
imberCrest™ Premium SBS-Modified Ridge Cap Shingles	Hip and Ridge	Fontana, CA	8 x 24 pieces or 10 x 24 pieces	8
		Fontana, CA	13 ¹ / ₄ x 39 ³ / ₈ strip 13 ¹ / ₄ x 9 ⁷ / ₈ pieces	See Footnote
Royal Sovereign®	Hip and Ridge	Dallas, TX Minneapolis, MN Mt. Vernon, IN Myerstown, PA Savannah, GA Tampa, FL Tuscaloosa, AL	12 x 36 strip 12 x 12 pieces	See Footnote ^t
Seal-A-Ridge [®] Ridge Cap Shingles Seal-A-Ridge [®] Protective Ridge Cap Shingles	Hip and Ridge	Tuscaloosa, AL Savannah, GA	12 x 36 strip 12 x 12 pieces	6 ² / ₃
Seal-A-Ridge® ArmorShield™ SBS Modified IR Ridge Cap		Tuscaloosa, AL	12 x 36 strip 12 x 12 pieces	5
Shingles Seal-A-Ridge® AS SBS-Modified IR Ridge Cap Shingles	Hip and Ridge	Savannah, GA	12 x 36 strip 12 x 12 pieces	5
Timbertex® Premium Ridge Cap Shingles	Hip and Ridge	Mt. Vernon, IN	12 x 36 strip 12 x 12 pieces	8
Z [®] -Ridge [®] Ridge Cap Shingles	Hip and Ridge	Ennis, TX Shafter, CA	13 ¹ / ₄ x 39 ¹ / ₂ strip 13 ¹ / ₄ x 9 ⁷ / ₈ pieces	5 ⁵ / ₈
Pro-Start®Eave/Rake	Ct-t Ct-i-	Tuscaloosa, AL Mt. Vemon, IN Dallas, TX	13 x 38 strip 61/2 x 38 pieces	N/A
Starter Strip Shingles	Starter Strip	Shafter, CA	13 ¹ / ₄ x 38 strip 6 ⁵ / ₈ x 38 pieces	N/A
StarterMatch™ Starter Strip Shingles StarterMatch™ Complimentary Color Starter Strip Shingles	Starter Strip	Fontana, CA	13 ¹ / ₄ x 40 strip	N/A
WeatherBlocker™ Premium Eave/Rake Starter Strip Shingles	Starter Strip	Mt. Vernon, IN	17 x 40 strip 81/ ₂ x 40 pieces	N/A

For SI: 1 inch = 25.4 mm, 1 lb/100 ft² = 0.0488 kg/m². ¹Weather exposure must not exceed that permitted for the field of the roof

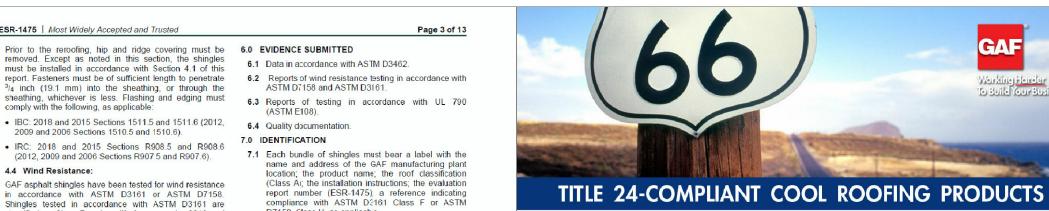


lost Widely Accepted and Trusted	Page 8 of 13

1475 Most Widely Accepted and Trusted	Pag		
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ENHANCED NAILING PATTE TWO Right note should be located trapering to the state of t	Salf-ted		

		d Trusted	RIPTIONS AND MAN	IUFACTURING LOCA	TIONS (Continue	Page 5 of 1
SHINGLE	SHINGLE TYPE	PLANT LOCATION	DIMENSIONS (height x width) (inches)	MAXIMUM EXPOSURE TO THE WEATHER (inches)	LOCATION OF NAIL LINE ¹ (inches)	CLASS
Timberline® Natural Shadow®, Timberline® NS®,	Laminated	Baltimore, MD Dallas, TX Ennis, TX Ennis, TX Fontana, CA Mchigan City, IN Minneapolis, MN Myerstown, PA Shafter, CA Tampa, FL Tuscaloosa, AL	13 ¹ / ₄ × 39 ³ / ₆	5 ⁵ /s	6	ASTM D3161, Class F ASTM D7158, Class H
Timberline HD®	Laminated	Baltimore, MD Dallas, TX Ennis, TX Fontana, CA Mchigan City, IN Minneapolis, MN Myerstown, PA Shafter, CA Tampa, FL Tuscaloosa, AL	13 ¹ / ₄ × 39 ³ / ₈	5°/s	6	ASTM D3161, Class F ASTM D7158, Class H
Timberline® HDZ™	Laminated	Baltimore, MD Dallas, TX Ennis, TX Fontana, CA Mchigan City, IN Minneapolis, MN Myerstown, PA Shafter, CA Tampa, FL Tuscaloosa, AL	13 ¹ / ₄ × 39 ³ / ₈	5 ⁶ /s	5 ¹ / ₈ – 7 ⁵ / ₈	ASTM D3161 Class F ASTM D7158 Class H
Timberline® Cool Series®	Laminated	Fontana, CA	13 ¹ / ₄ x 39 ³ / ₈	5 ⁵ / ₈	6	ASTM D3161, Class F ASTM D7158, Class H
Timberline® CS®	Laminated	Fontana, CA	13 ¹ / ₄ x 39 ³ / ₈	5 ⁵ / ₈	5 ¹ / ₈ - 7 ⁵ / ₈	ASTM D3161, Class F ASTM D7158, Class H
Timberline Ultra HD [®] , Timberline [®] UHD	Laminated	Baltimore, MD Dallas, TX Ennis, TX Fontana, CA Mchigan City, IN Minneapolis, MN Myerstown, PA Shafter, CA Tampa, FL Tuscaloosa, AL	13 ¹ / ₄ × 39 ³ / ₈	5°/a	6	ASTM D3161, Class F ASTM D7158, Class H
Timberline® American Harvest®	Laminated	Fontana, CA Michigan City, IN Ennis, TX Myerstown, PA Tuscaloosa, AL	13 ¹ / ₄ × 39 ³ / ₈	5 ⁵ /8	6	ASTM D3161, Class F ASTM D7158, Class H
Timberline [®] AH	Laminated	Fontana, CA Michigan City, IN Ennis, TX Myerstown, PA Tuscaloosa, AL	13 ¹ / ₄ × 39 ³ / ₈	5 ⁵ /8	5/8 - 75/8	ASTM D3161, Class F ASTM D7158, Class H

Laminated Myerstown, PA 131/4 x 393/8



Qualifying Residential GAF Cool Roof Shingles GAF has the following shingles available that are Title 24 compliant and are listed with the Cool Roof Rating Council.

CRRC Product ID# 0676-0100 CRRC Product ID# 0676-0033

ICC-ES Evaluation Report ESR-1475 Reissued October 2019 This report is subject to renewal October 2021 www.icc-es.org | (800) 423-6587 | (562) 699-0543 A Subsidiary of the International Code Council®

DIVISION: 07 00 00—THERMAL AND MOISTURE PROTECTION Section: 07 31 13—Asphalt Shingles REPORT HOLDER:

EVALUATION SUBJECT: GAF SHINGLE ROOF COVERING SYSTEMS

1.0 EVALUATION SCOPE Compliance with the following codes: 2018, 2015, 2012, 2009 and 2006 International Building

■ 2018, 2015, 2012, 2009 and 2006 International Residential Code® (IRC) Properties evaluated:

 Weather resistance ■ Fire classification Wind resistance

2.0 USES The GAF asphalt shingles described in this report comply Class A roof coverings when installed as described in this

3.0 DESCRIPTION 3.1.1 General: The GAF asphalt shingles comply with

ASTM D3462, and have been qualified for wind resistance as noted in Section 4.1.2 and Table 1. The shingles are available as three-tab, five-tab and laminated asphalt shingle roof coverings. See Table 1 and Figure 1 for recognized product names and classifications, shingle types, manufacturing locations, overall dimensions, and discontinuous shingles are individual, thick, maximum exposure to the weather and fastening details.

The shingles are self-sealing by means of adhesive strips

ultra-high profile ridge cap shingles with a bullnose leading edge available in two widths. See Figure 2. located on either the weather side or the underside. See Figure 1 for dimensions, nailing locations and adhesive strip location for field shingles.

3.1.2 Three-tab Shingles and Five-tab Shingles: hree-tab and five-tab shingles are composed of a single layer of fiberglass mat, impregnated and coated with

granules, and the underside is surfaced with a mineral 3.1.4 Hip and Ridge Cap Shingles: Hip and ridge cap shingles consist of fiberglass mat, impregnated and coated with asphalt on both sides and surfaced with mineral roofing granules on the weather side and a mineral release agent on the back side for use in covering hips and ridges. See Table 2 for product sizes, exposure to the weather

gaf.com

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3.1.4.1 Royal Sovereign® Ridge Cap Shingles: These ridge cap shingles are field-cut from Royal Sovereign® three-tab strip shingles. The field-cut ridge cap shingles are compatible with any of the GAF shingles recognized in

3.1.3 Laminated Shingles: Laminated shingles are

composed of multiple thicknesses of coated and surfaced fiberglass mat, cut and bonded together in different

3.1.4.2 Z® Ridge Ridge Cap Shingles: These shingles are strips that are scored for separation into four ridge cap shingles. See Figure 2.

3.1.4.3 Seal-A-Ridge® Ridge Cap Shingles, Seal-A-Ridge® Protective Ridge Cap Shingles, Seal-A-Ridge® AS SBS-Modified IR Ridge Cap Shingles, and Seal-A-Ridge® ArmorShield™ SBS-Modified IR Ridge Cap Shingles: These shingles are strips that are scored for separation into three ridge cap shingles. Seal-A-Ridge Ridge Cap Shingles are also labeled as Seal-A-Ridge® Protective Ridge Cap Shingles. Seal-A-Ridge® ArmorShield™ Ridge Cap Shingles are also labeled as Seal-A-Ridge® AS SBS-Modified IR Ridge Cap Shingles. 3.1.4.4 Ridglass® Premium Ridge Cap Shingles: cap shingles available in two widths. See Figure 2. 3 1 4.5 Timbertex® Premium Ridge Cap Shingles: These shingles are double layer strips that are scored for separation into three ridge cap shingles.

3.1.5 Starter Shingles: 3.1.5.1 General: Starter Strip shingles are factory-made

shingles used under the first course of shingles being installed or applied on the roof. See Table 2 for product sizes and manufacturing locations. See also Figure 3. asphalt on both sides, and surfaced with mineral roofing
3.1.5.2 Pro-Start® Eave/Rake Starter Strip Shingles: asphalt on both sides, and surfaced with mineral rooling granules on the weather side and a mineral release agent on the underside.

These shingles are strips that are scored for separation into two starter shingles. The mineral surfacing is on the

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ESR-1475 | Most Widely Accepted and Trusted weather side, with fine mineral granules on the underside. as shown in Figure 1, and each course of shingles must be

Strip Shingles: These starter shingles are strips with perforations to assist with alignment of various shingle wind regions where it is questionable whether the factory-applied adhesive will activate and seal the shingles, sizes. The mineral surfacing is on the weather side, with fine mineral granules on the underside. to ensure sealing, the shingles must be hand-sealed with a minimum of three 1-inch-diameter (25.4 mm) spots of 3.1.5.4 StarterMatch™ Starter Strip Shingles and StarterMatch™ Complementary Color Starter Strip Shingles: These starter shingles are color coordinated to match the Grand Sequoia®, Grand Sequoia® AS, Grand Sequoia® ArmorShield™, Grand Canyon® and Sienna™ field shingles. The starter shingles must be installed as the

Canyon® and Sienna® applications. 3.2 Fasteners: Fasteners must comply with ASTM F1667 and must be minimum No. 12 gage [0.105-inch-diameter (2.67 mm)] minimum No. 12 gage [0.105-inch-diameter (2.67 mm) shank], %-inch-diameter-head (9.5 mm), galvanized, stainless steel, aluminum or copper, barbed-, deformed-, or smooth-shank roofing nails. Fasteners must be of sufficient length to penetrate $^{3}/_{4}$ inch (19.1 mm) into the 4.1.2.3 Underlayment: Under the 2018 IBC, the roof sheathing, or through the sheathing, whichever is less.

Sequoia® AS, Grand Sequoia® ArmorShield™, Grand

3.3 Underlayment: Under the 2018 IBC, the roof underlayment must be in accordance with Section 1507.1.1 and Table 1507.1.1(1).

It is 2013, 2012, 2009 and 2000 IBC, the roof underlayment must be installed in accordance with Section 1507.2.8. Under the 2018 and 2015 IRC, the roof underlayment must accordance with Section 1507.1.1 and Table 1507.1.1(1). Under the 2015, 2012, 2009 and 2006 IBC, the roof Under the 2015, 2012, 2009 and 2006 IBC, the roof underlayment must be in accordance with Section Horozante Horozante with Section Horozante Horozan underlayment must be in accordance with Section installed in accordance with Section R905.2.7. Minimum R905.1.1 and Table R905.1.1(1). Under the 2012, 2009

4.0 INSTALLATION 4.1 New Construction:

4.1.1 General: When installed on new construction in accordance with this section, the shingles are a Class A roof covering. The shingles, underlayment and flashings must be installed in accordance with IBC Section 1507.2 r IRC Section R905.2 except as noted in this report. The shingles must be installed over roof decks of code-complying, minimum ³/₈-inch-thick (9.5 mm) exterior-grade plywood; ⁷/₁₆-inch-thick (11.1 mm) oriented high report (12.2 mm) and ridge shingles must be placed evenly over hips and ridge (or ever shingle over ridge vents) and festioned strand board (OSB); or nominally 1-inch-by-6-inch lumber installed as solid sheathing conforming to 2018 and 2015 IBC Sections 2304.8.2 or 2308.7.10 (2012, 2009 and 2006 IBC Section 2304.7.2 or 2308.10.8) or IRC Sections R803, as applicable, and underlayment in accordance with used to fasten the ridge cap shingles. Sections 3.3 and 4.1.2.3. Minimum roof slope must be 2:12 4.3 Installation—Reroofing:

(16.7 percent) except for Glenwood® Shingle that must be installed on roofs with a minimum slope of 3:12

4.1.2.1 Fastening: Fasteners are as described in Section be inspected in accordance with the provisions and 3.2. Shingles must be fastened to the roof deck with a minimum of four fasteners or as shown in the Standard and 2006 IBC Section 1511 (2012, 2009 and 2006 IBC Section 1510) or 2018 and 2015 IRC

Page 2 of 13

The self-sealing strip edge is applied facing up and along offset from the preceding course as shown in the 3.1.5.3 WeatherBlocker™ Premium Eave/Rake Starter 4.1.2.2 Shingle Sealing: In colder climates or asphalt roofing cement equally spaced on the unexposed surface across each shingle. For applications on slopes greater than 21:12, hand-sealing is required. Hand-sealing consists of applying a minimum of three 1-inch-diameter (25.4 mm) spots of asphalt roofing cement on the unexposed surface, equally spaced across each shingle. roofing cement is placed under each corner of each tab (two spots per tab); the tab must then be pressed into the cement. For laminated shingles, four equally spaced spots of asphalt roofing cement are placed under the exposed

installation instructions for hand-sealing guidelines. The shingles must be hand-sealed to the satisfaction of the code official. underlayment must be installed in accordance with Section 1507.1.1 and Tables 1507.1.1(2) and 1507.1.1(3). Under the 2015, 2012, 2009 and 2006 IBC, the roof underlayment roof slope must be 2:12 (17-percent) except for underlayment used with the Glenwood® Shingle that must be installed on roofs with a minimum slope of 3:12

Asphalt roofing cement used for hand-sealing the shingles self-adhered underlayment. For roof slopes greater than 4:12, the roof deck must be covered with a minimum of must comply with ASTM D4586, Type I, Class I, or Type II,
Class I.

4.12, the foot deck finds to conclude in Section 3.3 of
this report. For slopes between 2:12 and 4:12, two levers of the underlayment described in Section 3.3 of this report are required. In areas where there has been a history of ice forming along the eaves, causing a backup of water, an ice barrier must be provided in accordance with 2018 IBC Section 1507.2.7 (2015, 2012, 2009 and 2006 IBC Section 1507.2.8.2) or 2018 and 2015 IRC Section R905.2.7 (2012, 2009 and 2006 IRC Section R905.2.7.1), as

applicable.

Nailing Pattern in Figure 1. Spacing of fasteners must be Section R908 (2012, 2009 and 2006 IRC Section R907).

and ridges (or over shingle-over ridge vents), and fastened to the roof deck with two fasteners, described in Section 3.2 of this report, located on either side of the shingle, on the fastener line shown in Figure 1. Staples must not be

When installed over existing Class A or Class C asphalt shingle roofs in accordance with this section, the shingles described in this report are recognized as a Class A roof

CONTRACTOR:

Blue Coast Inc. P O Box 5562 Santa Monica CA 90409

310 401 1414

STRUCTURAL ENGINEER: Bradley Moser P.E.

116 Oakside Ln. Buellton, Ca, 93427 bcmnsse@hotmail.com (916) 792-8527

DRAWN BY:

José Eduardo González

2907 Buckingham Rd Los Angeles CA 90016 goeduardo@gmail.com 310 384 8766

PROJECT:

3321 OCEAN SECOND FLOOR ADDITION

PROJECT ADDRESS:

3321 OCEAN DR **OXNARD, CA 93035**

REV.	DESCRIPTION	DATE
1	RESUBMITTAL	06/07/21

CONSTRUCTION **DOCUMENTS**

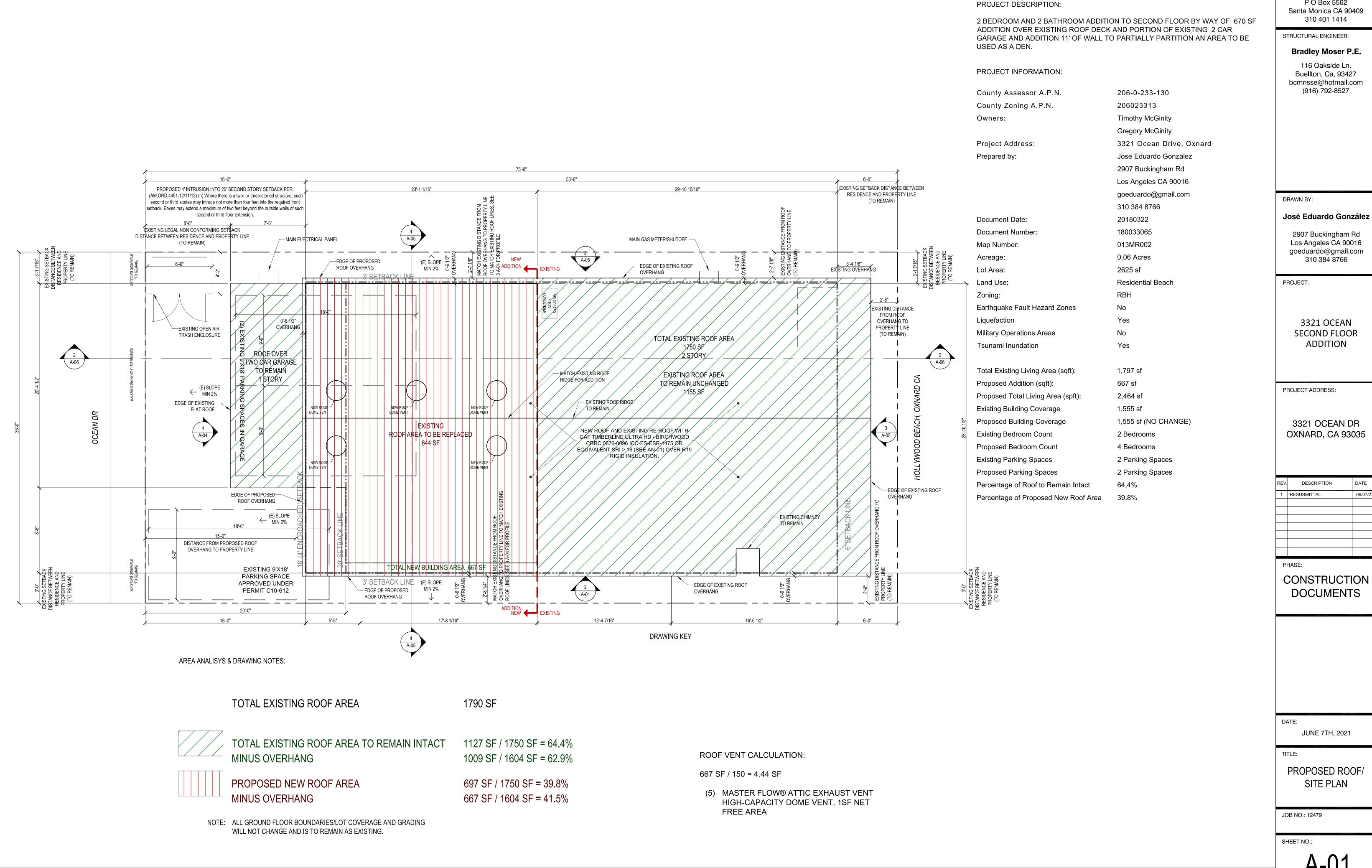
DATE

JUNE 7TH, 2021

ROOFING MATERIAL

JOB NO.: 12479

SHEET NO.:



CONTRACTOR:

Blue Coast Inc.

P O Box 5562 Santa Monica CA 90409 310 401 1414

STRUCTURAL ENGINEER:

Bradley Moser P.E.

116 Oakside Ln. Buellton, Ca, 93427 bcmnsse@hotmail.com (916) 792-8527

2907 Buckingham Rd Los Angeles CA 90016 goeduardo@gmail.com 310 384 8766

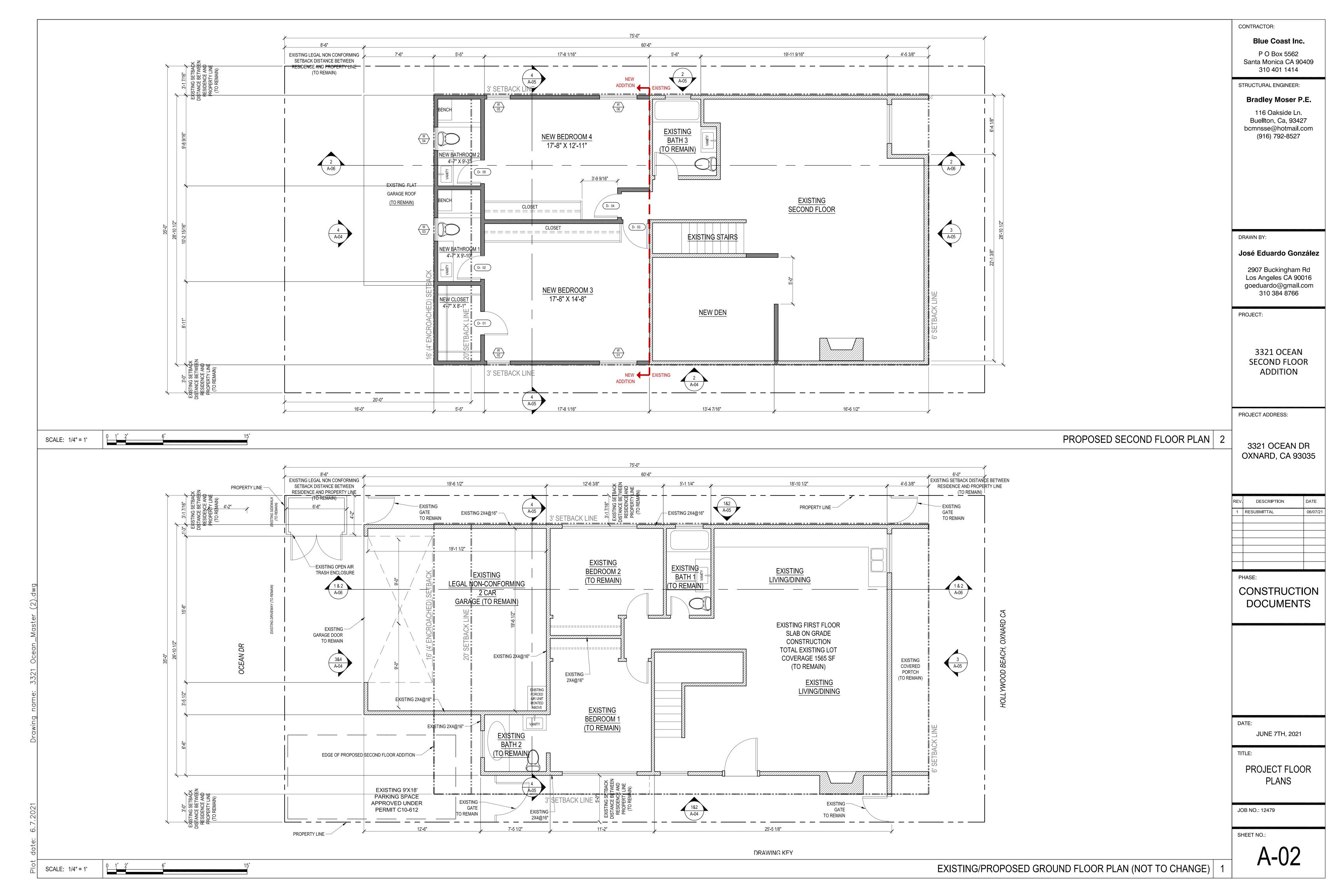
3321 OCEAN SECOND FLOOR **ADDITION**

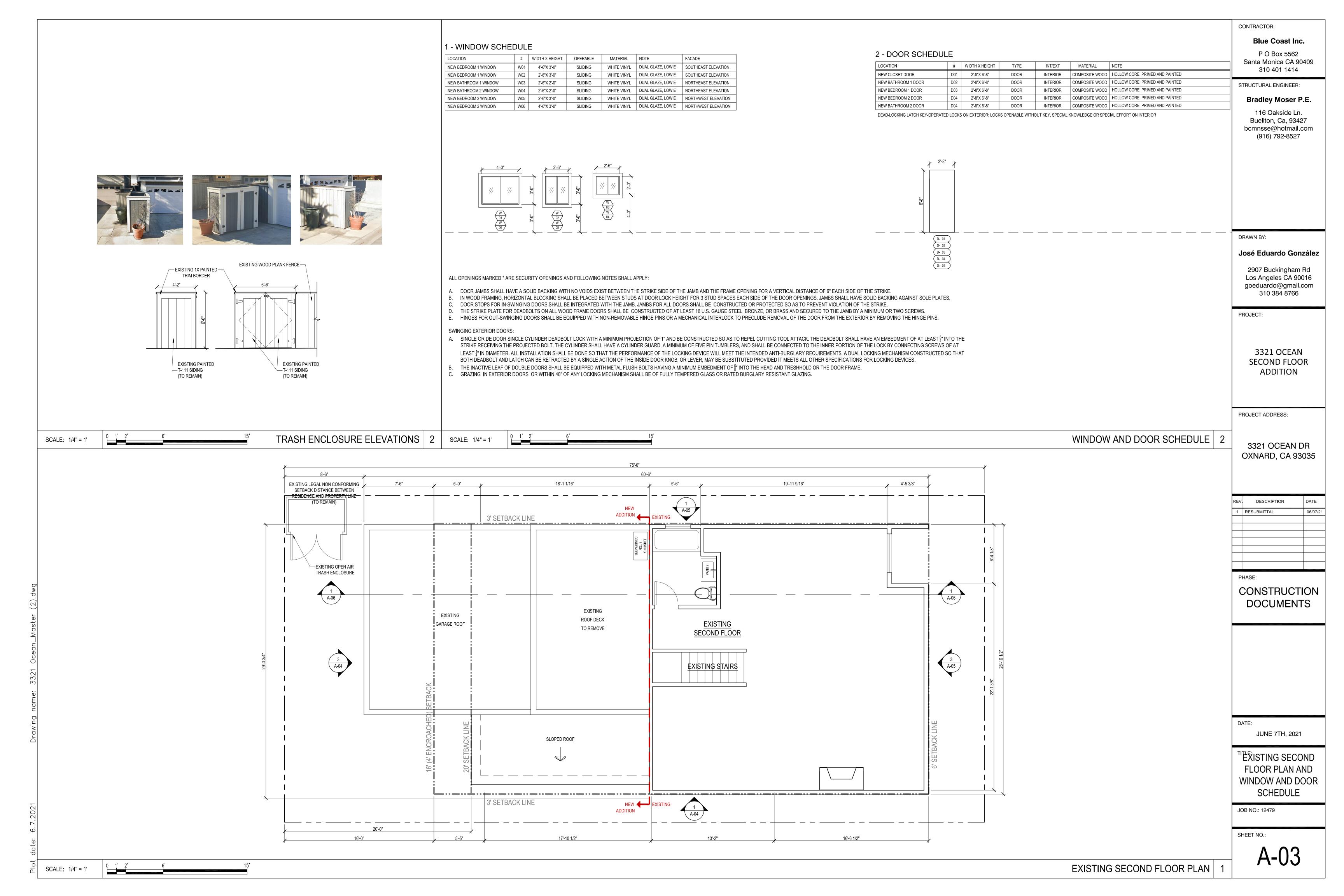
3321 OCEAN DR OXNARD, CA 93035

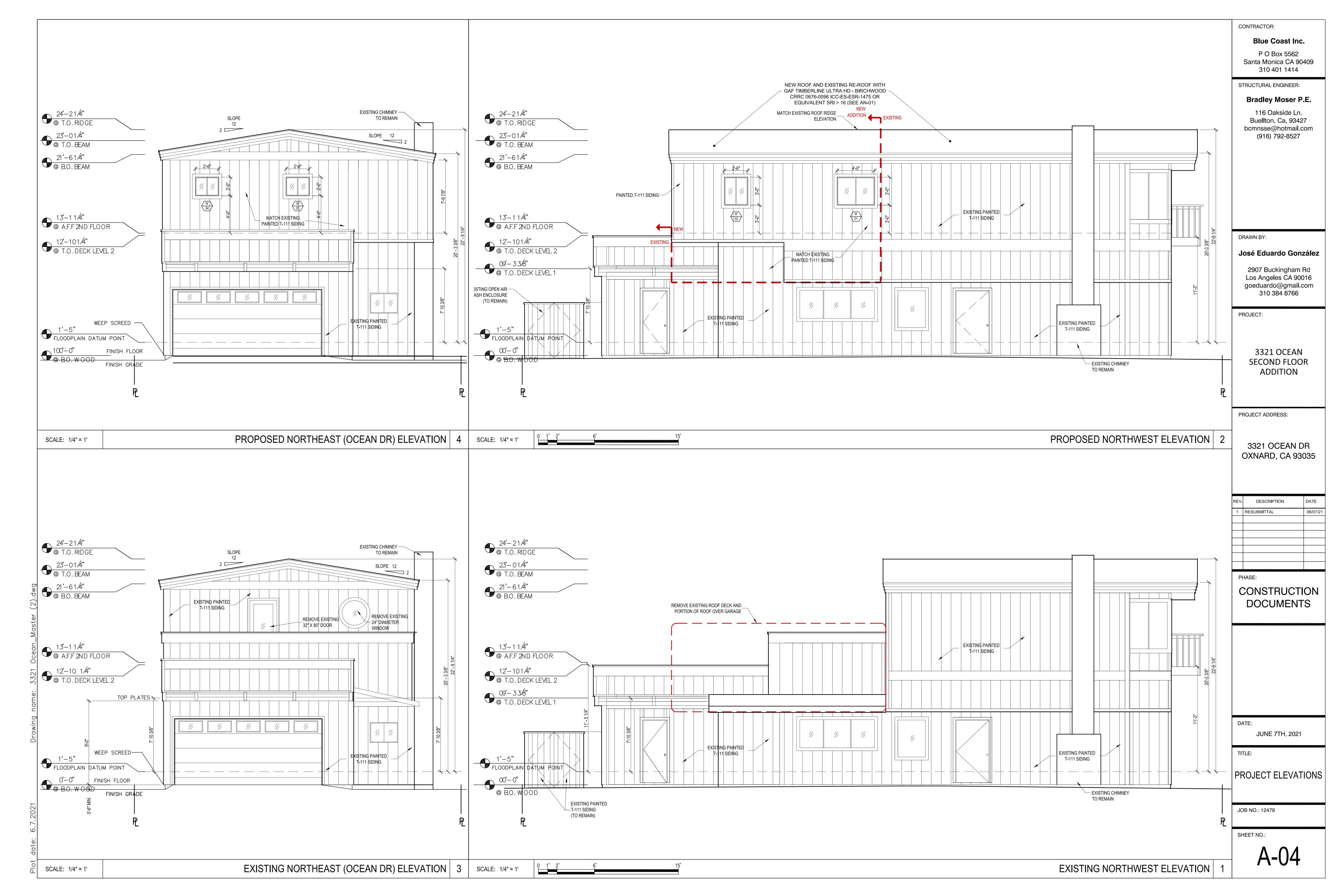
DESCRIPTION

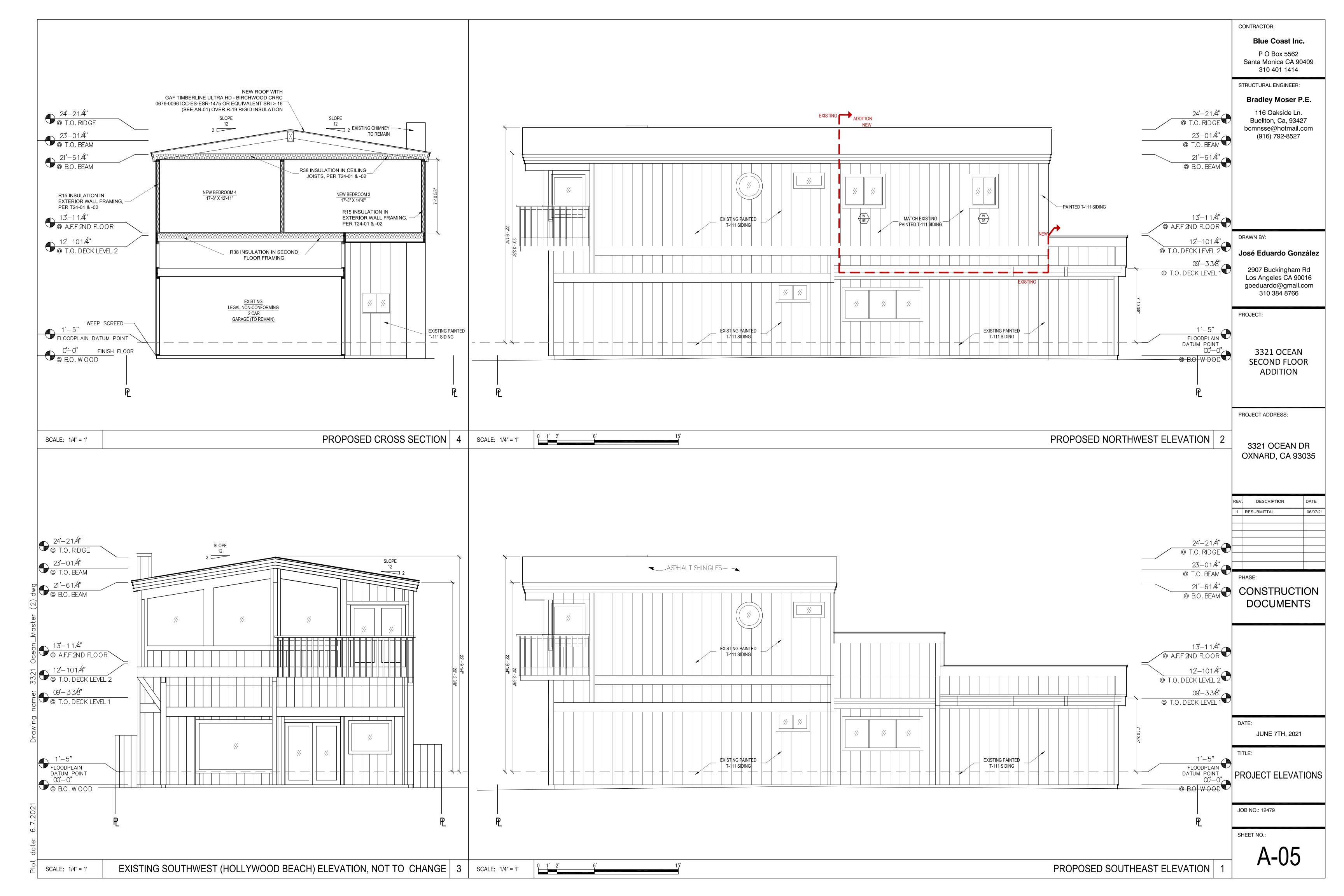
CONSTRUCTION DOCUMENTS

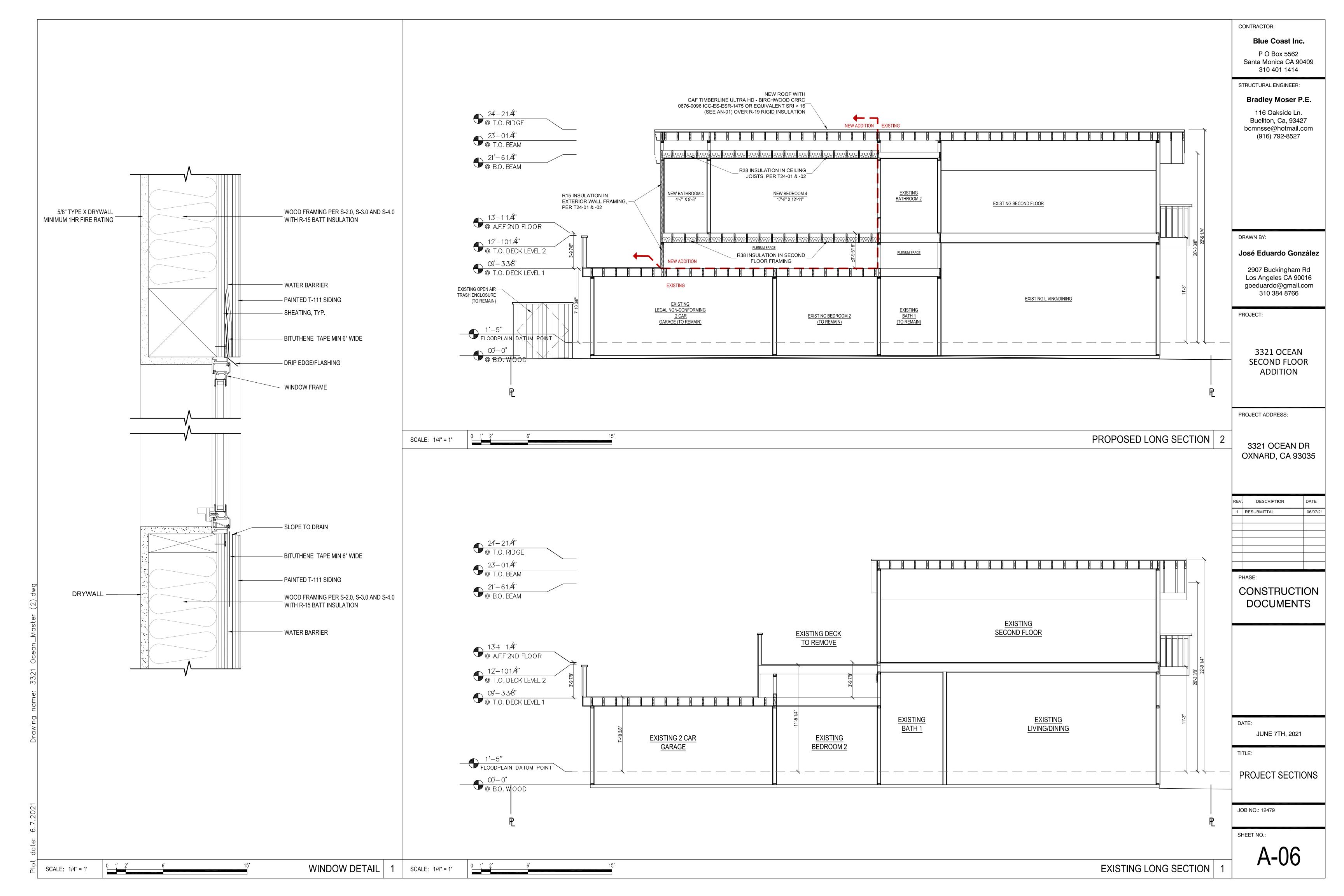
PROPOSED ROOF/ SITE PLAN











CONCRETE MASONRY NOTES:

1800 PSI AT 28 DAYS.

AND RE-VIBRATE EACH LIFT.

MODIFICATION AS NOTED ON THE DRAWINGS.

DAYS. SPECIFIC MINIMUMS ARE AS FOLLOWS:

CONCRETE COLUMNS:

CONCRETE BEAMS:

POURING CONCRETE EXCEEDING 2,500 PSI.

CHARACTERISTICS OF LESS THAN 0.05%

FORMED CONCRETE:

BUILDING OFFICIAL.

VERTICAL SURFACES.

REINFORCING STEEL NOTES

UNLESS NOTED OTHERWISE.

BEFORE CONCRETE IS POURED.

OTHERWISE NOTED ON PLANS:

CONCRETE GRADE BEAMS:

CONCRETE ELEVATED SLABS:

ADDED SHALL BE USED TO REDUCE WATER/CEMENT RATIO.

INSERTS, UNLESS NOTED OTHERWISE, SHALL BE AS FOLLOWS:

ONCRETE AGAINST EARTH: 3" CLEAR

SLAB ON GRADE CONSTRUCTION: CENTERED IN SLAB

OR RAMMING WITH A BAR OR ROD, UNTIL THE VOIDS ARE COMPLETELY FILLED.

EXCEPT REINFORCING TO BE WELDED, WHICH SHALL CONFORM TO ASTM A706.

REINFORCEMENT AT CONSTRUCTION JOINTS UNLESS OTHERWISE NOTED.

APPROVED BY THE ENGINEER (TACK WELDING INCLUDED).

DENOTE CLEAR COVERAGE UNLESS OTHERWISE NOTED.

FORMED CONCRETE BUT EXPOSED

TO EARTH OR WEATHER:

PLACEMENT OF REINFORCING STEEL AND CONCRETE.

CONCRETE CAST AGAINST GROUND: 3"

SHRINKAGE OR SETTLEMENT AT ANYTIME.

SEVEN DAYS, AND 7.500 PSI AT 28 DAYS.

SLABS ON GRADE:

FOOTINGS:

CAISSONS:

BY THE ENGINEER.

CONCRETE NOTES

1. CONCRETE MASONRY SYSTEM SHALL HAVE COMPRESSIVE STRENGTH F`c = 1500 PSI. CONCRETE

BLOCK, GRADE N-1 UNITS SHALL CONFORM TO ASTM C90 WITH A MINIMUM COMPRESSIVE STRENGTH OF

2. MORTAR, TYPE S, SHALL CONFORM TO ASTM C270 WITH A MINIMUM COMPRESSIVE STRENGTH OF

3. GROUT, CONFORMING TO ASTM C476 MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS

5. THE THICKNESS OF GROUT BETWEEN BLOCK UNITS AND REINFORCING STEEL SHALL BE NOT LESS

6. IF WORK IS STOPPED ONE HOUR OR LONGER, PROVIDE HORIZONTAL CONSTRUCTION JOINTS BY

7. SPECIAL INSPECTION IN ACCORDANCE WITH 2019 CBC CHAPTER 17 BY AN INSPECTOR APPROVED

9. BEFORE BLOCK IS PLACED ON CONCRETE, THOROUGHLY CLEAN CONCRETE OF ALL LAITANCE

EACH LIFT OR POUR OF GROUT WHERE SUCH LIFT OR POUR OF GROUT IS IN EXCESS OF 5'-0" IN HEIGHT.

ANY OVERHANGING MORTAR OR OTHER OBSTRUCTION OR DEBRIS SHALL BE REMOVED FROM INSIDE OF

SUCH CELLS. THE CLEANOUTS SHALL BE SEALED AFTER INSPECTION AND BEFORE GROUTING. VIBRATE

1. ALL PHASES OF WORK PERTAINING TO THE CONSTRUCTION SHALL CONFORM TO THE BUILDING

CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318, LATEST APPROVED EDITION) WITH

2. ALL CONCRETE HAS BEEN DESIGNED FOR 2,500 PSI MINIMUM COMPRESSIVE STRENGTH AT 28

2.500 PSI

2.500 PS

3.000 PS

3.000 PSI

3,000 PS

3,000 PSI

3,000 PS

4. ALL STRUCTURAL CONCRETE SHALL BE MADE FROM AGGREGATES BASED ON WEIGHT

CLASSIFICATION AS SHOWN BELOW: NORMAL WEIGHT: ASTM C33 WITH PROVEN SHRINKAGE

CONTINUOUS INSPECTION BY A CITY APPROVED DEPUTY INSPECTOR SHALL BE REQUIRED FOR

5. CONCRETE MIX DESIGNS SHALL BE PREPARED BY AN INDEPENDENT LABORATORY AND REVIEWED

MINIMUM CEMENT CONTENT (CALCIUM CHLORIDE SHALL NOT BE USED). ANY WATER REDUCING AGENTS

8. PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING.

EXCEPT WHERE SHOWN. NOTIFY BEC IN ADVANCE OF CONDITIONS NOT SHOWN ON THE STRUCTURAL

9. DRY PACK UNDER BASE PLATES, SILL PLATES AND WHERE OTHERWISE NOTED ON DRAWINGS

SHALL CONSIST OF 1 PART PORTLAND CEMENT AND 2.5 PARTS FINE AGGREGATE CONFORMING TO

10. NON SHRINK GROUT SHALL BE A READY TO USE METALLIC AGGREGATE PROJECT REQUIRING

ONLY THE ADDITION OF WATER AT THE JOB SITE, AND SHALL HAVE THE FOLLOWING ATTRIBUTES:

ASTM C33, WITH ENOUGH WATER TO FORM A BALL WHEN SQUEEZED BY HAND. THE SPACE BETWEEN

TWO SURFACES REQUIRING DRY PACK SHALL BE PACKED WITH THE DRY PACK MATERIAL, BY TAMPING

CAPABLE OF PRODUCING A FLOWABLE GROUTING MATERIAL HAVING NO DRYING

-THE COMPRESSIVE STRENGTH OF THE GROUT SHALL BE NOT LESS THAN 5,000 PSI AT

-GROUT SHALL BE EMBECO 636 PRODUCED BY MASTER BUILDERS (AVAILABLE FROM

COMPTON SALES OFFICE: 310-886-1000), OR OTHER LISTED MAKES APPROVED BY THE

11. FOR SLABS ON GRADE, LOCATE THE UNINDICATED CONSTRUCTION JOINTS IN A MANNER TO DIVIDE

GREATER THAN 1.2 TIMES THE OTHER. PLACE PERPENDICULAR TO THE MAIN FRAME REINFORCEMENT

12. USE SIMPSON PDPWL 2" SHOT PINS (OR EQUAL) @ 6" O.C. IN BEARING AND NON-BEARING WALLS

ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60 UNLESS OTHERWISE NOTED,

ALL CONCRETE SHALL BE REINFORCED UNLESS SPECIFICALLY NOTED "NOT REINFORCED" IN THE

DRAWINGS. IF REINFORCING BARS ARE NOT SHOWN OR NOTED, PROVIDE SAME REINFORCEMENT AS

FOR SIMILAR CONDITIONS ELSEWHERE IN THE WORK, OR AS DIRECTED BY THE ARCHITECT/ENGINEER.

REINFORCEMENT BARS #5 AND LARGER SHALL NOT BE SPLICED EXCEPT AS DETAILED AND

STAGGERED, VERTICAL REINFORCEMENT SHALL BE SPLICED ONLY AT HORIZONTAL SUPPORTS, SUCH

4. ANCHOR BOLTS, DOWELS AND OTHER EMBEDDED ITEMS SHALL BE ACCURATELY SET IN PLACE

SUPPORT BARS IN ADDITION TO REINFORCEMENT SHOWN WHERE FIRM AND ACCURATE PLACING IS

NECESSARY AS SPECIFIED IN THE ACI STANDARDS. DOWELS SHOULD BE PROVIDED TO MATCH ALL

NO REINFORCEMENT WELDING SHALL BE DONE UNLESS SHOWN ON THE DRAWINGS, OR

ALL DIMENSIONS SHOWN FOR LOCATION OF REINFORCING ARE TO THE FACE OF BARS AND

MINIMUM CONCRETE COVERAGE OF REINFORCING STEEL SHALL BE AS FOLLOWS, UNLESS

9. DRAWINGS SHOW TYPICAL REINFORCING CONDITIONS. CONTRACTOR SHALL PREPARE DETAILED

PLACEMENT DRAWINGS OF ALL CONDITIONS SHOWING QUANTITY, SPACING, SIZES, CLEARANCE, LAPS,

INTERSECTIONS AND COVERAGE REQUIRED BY STRUCTURAL DETAILS, APPLICABLE CODE AND TRADE

STANDARDS. CONTRACTOR SHALL NOTIFY REINFORCING INSPECTOR OF ANY ADJUSTMENTS FROM

TYPICAL CONDITIONS WHICH ARE PROPOSED IN PLACEMENT DRAWINGS TO FACILITATE FIELD

REINFORCEMENT BARS SHALL BE ACCURATELY PLACED AND FIRMLY SUPPORTED USING TIES AND

LOCATED ON DRAWINGS. #4 AND SMALLER BARS WITH LENGTH NOT SHOWN SHALL BE CONTINUOUS.

AS ROOF OR FLOOR UNLESS OTHERWISE NOTED ON DRAWINGS. ALL SPLICES SHALL BE CLASS B

LAPPING IN CONCRETE 1'-6" MINIMUM. WALL HORIZONTAL REINFORCEMENT SPLICES SHALL BE

AND CONTINUE REINFORCEMENT ACROSS JOINT. PROVIDE ISOLATION JOINTS IN SLABS ON GRADE AND

THE SLAB INTO AREAS NOT IN EXCESS OF 600 SQUARE FEET, WITH ONE DIMENSION BEING NOT

DO NOT CUT ANY REINFORCING WHICH MAY CONFLICT. CORING IN CONCRETE IS NOT PERMITTED,

ADMIXTURES SHALL COMPLY WITH ASTM C494 AND BE OF A TYPE THAT INCREASES THE

WORKABILITY OF THE CONCRETE, BUT SHALL NOT BE CONSIDERED TO REDUCE THE SPECIFIED

7. CLEAR COVERAGE OVER REINFORCING BARS, ANCHOR BOLTS AND ALL OTHER CONCRETE

CONCRETE STRENGTHS F'c

SEE REINFORCING STEEL NOTES AND STANDARD DETAILS FOR REBAR REQUIREMENTS. LAP ALL

CLEAN OUT OPENINGS SHALL BE PROVIDED AT THE BOTTOMS OF ALL CELLS TO BE FILLE AT

WITH A FLUID CONSISTENCY. GROUT ALL CELLS SOLID UNLESS OTHERWISE NOTED.

4. PROVIDE TEST AS MAY BE REQUIRED BY THE BUILDING OFFICIAL

STOPPING THE GROUT 1- 1/2" BELOW THE TOP OF THE BLOCK.

BARS 48 BAR DIAMETERS (HORIZONTAL AND VERTICAL).

THAN ½" AND BETWEEN PARALLEL REINFORCING BARS, NOT LESS THAN ¾".

BY THE BUILDING DEPARTMENT IS NOT REQUIRED UNLESS OTHERWISE NOTED.

AND ALL LOOSE MATERIAL. ROUGHEN AS IN A CONCRETE CONSTRUCTION JOINT.

2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE FOR THE PROPER DESIGN AND INSTALLATION OF ALL REQUIRED SHORING, BRACING, AND FORMWORK. THE METHODS, TECHNIQUES, SEQUENCE, PROCEDURES, SUPERVISION, AND INSTALLATION OF ALL SHORING AND BRACING SHALL BE PER THE MOST RECENT OSHA STANDARDS. ALL SHORING. BRACING, AND FORMWORK SHALL REMAIN IN PLACE UNTIL ALL WORK HAS BEEN SUITABLY

3. BRADLEY C. MOSER IS THE ENGINEER OF RECORD. ALL DIMENSIONS, ELEVATIONS, AND EXISTING IMPROVEMENTS SHALL BE VERIFIED AND DISCREPANCIES REPORTED TO BRADLEY C. MOSER AT 916-792-8527.

5. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES ON DRAWINGS. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO CONSTRUCTION DETAILS ARE NOTED, DETAILS SHALL BE THE SAME AS

6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SUPERVISION OF THE CONSTRUCTION WORK TO ENSURE THAT IT IS BUILT IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS

7. THE APPROVED PLANS AND SPECIFICATIONS, INCLUDING REVISIONS, SHALL BE KEPT ON THE CONSTRUCTION SITE AT ALL TIMES.

8. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOFS. IN NO EVENT SHALL LOADS EXCEED THE DESIGN LOADINGS FOR THE SUPPORTING

9. NO CHANGES IN THE PLANS SHALL BE MADE AND NO EXTRA WORK PERFORMED UNLESS SO APPROVED BY THE ARCHITECT, CIVIL/STRUCTURAL ENGINEER, SOILS/GEOLOGICAL ENGINEER, COUNTY/CITY INSPECTOR AND BUILDING OFFICIAL.

10. IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO REQUIRE THE COMPLETION OF THE WORK IN A THOROUGH AND WORKMANLIKE MANNER IN EVERY RESPECT.

11. THE CONTRACTOR SHALL PROMPTLY REMOVE FROM THE BUILDING, LOT, SIDEWALKS, AND STREETS ALL RUBBISH AND DEBRIS AS IT ACCUMULATES, DUE TO THE WORK DONE UNDER CONTRACT. ALL COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM THE BUILDING ON A DAILY

12. THE CONTRACTOR SHALL OBTAIN OR OTHERWISE FURNISH PERMITS, LICENSES, FEES, MATERIALS, LABOR, TOOLS, SUPPLIES, EQUIPMENT, TRANSPORTATION, SUPERINTENDENCE. TEMPORARY CONSTRUCTION OF EVERY NATURE, INSURANCE, TAXES AND ALL OTHER SERVICES AND FACILITIES NECESSARY TO COMPLETE THIS PROJECT.

13. THE CONTRACTOR SHALL AT ALL TIMES MAINTAIN FULL AND UNLIMITED WORKER'S COMPENSATION INSURANCE IN ACCORDANCE WITH THE LABOR CODE IN THE STATE OF CALIFORNIA, AND SHALL CARRY PUBLIC CONTINGENT LIABILITY OF INSURANCE, IN AN AMOUNT SATISFACTORY TO AND IN COMPANIES SELECTED WITH THE CONSENT OF THE OWNER. 14. EXCAVATIONS SHALL BE PER THE REQUIREMENTS OF THE STATE CONSTRUCTION SAFETY ORDERS AS ENFORCED BY THE STATE DIVISION OF INDUSTRIAL SAFETY.

15. SUBMIT COPIES OF PERMITS, LICENSES, CERTIFICATIONS, INSPECTION REPORTS, RELEASES, JURISDICTIONAL SETTLEMENTS, NOTICES, RECEIPTS FOR FEE PAYMENTS, JUDGMENTS AND SIMILAR DOCUMENTS, CORRESPONDENCE FOR THE OWNER'S RECORDS.

16. EVERY ITEM MENTIONED IN THE SPECIFICATIONS IS THE INTENDED MINIMUM QUALITY OF MATERIAL THAT WILL BE DEMANDED. SHOULD THE CONTRACTOR WISH TO SUGGEST ANY SUBSTITUTE CONSIDERED EQUAL IN VALUE AND EFFICIENCY WITH THE ONE SPECIFIED, IT SHALL BE STATED WHAT THE ITEM SUGGESTED IS AND THE DIFFERENCE IN COST, IF ANY.

GRADING NOTES

THE AREA TO RECEIVE COMPACTED FILLS SHALL BE STRIPPED OF ALL VEGETATION, DEBRIS, EXISTING FILL, AND SOFT OR DISTURBED SOILS. THE EXCAVATED AREAS SHALL BE REVIEWED BY THE GEOTECHNICAL ENGINEER IN THE FIELD PRIOR TO PLACING CONTROLLED,

2. THE EXPOSED GRADE SHALL BE BENCHED, APPROPRIATELY GRADED, SCARIFIED TO A DEPTH OF SIX INCHES, MOISTENED TO OPTIMUM MOISTURE AND RE-COMPACTED TO 90 PERCENT OF THE MAXIMUM DENSITY.

3. THE EXCAVATED ON-SITE MATERIALS ARE CONSIDERED UNSATISFACTORY FOR REUSE IN THE ENGINEERED FILL. REMOVE ANY TRASH, ORGANIC, OR DELETERIOUS MATERIALS. REMOVE BOULDERS LARGER THAN 6 INCHES.

4. SOIL SHALL BE SPREAD EVENLY IN LAYERS NOT TO EXCEED 4 INCHES WHILE LOOSE.

FOUNDATION NOTES

1. THE FOUNDATION DESIGN IS BASED ON 2019 CBC 1500 PSI CODE MINIMUMS.

2. UNLESS OTHERWISE INDICATED, FOUNDATION WORKS SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CBC AND REQUIREMENTS OF THE CITY INSPECTOR.

3. FOUNDATION AND CAISSONS EXCAVATIONS MUST BE INSPECTED AND APPROVED BY THE CONSULTING GEOLOGIST AND SOILS ENGINEER PRIOR TO THE PLACING OF STEEL OR CONCRETE. A FINAL GEOLOGIC INSPECTION REPORT OF THE CAISSON EXCAVATION SHALL BE PROVIDED TO THE GEOTECHNICAL AND MATERIALS ENGINEERING DIVISION. THE REPORT SHALL INCLUDE, BUT NOT LIMITED TO, VERIFICATION OF TOTAL EXCAVATION DEPTH, PILE EMBEDMENT DEPTH, APPROVED EMBEDMENT MATERIAL.

4. UNEXPECTED SOIL CONDITIONS: FOUNDATION DESIGN IS BASED UPON Oxnard COUNTY BUILDING CODE, WORST CASE CONDITION (CLAY), ANY SUBSURFACE CONDITIONS NOT IN ACCORDANCE WITH THIS CONDITION SHALL BE REPORTED TO THE SOILS ENGINEER IMMEDIATELY FOR RESOLUTION PRIOR TO CONTINUING ANY WORK.

EXCAVATED MATERIAL AND/OR IMPORTED BORROW AND SHALL BE FREE OF ORGANIC MATTER TRASH, LUMBER OR OTHER DEBRIS, COMPACT IN ACCORDANCE WITH ABOVE REFERENCED REPORT. EARTH SHALL BE COMPACTED UNDER ALL SLABS AND AROUND ALL FOOTINGS.

COMPACTION: MATERIAL FOR FILLING AND BACKFILLING SHALL CONSIST OF THE

6. FORM FOOTINGS AS NECESSARY. BOTTOM OF FOOTING SHALL BE STEPPED IF NECESSARY TO PROVIDE LEVEL BEARING. FOUNDATION EXCAVATIONS SHALL BE CLEANED OF ANY LOOSENED SOILS AND STANDING WATER BEFORE PLACING STEEL OR CONCRETE.

STRUCTURAL STEEL NOTES:

1. ALL STRUCTURAL STEEL SHALL CONFORM TO A.S.T.M. A36, 36 KSI YIELD STRESS, AND SHALL BE ERECTED IN ACCORDANCE WITH A.I.S.C. SPECIFICATIONS FOR BUILDINGS. 2. ALL STRUCTURAL STEEL SHALL BE FABRICATED IN A SHOP APPROVED BY THE LOCAL

3. STRUCTURAL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR APPROVAL PRIOR TO FABRICATION

4. STRUCTURAL STEEL SHALL HAVE A SHOP-APPLIED COAT OF RED-OXIDE PRIMER AND TWO COATS OF PAINT SPECIFICALLY INTENDED FOR PREVENTING CORROSION. COLOR TO BE BLACK OR DARK BROWN

5. AFTER ERECTION, ALL FIELD CONNECTIONS AND ALL ABRADED PLACES ON THE SHOP PAINT SHALL BE TOUCHED-UP WITH THE SAME TYPE OF PAINT AS THE SHOP COAT. 6. FIELD WELDING SHALL BE DONE BY A DULY LADBS CERTIFIED WELDER USING

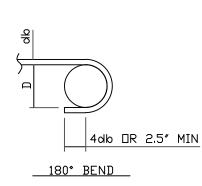
LOW-HYDROGEN RODS. CONTINUOUS INSPECTION BY A REGISTERED INSPECTOR IS REQUIRED. ALL WELDING ELECTRODES SHALL CONFORM TO:

STRUCTURAL STEEL: E70-T6 REINFORCING STEEL: E90 SERIES

7. BOLTS SHALL BE OF A307 QUALITY WITH WASHERS, UNLESS NOTED OTHERWISE. HIGH

STRENGTH A325 BOLTS SHALL HAVE SPECIAL INSPECTION.

8. SHOP WELDS MUST BE FABRICATED IN A LADBS LICENSED FABRICATOR'S SHOP.



D = 6db FDR #8 ANDD = 8db FOR #9 TO #11 SEE PLAN DETAILS FOR BENDS IN BARS LARGER THAN

TIMBER FRAMING NOTES

ALL SILLS AND PLATES RESTING ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED DOUGLAS FIR. ANCHOR BOLTS SHALL BE PLACED 4'-0" O.C. MAXIMUM AND 12" FROM EACH END OF A PLATE UNLESS NOTED OTHERWISE.

2. PROVIDE DIAGONAL BRACING AT CORNERS AND EVERY 25 LINEAR FEET OF WALL, UNLESS SHEAR WALL IS INSTALLED.

3. UNLESS NOTED OTHERWISE ON FRAMING PLANS, ALL PLYWOOD ROOF SHEATHING SHALL BE 1/8" STANDARD CDX WITH EXTERIOR GLUE, PANEL IDENTIFICATION OF 24/0, NAILED WITH 10D COMMON GALVANIZED NAILS AT 4" O.C. EDGE AND 12" O.C. FIELD NAIL. PLYWOOD FLOORING SHALL BE 3/4" CDX T&G PLYWOOD SHEATHING, GROUP 1, PANEL IDENTIFICATION OF 36/16, WITH EXTERIOR GLUE NAILED WITH 10D COMMONS AT 4" O.C. AT EDGES AND 12" O.C. FIELD NAIL. ALL WOOD SHALL CONFORM TO PS 1-95.

FOR SHEAR WALLS ONLY, PLYWOOD SHALL BE DOUGLAS FIR STRUCTURAL I GRADE WITH EXTERIOR GLUE. PLYWOOD SHALL BE GRADE MARKED BY DFPA, TECO OR PTL AND

PLYWOOD SHEETS SHALL BE LAID WITH THE LONG DIMENSIONS AND FACE GRADING PERPENDICULAR TO THE RAFTERS OR JOINTS, AND THE SHEETS SHALL BE STAGGERED AS SHOWN. EACH SHEET SHALL CONTAIN A MINIMUM OF 8 SQUARE FEET AND EXTEND TO 3

6. PLYWOOD DIAPHRAGM SHALL BE INSPECTED AND APPROVED BEFORE FINISH IS LAID.

ALL HORIZONTAL MEMBERS SHALL BE DOUGLAS FIR LARCH NO. 1 OR BETTER FOR 2X,

4X AND LARGER MEMBERS. ALL VERTICAL FRAMING SHALL BE DOUGLAS FIR NO. 2. SAWN LUMBER SHALL NOT EXCEED19%%% MOISTURE CONTENT.

9. JOISTS OR RAFTERS SHALL NOT BE NOTCHED OR DAPPED IN ANY MANNER UNLESS

10. FLOOR JOISTS GREATER THAN 4" IN DEPTH AND RAFTERS GREATER THAN 8" IN DEPTH SHALL HAVE WOOD SOLID BLOCKING AT ALL BEARINGS, AND SHALL HAVE A 2X FULL DEPTH SOLID BLOCKING OR CROSS BRIDGING AT SPANS EQUAL OR GREATER THAN 8'-0" FOR FLOOR JOISTS AND 10'-0" FOR RAFTERS.

11. ALL HANGERS AND STANDARD FRAMING HARDWARE UNLESS NOTED OTHERWISE SHALL BE AS MANUFACTURED BY THE SIMPSON COMPANY AND ARE IDENTIFIED BY NUMBERS AS SHOWN IN THEIR LATEST CATALOG.

12. TOP PLATES SHALL LAP LOWER PLATE AT CORNERS. BREAKS AT PLATE SHALL BE LAPPED A MINIMUM OF 4'-0", WITH 5-16D NAILS ON EACH SIDE.

13. ALL WALLS CONTAINING PIPES 3" IN DIAMETER OR LARGER SHALL BE 2X6 STUDS AT 16"

DOUBLED OR TRIPLED HORIZONTAL MEMBERS SHALL BE NAILED TOGETHER WITH TWO ROWS OF 16D COMMON NAILS AT 16" O/C STAGGERED.

14. PROVIDE DOUBLE JOISTS AT ALL NON-BEARING PARTITIONS PARALLEL TO THE JOIST.

15. HOLES THROUGH SILLS, PLATES AND STUDS IN INTERIOR BEARING AND SHEAR WALLS SHALL NOT EXCEED 1/3 THE PLATE OR STUD WIDTH.

16. FRAMING AND NAILING NOT DETAILED ON THE PLANS ARE TO CONFORM TO THE MINIMUM STANDARDS PER TABLE 2304.10.1 OF THE 2019 CBC.

17. ALL BOLT HEADS AND NUTS BEARING ON WOOD SHALL HAVE WASHERS. HOLES IN WOOD FOR BOLTS SHALL BE DRILLED $\frac{1}{16}$ " LARGER THAN NOMINAL BOLT SIZE.

18. BOLTS SHALL HAVE A DRIVE FIT WITH HEADS AND NUTS BEARING ON PLATE. WASHERS SHALL BE IN ACCORDANCE WITH THE FOLLOWING SCHEDULE (THIS SCHEDULE ALSO APPLIES TO LAG SCREW HEADS):

19. PROPERLY SIZED NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT PER

20. CONNECTOR BOLT HOLES SHALL NOT BE MORE THAN χ_{6} " OVERSIZED. HOLDOWN CONNECTOR BOLT SHALL NOT BE MORE THAN 1/16" OVERSIZED AT THE CONNECTION OF THE HOLDOWN TO THE POST. HOLDOWN CONNECTORS SHALL BE RE-TIGHTENED JUST PRIOR TO

LAG SCREWS SHALL BE INSTALLED IN PRE DRILLED HOLES. THE HOLES ARE TO BE OF THE SAME DIAMETER AS THE SHANK FOR THE SHANK PORTION AND 75% OF THE SHANK DIAMETER FOR THE THREADED PORTION. LAG SCREWS ARE TO BE INSERTED WITH THE TURN OF A WRENCH. DRIVING, AS WITH A HAMMER, IS NOT PERMITTED. SOAP OR OTHER LUBRICANT SHALL BE USED ON THE LAG SCREW OR IN THE LEAD HOLES TO FACILITATE INSERTION AND PREVENT DAMAGE TO THE LAG SCREW

BOLT DIAMETER	WASHER
½" DIA	3" SQUARE X 1/4"
%" DIA	3" SQUARE X 1/4"
¾" DIA	3" SQUARE X 5/16"
⅓" DIA	3 ½" SQUARE X 5/16"
1" DIA	4" SQUARE X 3/8"

MICROLLAMS/PARALLAMS/TIMBERSTRANDS

MICROLLAMS/PARALLAMS/TIMBERSTRANDS SHALL BE FABRICATED BY THE TRUS-JOIST OR AN APPROVED EQUAL IN STRUCTURAL DESIGN AND LOAD VALUES, CONFORM TO NER - 481 AND SHALL HAVE THE FOLLOWING STRUCTURAL PROPERTIES:

DESIGN STRESSES (100% LOAD DURATION)

	CATEGORY	E PSI	F(b) PSI	Fc⊥PSl ²	Fc II PSI	Fv PSI
1	TIMBER STRAND LSL	1.5X10 ⁶	2250 (4)	650	1950	285
2	MICROLLAM LVL	1.9X10 ⁶	2600 ⁽³⁾	750	2310	285
3	PARALLAM PSL	2.0X10 ⁶	2900 12	650	2900	290

(1). FOR 12" DEPTH, FOR OTHERS, MULTIPLY BY (12/D) 0.111. (2). FC SHALL NOT BE INCREASED FOR DURATION OF LOAD. (3). DEPTH GREATER THAN 12" MULTIPLYF(B) BY (12/D) 0.136.

(4). DEPTH GREATER THAN 12" MULTIPLY F(B) BY (12/D) 0.092.

2. FOR NOTCHING, DRILLING, AND MULTIPLE MEMBER CONNECTION, COMPLY WITH MFG'S SPECIFICATION OR CALL BRADLEY C. MOSER. 916-792-8527

GLUE LAMINATED BEAMS

DIAMETEROFR SMOOTH SHANK PORTION.

GLUE LAMINATED BEAMS SHALL BE WEST COAST DOUGLAS FIR-LARCH, WITH 1- 1/2" OUTER AND CORE LAMINATIONS AND SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR STRUCTURAL GLUE LAMINATED TIMBER", A.I.T.C. #117 AND ALL APPROVED SUPPLEMENTS THEREOF.

2. MOISTURE CONTENT OF THE LUMBER AT THE TIME OF GLUING SHALL BE NOT MORE THAN 16X WITH A MAXIMUM VARIATION OF 5X IN ANY BEAM.

3. BEAMS SHALL CONFORM TO A.I.T.C. INDUSTRIAL APPEARANCE GRADE, UNLESS NOTED OTHERWISE.

4. ENDS OF BEAMS SHALL BE SEALED AND BEAMS SHALL BE LOAD WRAPPED FOR PROTECTION DURING SHIPPING. 5. A "CERTIFICATE OF INSPECTION", BY AN APPROVED INSPECTION AGENCY SHALL BE

SUBMITTED TO THE CITY BUILDING AND SAFETY DEPARTMENT PRIOR TO ERECTION. FOR SIMPLY SUPPORTED BEAMS. USE COMBINATION 24F-V4 E, MODULUS OF ELASTICITY = 1,800,000 PSI F(b), BENDING STRESS = 2,400 PSI

F(v), SHEAR STRESS = 800 PSI FOR CANTILEVER BEAMS.. ..USE COMBINATION 24F-V8 E, MODULUS OF ELASTICITY = 1,800,000 PSI F(b), BENDING STRESS = 2,400 PSI F(v), SHEAR STRESS = 800 PSI

8. FOR NOTCHING, DRILLING, AND MULTIPLE MEMBER CONNECTION, COMPLY WITH MFG'S SPECIFICATION OR CALL BRADLEY C. MOSER ENGINEERING CORP. @ 310-544-6010

9. GLUE LAM TIMBER MUST BE FABRICATED IN A LADBS LICENSED SHOP. IDENTIFY GRADE SYMBOL AND LAMINATION SPECIES PER 2015 NDS SUPP. TABLE 5-A. 10. PROVIDE LEAD HOLE 40%-70% OF THREADED SHANK DIAMETER AND FULL

TABLE 2304.10.1-NAILING SCHEDULE

CONNECTION	FASTENING	
. JOIST TO SILL OR GIRDER, TOENAIL	3-8D	
2. BRIDGING TO JOIST, TOENAIL, EACH END	2-8D	
B. 1"X6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8D	
4. WIDER THAN 1"X6" SUBFLOOR TO EACH JOIST, FACE NAIL	3-8D	FL
5. 2" SUBFLOOR TO JOIST, GIRDER, BLIND AND FACE NAIL	2-16D	
6. SOLE PLATE TO JOIST OR BLOCKING, TYPICAL FACE NAIL		F
SOLE PLATE TO JOIST OR BLOCKING, AT BRACE WALL PANEL		
7. TOP PLATE TO STUD, END NAIL	2-16D	l I
	, OR 2-16D END NAIL	
DOUBLE STUD , FACE NAIL	16D@24" O.C.	
DOUBLE TOP PLATES, TYPICAL FACE NAIL	16D@24 O.C.	BASIC_W
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TO		(3-:
2. RIM JOIST TO TOP PLATE, TOENAIL	8D@6" O.C.	
3. TOP PLATES, LAP & INTERSECTION, FACE NAIL	2-16D	WIND
4. CONTINUOUS HEADER TO STUD, TWO PIECES 16D@16" O.C.		WIND
5. CEILING JOISTS TO PLATE, TOENAIL	3-8D	INTERNAL-
6. CONTINUOUS HEADER TO STUD, TOENAIL	4-8D	CDE
7. CEILING JOISTS LAP OVER PARTITIONS, FACE NAIL	3-16D	CDMF
8. CEILING JOISTS EAP OVER PARTITIONS, FACE NAIL	3-16D	
9. RAFTER TO PLATE, TOENAIL	3-10D 3-8D	
20. 1" DIAGONAL BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8D	IMPORTANCE
21. 1" X8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	3-8D	□CCUPANCY
21. I AS SHEATHING OR LESS TO EACH BEARING, FACE NAIL 22. WIDER THAN 1"X8" SHEATHING TO EACH BEARING, FACE NAIL		
·	16D@24" O.C.	MAPPED
23. BUILT-UP CORNER STUDS, COMMON		
24. BUILT-UP GIRDER AND BEAMS 20D@32"@TOP & BO		0.00
2-20D@ ENDS AND @		SOIL S
•	6D@ EACH BEARING	
5. COLLAR TIE TO RAFTER	3-10D	SPECTRAL
		COE
'. JACK RAFTER TO HIP	3-10D	OFION
		SEISM
B. ROOF RAFTER TO 2-BY RIDGE BEAM	2-16D	
		SEISI
). JOIST TO BAND JOIST	3-16D	RESISTIN
		DESIGN BAS
LEDGER STRIP 3-16D COMMON (3 $\frac{1}{2}$ "X0.162")	3-16D	TOTAL
4-3"X0.113" NAILS, FACE NAILS		SEISMIC
4-3"X14 GAGE STAPLES		CDEFF
. WOOD STRUCTURAL PANEL AND PARTICLE BOARD:		CUEFFI
SUBFLOOR AND WALL SHEATHING (TO FRAMING)		
	6D ^{⊂,l}	MODIFICATIO
1/2" AND LESS, 2 3/8" X0.113 NAIL, 1 3/4" 16° GAGE		
19/32"-3/4",2 3/8"X0.113"NÅIL, 2"16 GAGE	8D ^{ol} OR 6D ^e	
7/8"-1"	8D [⊂]	ANALYSIS F
1-1/8"-1-1/4"	10D ^d OR 8D d	25211121
SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT T	O FRAMING):	REDUNDAC
3/4" AND LESS	, 6D ^e	STATEMENT OF SPECIA
7/8" TO 1"	8D ^e	STATEMENT OF SPECIA
1-1/8" TO 1-1/4"	10D ^d OR 8D ^e	1. IT SHALL BE THE DUTY
. PANEL SIDING (TO FRAMING):		 IT SHALL BE THE DUTY TO NOTIFY THE BUILDING OF
1/2" OR LESS	6D ^f	THAT SUCH WORK IS READY
E/0"	oD _f	THAT GOOT WORK IS READ I

32. I AIVLE SIDING (TO I KAMINO).	
1/2" OR LESS	6D ^f 8D ^f
5/8"	8D ^f
33. FIBERBOARD SHEATHING:	
1/2"	NO. 11GAGE ROOFING NAIL h
	6D COMMON NAIL (2"X0.113")
	NO. 16GAGE STAPLE ¹
25/32"	NO. 11GAGE ROOFING NAIL ^h
	8D COMMON NAIL (2 $\frac{1}{2}$ " X 0.131")
	NO. 16 GAGÈ STAPLE i
34. INTERIOR PANELING:	
1/4"	4D . J
3/8"	6D ^k

FOOTNOTES: FOR SI 1 INCH = 25.4 MM. COMMON OR BOX NAILS MAYBE USED EXCEPT WHERE OTHERWISE STATED.

b. NAILS SPACED AT 6" O.C. AT EDGES, 12" AT INTERMEDIATE SUPPORTS EXCEPT 6" AT ALL SUPPORTS WHERE SPANS ARE 48" OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAPHRAGMS AND SHEARWALLS, REFER TO SECTIONS 2305. NAILS FOR WALL SHEARING ARE PERMITTED TO BE A COMMON, BOX OR CASING.

c. COMMON OR DEFORMED SHANK.(6D-2"X0.113";8D-2 $\frac{1}{2}$ "X0.113;10D-3"X0.148").

d. COMMON (6D-2"X0.113";8D-2 $\frac{1}{2}$ "X0.131";10D-3"X0.148")

e. DEFORMED SHANK (6D-2"X0.113";8D-2 \frac{1}{2}"X0.131";10D-3"X0.148").

f. CORROSION-RESISTANT SIDING (6D-1 $\frac{7}{8}$ "X0.106";8D-2 $\frac{3}{8}$ "X0.128") OR CASING(6D-2"X0.099")NAIL.

g. FASTENERS SPACED 3" O.C. @ EXTERIOR EDGES AND 6" O.C. AT INTERMEDIATE SUPPORT,WHEN USED AS STRUCTURAL SHEATING. SPACING SHALL BE 6"ON CENTERS ON THE EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS FOR NON STRUCTURAL APPLICATION.

h. CORROSION-RESISTANT ROOFING NAILS WITH 7/16" DIAMETER HEAD AND 1-1/2" LENGTH FOR 1/2" SHEATHING AND 1-3/4 LENGTH FOR 25/32" SHEATHING.

i. CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16" CROWN AND 1-1/8" LENGTH FOR 1/2" SHEATHING AND 1-1/2" LENGTH FOR 25/32" SHEATHING. PANEL SUPPORTS AT 16" (20" IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL,, UNLESS OTHERWISE MARKED).

INTERMEDIATE SUPPORTS. k. PANEL SUPPORTS AT 24" CASING OR FINISH NAILS SPACED 6" ON PANEL EDGES, 12" AT

CASING (1 ½"X0.080")OR FINISH(1 ½"X0.072) NAILS SPACED 6" ON PANEL EDGES, 12" AT

I. FOR ROOF SHEATHING APPLICATIONS, 8D NAILS (2 $\frac{1}{2}$ "X0.113") ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS.

m. STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF $\frac{7}{16}$ INCH.

n. FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED 4" O.C. AT EDGES, 8 "AT INTERMEDIATE SUPPORTS.

o. FASTENER SPACED 4" O.C. AT EDGES, 8" AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND WALL SHEATHING AND 3" O.C. AT EDGES, 6" AT INTERMEDIATE SUPPORTS FOR ROOF

p. FASTENER SPACED 4" O.C. AT EDGES, 8" AT INTERMEDIATE SUPPORTS.

q. FASTENER FOR PRESERVATIVE-TREATED SHALL BE HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.

A COPY OF THE Oxnard RESEARCH REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

LADBS LICENSED FABRICATOR IS REQUIRED FOR ALL TRUSSES AND STRUCTURAL STEEL

SEISMIC &	WIND DESIG	SN CRITERIA
CATEGORY	DEAD	LIVE
FLOOR LOAD	15 PSF	40 PSF
ROOF LOAD	21 PSF	20 PSF
DECK LOAD	15 PSF	60 PSF
BASIC WIND SPEED (3-SEC GUST)	:	100 MPH
WIND EXPOSURE		С
INTERNAL-PRESSURE CDEFFICIENT/ CDMPDNENTS & CLADDING	0.7	32 PSF
IMPORTANCE FACTOR & OCCUPANCY CATAGORY		1.0, II
MAPPED SPECTRAL RESPONSE	S _s =1.695	S ₁ =0.614
SOIL SITE CLASS		D
SPECTRAL RESPONSE COEFFICIENTS	S _{ps} =1.356	S _{D1} =0.000
SEISMIC DESIGN CATEGORY		D
SEISMIC-FORCE RESISTING SYSTEM	PLYWOO	D SHEAR WALL
DESIGN BASE SHEAR & TOTAL BUILD-WT	V = Cs * W,	BUILD WT=75,703
SEISMIC RESPONSE COEFFICIENT, Cs	Cs	= 0.2086
RESPONSE MODIFICATION FACTOR, R	Ī	R = 6.5
ANALYSIS PROCEDURE	Equivalen-	t Lateral Force
REDUNDACY FACTOR		1.3

TY OF THE PERSON DOING THE WORK AUTHORIZED BY THE PERMIT OFFICIAL AND ANY SPECIAL INSPECTORS REQUIRED BY THE PLANS SUCH WORK IS READY FOR INSPECTION, AND TO PROVIDE ACCESS AND MEANS FOR SUCH INSPECTION.

THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR CONFORMANCE WITH THE APPROVED DESIGN DRAWINGS AND SPECIFICATIONS. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, ENGINEER OR ARCHITECT OF RECORD AND OTHER DESIGNATED PERSONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR FOR CORRECTION.

3. THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS, TO THE BEST OF THEIR KNOWLEDGE, IN CONFORMANCE WITH THE APPROVED PLANS, SPECIFICATIONS, AND APPLICABLE WORKMANSHIP PROVISIONS OF THE CODE. 4. CONTRACTORS RESPONSIBLE FOR THE CONSTRUCTION OF A WIND OR SEISMIC FORCE

RESISTING SYSTEM/COMPONENT LISTED IN THE STATEMENT OF SPECIAL INSPECTION SHALL SUBMIT A WRITTEN STATEMENTOF RESPONSIBLITY TO THE LADBS INSPECTORS AND THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON SUCH SYSTEM OR COMPONENT PER 5. CONTINUOUS SPECIAL INSPECTION BY A REGISTERED DEPUTY INSPECTOR IS REQUIRED

FOR FIELD WELDING, CONCRETE STRENGTH f'c > 2500 PSI, HIGH STRENGTH BOLTING, SPRAY-ON FIREPROOFING, ENGINEERED MASONRY, HIGH-LIFT GROUTING, PRE-STRESSED CONCRETE, HIGH LOAD DIAPHRAGMS AND SPECIAL MOMENT-RESISTING CONCRETE FRAMES. 6. IN CONFORMANCE WITH THE 2019 CBC SECTION 1701, THE FOLLOWING WORK REQUIRES SPECIAL INSPECTION:

CONCRETE: FOUNDATION TIMBER: NONE MONMENT FRAME STEEL:

PERIODIC SPECIAL INSPECTION IS REQIURED FOR WOOD SHEAR WALLS, SHEAR PANELS, AND DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING, AND OTHER FASTENING TO COMPONENTS OF THE SEISMIC FORCE RESISTING SYSTEM. SPECIAL INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED WHERE THE FASTENER SPACING OF THE SHEATHING IS 4 INCHES ON CENTER OR LESS.

SPECIAL INSPECTIONS ARE REQUIRED FOR SHEAR WALLS AND DIAPHRAGMS, INCLUDING CONNECTIONS TO OTHER COMPONENTS OF THE SHEAR-FORCE-RESISTING SYSTEMWHEN NAILING OF THE SHEATHING IS 4" OR LESS O.C.

> Oxnard Regional Uniform Code Program Committee I-3: Structural Observation

STRUCTURAL OBSERVATION PROGRAM AND DESIGNATION OF THE STRUCTURAL OBSERVER

PROJECT ADDRESS: 3321 Ocean Dr., Oxnard Ca.

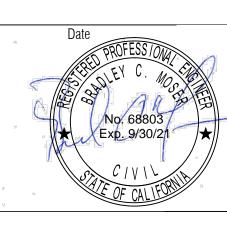
Description of Work: New Single Family House

Architect: Jose Eduardo Gonzales Engineer: Bradley C. Moser

I, the Owner of the project, declare that the above listed firm or individual is hired by me to be the Structural Observer.

DECLARATION BY ARCHITECT OR ENGINEER OF RECORD (required if the Structural Observer is different from the Architect or Engineer of Record) I, the Architect or Engineer of record for the project, declare that the above listed firm or individual is

designated by me to be responsible for the Structural Observation.



Bradley C. Moser P.E. 116 Oakside Ln. Buellton, Ca. 93427

PERMIT APPL. NO.:

STRUCTURAL OBSERVATION

(0	(only checked items are required)				
Firm or Individual to be responsi	ble for the Struct	ural Observation:			
Name: Bradley C. Moser Phone	: (916) 792-85	27 Calif. Registration: C68803			
FOUNDATION	WALL	FRAME	DIAPHRAGM		
Footing, Stem Walls, Piers	☐ Concrete	☐ Steel Moment Frame	☐ Concrete		
☐ Mat Foundation	☐ Masonry	☐ Steel Braced Frame	☐ Steel Dec		
☐ Caisson, Piles, Grade Beams	■ Wood	☐ Concrete Moment Frame	■ Wood		
Stepp'g/Retain'g Foundation, Hillside Special Anchors		☐ Masonry Wall Frame	☐ Others:		
☐ Others:	☐ Others:	☐ Others:			
DECLARATION BY OWNER					

October 13, 2020

PLAN NOTES

- 1. All sections above to be placed over fill compacted to 90% relative compaction in accordance with astm d 1557 method of compaction.
- All slab bars to be centered in slab, unless noted otherwise.
- Soil type D with an allowable bearing load of 1500 psf was used in the design of this project.
- 4. Roof sheathing to be $\frac{5}{8}$ " CDX plywood. Diaphragm nailing shall be 8d common nails @ 6" edge and 12" field unless noted otherwise.

PLAN LEGEND

CONCRETE RETAINING WALL WITH CONCRETE FOOTING PER PLAN DETAIL

PROPOSED SHEAR WALL PER SCHEDULE AND POST PER PLAN

SHEAR WALL TYPE AND LENGTH - PER PLAN A HOLDOWN TYPE, PER SCHEDULE

D.L. DRAG LINE-BOUNDARY NAIL ALONG THIS LINE (8d @ 6"oc. MIN.). TOP PLATE TO BE CONTINUOUS, SPLICE PER

TYPICAL DETAIL ON SHEET SD.1 OF GENERAL NOTES.

IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED

Foundation Plan

Scale: $\frac{1}{4}$ " = 1'

- 1. Plywood grade per CBC Table 2306.4.1 as shown on this sheet. Plywood panels may be installed horizontally or vertically.
- 2. Minimum $3"x3"x \frac{1}{4}"$ plate washers required for all anchor bolts at shearwalls. 3. Nailing: Minimum $\frac{1}{2}$ "edge distance required at all panel edges and ends. Field
- nailing at 12" o.c. Minimum nail penetration 1 5/8". Common nails only. 4. 3x framing members at foundation sill plates and horizontal panel edge studs for all shear walls except A
- 5. Structural observation per Section 1702 of the CBC shall be provided when so designated by the architect or engineer of record, or, when such inspection is specifically required by the building official.
- 6. Simpson BP5/8 bearing plates (LARR25293), or other listed make, approved by building official, shall be used with all 5/8"dia anchors. 5/8" Simpson Titen HD (ICBO ER-1056) (LARR 25560) with 6" minimum embedment, may be used in lieu of \(^{5}\/_{8}\)" anchor bolts at existing footings with spacing per table above for anchor bolts.
- 7. When a shearwall is specified on both sides of wall, all sliding anchor connectors shall be attached with spacings from the above table reduced by half.

HOLDOWN SPECIFICATIONS

		FIRST FLOOR HOLDOWN	TABLE (HDU-LARR#25720, S	TRAPS-LAR	R#25713)
HOLDOWN TYPE	HOLDOWN NAME	MINIMUM REQUIRED POST	REQ. BOLT-EMBED.	CAPACITY	LENGTH/# NAILS
A	HDU2-SDS2.5	2-2X4 OR 2-2X6	$\frac{5}{8}$ " ALL-TREAD-10" MIN.	1969#	NA
В	HDU4-SDS2.5	2-2X4 OR 2-2X6	$\frac{5}{8}$ " ALL-TREAD-10" MIN.	3143#	NA
С	HDU5-SDS2.5	2-2X4 OR 2-2X6	$\frac{7}{8}$ " ALL-TREAD-15" MIN.	4073#	NA
D	HDU8-SDS2.5	4X6	$\frac{7}{8}$ " ALL-TREAD-15" MIN.	6263#	NA
E	HDU11-SDS2.5	4X6	1" Ø THREAD-18" MIN.	7575#	NA
F	HDU14-SDS2.5	4X8 OR 6X6	1" Ø THREAD-18" MIN.	11025#	NA
G	CS16 STRAP 32"	2X4 OR 2X6	NA	1279#	32"/26-8d
Н	MSTC40 STRAP	4X4	NA	2250#	40"/36-16d
I	MSTC52 STRAP	4X4	NA	3000#	52"/48-16d
J	MSTC66 STRAP	4X4	NA	4245#	66"/68-16d
L	CMST12 STRAP	4X6	NA	6926#	94"/86-16d
		·			-

NOTES:

- 1. Foundation sills shall be naturally durable or preservative-treated wood. Field-cut ends, notches and drilled holes of preservativetreated wood shall be field-treated per AWPA M4.
- 2. Fasteners for preservative-treated wood shall be of hot dipped zinc- coated galvanized steel per ASTM A153.
- 3. Prior to requesting a Building Department foundation inspection, the soils engineer/ geotechnical consultant shall inspect and
- and approve the foundation excavations. 4. Hold down hardware must be secured in

place prior to foundation inspection.

- 5. Hold down connector bolts into wood draming require 0.229"x3"x3" plate washers on the post opposite the hold-down.
- 6. Hold downs shall be tightened to fingertight plus one-half wrench turn just prior to covering the wall framing.

SHEAR PANEL SCHEDULE

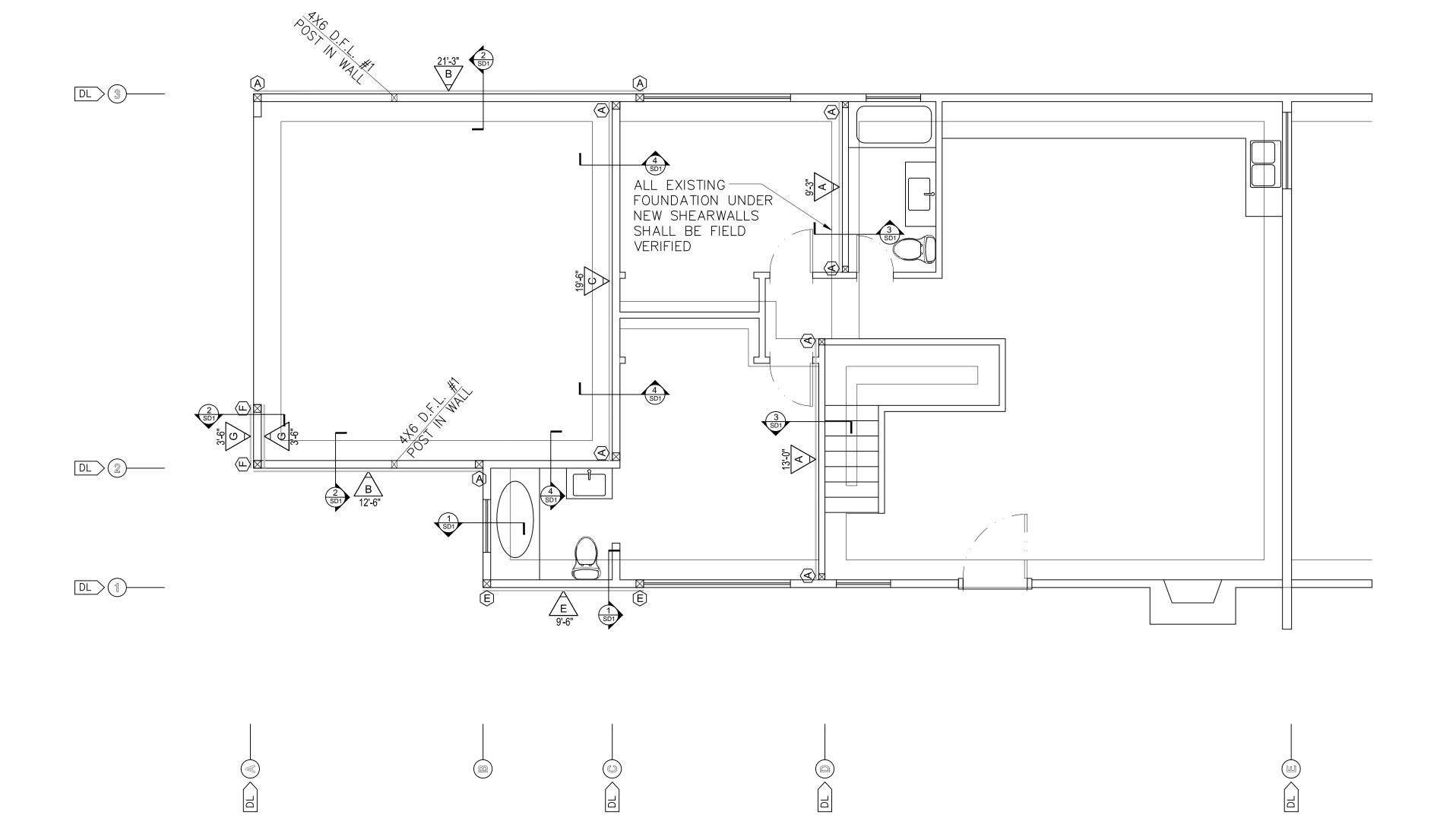
2019 CALIFORNIA BUILDING CODE TABLE 2306.4.1				SLID	ING ANCHORS				
SHEARWALL DESIGNATION	PLY SHEATHING	EDGE NAILING	ALLOWABLE SHEAR (plf)	5/8" Ø A.B. 2X SILL PL. V=1184# 3X SILL PL. V=1520#	CLIP SPACING SIMP. A35 V=450#	COM. 16d NAIL SPACING 2X SOLE PL. V=121#	SHEET BOTH FACES	3X SILL PLATE, STUDS, & BLKG REQUIRED	PERIODIC DEPUTY INSPECTION REQUIRED
A	15/32"min. Struct 1	8d-6"	210	48"	24"	6"	NO	NO	YES
B	15/32"min. Struct 1	8d-4"	320	48"	16"	4"	NO	NO	YES
c	15/32"min. Struct 1	8d-3"	410	42"	12"	3"	NO	YES	YES
D	15/32"min. Struct 1	8d-2"	545	32"	9"	2"	NO	YES	YES
E	15/32"min. Struct 1	10d-3"	650	24"	8"	2½"	NO	YES	YES
F	15/32"min. Struct 1	8d-3"	820	20"	8"	2½"	YES	YES	YES
G	15/32"min. Struct 1	8d-2"	1090	16"	8"	2½"	YES	YES	YES
H	15/32"min. Struct 1	10d-2"	1300	12"	8"	2½"	YES	YES	YES

NOTE: ALL OTHER ANCHOR BOLTS SHALL BE SPACED NOT GREATER THEN 48" O.C. AND NOT GREATER THEN 12" FROM EACH END OF A WALL.

NOTE: ALL 3X PANEL JOINT AND SILL PLATE NAILING SHALL BE STAGGERED.

SHEAR NOTES

- 1. All exterior wall shall have (min.) plywood of 1/2" Struct. 2. w/ 8d nails @ 6", 12" O.C. (typ.) except where shear wall occurs.
- 2. Install HD Hold Downs per Detail 4 of SD.3.
- 3. D.S. = Drag Strut (all D.S. shall have boundary nailing.) 4. Use 2x4 studs @ 16" O.C. @ all shear & bearing walls except where noted otherwise.
- 5. Hold-Down connector bolts into wood framing require approve plate washers; and hold-downs shall be finger tight and $\frac{1}{2}$ wrench turn just pior to covering the wall framing. Connector bolts into wood framing require steel plate washers in accordance with table 2305.5 of the City Building Dept. Code.
- 6. Roof diaphragm nailing to be inspected before covering. Face grain of plywood shall be perpendicular to supports. loor shall have tongue and grove or blocked panel edges. plywood spans shall conform with table 2304.7.
- 7. All diaphragm and shear wall nailing shall utilize common nails or galvanized box.
- 8. All bolt holesshall be drilled $\frac{1}{32}$ " to $\frac{1}{16}$ " oversized. Hold-down hardware must be secured in place prior to foundation inspection.



Bradley C. Moser P.E. 116 Oakside Ln. Buellton, Ca. 93427

Remodel/Addition Ocean ard, Ca. 3321 Oxna

1/4" = 1'-0"

NOTE: ALL OTHER ANCHOR BOLTS SHALL BE SPACED NOT GREATER THEN 48" O.C. AND NOT GREATER THEN 12" FROM EACH END OF A WALL.

8 8D1

DL 3

DL 2 _____

DL 1

HOLDOWN SPECIFICATIONS

HOLDOWN TYPE	HOLDOWN NAME	MINIMUM REQUIRED POST	REQ. BOLT-EMBED.	CAPACITY	LENGTH/# NAILS
Α	HDU2-SDS2.5	2-2X4 OR 2-2X6	$\frac{5}{8}$ " ALL-TREAD-10" MIN.	1969#	NA
В	HDU4-SDS2.5	2-2X4 OR 2-2X6	$\frac{5}{8}$ " ALL-TREAD-10" MIN.	3143#	NA
С	HDU5-SDS2.5	2-2X4 OR 2-2X6	$\frac{7}{8}$ " ALL-TREAD-15" MIN.	4073#	NA
D	HDU8-SDS2.5	4X6	$\frac{7}{8}$ " ALL-TREAD-15" MIN.	6263#	NA
Е	HDU11-SDS2.5	4X6	1" Ø THREAD-18" MIN.	7575#	NA
F	HDU14-SDS2.5	4X8 OR 6X6	1" Ø THREAD-18" MIN.	11025#	NA
G	CS16 STRAP 32"	2X4 OR 2X6	NA	1279#	32"/26-8d
Н	MSTC40 STRAP	4X4	NA	2250#	40"/36-16d
I	MSTC52 STRAP	4X4	NA	3000#	52"/48-16d
J	MSTC66 STRAP	4X4	NA	4245#	66"/68-16d
L	CMST12 STRAP	4X6	NA	6926#	94"/86-16d

EXISTING HEADER TO

REMAIN

SHEAR NOTES

1. All exterior wall shall have (min.) plywood of 1/2" Struct. 2. w/ 8d nails @ 6", 12" O.C. (typ.) except where shear wall occurs.

Install HD Hold Downs per manufacturers specifications.

Install FID Floid Downs per manufacturers specifications.
 D.S. = Drag Strut (all D.S. shall have boundary nailing.)

Use 2x4 studs @ 16" O.C. @ all shear & bearing walls except where noted otherwise.
 Hold-Down connector bolts into wood framing require approve plate washers; and

hold-downs shall be finger tight and $\frac{1}{2}$ wrench turn just pior to covering the wall framing. Connector bolts into wood framing require steel plate washers in accordance with table

2305.5 of the City Building Dept. Code.

6 Roof diaphragm pailing to be insp

6. Roof diaphragm nailing to be inspected before covering. Face grain of plywood shall be perpendicular to supports. loor shall have tongue and grove or blocked panel edges. plywood spans shall conform with table 2304.7.

7. All diaphragm and shear wall nailing shall utilize common nails or galvanized box.

8. All bolt holesshall be drilled ½2" to ½6" oversized.
9. Hold-down hardware must be secured in place prior to foundation inspection.

BEAM #3 6X10

AM #4 6X10

HEADER TO

EXISTING EADER TO

REMAIN

EXISTING

HEADER TO REMAIN HEADER TO

REMAIN

REMAIN &

ROOF & FLOOR FRAMING NOTES

1. P.A. = Post Above.

G.L.B. = Gluelam beam. Camber per plan.

P.L.M. = Parallam beam by Trus Joist Manufacturing.

2. Do not make any electrical or plumbing hole @ gluelam or parallam without consulting with Bolton Engineering Corp. first.

3. Run plywood beyond all shear walls without any interruption.

4. Provide 2-member under all post & wall above (typ.) (min.)5. Provide Simpson "HW" hanger for all beam to beam conn.

6. Frame all walls with 2x4 studs at 16" o.c. All posts to be 2-2x4 min unless noted

otherwise. Fir walls as shown on architects plans and assembly drawings.

7. All nailing to be per CBC Table 2306.4.1, as shown on Sheet S-1.0.

8. Unless noted otherwise on framing plans, all plywood roof sheathing shall be 5/8" standard cdx with exterior glue, panel identification of 24/0, nailed with 10d common galvanized nails at 6" o.c. edge and 12" o.c. field nail. plywood flooring shall be 3/4" cdx t&g plywood sheathing, group 1, panel identification of 36/16, with exterior glue nailed with 10d commons at 6" o.c. at edges and 12" o.c. field nail. all wood shall conform to ps 1-95.

PLAN LEGEND

PROPOSED SHEAR WALL PER SCHEDULE AND POST PER PLAN

SHEAR WALL TYPE AND LENGTH - PER PLAN

HOLDOWN TYPE, PER SCHEDULE

DRAG LINE-BOUNDARY NAIL ALONG THIS LINE (8d @ 6"oc, MIN.). TOP PLATE TO BE CONTINUOUS, SPLICE PER TYPICAL DETAIL ON SHEET SD.1 OF GENERAL NOTES.

NOTES

1. Plywood grade per CBC Table 2306.4.1 as shown on this sheet. Plywood panels may be installed horizontally or vertically.

POST ABOVE

2. Minimum $3"x3"x \frac{1}{4}"$ plate washers required for all anchor bolts at shearwalls.

Nailing: Minimum ½"edge distance required at all panel edges and ends. Field nailing at 12" o.c. Minimum nail penetration 1 ½". Common nails only.
 3x framing members at foundation sill plates and horizontal panel edge studs for all

shear walls except A

5. Structural observation per Section 1702 of the CBC shall be provided when so

designated by the architect or engineer of record, or, when such inspection is specifically required by the building official.
6. Simpson BP5/8 bearing plates (LARR25293), or other listed make, approved by building official, shall be used with all ⁵/₈"dia anchors. ⁵/₈" Simpson Titen HD (ICBO)

ER-1056) (LARR 25560) with 6" minimum embedment, may be used in lieu of ⁵/₈" anchor bolts at existing footings with spacing per table above for anchor bolts.
7. When a shearwall is specified on both sides of wall, all sliding anchor connectors

shall be attached with spacings from the above table reduced by half.

Oxnard COUNTY NOTES:

1. Fasteners for preservative-treated wood

2. Use full length studs (balloon frame) on exterior walls of rooms with vaulted ceilings.

shall be of hot dipped zinc- coated galvanized steel per ASTM A153.

Remodel/Addition

3321 Ocean Dr. Oxnard, Ca. 93035

Bradley C. Moser P.E.

116 Oakside Ln.

Buellton, Ca. 93427

NOI O

DESC

DAIL

REV

ngs.

2nd Floor

S-3.0

1/8" = 1'-0"

2nd Floor Framing Plan Scale: 1/4" = 1'

				V=1520#	V=450#	V=121#		REQUIRED	REQUIRED
Â	15/32"min. Struct 1	8d-6"	210	48"	24"	6"	NO	NO	YES
B	15/32"min. Struct 1	8d-4"	320	48"	16"	4"	NO	NO	YES
c	15/32"min. Struct 1	8d-3"	410	42"	12"	3"	NO	YES	YES
D	15/32"min. Struct 1	8d-2"	545	32"	9"	2"	NO	YES	YES
E	15/32"min. Struct 1	10d-3"	650	24"	8"	2½"	NO	YES	YES
F	15/32"min. Struct 1	8d-3"	820	20"	8"	2½"	YES	YES	YES
G	15/32"min. Struct 1	8d-2"	1090	16"	8"	2½"	YES	YES	YES
H	15/32"min. Struct 1	10d-2"	1300	12"	8"	2½"	YES	YES	YES

NOTE: ALL OTHER ANCHOR BOLTS SHALL BE SPACED NOT GREATER THEN 48" O.C. AND NOT GREATER THEN 12" FROM EACH END OF A WALL.

HOLDOWN SPECIFICATIONS

HOLDOWN TYPE	HOLDOWN NAME	MINIMUM REQUIRED POST	REQ. BOLT-EMBED.	CAPACITY	LENGTH/# NAILS
Α	HDU2-SDS2.5	2-2X4 OR 2-2X6	$\frac{5}{8}$ " ALL-TREAD-10" MIN.	1969#	NA
В	HDU4-SDS2.5	2-2X4 OR 2-2X6	$\frac{5}{8}$ " ALL-TREAD-10" MIN.	3143#	NA
С	HDU5-SDS2.5	2-2X4 OR 2-2X6	$\frac{7}{8}$ " ALL-TREAD-15" MIN.	4073#	NA
D	HDU8-SDS2.5	4X6	$\frac{7}{8}$ " ALL-TREAD-15" MIN.	6263#	NA
E	HDU11-SDS2.5	4X6	1" Ø THREAD-18" MIN.	7575#	NA
F	HDU14-SDS2.5	4X8 OR 6X6	1" Ø THREAD-18" MIN.	11025#	NA
G	CS16 STRAP 32"	2X4 OR 2X6	NA	1279#	32"/26-8d
Н	MSTC40 STRAP	4X4	NA	2250#	40"/36-16d
I	MSTC52 STRAP	4X4	NA	3000#	52"/48-16d
J	MSTC66 STRAP	4X4	NA	4245#	66"/68-16d
L	CMST12 STRAP	4X6	NA	6926#	94"/86-16d

SHEAR NOTES

PERIODIC

DEPUTY INSPECTION

D.F.L. #1

2.0E PSL

1. All exterior wall shall have (min.) plywood of 1/2" Struct. 2. w/ 8d nails @ 6", 12" O.C. (typ.) except where shear wall occurs.

2. Install HD Hold Downs per manufacturers specifications.

3. D.S. = Drag Strut (all D.S. shall have boundary nailing.)

4. Use 2x4 studs @ 16" O.C. @ all shear & bearing walls except where noted otherwise.

Hold-Down connector bolts into wood framing require approve plate washers; and hold-downs shall be finger tight and $\frac{1}{2}$ wrench turn just pior to covering the wall framing.

Connector bolts into wood framing require steel plate washers in accordance with table 2305.5 of the City Building Dept. Code.

Roof diaphragm nailing to be inspected before covering. Face grain of plywood shall be perpendicular to supports. loor shall have tongue and grove or blocked panel edges. plywood spans shall conform with table 2304.7.

All diaphragm and shear wall nailing shall utilize common nails or galvanized box.

All bolt holesshall be drilled $\frac{1}{32}$ " to $\frac{1}{16}$ " oversized.

HDR #2 6X6

Hold-down hardware must be secured in place prior to foundation inspection.

EXISTING HEADER TO

REMAIN

ROOF & FLOOR FRAMING NOTES

- 1. P.A. = Post Above.
 - G.L.B. = Gluelam beam. Camber per plan.
 - P.L.M. = Parallam beam by Trus Joist Manufacturing.
- 2. Do not make any electrical or plumbing hole @ gluelam or parallam without consulting with Bolton Engineering Corp. first.
- 3. Run plywood beyond all shear walls without any interruption.
- Provide 2-member under all post & wall above (typ.) (min.)
- 5. Provide Simpson "HW" hanger for all beam to beam conn.
- 6. Frame all walls with 2x4 studs at 16" o.c. All posts to be 2-2x4 min unless noted
- otherwise. Fir walls as shown on architects plans and assembly drawings. All nailing to be per CBC Table 2306.4.1, as shown on Sheet S-1.0.
- Unless noted otherwise on framing plans, all plywood roof sheathing shall be 5/8" standard cdx with exterior glue, panel identification of 24/0, nailed with 10d common galvanized nails at 6" o.c. edge and 12" o.c. field nail. plywood flooring shall be 3/4" cdx t&g plywood sheathing, group 1, panel identification of 36/16, with exterior glue nailed with 10d commons at 6" o.c. at edges and 12" o.c. field nail. all wood shall conform to ps 1-95.

PLAN LEGE	ND
	PROPOSED SHEAR WALL PER SCHEDULE AND POST PER PLAN
A 5'-0"	SHEAR WALL TYPE AND LENGTH - PER PLAN
Â	HOLDOWN TYPE, PER SCHEDULE
D.L.	DRAG LINE-BOUNDARY NAIL ALONG THIS LINE (8d @ 6"oc, MIN.). TOP PLATE TO BE CONTINUOUS, SPLICE PER TYPICAL DETAIL ON SHEET SD.1 OF GENERAL NOTES.

DI ANTI ECENID

- 1. Plywood grade per CBC Table 2306.4.1 as shown on this sheet. Plywood panels
- may be installed horizontally or vertically. 2. Minimum $3"x3"x \frac{1}{4}"$ plate washers required for all anchor bolts at shearwalls.

POST ABOVE

- 3. Nailing: Minimum $\frac{1}{2}$ "edge distance required at all panel edges and ends. Field nailing at 12" o.c. Minimum nail penetration 1 $\frac{5}{8}$ ". Common nails only. 4. 3x framing members at foundation sill plates and horizontal panel edge studs for all
- shear walls except A 5. Structural observation per Section 1702 of the CBC shall be provided when so designated by the architect or engineer of record, or, when such inspection is specifically required by the building official.
- 6. Simpson BP5/8 bearing plates (LARR25293), or other listed make, approved by building official, shall be used with all $\frac{5}{8}$ "dia anchors. $\frac{5}{8}$ " Simpson Titen HD (ICBO ER-1056) (LARR 25560) with 6" minimum embedment, may be used in lieu of $\frac{5}{8}$ " anchor bolts at existing footings with spacing per table above for anchor bolts.
- 7. When a shearwall is specified on both sides of wall, all sliding anchor connectors shall be attached with spacings from the above table reduced by half.

Oxnard COUNTY NOTES:

- 1. Fasteners for preservative-treated wood shall be of hot dipped zinc- coated galvanized steel per ASTM A153.
- 2. Use full length studs (balloon frame) on exterior walls of rooms with vaulted ceilings.

loor

No. 68803 Exp. 9/30/21

Bradley C. Moser P.E. 116 Oakside Ln. Buellton, Ca. 93427

Remodel/Addition

Ocean Ird, Ca. 3321 Oxna

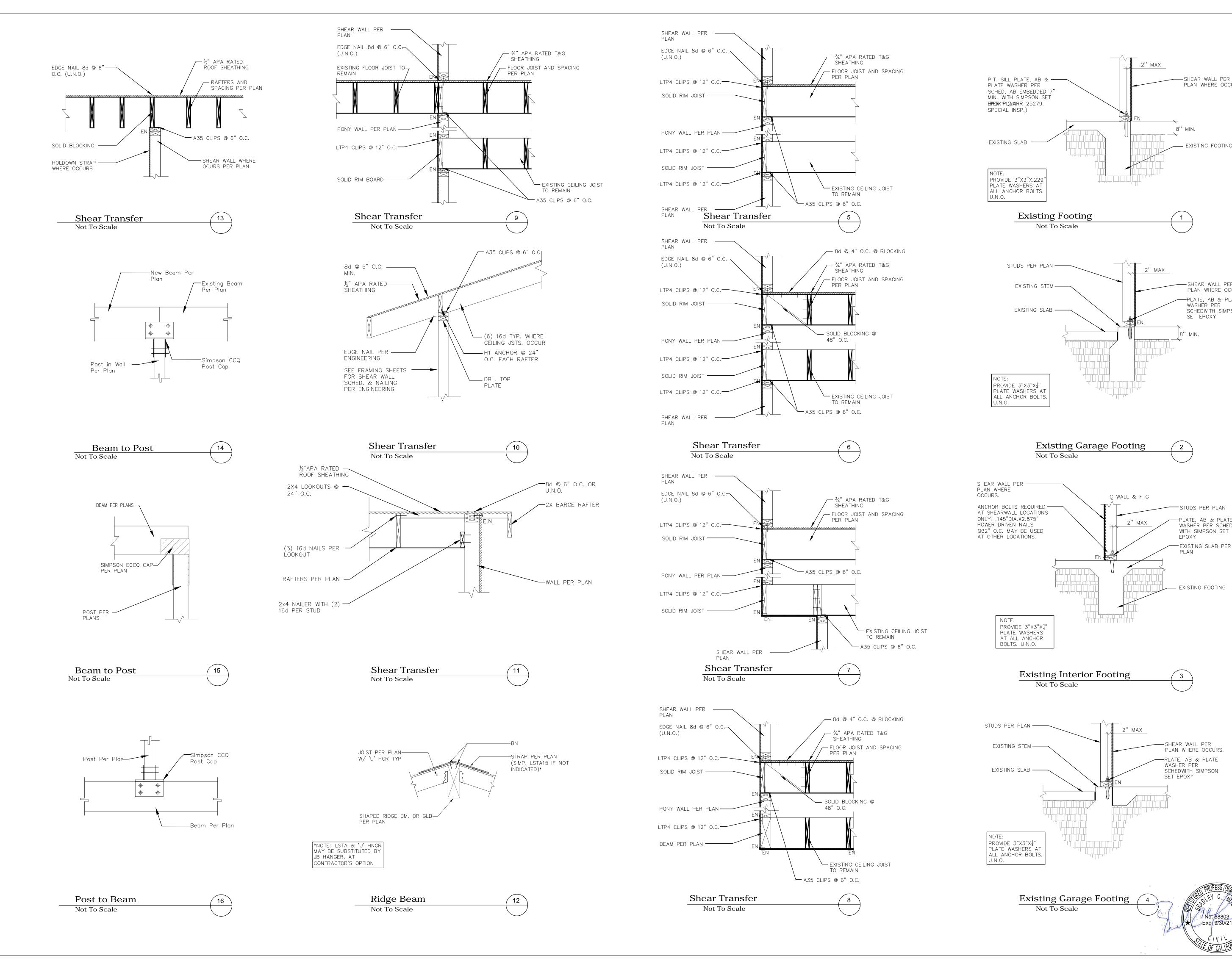
2nd

1/8" = 1'-0"

HDR #2 6X6 D.F.L. #1 Roof Framing Plan Scale: $\frac{1}{4}$ " = 1'

EXISTING BEAM

TO REMAIN



Bradley C. Moser P.E. 116 Oakside Ln. Buellton, Ca. 93427

Remodel/Addition

— SHEAR WALL PER PLAN WHERE OCCURS.

— EXISTING FOOTING

-SHEAR WALL PER

WASHER PER

-PLATE, AB & PLATE

WASHER PER SCHED WITH SIMPSON SET

-EXISTING SLAB PER

- EXISTING FOOTING

EPOXY

PLAN

-SHEAR WALL PER

PLAN WHERE OCCURS.

-PLATE, AB & PLATE

SCHEDWITH SIMPSON

No. 68803 Exp/9/30/21

WASHÉR PER

SET EPOXY

SET EPOXY

PLAN WHERE OCCURS.

-PLATE, AB & PLATE

SCHEDWITH SIMPSON

Ocean Dr. ard, Ca. 9303 3321 Oxna

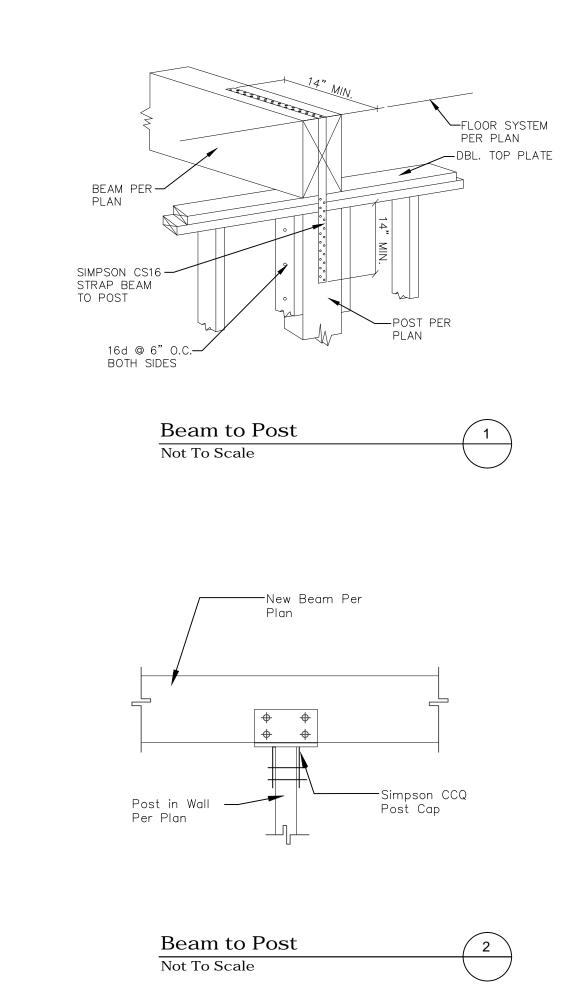
Details Structural

DATE October 13, 2020

Bradley C. Moser P.E. 116 Oakside Ln. Buellton, Ca. 93427

Remodel/Addition 3321 Ocean Dr. Oxnard, Ca. 93035

ΒY



CERTIFICATE OF COMPLIANCE CF1R-PRF-01E Project Name: Residential Building Calculation Date/Time: 2020-12-23T08:13:00-08:00 (Page 1 of 12) Input File Name: McGinityTimothyAddition.ribd19x Calculation Description: Title 24 Analysis GENERAL INFORMATION Project Name Residential Building Run Title Title 24 Analysis 03 04 Project Location 3321 Ocean Drive Standards Version 2019 City Oxnard Zip code 93035 Software Version EnergyPro 8.2 Climate Zone 6 Front Orientation [deg/ Cardinal) 45 Building Type | Single family Number of Dwelling Units 1 12 Project Scope AdditionAlteration Number of Bedrooms 4 14 Number of Stories 2 Addition Cond. Floor Area (ft²) 667 Fenestration Average U-factor 0.34 Existing Cond. Floor Area (ft²) 1775 Total Cond. Floor Area (ft²) 2442 Glazing Percentage (%) 15.47% 20 ADU Bedroom Count n/a ADU Conditioned Floor Area n/a Is Natural Gas Available? Yes COMPLIANCE RESULTS 01 Building Complies with Computer Performance O2 Building does not require field testing or HERS verification O3 This building incorporates one or more Special Features shown below

ENERGY USE SUMMARY										
Energy Use (kTDV/ft²-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement						
Space Heating	19.94	20.53	-0.59	-3						
Space Cooling	34.22	32.8	1.42	4.1						
IAQ Ventilation	0	0	0							
Water Heating	15.11	15.11	0	0						
Self Utilization/Flexibility Credit	n/a	0	0	n/a						
Compliance Energy Total	69.27	68.44	0.83	1.2						

Registration Number: Registration Date/Time: HERS Provider: Report Version: 2019.1.300 Report Generated: 2020-12-23 08:13:26 CA Building Energy Efficiency Standards - 2019 Residential Compliance Schema Version: rev 20200901

CERTIFICATE OF	COMPLIANCE									CF1R-PRF-01E
Project Name: R	Residential Buildi	ng			Calcul	ation Date/Time	: 2020-12-23T0	8:13:00-08:00		(Page 4 of 12)
Calculation Desc	cription: Title 24	Analysis			Input	File Name: McGi	inityTimothyAdd	lition.ribd19x		
OPAQUE SURFACI	ES									
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft2)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
Raised Floor 2	Second Floor (Existing)	Default Floor No Crawlspa	n/a	n/a	149	n/a	n/a		Existing	No
Interior Surface Floor	Second Floor	R-19 Floor No Crawlspace1	n/a	n/a	247	n/a	n/a		New	n/a
Interior Surface Floor 2	Second Floor	R-0 Floor No Crawlspace	n/a	n/a	340	n/a	n/a		New	n/a
Interior Surface Floor 3	Second Floor (Existing)	Default Floor No Crawlspa1	n/a	n/a	643	n/a	n/a		Existing	No
Northwest Wall 4	Garage	R-0 Wall	315	Right	105	0	90	none	Existing	No
Northeast Wall 3	Garage	R-0 Wall	45	Front	171.1	0	90	none	Existing	No
Southeast Wall 4	Garage	R-0 Wall	135	Left	164.1	0	90	none	Existing	No

OPAQUE SUR	AQUE SURFACES - CATHEDRAL CEILINGS												
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Zone	Construction	Azimuth	Orientation	Area (ft ²)	Skylight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof	Status	Verified Existing Condition	Existing Construction
Roof (Slope 0/12)	Garage	R-0 Roof Cathedral	45	Front	153	0	0	0.1	0.85	No	Existing	No	

ATTIC										
01		02	03	04	05	06	07	08	09	10
Name		Construction	Туре	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof	Status	Verified Existing Condition
Attic Second I	loor	Attic RoofSecond Floor	Ventilated	2	0.1	0.85	No	No	New	n/a
Attic Second I (Existing)		Attic RoofSecond Floor (Existing)	Ventilated	2	0.1	0.85	No	No	Existing	No

Report Generated: 2020-12-23 08:13:26

Report Generated: 2020-12-23 08:13:26

HERS Provider: Registration Number: Registration Date/Time:

CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Version: 2019.1.300 Schema Version: rev 20200901

roject Name: Residentia	•			Calculation Date/Time: 2020-12-23T08:13:00-08:00 (Page 7 o							
alculation Description:	,		Input File Name: McGinityTimothyAddition.ribd19x								
PAQUE SURFACE CONSTR	02	03	04	05	07	07 08					
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers				
Default Wall Prior to 1971	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.277	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2×4 Other Side Finish: Gypsum Board				
Attic RoofSecond Floor	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4				
Attic RoofSecond Floor (Existing)	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4				
R-30 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-38	None / None	0.025	Over Ceiling Joists: R-28.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board				
Default Roof Prior to 197	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-11	None / None	0.083	Over Ceiling Joists: R-1.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board				
R-19 Floor No Crawlspace	Exterior Floors	Wood Framed Floor	2x6 @ 16 in. O. C.	R-19	None / None	0.052	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-19 in 5-1/2 in. (R-18 2x6				
Default Floor No Crawlspa	Exterior Floors	Wood Framed Floor	2x12 @ 16 in. O. C.	R-0	None / None	0.24	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x12				

Registration Date/Time:

Report Version: 2019.1.300

Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E Project Name: Residential Building Calculation Date/Time: 2020-12-23T08:13:00-08:00 (Page 2 of 12) Input File Name: McGinityTimothyAddition.ribd19x Calculation Description: Title 24 Analysis REQUIRED SPECIAL FEATURES

The	following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.
•	Ceiling has high level of insulation
•	New ductwork added is less than 40 ft. in length
HER	S FEATURE SUMMARY
The	following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional

ין	HERS FEATURE SUIVINIARY
	The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Addidetail is provided in the buildng tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry
- F	Building-level Verifications:
- [- None
- [(Cooling System Verifications:
_ [·	- None
- [1	Heating System Verifications:
- 1	None
- [1	HVAC Distribution System Verifications:
I·	- None
- [1	Domestic Hot Water System Verifications:
[·	- None

BUILDING - FEATURES INFORMA	ATION					
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Residential Building	2442	1	4	3	0	1
•						

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
First Floor	Conditioned	HVAC System1	983	10.3	DHW Sys 1	N/A
Second Floor	Conditioned	HVAC System1	667	8	DHW Sys 1	N/A
Second Floor (Existing)	Conditioned	HVAC System1	792	9	DHW Sys 1	N/A

Report Generated: 2020-12-23 08:13:26 CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Version: 2019.1.300 Schema Version: rev 20200901

Registration Date/Time:

HERS Provider:

Registration Number:

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E Project Name: Residential Building Calculation Date/Time: 2020-12-23T08:13:00-08:00 (Page 5 of 12) Input File Name: McGinityTimothyAddition.ribd19x Calculation Description: Title 24 Analysis

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
Window	Window	Northwest Wall	Right	315			1	35.7	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Window 2	Window	Northeast Wall	Front	45			1	6.5	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Window 3	Window	Southeast Wall	Left	135			1	28.5	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Window 4	Window	Southwest Wall	Back	225			1	91.2	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Window 5	Window	Northwest Wall 2	Right	315			1	19.5	0.34	NFRC	0.34	NFRC	Bug Screen	New	n/a
Window 6	Window	Northeast Wall 2	Front	45			1	10	0.34	NFRC	0.34	NFRC	Bug Screen	New	n/a
Window 7	Window	Southeast Wall 2	Left	135			1	1 9.5	0.34	NFRC	0.34	NFRC	Bug Screen	New	n/a
Window 8	Window	Southeast Wall 3	Left	135			1	18.3	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Window 9	Window	Southwest Wall 2	Back	225			1	148.6	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No

OPAQUE DOORS					
01	02	03	04	05	06
Name	Side of Building	Area (ft ²)	U-factor	Status	Verified Existing Condition
Door	Northwest Wall	23.3	0.5	Existing	No

HERS Provider: Registration Number: Registration Date/Time: Report Generated: 2020-12-23 08:13:26 CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Version: 2019.1.300 Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E Project Name: Residential Building Calculation Date/Time: 2020-12-23T08:13:00-08:00 (Page 8 of 12) Input File Name: McGinityTimothyAddition.ribd19x Calculation Description: Title 24 Analysis

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-19 Floor No Crawlspace1	Interior Floors	Wood Framed Floor	2x6 @ 16 in. O. C.	R-19	None / None	0.049	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-19 in 5-1/2 in. (R-18) / 2x6 Ceiling Below Finish: Gypsum Board
R-O Floor No Crawlspace	Interior Floors	Wood Framed Floor	2x12 @ 16 in. O.C.	R-0	None / None	0.196	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x12 Ceiling Below Finish: Gypsum Board
Default Floor No Crawlspa1	Interior Floors	Wood Framed Floor	2x12 @ 16 in. O.C.	R-0	None / None	0.196	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x12 Ceiling Below Finish: Gypsum Board

		-	
BUILDING ENVELOPE - HERS VERIFICATION			
01	02	03	04
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Not Required	Not Required	Not Required	n/a

Registration Date/Time: Report Version: 2019.1.300 Report Generated: 2020-12-23 08:13:26 CA Building Energy Efficiency Standards - 2019 Residential Compliance

Schema Version: rev 20200901

Project Name: Residential Building Calculation Date/Time: 2020-12-23T08:13:00-08:00 Calculation Description: Title 24 Analysis Input File Name: McGinityTimothyAddition.ribd19x

CERTIFICATE OF COMPLIANCE

01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft2)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
Northwest Wall	First Floor	Default Wall Prior to 197	315	Right	453.8	59	90	none	Existing	No
Northeast Wall	First Floor	Default Wall Prior to 197	45	Front	67	6.5	90	none	Existing	No
Southeast Wall	First Floor	Default Wall Prior to 197	135	Left	380.6	28.5	90	none	Existing	No
Southwest Wall	First Floor	Default Wall Prior to 197	225	Back	277.2	91.2	90	none	Existing	No
Northwest Wall 2	Second Floor	R-13 Wall	315	Right	184.7	19.5	90	none	New	n/a
Northeast Wall 2	Second Floor	R-13 Wall	45	Front	231	10	90	none	New	n/a
Southeast Wall 2	Second Floor	R-13 Wall	135	Left	184.7	19.5	90	none	New	n/a
Northwest Wall 3	Second Floor (Existing)	Default Wall Prior to 197	315	Right	269.2	0	90	none	Existing	No
Southeast Wall 3	Second Floor (Existing)	Default Wall Prior to 197	135	Left	268.7	18.3	90	none	Existing	No
Southwest Wall 2	Second Floor (Existing)	Default Wall Prior to 197	225	Back	259.9	148.6	90	none	Existing	No
Interior Surface Wall	First Floor>>Garag e	Default Wall Prior to 1971	n/a	n/a	231	0	n/a		Existing	No
Roof (Slope 2/12)	Second Floor	R-30 Roof Attic	n/a	n/a	667	n/a	n/a		New	n/a
Roof (Slope 2/12) 2	Second Floor (Existing)	Default Roof Prior to 197	n/a	n/a	792	n/a	n/a		Existing	No
Raised Floor	Second Floor	R-19 Floor No Crawlspace	n/a	n/a	80	n/a	n/a		New	n/a

Registration Date/Time: HERS Provider: Registration Number: Report Version: 2019.1.300 Report Generated: 2020-12-23 08:13:26 CA Building Energy Efficiency Standards - 2019 Residential Compliance Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E Project Name: Residential Building Calculation Date/Time: 2020-12-23T08:13:00-08:00 (Page 6 of 12) Input File Name: McGinityTimothyAddition.ribd19x Calculation Description: Title 24 Analysis

SLAB FLOORS									
01 02 03		03	04	05	06	07	08	08 09	
Name	Name Zone Area (ft ²)		Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Status	Verified Existing Condition
Slab	First Floor	983	142	none	0	80%	No	Existing	No
Slab 2	Garage	400	79.9	none	0	0%	No	Existing	No

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-0 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-O	None / None	0.302	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: Wood Siding/sheathing/decking
Default Wall Prior to 197 Exterior Walls Wood Framed Wall		Wood Framed Wall	2x4 @ 16 in. O. C.	R-O	None / None	0.302	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: Wood Siding/sheathing/decking
R-13 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-13	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-13 / 2x4 Exterior Finish: Wood Siding/sheathing/decking
R-0 Roof Cathedral Cathedral Ceil		Wo od Fr amed Ceiling	2x4 @ 16 in. O. C.	R-O	None / None	0.478	Roofing: 5 PSF (Normal Gravel) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4 Inside Finish: Gypsum Board

Registration Date/Time: HERS Provider: Registration Number: CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Version: 2019.1.300 Report Generated: 2020-12-23 08:13:26 Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E Project Name: Residential Building Calculation Date/Time: 2020-12-23T08:13:00-08:00 (Page 9 of 12) Calculation Description: Title 24 Analysis Input File Name: McGinityTimothyAddition.ribd19x

01	02	03	04	05 06 07 08					10
Name	System Type	Distribution Type	Water Heater Name (#)	Solar Heating System	Compact Distribution	HERS Verification	Status	Verified Existing Condition	Existing Water Heating System
DHW Sys 1 Domestic Hot Distribution System		DHW Heater 1 (1)	n/a	None	n/a	Existing	No		

WATER HEAT	ERS												
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Energy Factor or Efficiency	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	NEEA Heat Pump Brand or Model	Tank Location or Ambient Condition	Status	Verified Existing Condition
DHW Heater 1	Gas	Small Storage	1	50	0.57-EF	<= 75 kBtu/hr	0	80	n/a	n/a	n/a	Existing	No

ATER HEATING - HERS	ATER HEATING - HERS VERIFICATION								
01 02 03 Name Pipe Insulation Parallel Piping		04	05	06	07	Central DHW Shower Drain Water			
		Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Central DHW Distribution	Shower Drain Water Heat Recovery		
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required		

Schema Version: rev 20200901

Registration Number:

CA Building Energy Efficiency Standards - 2019 Residential Compliance

Registration Date/Time:

Report Version: 2019.1.300 Report Generated: 2020-12-23 08:13:26 Blue Coast Inc.

CONTRACTOR:

CF1R-PRF-01E

(Page 3 of 12)

P O Box 5562 Santa Monica CA 90409 310 401 1414

STRUCTURAL ENGINEER: Bradley Moser P.E.

116 Oakside Ln. Buellton, Ca, 93427 bcmnsse@hotmail.com (916) 792-8527

DRAWN BY:

José Eduardo González

2907 Buckingham Rd Los Angeles CA 90016 goeduardo@gmail.com 310 384 8766

PROJECT:

3321 OCEAN SECOND FLOOR **ADDITION**

PROJECT ADDRESS:

3321 OCEAN DR **OXNARD, CA 93035**

REV.	DESCRIPTION	DATE
1	RESUBMITTAL	06/07/2 ⁻

PHASE:

CONSTRUCTION DOCUMENTS

DATE: JUNE 7TH, 2021

TITLE:

BUILDING ENERGY ANALYSIS REPORT

JOB NO.: 12479

SHEET NO.:

SCALE: N.T.S.

CA Building Energy Efficiency Standards - 2019 Residential Compliance

CF1R-PRF-01E (Page 10 of 12) Calculation Date/Time: 2020-12-23T08:13:00-08:00 Input File Name: McGinityTimothyAddition.ribd19x

SPACE CONDITIONING SYSTEMS Heating Required Verified Cooling leating Unit Cooling Unit Distribution System Type Fan Name Thermostat Status Existing Equipment Equipment Count Heating and cooling system HVAC System1 Component Component HVAC Fan 1 Distribution n/a Existing

HVAC - HEATING UNIT TYPES			
01	02	03	04
Name	System Type	Number of Units	Heating Efficiency
Heating Component 1	Central gas furnace	1	AFUE-78

HVAC - COOLING UNIT	ГҮРЕЅ						
01	02	03	04	05	06	07	08
Name	System Type	Number of Units	Efficiency EER/CEER	Efficiency SEER	Zonally Controlled	Mulit-speed Compressor	HERS Verification
Cooling Component 1	Central split AC	1	9.6	11	Not Zonal	Single Speed	Cooling Componen 1-hers-cool

HVAC-	- DISTR	IBUTION SYSTEMS														
01	ı	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
				Duct Ins	. R-value	Duct Lo	ocation	Surfac	e Area							
Nan	me	Туре	Design Type	Supply	Return	Supply	Return	Supply	Return	Bypass Duct	Duct Leakage	HERS Verification	Status	Verified Existing Condition	Existing Distribution system	New Ducts 40 ft
Air Distril on Syster	ibuti 1	Unconditioned attic	Non- Verified	R-6	R-6	Attic	Attic	n/a	n/a	No Bypass Duct	Existing (not specified)	Air Distributi on System	Existing + New	No	n/a	n/a

Registration Number: CA Building Energy Efficiency Standards - 2019 Residential Compliance Registration Date/Time: Report Version: 2019.1.300 Schema Version: rev 20200901

RESIDENTIAL MEASURES SUMMARY

EnergyPro 8.2 by EnergySoft User Number: 5581

McGinity, Timothy Addition

Project Address

HERS Provider:

Building Type ☐ Single Family ☐ Addition Alone

Report Generated: 2020-12-23 08:13:26

☑ Single Family
 ☐ Addition Alone
 ☐ Multi Family
 ☑ Existing+ Addition/Alteration
 ☐ 12/23/2020

California Energy Climate Zone | Total Cond. Floor Area | Addition | # of Units

CF1R-PRF-01E CERTIFICATE OF COMPLIANCE (Page 11 of 12) Project Name: Residential Building Calculation Date/Time: 2020-12-23T08:13:00-08:00 Calculation Description: Title 24 Analysis Input File Name: McGinityTimothyAddition.ribd19x HVAC - DISTRIBUTION SYSTEMS 02 03 04 05 06 07 08 09 10 11 12 13 14 15 16 Duct Ins. R-value Duct Location Existing New Ducts Bypass Duct Duct HERS Existing Name Supply | Return Distribution

Leakage

Verification

Condition

system

HVAC FAN SYSTEMS - HERS VERIFICATION						
01	02 03					
Name	Verified Fan Watt Draw	Required Fan Efficacy (Watts/CFM)				
HVAC Fan 1-hers-fan	Not Required	0				

HERS RATER VERIFICATION OF EXISTING CONDITIONS

Registration Number:

CA Building Energy Efficiency Standards - 2019 Residential Compliance

RMS-1

Report Version: 2019.1.300 Schema Version: rev 20200901

Registration Date/Time:

Report Generated: 2020-12-23 08:13:26

HERS Provider:

Registration Number:

CERTIFICATE OF COMPLIANCE

ocumentation Author Name:

Rick Rocklewitz

PO Box 3777

sponsible Designer Name: Jose E Gonzalez

Jose E Gonzalez Inc

2907 Buckingham Road

Los Angeles, CA 90016

City/State/Zip:

NRG Compliance, LP

Project Name: Residential Building

Calculation Description: Title 24 Analysis

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

Santa Rosa, California 95402 RESPONSIBLE PERSON'S DECLARATION STATEMENT

certify the following under penalty of perjury, under the laws of the State of California:

1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.

calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

. I certify that this Certificate of Compliance documentation is accurate and complete.

CA Building Energy Efficiency Standards - 2019 Residential Compliance

Report Version: 2019.1.300 Schema Version: rev 20200901

Registration Date/Time:

Calculation Date/Time: 2020-12-23T08:13:00-08:00

Input File Name: McGinityTimothyAddition.ribd19x

ocumentation Author Signature:

CEA/ HERS Certification Identification (If applicable):

707-237-6957

Responsible Designer Signature:

310-384-8766

Signature Date: 12/23/2020

I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets,

Date Signed:

Report Generated: 2020-12-23 08:13:26

HERS Provider:

3321 Ocean Drive Oxnard CA Climate Zone 06 2,442 667 1 INSULATION Special Features Status Construction Type Wall Wood Framed - no insulation 395 Existing Opaque Door no insulation Existing Wood Framed **E**xisting no insulation Wood Framed Existing - no insulation Wood Framed - no insulation 186 Existing - no insulation 983 Perim = 142' Slab Unheated Slab-on-Grade Existing Existing Floor Wood Framed w/o Crawl Space 378 Glazing Percentage: 15.5 % New/Altered Average U-Factor: Orientation Area (ft^2) U-Fac SHGC Overhang Sidefins Exterior Shades 0.580 Existing 0.580 0.65 none Existing none Existing Rear (SW) 0.65 none Existing 0.34 none 0.340 0.34 none 19.5 0.340 0.34 none **HVAC SYSTEMS** Qty. Heating Min. Eff Cooling Thermostat Status 78% AFUE Split Air Conditioner 11.0 SEER HVAC DISTRIBUTION Heating Cooling Duct Location R-Value Status WATER HEATING Qty. Type Gallons Min. Eff Distribution Status

	JENTIAL ME	ASURES	SUMMARY	•				RMS-1
Project Na			Building Ty		mily □ Additionally ☑ Existing	n Alone g+ Addition/A	Alteration	Date 12/23/2020
Project Ad				Energy Climate Zone	1		Addition	# of Units
	cean Drive Oxn	ard	CA CI	mate Zone 06	2,44	12	667	1
	ATION ruction Type		Cavity	Area (ft²)	Special Fe	atures		Status
Wall	Wood Framed		R 13	551				New
Roof	Wood Framed Attic		R 30	667				New
Demising	Wood Framed w/o C	rawl Space	- no insulation	n 340				New
Floor	Wood Framed w/o C	rawl Space	- no insulatio	149				Existing
Nall	Wood Framed		- no insulatio	7 269				Existing
Nall	Wood Framed		- no insulatio	n 250				Existing
Nall	Wood Framed		- no insulatio	າ 111				Existing
Roof	Wood Framed Attic		R 11	792				Existing
FENES	STRATION	Total Area	a: 378 Glaz	ing Percentage:	15.5 % New/A	Itered Average	U-Factor:	0.34
Orient	ation Area(ft²) U-Fac			efins Exte	rior Sha	des	Status
	SYSTEMS Heating	Min. E	≣ff Coolin	g M	in. Eff	Therm	nostat	Status
Qty.	Heating DISTRIBUTION		Eff Cooling			Du		Status
Qty. HVAC Locati	Heating DISTRIBUTION on R HEATING	N Heating	Coolin	g Duct Lo		Du	ct	

	AL IVICA	SURES SU	JMMARY				RMS-1
Project Name McGinity, Timoth			Building Type	☑ Single Fam □ Multi Famil	ily □ Addition Al y ☑ Existing+ A	lone Addition/Alteration	Date 12/23/202
Project Address 3321 Ocean Dri		,		rgy Climate Zone	Total Cond. Floor		
INSULATION	ve Oxnarc	,	CA CIIM	ate Zone 06	2,442	667	1
Construction	Type		Cavity	Area (ft²) S	pecial Featu	Iros	Status
	amed w/o Crawl	Space	- no insulation	643	peciai reatt	1103	Existing
•							
FENESTRATI		Total Area:				ed Average U-Factor:	0.34
Orientation	Area(ft²)	U-Fac SI	HGC Overl	nang Side	fins Exterio	r Shades	Status
HVAC SYSTE		Min Fff	Cooling	Mil	n. Fff	Thermostat	Status
HVAC SYSTE Qty. Heating		Min. Eff	Cooling	Mi	n. Eff	Thermostat	Status
	9	Min. Eff	Cooling	Mi	n. Eff	Thermostat	Status
Qty. Heating	BUTION	Min. Eff	Cooling	Min			Status
Qty. Heating HVAC DISTRI Location	BUTION He					Duct	
Qty. Heating	BUTION He		Cooling	Duct Loc		Duct	

CONTRACTOR:

Blue Coast Inc.

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STRUCTURAL ENGINEER:

Bradley Moser P.E.

CF1R-PRF-01E

(Page 12 of 12)

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PROJECT:

3321 OCEAN SECOND FLOOR ADDITION

PROJECT ADDRESS:

3321 OCEAN DR **OXNARD, CA 93035**

REV.	DESCRIPTION	DATE
1	RESUBMITTAL	06/07/2

CONSTRUCTION DOCUMENTS

JUNE 7TH, 2021

BUILDING ENERGY ANALYSIS REPORT

JOB NO.: 12479

	sidential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach espective section for more information. *Exceptions may apply.
Building Envelope	e Mea sures:
§ 110.6(a)1:	Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283 or AAMA/WDMA/CSA 101/I.S.2/A440-2011.
§ 110.6(a)5:	Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).
§ 110.6(b):	Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped.*
§ 110.7:	Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.
§ 110.8(a):	Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
§ 110.8(g):	Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).
§ 110.8(i):	Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R.
§ 110.8(j):	Radiant Barrier. When required, raciant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.
§ 150.0(a):	Ceiling and Rafter Roof Insulation. Minimum R-22 insulation in wood-frame ceiling; or the weighted average U-factor must not exceed 0.043. Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a continuous roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.*
§ 150.0(b):	Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.
§ 150.0(c):	Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102. Masonry walls must meet Tables 150.1-A or B.*
§ 150.0(d):	Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.*
§ 150.0(f):	Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).
§ 150.0(g)1:	Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.0(d).
§ 150.0(g)2:	Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.
§ 150.0(q):	Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58.*
Fireplaces, Decor	ative Gas Appliances, and Gas Log Measures:
§ 110.5(e)	Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.
§ 150.0(e)1:	Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.
§ 150.0(e)2:	Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.*
§ 150.0(e)3:	Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control."
Space Conditioning	ng, Water Heating, and Plumbing System Measures:
§ 110.0-§ 110.3:	Certification. Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission.*
§ 110.2(a):	HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-K.*
§ 110.2(b):	Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating."
§ 110.2(c):	Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat.*
§ 110.3(c)4:	Water Heating Recirculation Loops Serving Multiple Dwelling Units. Water heating recirculation loops serving multiple dwelling units must meet the air release valve, backflow prevention, pump priming, pump isolation valve, and recirculation loop connection requirements of § 110.3(c)4.
§ 110.3(c)6:	Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.
§ 110.5:	Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool and spa heaters.
§ 150.0(h)1:	Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.

IN EXT CONTINUE	2019 Low-Rise Residential Mandatory Measures Summary
§ 150.0(k)2G:	Interior Switches and Controls. An energy management control system (EMCS) may be used to comply with control requirements if it: provides functionality of the specified control according to § 110.9; meets the Installation Certificate requirements of § 130.4; neets the EMCS requirements of § 130.0(e); and meets all other requirements in § 150.0(k)2.
§ 150.0(k)2H:	Interior Switches and Controls. A multiscene programmable controller may be used to comply with dimmer requirements in § 150.0(k) if it provides the functionality of a dimmer according to § 110.9, and complies with all other applicable requirements in § 150.0(k)2.
§ 150.0(k)2I:	Interior Switches and Controls. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by an occupant sensor or a vacancy sensor providing automatic-off functionality. If an occupant sensor is installed, it must be initially configured to manual-on operation using the manual control required under Section 150.0(k)2C.
§ 150.0(k)2J:	Interior Switches and Controls. Luminaires that are or contain light sources that meet Reference Joint Appendix JA8 requirements for dimming, and that are not controlled by occupancy or vacancy sensors, must have dimming controls.*
§ 150.0(k)2K:	Interior Switches and Controls. Under cabinet lighting must be controlled separately from ceiling-installed lighting systems.
§ 150.0(k)3A:	Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must meet the requirement in item § 150.0(k)3Ai (ON and OFF switch) and the requirements in either § 150.0(k)3Aii (photocell and either a motion sensor or automatic time switch control) or § 150.0(k)3Aii (astronomical time clock), or an EMCS.
§ 150.0(k)3B:	Residential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, outdoor lighting for private patios, entrances, balconies, and porches; and residential parking lots and carports with less than eight vehicles per site must comply with either § 150.0(k)3A or with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
§ 150.0(k)3C:	Residential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, any outdoor lighting for residential parking lots or carports with a total of eight or more vehicles per site and any outdoor lighting not regulated by § 150.0(k)3B or § 150.0(k)3D must comply with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
§ 150.0(k)4:	Internally illuminated address signs. Internally illuminated address signs must comply with § 140.8; or must consume no more than 5 watts of power as determined according to § 130.0(c).
§ 150.0(k)5:	Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in Sections 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.
§ 150.0(k)6A:	Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas in that building must be comply with Table 150.0-A and be controlled by an occupant sensor.
§ 150.0(k)6B:	Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in that building must: i. Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; and ii. Lighting installed in corridors and stairwells must be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors must be capable of turning the light fully on and off from all designed paths of ingress and egress.
Solar Ready Build	dings:
§ 110.10(a)1:	Single Family Residences. Single family residences located in subdivisions with 10 or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b) through § 110.10(e).
§ 110.10(a)2:	Low-rise Multifamily Buildings. Low-rise multi-family buildings that do not have a photovoltaic system installed must comply with the requirements of § 110.10(b) through § 110.10(d).
§ 110.10(b)1:	Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. For low-rise multi-family buildings the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 percent of the total roof area of the building excluding any skylight area. The solar zone requirement is applicable to the entire building, including mixed occupancy.*
§ 110.10(b)2:	Azimuth. All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north.
§ 110.10(b)3A:	Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.*
§ 110.10(b)3B:	Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane."
§ 110.10(b)4:	Structural Design Loads on Construction Documents. For areas of the roof design ated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.
§ 110.10(c):	Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.
§ 110.10(d):	Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant.
§ 110.10(e)1:	Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.
§ 110.10(e)2:	Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric".

§ 150.0(h)3A:	Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer
§ 150.0(h)3B:	Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.
§ 150.0(j)1:	Storage Tank Insulation. Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, must have a minimum of R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.
§ 150.0(j)2A:	Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. All domestic hot water piping must be insulated as specified in Section 609.11 of the California Plumbing Code. In addition, the following piping conditions must have a minimum insulation wall thickness of one inch or a minimum insulation R-value of 7.7: the first five feet of cold water pipes from the storage tank; all hot water piping with a nominal diameter equal to or greater than 3/4 inch and less than one inch; all hot water piping with a nominal diameter less than 3/4 inch that is: associated with a domestic hot water recirculation system, from the heating source to storage tank or between tanks, buried below grade, and from the heating source to kitchen fixtures.*
§ 150.0(j)3:	Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind as required by Section 120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.
§ 150.0(n)1:	Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must include all of the following: A dedicated 125 volt, 20 amp electrical receptacle connected to the electric panel with a 120/240 volt 3 conductor, 10 AWG copper branch circuit, within three feet of the water heater without obstruction. Both ends of the unused conductor must be labeled with the word "spare" and be electrically isolated. Have a reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the branch circuit and labeled with the words "Future 240V Use"; a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condensate drain that is no more than two inches higher than the base of the water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu per hour.
§ 150.0(n)2:	Recirculating Loops. Recirculating loops serving multiple dwelling units must meet the requirements of § 110.3(c)5.
§ 150.0(n)3:	Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the Executive Director.
Ducts and Fans	Measures:
§ 110.8(d)3:	Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
§ 150.0(m)1:	CMC Compliance. All air-distribution system ducts and plenums must meet the requirements of the CMC §§ 601.0, 602.0, 603.0, 604.0, 605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to a minimum installed level of R-6.0 or a minimum installed level of R-4.2 when ducts are entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8). Portions of the duct system completely exposed and surrounded by directly conditioned space are not required to be insulated. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than ½ inch, the combination of mastic and either mesh or tape must be used. Building cavities, support platforms for air handlers, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavites and support platforms must not be compressed to cause reductions in the cross-sectional area.*
§ 150.0(m)2:	Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.
§ 150.0(m)3:	Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction.
§ 150.0(m)7:	Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers.
§ 150.0(m)8:	Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.
§ 150.0(m)9:	Protection of Insulation. Insulation must be protected from damage, sunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. Cellular foam insulation must be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation.
§ 150.0(m)10:	Porous Inner Core Flex Duct. Porous inner core flex ducts must have a non-porous layer between the inner core and outer vapor barrier.
	Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in

§ 150.0(m)13:

Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or

Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM

per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling

unil fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3.*

§ 150.0(m)12: equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Pressure drops and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service.*

LELLY COMMISSION

2019 Low-Rise Residential Mandatory Measures Summary

Requirements	or Ventilation and Indoor Air Quality:
§ 150.0(o)1:	Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1.
§ 150.0(o)1C:	Single Family Detached Dwelling Units. Single family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow provided at rates determined by ASHRAE 62.2 Sections 4.1.1 and 4.1.2 and as specified in § 150.0(o)1C.
§ 150.0(o)1E:	Multifamily Attached Dwelling Units. Multifamily attached dwelling units must have mechanical ventilation airflow provided at rates in accordance with Equation 150.0-B and must be either a balanced system or continuous supply or continuous exhaust system. If a balanced system is not used, all units in the building must use the same system type and the dwelling-unit envelope leakage must be ≤ 0.3 CFM at 50 F (0.2 inch water) per square foot of dwelling unit envelope surface area and verified in accordance with Reference Residential Appendix RA3.8.
§ 150.0(o)1F:	Multifamily Building Central Ventilation Systems. Central ventilation systems that serve multiple dwelling units must be balanced to provide ventilation airflow for each dwelling unit served at a rate equal to or greater than the rate specified by Equation 150.0-B. All unit airflows must be within 20 percent of the unit with the lowest airflow rate as it relates to the individual unit's minimum required airflow rate needed for compliance.
§ 150.0(o)1G:	Kitchen Range Hoods. Kitchen range hoods must be rated for sound in accordance with Section 7.2 of ASHRAE 62.2.
§ 150.0(o)2:	Field Verification and Diagnostic Testing. Dwelling unit ventilation airflow must be verified in accordance with Reference Residential Appendix RA3.7. A kitchen range hood must be verified in accordance with Reference Residential Appendix RA3.7.4.3 to confirm it is rated by HVI to comply with the airflow rates and sound requirements as specified in Section 5 and 7.2 of ASHRAE 62.2.
Pool and Spa S	ystems and Equipment Measures:
§ 110.4(a):	Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating."
§ 110.4(b)1:	Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.
§ 110.4(b)2:	Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.
§ 110.4(b)3:	Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch tha will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
§ 110.5:	Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.
§ 150.0(p):	Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, flor rate, piping, filters, and valves.*
Lighting Measu	
§ 110.9:	Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirement of § 110.9.
§ 150.0(k)1A:	Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A.
§ 150.0(k)1B:	Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device must be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor control, of fan speed control.
§ 150.0(k)1C:	Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must meet all of the requirements for: insulation contact (IC) labeling; air leakage; sealing; maintenance; and socket and light source as described in § 150.0(k)1C.
§ 150.0(k)1D:	Electronic Ballasts for Fluorescent Lamps. Eallasts for fluorescent lamps rated 13 watts or greater must be electronic and must have an output frequency no less than 20 kHz.
§ 150.0(k)1E:	Night Lights, Step Lights, and Path Lights. Night lights, step lights and path lights are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided they are rated to consume no more than 5 watts of power and emit no more than 150 lumens.
§ 150.0(k)1F:	Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k).
§ 150.0(k)1G:	Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.*
§ 150.0(k)1H:	Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k)1I:	Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit remove than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed
§ 150.0(k)2A:	Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 150.0(k)2B:	Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems.* Interior Switches and Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually
§ 150.0(k)2C:	turned ON and OFF.*
	Interior Switches and Controls. Controls and equipment must be installed in accordance with manufacturer's instructions.
§ 150.0(k)2D:	
§ 150.0(k)2D: § 150.0(k)2E:	Interior Switches and Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the control is installed to comply with § 150.0(k).

CONTRACTOR:

Blue Coast Inc.

P O Box 5562 Santa Monica CA 90409 310 401 1414

STRUCTURAL ENGINEER:

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DRAWN BY:

José Eduardo González

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PROJECT:

3321 OCEAN
SECOND FLOOR
ADDITION

PROJECT ADDRESS:

3321 OCEAN DR OXNARD, CA 93035

REV.	DESCRIPTION	DATE
1	RESUBMITTAL	06/07/21

PHASE

CONSTRUCTION DOCUMENTS

OATE: JUNE 7TH, 2021

TITI E:

BUILDING ENERGY ANALYSIS REPORT

JOB NO.: 12479

SHEET NO.:

t24-03

EXHIBIT 4 DRAFT CONDITIONS OF APPROVAL FOR (COASTAL) PD PERMIT CASE NO. PL20-0138

RESOURCE MANAGEMENT AGENCY (RMA)

Planning Division Conditions

1. Project Description

This Coastal Planned Development Permit is based on and limited to compliance with the project description stated in this condition below, Exhibit 3 of the Planning Director hearing on November 4, 2021, and conditions of approval set forth below. Together, these conditions and documents describe the "Project." Any deviations from the Project must first be reviewed and approved by the County in order to determine if the Project deviations conform to the Project as approved. Project deviations may require Planning Director approval for changes to the permit or further California Environmental Quality Act (CEQA) environmental review, or both. Any Project deviation that is implemented without requisite County review and approval(s) may constitute a violation of the conditions of this permit and applicable law.

The Project description is as follows:

The Project is a request for a Coastal Planned Development (PD) Permit to authorize a 667 square foot (sq. ft.) addition to the second floor of an existing 1,797 sq. ft. two-story single-family beachfront dwelling with a 388 sq. ft. attached two-car garage. The proposed addition includes the addition of 2 bedrooms making the bedroom count 4 and the square footage of the residence to total 2,464 sq. ft. of living space. The project will also include reinforcement of ground floor walls under the proposed addition through the installation of half-inch plywood panels. The existing building coverage is 1,555 sq. ft. and will not increase with the second-story addition. Parking requirements will be met with the existing two-car garage.

Access to the project site is provided by a private driveway which connects to Ocean Drive. Water and sewer services will be provided by Channel Islands Beach Community Services District. (Exhibit 3)

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and all approved County land use hearing exhibits in support of the Project and conditions of approval below.

County of Ventura
Planning Director Hearing
Case No. PL20-0138
Exhibit 4 - Draft Conditions
of Approval

Conditions for Coastal PD Permit Case No. PL20-0138

Date of Public Hearing: November 4, 2021 Permittee: Timothy and Gregory McGinity

Date of Approval: Location: 3321 Ocean Drive, Oxnard, CA 93035

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2. Required Improvements for PD

Purpose: To ensure the project site conforms to the plans approved at the Planning Director hearing in support of the project.

Requirement: The Permittee shall ensure that all required off-site and on-site improvements for the Project, are completed in conformance with the approved plans stamped as hearing Exhibit 3. The Permittee shall prepare and submit all final building and site plans for the County's review and approval in accordance with the approved plans.

Documentation: The Permittee shall obtain Planning Division staff's stamped approval on the project plans and submit them to the County for inclusion in the Project file. The Permittee shall submit additional plans to the Planning Division for review and stamped approval (e.g., tree protection and landscape plans) for inclusion in the Project file, as necessary.

Timing: Prior to the issuance of a Zoning Clearance for construction, the Permittee shall submit all final development plans to the Planning Division for review and approval. Unless the Planning Director and/or Public Works Agency Director allow the Permittee to provide financial security and a final executed agreement, approved as to form by the County Counsel, that ensures completion of such improvements, the Permittee shall complete all required improvements prior to final inspection. The Permittee shall maintain the required improvements for the life of the Project.

Monitoring and Reporting: The County Building Inspector, Public Works Agency Grading Inspector, Fire Marshall, and/or Planning Division staff has the authority to conduct periodic site inspections to ensure the Permittee's ongoing compliance with this condition consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

3. Site Maintenance

Purpose: To ensure that the Project site is maintained in a neat and orderly manner so as not to create any hazardous conditions or unsightly conditions which are visible from outside of the Project site.

Requirement: The Permittee shall maintain the Project site in a neat and orderly manner, and in compliance with the Project description set forth in Condition No. 1. Only equipment and/or materials which the Planning Director determines to substantially comply with the Project description shall be stored within the Project site during the life of the Project. Include specifications on where and how equipment and/or materials should be stored onsite.

Documentation: The Permittee shall maintain the Project site in compliance with Condition No. 1 and the approved plans for the Project.

Conditions for Coastal PD Permit Case No. PL20-0138

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Timing: The Permittee shall maintain the Project site in a neat and orderly manner and in compliance with Condition No. 1 throughout the life of the Project.

Monitoring and Reporting: The County Building Inspector, Public Works Agency Grading Inspector, Fire Marshall, and/or Planning Division staff has the authority to conduct periodic site inspections to ensure the Permittee's ongoing compliance with this condition consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

4. PD Modification

Prior to undertaking any operational or construction-related activity which is not expressly described in these conditions, the Permittee shall first contact the Planning Director to determine if the proposed activity requires a modification of this PD. The Planning Director may, at the Planning Director's sole discretion, require the Permittee to file a written and/or mapped description of the proposed activity in order to determine if a PD modification is required. If a PD modification is required, the modification shall be subject to:

- The modification approval standards of the Ventura County Ordinance Code in effect at the time the modification application is acted on by the Planning Director; and
- b. Environmental review, as required pursuant to the California Environmental Quality Act (CEQA; California Public Resources Code, §§ 21000-21178) and the State CEQA Guidelines (California Code of Regulations, Title 14, Chapter 3, §§ 15000-15387), as amended from time to time.

5. Construction Activities

Prior to any construction, the Permittee shall obtain a Zoning Clearance for construction from the Planning Division, and a Building Permit from the Building and Safety Division. Prior to any grading, the Permittee shall obtain a Grading Permit from the Public Works Agency.

6. Acceptance of Conditions and Schedule of Enforcement Responses

The Permittee's acceptance of this PD Permit and/or commencement of construction and/or operations under this PD Permit shall constitute the Permittee's formal agreement to comply with all conditions of this PD Permit. Failure to abide by and comply with any condition of this PD Permit shall constitute grounds for enforcement action provided in the Ventura County Coastal Zoning Ordinance (Article 13), which shall include, but is not limited to, the following:

- a. Public reporting of violations to the Planning Commission and/or Board of Supervisors;
- b. Suspension of the permitted land uses (Condition No. 1);
- c. Modification of the PD Permit conditions listed herein:

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- d. Recordation of a "Notice of Noncompliance" on the deed to the subject property;
- e. The imposition of civil administrative penalties; and/or
- f. Revocation of this PD Permit.

The Permittee is responsible for being aware of and complying with the PD Permit conditions and all applicable federal, state, and local laws and regulations.

7. Time Limits

a. Use inauguration:

The approval decision for this PD Permit becomes effective upon the expiration of the 10 day appeal period following the approval date on which the Planning Director rendered the decision on the Project, or when any appeals of the decision are finally resolved. Once the approval decision becomes effective, the Permittee must obtain a Zoning Clearance for construction in order to initiate the land uses set forth in Condition No. 1.

- (1) This PD Permit shall expire and become null and void if the Permittee fails to obtain a Zoning Clearance for construction within one year see the Ventura County Coastal Zoning Ordinance (§ 8181-7.7)] from the date the approval decision of this PD becomes effective. The Planning Director may grant a one year extension of time to the Permittee in order to obtain the Zoning Clearance for construction if the Permittee can demonstrate to the satisfaction of the Planning Director that the Permittee has made a diligent effort to implement the Project, and the Permittee has requested the time extension in writing at least 30 days prior to the one year expiration date.
- (2) Prior to the issuance of the Zoning Clearance for construction, all fees and charges billed to that date by any County agency, as well as any fines, penalties, and sureties, must be paid in full. After issuance of the Zoning Clearance for construction any final billed processing fees must be paid within 30 days of the billing date or the County may revoke this PD Permit.
- (3) The County decision-maker grants the requested modification.

The uses authorized by this CUP may continue during processing of a timelyfiled modification application in accordance with § 8181-5.7 of the Ventura County Coastal Zoning Ordinance.

8. <u>Documentation Verifying Compliance with Other Agencies' Requirements Related</u> to this PD Permit

Purpose: To ensure compliance with, and notification of, federal, state, and/or local government regulatory agencies that have requirements that pertain to the Project (Condition No. 1, above) that is the subject of this PD Permit.

Conditions for Coastal PD Permit Case No. PL20-0138

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Requirement: Upon the request of the Planning Director, the Permittee shall provide the Planning Division with documentation (e.g., copies of permits or agreements from other agencies, which are required pursuant to a condition of this PD Permit) to verify that the Permittee has obtained or satisfied all applicable federal, state, and local entitlements and conditions that pertain to the Project.

Documentation: The Permittee shall provide this documentation to Planning Division staff in the form that is acceptable to the agency issuing the entitlement or clearance, to be included in the Planning Division Project file.

Timing: The documentation shall be submitted to the Planning Division prior to the issuance of the Zoning Clearance for construction.

Monitoring and Reporting: The Planning Division maintains the documentation provided by the Permittee in the respective Project file. In the event that the federal, state, or local government regulatory agency prepares new documentation due to changes in the Project or the other agency's requirements, the Permittee shall submit the new documentation within 30 days of receipt of the documentation from the other agency.

9. <u>Notice of PD Permit Requirements and Retention of PD Permit Conditions On Site</u> **Purpose:** To ensure full and proper notice of these PD Permit conditions affecting the use of the subject property.

Requirement: Unless otherwise required by the Planning Director, the Permittee shall notify, in writing, the Property Owner(s) of record, contractors, and all other parties and vendors who regularly conduct activities associated with the Project, of the pertinent conditions of this PD Permit.

Documentation: The Permittee shall maintain a current set of PD Permit conditions and exhibits at the project site.

Timing: Prior to issuance of a Zoning Clearance for construction and throughout the life of the Project.

Monitoring and Reporting: The Planning Division has the authority to conduct periodic site inspections to ensure ongoing compliance with this condition consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

10. Recorded Notice of Land Use Entitlement

Purpose: The Permittee shall record a "Notice of Land Use Entitlement" form and the conditions of this PD Permit with the deed for the subject property that notifies the current and future Property Owner(s) of the conditions of this PD Permit.

Requirement: The Permittee shall sign, have notarized, and record with the Office of the County Recorder, a "Notice of Land Use Entitlement" form furnished by the Planning

Conditions for Coastal PD Permit Case No. PL20-0138

Date of Public Hearing: November 4, 2021 Permittee: Timothy and Gregory McGinity

Date of Approval: Location: 3321 Ocean Drive, Oxnard, CA 93035

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Division and the conditions of this PD Permit, with the deed of the property that is subject to this PD Permit.

Documentation: Recorded "Notice of Land Use Entitlement" form and conditions of this PD.

Timing: The Permittee shall record the "Notice of Land use Entitlement" form and conditions of this PD Permit, prior to issuance of a zoning clearance for construction.

Monitoring and Reporting: The Permittee shall return a copy of the recorded "Notice of Land Use Entitlement" form and conditions of this PD Permit to Planning Division staff to be included in the Project file.

11. Financial Responsibility for Compliance Monitoring and Enforcement

- a. Cost Responsibilities: The Permittee shall bear the full costs of all County staff time, materials, and County-retained consultants associated with condition compliance review and monitoring, CEQA mitigation monitoring, other permit monitoring programs, and enforcement activities, actions, and processes conducted pursuant to the Ventura County Coastal Zoning Ordinance (§ 8183-5) related to this PD Permit. Such condition compliance review, monitoring and enforcement activities may include (but are not limited to): periodic site inspections; preparation, review, and approval of studies and reports; review of permit conditions and related records; enforcement hearings and processes; drafting and implementing compliance agreements; and attending to the modification, suspension, or revocation of permits. Costs will be billed at the rates set forth in the Planning Division or other applicable County Fee Schedule, and at the contract rates of County-retained consultants, in effect at the time the costs are incurred.
- b. Billing Process: The Permittee shall pay all Planning Division invoices within 30 days of receipt thereof. Failure to timely pay an invoice shall subject the Permittee to late fees and charges set forth in the Planning Division Fee Schedule, and shall be grounds for suspension, modification, or revocation of this PD Permit. The Permittee shall have the right to challenge any charge or penalty prior to payment.

12. <u>Defense and Indemnification</u>

a. The Permittee shall defend, at the Permittee's sole expense with legal counsel acceptable to the County, against any and all claims, actions, or proceedings against the County, any other public agency with a governing body consisting of the members of the County Board of Supervisors, or any of their respective board members, officials, employees and agents (collectively, "Indemnified Parties") arising out of or in any way related to the County's issuance, administration, or Conditions for Coastal PD Permit Case No. PL20-0138

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enforcement of this PD Permit. The County shall promptly notify the Permittee of any such claim, action or proceeding and shall cooperate fully in the defense.

- b. The Permittee shall also indemnify and hold harmless the Indemnified Parties from and against any and all losses, damages, awards, fines, expenses, penalties, judgments, settlements, or liabilities of whatever nature, including but not limited to court costs and attorney fees (collectively, "Liabilities"), arising out of or in any way related to any claim, action or proceeding subject to subpart (a) above, regardless of how a court apportions any such Liabilities as between the Permittee, the County, and/or third parties.
- c. Except with respect to claims, actions, proceedings, and Liabilities resulting from an Indemnified Party's sole active negligence or intentional misconduct, the Permittee shall also indemnify, defend (at Permittee's sole expense with legal counsel acceptable to County), and hold harmless the Indemnified Parties from and against any and all claims, actions, proceedings, and Liabilities arising out of, or in any way related to, the construction, maintenance, land use, or operations conducted pursuant to this PD Permit, regardless of how a court apportions any such Liabilities as between the Permittee, the County, and/or third parties. The County shall promptly notify the Permittee of any such claim, action, or proceeding and shall cooperate fully in the defense.
- d. Neither the issuance of this PD Permit, nor compliance with the conditions hereof, shall relieve the Permittee from any responsibility otherwise imposed by law for damage to persons or property; nor shall the issuance of this PD Permit serve to impose any liability upon the Indemnified Parties for injury or damage to persons or property.

13. Invalidation of Condition(s)

If any of the conditions or limitations of this PD Permit are held to be invalid in whole or in part by a court of competent jurisdiction, that holding shall not invalidate any of the remaining PD Permit conditions or limitations. In the event that any condition imposing a fee, exaction, dedication, or other mitigation measure is challenged by the Permittee in an action filed in a court of competent jurisdiction, or threatened to be filed therein, the Permittee shall be required to fully comply with this PD Permit, including without limitation, by remitting the fee, exaction, dedication, and/or by otherwise performing all mitigation measures being challenged. This PD Permit shall continue in full force unless, until, and only to the extent invalidated by a final, binding judgment issued in such action.

If a court of competent jurisdiction invalidates any condition in whole or in part, and the invalidation would change the findings and/or the mitigation measures associated with the approval of this PD Permit, at the discretion of the Planning Director, the Planning Director may review the project and impose substitute feasible conditions/mitigation measures to adequately address the subject matter of the invalidated condition. The Planning Director shall make the determination of adequacy. If the Planning Director

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cannot identify substitute feasible conditions/mitigation measures to replace the invalidated condition, and cannot identify overriding considerations for the significant impacts that are not mitigated to a level of insignificance as a result of the invalidation of the condition, then this PD Permit may be revoked.

14. Consultant Review of Information and Consultant Work

The County and all other County permitting agencies for the Project have the option of referring any and all special studies that these conditions require to an independent and qualified consultant for review and evaluation of issues beyond the expertise or resources of County staff.

Prior to the County engaging any independent consultants or contractors pursuant to the conditions of this PD Permit, the County shall confer in writing with the Permittee regarding the necessary work to be contracted, as well as the estimated costs of such work. Whenever feasible, the County will use the lowest responsible bidder or proposer. Any decisions made by County staff in reliance on consultant or contractor work may be appealed pursuant to the appeal procedures contained in the Ventura County Zoning Ordinance Code then in effect.

The Permittee may hire private consultants to conduct work required by the County, but only if the consultant and the consultant's proposed scope-of-work are first reviewed and approved by the County. The County retains the right to hire its own consultants to evaluate any work that the Permittee or a contractor of the Permittee undertakes. In accordance with Condition No. 11 above, if the County hires a consultant to review any work undertaken by the Permittee, or hires a consultant to review the work undertaken by a contractor of the Permittee, the hiring of the consultant will be at the Permittee's expense.

15. Relationship of PD Permit Conditions, Laws, and Other Entitlements

The Permittee shall implement the Project in compliance with all applicable requirements and enactments of federal, state, and local authorities. In the event of conflict between various requirements, the more restrictive requirements shall apply. In the event the Planning Director determines that any PD Permit condition contained herein is in conflict with any other PD Permit condition contained herein, when principles of law do not provide to the contrary, the PD Permit condition most protective of public health and safety and environmental resources shall prevail to the extent feasible.

No condition of this PD Permit for uses allowed by the Ventura County Ordinance Code shall be interpreted as permitting or requiring any violation of law, lawful rules, or regulations, or orders of an authorized governmental agency. Neither the approval of this PD Permit, nor compliance with the conditions of this PD Permit, shall relieve the Permittee from any responsibility otherwise imposed by law for damage to persons or property.

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16. Change of Permittee

Purpose: To ensure that the Planning Division is properly and promptly notified of any change of Permittee.

Requirement: The Permittee shall file, as an initial notice with the Planning Director, the new name(s), address(es), telephone/FAX number(s), and email addresses of the new owner(s), lessee(s), operator(s) of the permitted uses, and the company officer(s). The Permittee shall provide the Planning Director with a final notice once the transfer of ownership and/or operational control has occurred.

Documentation: The initial notice must be submitted with the new Permittee's contact information. The final notice of transfer must include the effective date and time of the transfer and a letter signed by the new Property Owner(s), lessee(s), and/or operator(s) of the permitted uses acknowledging and agreeing to comply with all conditions of this PD Permit.

Timing: The Permittee shall provide written notice to the Planning Director 10 calendar days prior to the change of ownership or change of Permittee. The Permittee shall provide the final notice to the Planning Director within 15 calendar days of the effective date of the transfer.

Monitoring and Reporting: The Planning Division maintains notices submitted by the Permittee in the Project file and has the authority to periodically confirm the information consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

17. Construction Noise

Purpose: In order for this project to comply with the Ventura County General Plan *Goals, Policies and Programs* Noise Policy 2.16.2-1(5) and the County of Ventura Construction Noise Threshold Criteria and Control Plan (Amended 2010).

Requirement: The Permittee shall limit construction activity for site preparation and development to the hours between 7:00 a.m. and 7:00 p.m., Monday through Friday, and from 9:00 a.m. to 7:00 p.m. Saturday, Sunday, and State holidays. Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions.

Documentation: The Permittee shall post a sign stating these restrictions in a conspicuous location on the Project site, in order so that the sign is visible to the general public. The Permittee shall provide photo documentation showing posting of the required signage to the Planning Division, prior to the commencement of grading and construction activities. The sign must provide a telephone number of the site foreman, or other person who controls activities on the jobsite, for use for complaints from the public. The Permittee shall maintain a "Complaint Log," noting the date, time, complainant's name, complaint, and any corrective action taken, in the event that the

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Permittee receives noise complaints. The Permittee must submit the "Complaint Log" to the Planning Division upon the Planning Director's request.

Timing: The Permittee shall install the sign prior to the issuance of a building permit and throughout all grading and construction activities. The Permittee shall maintain the signage on-site until all grading and construction activities are complete. If the Planning Director requests the Permittee to submit the "Complaint Log" to the Planning Division, the Permittee shall submit the "Complaint Log" within one day of receiving the Planning Director's request.

Monitoring and Reporting: The Planning Division reviews, and maintains in the Project file, the photo documentation of the sign and the "Complaint Log." The Planning Division has the authority to conduct site inspections and take enforcement actions to ensure that the Permittee conducts grading and construction activities in compliance with this condition, consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

PUBLIC WORKS AGENCY (PWA)

Development and Inspection Services Conditions

Integrated Waste Management Division (IWMD) Conditions

18. Construction & Demolition Debris Recycling Plan (Form B)

Purpose: Ordinance 4421 requires the Permittee to divert recyclable construction and demolition (C&D) materials generated by their project (e.g., wood, metal, greenwaste, soil, concrete, asphalt, paper, cardboard, etc.) from local landfills through recycling, reuse, or salvage. Review Ordinance 4421

at: https://www.vcpublicworks.org/wsd/iwmd/businessrecycling/#GreenWasteProcessing Further, the 2016 California Green Building Code Sections 4.408 and 5.408 require a minimum of 65% diversion of construction and demolition materials from landfill disposal.

Requirement: The Permittee must submit a comprehensive recycling plan (Form B – Recycling Plan) to the IWMD for any proposed construction and/or demolition projects that require a building permit.

Documentation: The Form B – Recycling Plan must ensure a minimum of 65% of the recyclable C&D debris generated by the project will be diverted from the landfill by recycling, reuse, or salvage. A copy of Form B is available at: http://onestop.vcpublicworks.org/integrated-waste-management-forms.

A comprehensive list of permitted recyclers, County-franchised haulers, and solid waste & recycling facilities in Ventura County is available at: http://onestoppermit.ventura.org/.

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A list of local facilities permitted to recycle soil, wood, and greenwaste is available at: https://www.vcpublicworks.org/wsd/iwmd/businessrRecycling/#GreenWasteProcessing
A complete list of County-franchised solid waste haulers is available at: https://www.vcpublicworks.org/wsd/iwmd/construction/#solid-waste-collecters

Timing: Upon Building and Safety Division's issuance of a building permit for the project, the Permittee must submit a Form B – Recycling Plan to the IWMD for approval.

Monitoring and Reporting: The Permittee is required to keep a copy of their approved Form B – Recycling Plan until Building and Safety Division's issuance of final permit.

19. Construction & Demolition Debris Reporting Form (Form C)

Purpose: Ordinance 4421 requires the Permittee to divert recyclable construction and demolition (C&D) materials generated by their project (e.g., wood, metal, greenwaste, soil, concrete, paper, cardboard, plastic containers, etc.) from local landfills through recycling, reuse, or salvage. Review Ordinance 4421 at:

http://onestop.vcpublicworks.org/integrated-waste-management-laws-ordinances. The 2016 California Green Building Code Sections 4.408 and 5.408 require a minimum of 65% diversion of construction and demolition materials from landfill disposal.

Requirement: The Permittee must submit a Form C – Reporting Form to the IWMD for approval upon issuance of their final Building and Safety Division permit. A copy of Form C – Reporting Form is available at

https://www.vcpublicworks.org/wsd/iwmd/businessrecycling/#GreenWasteProcessing

Documentation: The Permittee must submit original recycling facility receipts and/or documentation of reuse with their Form C – Reporting Form to verify a minimum of 65% of the recyclable C&D debris generated by their project was diverted from the landfill.

Timing: A completed Form C – Reporting Form, with required recycling facility receipts and/or documentation or reuse, must be submitted to the IWMD for approval at the time of Building and Safety Division's issuance of final permit.

Monitoring & Reporting: The Permittee is required to keep a copy of their approved Form C – Reporting Form until Building and Safety Division's issuance of final permit.

Watershed Protection District (WPD) Conditions

County Stormwater Program Section

20. Compliance with Stormwater Development Construction Program

Purpose: To ensure compliance with the Los Angeles Regional Water Quality Control Board NPDES Municipal Stormwater Permit No.CAS004002 (Permit) the proposed project will be subject to the construction requirements for surface water quality and

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storm water runoff in accordance with Part 4.F., "Development Construction Program" of the Permit.

Requirement: The construction of the proposed project shall meet requirements contained in Part 4.F. "Development Construction Program" of the Permit through the inclusion of effective implementation of the Construction BMPs during all ground disturbing activities.

Documentation: The Permittee shall submit to the Watershed Protection District – County Stormwater Program Section (CSP) for review and approval a completed and signed SW-1 form (Best Management Practices for Construction Less Than One Acre) which can be found at http://onestop.vcpublicworks.org/stormwater-forms.

Timing: The above listed item shall be submitted to the CSP for review and approval prior to issuance of a Zoning Clearance for Construction.

Monitoring and Reporting: CSP will review the submitted materials for consistency with the NPDES Municipal Stormwater Permit. Building Permit Inspectors will conduct inspections during construction to ensure effective installation of the required BMPs.

OTHER VENTURA COUNTY AGENCIES

Ventura County Air Pollution Control District (APCD) Conditions

21. VCAPCD Rules and Regulations for Grading and Construction

Purpose: In order to ensure that fugitive dust and particulate matter related to project development are minimized to prevent impacts on adjacent properties.

Requirement: The Permittee shall comply with the provisions of applicable VCAPCD Rules and Regulations, which include but are not limited to, Rule 50 (Opacity), Rule 51 (Nuisance), and Rule 55 (Fugitive Dust). The Permittee may be required to prepare and submit an Air Emissions Mitigation Plan for Dust Control to VCAPCD. The Air Emissions Mitigation Plan for Dust Control shall also be part of any construction contract for the site grading.

Documentation: The Plan shall include the following elements:

- a. the area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to prevent excessive amounts of dust;
- b. pre-grading/excavation activities shall include watering the area to be graded or excavated before commencement of grading or excavation operations.
 Application of water (preferably reclaimed, if available) should penetrate sufficiently to minimize fugitive dust during grading activities;

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- c. fugitive dust produced during grading, excavation, and construction activities shall be controlled by the following activities:
 - (1) All trucks shall cover their loads as required by California Vehicle Code § 23114.
 - (2) Fugitive dust throughout the construction site shall be controlled by the use of a watering truck or equivalent means, generally at least three times a day (except during and immediately after rainfall). Water shall be applied to all unpaved roads, unpaved parking areas or staging areas, and active portions of the construction site. Environmentally-safe dust control agents may be used in lieu of watering.
 - (3) Re-vegetate or apply APCD-approved chemical soil stabilizers to all inactive portions of the construction site that are inactive for four or more days.
 - (4) Graded and/or excavated inactive areas of the construction site shall be monitored at least weekly for dust stabilization. Soil stabilization methods, such as water and roll compaction, and environmentally safe dust control materials, shall be periodically applied to portions of the construction site that are inactive for over four days. If no further grading or excavation operations are planned for the area, the area should be hydro-seeded and watered until growth is evident, or periodically treated with environmentally safe dust suppressants, to prevent excessive fugitive dust.
 - (5) Signs shall be posted onsite limiting traffic to 15 miles per hour or less.
 - (6) All clearing, grading, earth moving, or excavation activities shall cease during periods of high winds (i.e., greater than 15 miles per hour averaged over one hour.) During periods of high winds (i.e., wind speed sufficient to cause fugitive dust to impact adjacent properties), all clearing, grading, earth moving, and excavation operations shall be curtailed to the degree necessary to prevent fugitive dust created by onsite activities and operations from being a nuisance or hazard, either offsite or onsite. The site superintendent or supervisor shall use their discretion in determining when winds are excessive. Based on their independent judgment and as part of their regular site inspection responsibilities, Public Works and/or APCD inspectors will require that the site superintendent and/or supervisor shall halt all such activities if it they determine the fugitive dust is impacting adjacent properties;

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- d. adjacent streets and roads shall be swept at least once per day, preferably at the end of the day, if visible soil material is carried over to adjacent streets and roads;
- e. personnel involved in grading operations, including contractors and subcontractors, should be advised to wear respiratory protection in accordance with California Division of Occupational Safety and Health regulations; and,
- f. signs displaying the APCD Complaint Line Telephone number for public complaints shall be posted on the site: (805) 645-1400 during business hours and (805) 654-2797 after hours.

Timing: The Permittee shall submit an Air Emissions Mitigation Plan for Dust Control as part of and on the grading plans to be reviewed and approved by the APCD and Public Works Agency. The Plan shall be approved prior to the issuance of grading permits.

Monitoring and Reporting: Public Works Agency inspectors shall field-monitor all dust control measures during grading activities. The approved grading plans, including the Air Emissions Mitigation Plan for Dust Control, shall be kept onsite in an easily accessible location until final grading inspections are complete.

22. Fugitive Dust

Purpose: To ensure that fugitive dust and particulate matter that may result from site preparation and construction activities are minimized to the greatest extent feasible.

Requirement: The Permittee shall comply with the provisions of applicable VCAPCD Rules and Regulations, which include, but are not limited to, Rule 50 (Opacity), Rule 51 (Nuisance), and Rule 55 (Fugitive Dust).

Documentation: The Permittee shall ensure compliance with the following provisions:

- I. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to prevent excessive amounts of dust;
- II. Pre-grading/excavation activities shall include watering the area to be graded or excavated before commencement of grading or excavation operations. Application of water should penetrate sufficiently to minimize fugitive dust during grading activities;
- III. All trucks shall cover their loads as required by California Vehicle Code §23114.
- IV. Fugitive dust throughout the site shall be controlled by the use of a watering truck or equivalent means (except during and immediately after rainfall). Water shall

be applied to all unpaved roads, unpaved parking areas or staging areas, and active portions of the construction site. Environmentally safe dust control agents may be used in lieu of watering.

- V. Graded and/or excavated inactive areas of the construction site shall be monitored at least weekly for dust stabilization. Soil stabilization methods, such as water and roll compaction, and environmentally safe dust control materials, shall be periodically applied to portions of the construction site that are inactive for over four days.
- VI. Signs shall be posted onsite limiting traffic to 15 miles per hour or less.
- VII.All clearing, grading, earth moving, or excavation activities shall cease during periods of high winds (i.e., wind speed sufficient to cause fugitive dust to be a nuisance or hazard to adjacent properties). During periods of high winds, all clearing, grading, earth moving, and excavation operations shall be curtailed to the degree necessary to prevent fugitive dust created by onsite activities and operations from being a nuisance or hazard, either offsite or onsite.

Timing: Throughout the construction phases of the project.

Reporting and Monitoring: Construction permits are issued by Public Works Agency and inspector shall perform periodic site inspections throughout the construction period. Monitoring and Enforcement of dust-related provisions shall also be conducted by APCD staff on a complaint-driven basis.

23. Air Contaminants

Purpose: To ensure that discharge of air contaminants that may result from site operations are minimized to the greatest extent feasible.

Requirement: Facility shall be operated in accordance with the Rules and Regulations of the Ventura County Air Pollution Control District, with emphasis on Rule 51, Nuisance.

Documentation: The Permittee shall ensure compliance with the following provision:

A person shall not discharge from any source whatsoever such quantities of air contaminants or other material which cause injury, detriment, nuisance or annoyance to any considerable number of persons or to the public or which endangers the comfort, repose, health or safety of any such persons or the public or which cause or have a natural tendency to cause injury or damage to business or property.

Timing: Throughout the life of the permit.

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Reporting and Monitoring: Monitoring and Enforcement of the Nuisance Rule shall be conducted by APCD staff during compliance inspections and on a complaint-basis.

Ventura County Fire Protection District (VCFPD) Conditions

24. Fire Department Clearance

Purpose: To provide the Permittee a list of all applicable fire department requirements for their project.

Requirement: The Permittee shall obtain VCFD Form #610 "Requirements for Construction" for any new structures or additions to existing structures before issuance of building permits.

Documentation: A signed copy of the Ventura County Fire Protection District's Form #126 "Requirements for Construction."

Timing: The Permittee shall submit VCFPD Form #610 Application to the Fire Prevention Bureau for approval before issuance of building permits.

Monitoring and Reporting: A copy of the completed VCFPD Form #610 shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau will conduct a final on-site inspection of the project to ensure compliance with all conditions and applicable codes / ordinances.