



Planning Director Staff Report Hearing on October 17, 2023

County of Ventura • Resource Management

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WEISBERG RESIDENCE COASTAL PLANNED DEVELOPMENT (PD) PERMIT CASE NO. PL22-0082

A. PROJECT INFORMATION

1. **Request:** The Applicant requests approval of a Coastal Planned Development (PD) Permit for the construction of a new single-family dwelling, attached garage, and pool [Ventura County Coastal Zoning Ordinance (CZO) Section 8174-5, “Dwellings, One Single-Family”, “Dwellings – Accessory Uses and Structures”] (Case No. PL22-0082)
2. **Applicant/Property Owner:** Michael Weisberg for LEND TO AMERICA 401 K Plan
3. **Decision-Making Authority:** Pursuant to the Ventura County Coastal Zoning Ordinance (CZO) (Section 8174-5 and Section 8181-3 et seq.), the Planning Director is the decision-maker for the requested Coastal PD Permit.
4. **Project Site Size, Location, and Parcel Number:** The 5-acre property/project site is located approximately three miles north of the intersection of Yerba Buena Road and State Route (SR) 1 (Pacific Coast Highway), in the community of Malibu, in the unincorporated area of Ventura County. The Tax Assessor’s parcel number for the parcel that constitutes the project site is 700-0-060-100 (Exhibit 2, Maps).
5. **Project Site Land Use and Zoning Designations (Exhibit 2):**
 - a. Countywide General Plan Land Use Map Designation: Open Space (Exhibit 2)
 - b. Coastal Area Plan Land Use Map Designation: Open Space (Exhibit 2)
 - c. Zoning Designation: Coastal Open Space (COS-10ac sdf/M), Santa Monica Mountains Overlay Zone, Slope Density Formula Area (Exhibit 2)
6. **Adjacent Zoning and Land Uses/Development (Exhibit 2):**

Location in Relation to the Project Site	Zoning	Land Uses/Development
North	COS-10ac sdf/M	Undeveloped Open Space
East	COS-10ac sdf/M	Undeveloped Open Space
South	COS-10ac sdf/M	Undeveloped Open Space
West	COS-10ac sdf/M	Undeveloped Open Space

- 7. History:** The subject lot (a single discrete parcel of land) was legally created by deed (recorded on April 6, 1937, in Book 521, Page 201), prior to regulation by the Subdivision Map Act and Ventura County Subdivision Ordinance.

On October 15, 1987, the County of Ventura issued a well permit (01S20W22F02S) for the use of a domestic water well. County records indicate that a domestic well (SWN 01S20W22F04S) possibly existed within the parcel boundaries close to previously existing structures in the western portion of the parcel. The well (SWN 01S20W22F04S) does not exist with the Department of Water Resources (DWR) records. The applicant reported that a well search was performed, and no well was located.

According to the Initial Study Biological Assessment (Attachment 3) the project site and surrounding areas are characterized by habitats within the Coastal Sage Scrub vegetation alliances. Little Sycamore Canyon and Yerba Buena Creek, located southeast and southwest of the subject lot, contain Southern Coast Live Oak Riparian Forest. Plant communities onsite include native Coastal Sage Scrub, Chaparral, cleared/graded soils, and Ruderal areas.

Review of Ventura County GIS aerial imagery, an unimproved road traverses from the west to the east and heads north; another unimproved road goes south. The roads are present as early as 1975. The subject lot was developed sometime in 2006 with two structures; however, no permits have been located for any development on the subject lot. Post Thomas Fire the structures remain; however, post Woolsey Fire the structures have been destroyed. Two cleared pads appear in the 1980s and were maintained; Post Woolsey Fire the easterly pad remains; however, the westerly (previously developed) graded pad, vegetation appears to be recovering voluntarily. The unpermitted grading on the parcel between 1981 and 1989 disturbed approximately 10,890 square feet (.25 acres) of environmentally sensitive habitat.

- 8. Project Description:** The Applicant requests a Coastal Planned Development (PD) Permit to construct a 4,880 square foot (sq. ft.) one-story single-family dwelling with an attached 1,046 sq. ft. four car garage, a 452 sq. ft. covered patio and swimming pool with barbeque area on the northeast portion of the proposed building pad. The roof of the single-family dwelling will contain solar panels, which will provide electricity to the project site, and a 500-gallon propane tank for heating. Access to the site is provided by way of Yerba Buena Road using an existing unimproved 20-foot wide by 1,700-foot-long private driveway that will be upgraded per Ventura County Fire Protection District standards for access. Estimated earthwork includes 4,308 cubic yards cut and 2,835 cubic yards fill and 1,473 cubic yards of export. Grading will consist of 2:1 cut and fill slopes and a building pad with a 2-5% gradient.

Water service will be provided by an existing permitted private water well (01S20W22F02S). Two proposed 4,995-gallon galvanized steel water tanks will

provide water storage for domestic and firefighting purposes. An onsite wastewater treatment system (OWTS) that includes two seepage pits, approximately 5 feet wide by 50 feet deep, a septic tank, and a treatment system tank would be constructed adjacent to and west of the single-family dwelling.

The proposed project will permanently remove approximately 121,314 sq. ft. (2.785 acres) of Environmentally Sensitive Habitat Areas (ESHA) related to the construction of the access road, the home, and the required 100-foot fuel modification zone. Approximately 2,700 sq. ft. of ESHA was cleared without the benefit of a permit 13,590 sq. ft. (0.312 acres) associated with previous development on the western portion of the site and 1,829 sq. ft. (0.042 acres) of ruderal vegetation west of the access road. A total of 3.097 acres of ESHA will require mitigation at a 2:1 ratio (6.19 acres). Restoration of 0.312 acres will occur onsite, the remaining 5.882 acres will be mitigated through the acquisition of offsite parcels to be dedicated to Mountains Recreation and Conservation Authority (MRCA).

B. CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) COMPLIANCE

Pursuant to CEQA (Public Resources Code Section 21000 et seq.) and the CEQA Guidelines (Title 14, California Code of Regulations, Division 6, Chapter 3, Section 15000 et seq.), the proposed project is subject to environmental review.

County staff prepared an Initial Study in accordance with the County's Initial Study Assessment Guidelines. Based on the information contained in the Initial Study, the County prepared a Mitigated Negative Declaration (MND) and made the MND available for public review and comment from August 18, 2023, to September 18, 2023. Notice was published in the Ventura County Star on August 18, 2023. Postcard notices were sent to property owners within a 1,000-foot radius and other state, federal and local agencies as required by the Ventura County General Plan.

An MND is a written statement briefly describing the reasons that a proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Report. However, the Initial Study identified three potentially significant effects on the environment to biological resources (requiring 11 Mitigation Measures), but revisions in the project plans and mitigation proposals made by, or agreed to by, the Applicant before the MND was released for public review would avoid the effects or mitigate the effects to a point where no significant effect on the environment would occur. More specifically, the MND identified the following potentially significant, but mitigable impacts, related to biological resources:

MND, Section 4A, Biological Resources, Species: The Initial Study found that the proposed project would have potentially significant impacts to plant and animal species. Impacts will be less than significant with the implementation of Mitigation Measure BIO-1, BIO-2, BIO-3 and BIO-4, which require pre-construction surveys and

relocation of special-status species, protection of special-status plant species within the fuel modification areas and specific measures to identify, avoid or relocate Woodrat Nests.

MND, Section 4D, Biological Resources, Environmentally Sensitive Habitat Areas (ESHA): ESHA. Impacts will be less than significant with the implementation of Mitigation Measures BIO-5, BIO-6, BIO-7, BIO-8, and BIO-9, which require the following: the construction of exclusionary fencing prior to ground disturbance, the verification that erosion control seed mixes do not contain invasive species, permanent preservation of ESHA onsite, compensatory mitigation due to the loss of ESHA resulting in the restriction and transfer of two properties (APNs 694-0-100-160 and 694-0-100-100 to Mountains Recreation and Conservation Authority (MRCA) totaling 6 acres and the restoration of .25 acres of ESHA on the subject property, and the verification that the final fuel modification complies with the Project Biologist's recommendations.

MND, Section 4E, Biological Resources, Habitat Connectivity: Impacts will be less than significant for impacts to Habitat Connectivity with the implementation of Mitigation Measures BIO-10 and BIO-11, which sets standards for any permanent fencing proposed on site and requires review by the Planning Division and sets standards for outdoor lighting and similarly requires review by the Planning Division.

1. Findings for Adoption of an MND: The CEQA Guidelines [Section 15074(b)] state that an MND shall only be adopted by a decision-making body if there is no substantial evidence, in light of the whole record, that the proposed project may have a significant adverse effect on the environment and that the MND reflects the Lead Agency's independent judgment and analysis.

The proposed final MND, including written comments on the MND and staff's responses to the comments on the MND (Exhibit 4), will reduce the proposed Project's potentially significant impacts related to biological resources to a less-than-significant level. As of the date of this staff report, one comment has been received on the proposed Project from the California Department of Fish and Wildlife. Since the availability of the draft MND, staff has not made any substantial changes to the document that would require a recirculation of the draft MND.

Therefore, based on the information provided above and in light of the whole record, there is no substantial evidence that the proposed project may have a significant adverse effect on the environment and the MND (Exhibit 4) reflects the County's independent judgment and analysis.

2. Mitigation Monitoring and Reporting Program: The CEQA Guidelines [Section 15091(d)] state that, when approving a project for which an MND has been prepared, the agency shall also adopt a program for reporting on, or monitoring, the changes which it has either required in the project or made a condition of approval to avoid or substantially lessen significant environmental effects. These

measures must be fully enforceable through permit conditions, agreements, or other measures.

The Mitigation Monitoring and Reporting Program (MMRP) for the proposed project is included in the Conditions of Approval (Exhibit 5). The mitigation measures (including the monitoring component) identified in the MND have been incorporated into the project as Condition Nos. 23 through 33. These measures require the Applicant to:

- Perform preconstruction survey with seed/bulb salvage, and relocation of special-status plants;
- Protection of special-status plant species within the fuel modification area;
- Perform pre-construction survey and relocation of special status wildlife;
- Implementation of Woodrat Nest avoidance and relocation measures;
- The installation of construction exclusion fencing;
- Prohibit the use of invasive plants and seed in a landscape plan and erosion control seed mix, and in the fuel modification zone;
- The permanent preservation of ESHA on the subject property outside of the proposed development envelope;
- Provide compensatory mitigation for the loss of ESHA caused by previous clearing and proposed development;
- Submit a fuel modification plan for review and approval to minimize impacts to ESHA as a result of fuel modification;
- That any fencing beyond the fuel modification zone be wildlife permeable, to not impede wildlife movement; and
- Submit a lighting plan to ensure exterior night lighting minimizes potential impacts to wildlife movement.

Therefore, based on the foregoing information, the project complies with the requirements of the CEQA Guidelines.

C. CONSISTENCY WITH THE GENERAL PLAN / COASTAL AREA PLAN

The proposed project has been analyzed and determined to be consistent with all applicable General Plan and Coastal Area Plan policies. A consistency analysis which evaluates the project's consistency with the policies of the General Plan is included as Exhibit 6 of this Staff Report.

D. ZONING ORDINANCE COMPLIANCE

The proposed project is subject to the requirements of the Ventura County CZO.

Pursuant to the Ventura County Ventura County CZO (Section 8174-4), the proposed use is allowed in the Coastal Open Space zone district with the granting of a Coastal PD Permit. Upon the granting of the PD Permit, the proposed project will comply with this requirement. The proposed project includes the construction and use of buildings

that are subject to the development standards of the Ventura County CZO (Section 8175-2). Table 1 lists the applicable development standards and a description of whether the proposed project complies with the development standards.

Table 1 – Development Standards Consistency Analysis

Type of Requirement	Zoning Ordinance Requirement	Complies?
Minimum Lot Area (Gross)	10 acres	No, the subject lot is 5 acres; however, the lot was legally created by deed (recorded on April 6, 1937, in Book 521, Page 201)
Maximum Percentage of Building Coverage	5%	Yes, 6,378 sq. ft. total coverage or 2.928%
Front Setback	20 feet	Yes, 105 feet
Side Setback	10 feet	Yes, 93 feet
Rear Setback	15 feet	Yes, 103 feet
Maximum Building Height	35 feet	Yes, 17.5 feet

The proposed project is subject to the special use standards of the Ventura County CZO (Section 8175-5.17 et seq.). The following list includes all the applicable grading and brush removal standards, along with Planning Division staff’s analysis of the proposed project’s consistency with each of the standards.

- 1. Ventura County CZO Section 8175-5.17.1:** *Grading plans shall minimize all areas of earth disturbance. If it is determined that a project is feasible with less alteration of the natural terrain than is proposed, that project shall be denied.*

As discussed in this Section A.7 (History) of the staff report, graded pads appear in the 1980s, the easterly pad is where development is proposed. The unimproved access road currently provides access to the easterly pad without having to traverse the site to access the westerly pad. The westerly pad has not been maintained and ESHA is voluntarily re-establishing. The proposed building pad will be 9,902 sq. ft. The grade of the subject lot is approximately 18 percent (as measured from the elevation of the site as it enters the drive to the northern edge of the development), rising approximately 900 feet above mean sea level (msl) from the northerly property line to approximately 835 feet msl to the southerly property line. The siting of the building pad makes use of existing flat areas. Grading will consist of 2:1 cut and fill slopes and a building pad with a 2-5% gradient.¹ Accordingly, the Project has been sited to minimize impacts to ESHA and minimize cut and fill operations.

Based on the discussion above, the proposed project is consistent with Ventura County CZO Section 8175-5.17.1.

¹ Ventura County Building Code Appendix J, Grading, Section J107.2, Excavations: Maximum cut slope. The slope of cut surfaces shall be no steeper than is safe for the intended use and shall be no steeper than 2 units horizontal to 1 unit vertical (50 percent)

- 2. Ventura County CZO Section 8175-5.17.2:** *All earth disturbance shall be designed to minimize impacts and alterations of physical features and processes of the site (i.e., geological, soils, hydrological, siltation, water percolation, runoff, the spread of invasive or invasive watch list species and adverse impacts on biological resources), to the maximum extent feasible. During the winter rainy season (October 1 – April 15), grading and brush/vegetation removal is prohibited, except when such activities are conducted in accordance with best management practices, and the Planning Director, in consultation with the Public Works Agency, determines that one or more of the following circumstances apply:*
- a. *Grading or brush/vegetation removal is necessary to remediate or prevent hazardous geologic conditions that endanger public health and safety.*
 - b. *A grading permit was issued, and grading was initiated prior to the rainy season, but was not completed due to unforeseen circumstances or construction delays, and completion of grading would be more protective of sensitive environmental resources or would reduce erosion and sedimentation.*
 - c. *Identified, active bird nesting/roosting sites at the project site prevented grading or brush/vegetation removal during the prior non-rainy season (April 16 – Sept. 30).*
 - d. *Minor grading or brush/vegetation removal is necessary to maintain safe public access on existing roads or trails in public parks managed by the California Department of Parks and Recreation.*

Ventura County CZO Section 8175-5.17.3: *For permitted grading or brush/vegetation removal operations on hillsides with slopes that exceed 20 percent gradient, the smallest practical area of land shall be exposed at any onetime during development, and the length of exposure shall be kept to the shortest practicable amount of time. All erosion control measures, per the approved permit, shall be installed prior to any on-site grading and brush/vegetation removal activities.*

A bird nesting survey will be conducted at the project site prior to grading or brush/vegetation removal (Exhibit 5, Condition No. 20) The proposed project has been designed and sited to minimize grading, impacts and alterations to ground surfaces to the maximum extent feasible. In accordance with the Ventura County CZO Section 8175-2.1, the maximum building coverage in the COS zone is 5 percent. The requested development of the lot would allow for 6,181 sq. ft. (2.928 percent) building coverage (the footprint of buildings onsite) within a 9,902 sq. ft. building site². The proposed project will be subject to conditions of approval that will require the Applicant to submit plans that ensure runoff from the project site is

² CZO defines Building Site as “The primary, developed area of a legal lot that contains all structures for a residential, commercial, agricultural, or industrial use, including but not limited to the building pad, all primary structure(s) and accessory structures/uses (e.g., animal enclosures, barns, deck/patio, garages, parking areas, swimming pool, storage sheds, water storage tank)... The building site is included in the development envelope. (See definition for development envelope).”

discharged in accordance with Ventura County Building Code Appendix J, and Public Works Agency standards (Exhibit 5, Condition No. 38). The Planning Director, in consultation with the Public Works Agency, will determine if Grading Permit (Permit No. GP23-0034) can be issued in accordance with Ventura County CZO Section 8175-5.17.2.

Based on the discussion above, the proposed project is consistent with Ventura County CZO Sections 8175-5.17.2 and 8175-5.17.3.

- 3. Ventura County CZO Section 8175-5.17.4:** *Sediment containment systems and erosion control methods (e.g., desilting basins or silt traps) shall be installed, per the approved grading permit, on the project site prior to or concurrent with the initial grading operations and maintained by the applicant through the development process to capture sediment from runoff waters. All captured sediment shall be retained on-site unless removed to an appropriate approved dumping location.*

As discussed in Section C of this staff report (above), the proposed project will be subject to conditions of approval ensuring compliance with the Ventura Countywide NPDES MS4 Permit No. CAS004002, requiring the Applicant to include Best Management Practices (BMP) designed to ensure compliance and implementation of an effective combination of erosion and sediment control for a disturbed site greater than one acre and determined as High Risk to protect surface water quality during construction (Exhibit 5, Condition Nos. 44 and 45).

Based on the discussion above, the proposed project is consistent with Ventura County CZO Section 8175-5.17.4.

- 4. Ventura County CZO Section 8175-5.17.5:** *All stormwater protection measures shall be installed, per the approved grading permit, prior to any grading or brush/vegetation removal and prior to the winter rainy season (October 1 – April 15). All stormwater protection measures shall be maintained to function as designed throughout the winter rainy season. Where construction will extend into the winter rainy season, the following standards shall apply:*
 - a. Suitable stabilization methods shall be used to protect all areas of disturbance from erosion. The appropriate methods shall be prepared by a qualified storm water designer and approved by the Ventura County Public Works Agency.*
 - b. The smallest practical area of land shall be exposed at any one time during development, and the length of exposure shall be kept to the shortest practicable amount of time.*
 - c. Stormwater quality protection measures for hillsides with slopes that exceed 20 percent gradient and for areas with ESHA or buffer zone shall be consistent with the standards required for “high risk sites”.*

Ventura County CZO Section 8175-5.17.6: *All areas of disturbance shall be fully stabilized at the completion of rough grading. Within 90 days of rough grading, at least 60 percent of the disturbed areas shall be covered with native plantings, and all remaining areas shall be covered with mulch, rock lining, or similar materials to control erosion. Within ESHA or buffer zones, revegetation planting shall be of native grasses and shrubs, and completed in accordance with Sections 8178-2.7.4.2, 8178-7, and 8178-8. Outside ESHA or buffer zones, restoration planting shall be conducted in accordance with Section 8178-8.4.2.5.1.*

As discussed in Section C of this staff report (above), the proposed project will be subject to conditions of approval ensuring compliance with the Ventura Countywide NPDES MS4 Permit No. CAS004002 and CAS000002 (Exhibit 5, Condition Nos. 44 and 45). To minimize impacts to sensitive plant communities adjacent to the development footprint, Mitigation Measures BIO-5 and BIO-6 (Exhibit 5, Condition Nos. 28 and 29) require the Applicant to install temporary exclusion fencing around the construction areas to prevent entry into ESHA and prohibit the use of invasive plants and seed in a landscape plan and erosion control seed mix.

Based on the discussion above, the proposed project is consistent with Ventura County CZO Sections 8175-5.17.5 and 8175-5.17.6.

- 5. Ventura County CZO Section 8175-5.17.7:** *Development shall be designed so that any difference (i.e., increase) in storm flow rate or amount must either be percolated into the ground onsite or released at the undeveloped flow rate from the site. Site discharge shall occur in a manner that avoids adverse impacts downstream (in velocity or duration) as follows:*
- a. Grading permit applications must include a hydrology and hydraulics report, prepared by a civil engineer, that includes a map showing the entire drainage area and the estimated runoff of the area.*
 - b. The report shall examine several frequencies of storms consisting of 2-year, 10-year, 50-year, and 100-year events, and demonstrate that the proposed site drainage design will either retain or detain the difference between the pre-development storm flow rate and post-development storm flow rate for the storm events listed above.*
 - c. The civil engineer preparing the hydrology and hydraulics report shall consider alternative, low-impact design methods to handle and improve stormwater quality runoff.*

The project site is situated approximately 1,475 feet west of Little Sycamore Canyon, which is a Ventura County WPD jurisdictional redline channel. No direct connections to this WPD channel are proposed. The Preliminary Grading Plan, prepared by Chris Nelson Associates, indicates that drainage onsite is sloping to the west, away from the creek area. The project is proposing approximately 6,378 sq. ft. of building coverage for the proposed structures within a 9,902 sq. ft. building

site.³ Impacts from increased impervious area and stormwater drainage design will be conditioned by the PWA, Engineering Services Division, Development & Inspection Services, by reference to Appendix J of the Ventura County Building Code (2022), to require that runoff from the project site be released at no greater than the undeveloped flow rate and in such manner as to not cause an adverse impact downstream in peak velocity or duration (Exhibit 5, Condition No. 39) In addition, the proposed project will be subject to conditions of approval to ensure compliance with the Ventura NPDES MS4 Permit No. CAS004002 and CAS000002 (Exhibit 5, Condition Nos. 44 and 45).

Based on the discussion above, the proposed project is consistent with Ventura County CZO Section 8175-5.17.7.

6. **Ventura County CZO Section 8175-5.17.8:** *Degradation of the water quality of groundwater basins or wet environments shall not result from development of the site. Pollutants such as chemicals, fuels, lubricants, raw sewage, or other harmful waste shall not be discharged into or alongside coastal streams, wetlands or other wet environments either during or after construction.*

Ventura County CZO Section 8175-5.17.9: *The Ventura County Resource Conservation District and the State Department of Fish and Wildlife shall be consulted for grading of hillsides that exceed 20 percent gradient and brush clearance in excess of one-half acre. In all cases, best management practices shall be used.*

As discussed in Section C of this staff report, the proposed project would be required to implement best management practices during construction and for the life of the project to control runoff (Exhibit 5, Condition Nos. 44 and 45). Additionally, the Applicant will be subject to Mitigation Measure BIO-8, which requires the Applicant to enhance, restore, establish, and preserve ESHA at a 2:1 mitigation to impact ratio (6.19 acres of compensatory mitigation to offset 3.097 acres of ESHA loss). Mitigation Measure BIO-7 requires all on-site ESHA outside of the development envelope be permanently protected in perpetuity through a conservation easement or a deed restriction (Exhibit 5, Condition No. 30). Therefore, the proposed project would protect ESHA and minimize the alteration of natural landforms on the subject property and would not degrade water quality of any groundwater basin or wetland. The California Department of Fish and Wildlife (CDFW) and State Department of Conservation were notified of the release of the MND for the Project on August 18, 2023. The CDFW did provide comments on the proposed Project (Exhibit 4, Attachment 12 - Comment Letter). Grading will remain outside areas that exceed 20 percent slope or greater.

³ Sec. 8178-2.6.2 - Within the Santa Monica Mountains (M) overlay zone, the maximum allowable building site shall be 10,000 square feet, or 25 percent of the legal lot size, whichever is less.

Based on the discussion above, the proposed project is consistent with Ventura County CZO Sections 8175-5.17.8 and 8175-5.17.9.

- 7. Ventura County CZO Section 8175-5.17.10:** *When an approved grading permit expires for a construction site, the permittee shall be responsible for the installation and maintenance of permitted, permanent erosion and sedimentation measures.*

The Applicant shall be responsible for complying with all applicable provisions of the Ventura County Building Code Appendix J, [Grading] including the installation and maintenance of permitted, permanent erosion and sedimentation measures.

Based on the discussion above, the proposed project is consistent with Ventura County CZO Section 8175-5.17.10.

The proposed project is located within the Santa Monica Mountains Overlay Zone, and, therefore, is subject to the standards of the Ventura County CZO (Section 8177-4.1 et seq.). The following list includes all the applicable Santa Monica Mountains Overlay Zone standards, along with Planning Division staff's analysis of the proposed project's compliance with each of the standards.

- 1. Ventura County CZO Section 8177-4.1.1:** *New development, including all private and public recreational uses, shall preserve all unique vegetation such as *Coreopsis gigantea* (giant coreopsis) and *Dudleya cymosa* ssp. *marcescens* (marcescent dudleya).*

As discussed in Section B, Item 4 (Biological Resources) of the MND (Exhibit 4), none of the plant communities impacted by the Project are considered sensitive. Because the project would not result in removal or indirect impact to sensitive plant communities, the project would not have a project-specific or cumulative impact. The development envelop lacks suitable habitat for these species. Furthermore, with the implementation of Mitigation Measures BIO-1 through BIO-11, impacts to ESHA would be minimized and would preserve coastal habitat (See Exhibit 5, Conditions Nos. 24 through 34).

Based on the discussion above, the proposed project is consistent with Ventura County CZO Section 8177-4.1.1.

- 2. Ventura County CZO Section 8177-4.1.2:** *All new upland development shall be sited and designed to avoid adverse impacts on environmentally sensitive habitat areas (ESHA). Section 8178-2 contains development standards that apply to areas of the Santa Monica Mountains (M) Overlay Zone that contain ESHA or buffer zones (see Coastal Area Plan, Figure 4.1.3-3).*

The project complies with applicable sections of Ventura County CZO Section 8178-2. The proposed building pad site is approximately 9,902 sq. ft. The development envelope is located as close to the access road as possible, avoids steep slopes and is in an area with minimal topographic constraints to minimize grading and alteration of natural landforms. An alternative analysis confirmed the western portion of the site contains a landslide; therefore, the eastern portion of the lot is the preferred location for development.

The Applicant will be subject to Mitigation Measures BIO-7 and BIO-8, which requires the Applicant to enhance, restore, establish and preserve ESHA at a 2:1 mitigation to impact ratio (6.19 total acres of mitigation to offset the loss of 3.097 acres of ESHA), and permanently protecting all on-site ESHA outside the development envelope through a conservation easement or deed restriction (Exhibit 5, Condition Nos. 30 and 31). Therefore, the proposed project's impact to ESHA would be less than significant.

Best management practices will be put in place during construction and throughout the life of the project (Exhibit 5, Condition No.44). All proposed landscaping including modification to existing vegetation in the 100-foot fuel modification zone is prohibited from including non-native or invasive plants (Exhibit 5, Condition No. 29). The Applicant will be required to submit a lighting plan as well as colors and materials for exterior finishes of structures and water tanks (Exhibit 5, Condition Nos. 22 and 34). Additionally, fencing is prohibited in ESHA; however limited fencing may be placed within the approved development envelope in accordance with CZO Section 8178-2.6.14, Fences, Gates and Walls (Exhibit 5, Condition No. 33).

Ventura County CZO Section 8178-2.6.3 (b) (2) specifically relates to fire safe design and building techniques to minimize the size of fuel modification zones. The Applicant will be required to utilize ember resistant building materials, closed eaves, roof sprinkler system, fireproof vents, and insulated temper glassed windows. These requirements will be implemented in the post-approval phase of development with the submittal of construction documents to the Ventura County Building and Safety Division (Exhibit 5, Condition No. 22). As the project site is located in the Very High Fire Severity Zone within a State Responsibility Area, the Project will be subject to these requirements.

Based on the discussion above, the proposed project will comply with Ventura County CZO Section 8177-4.1.2.

3. **Ventura County CZO Section 8177-4.1.3:** *For proposals for land divisions in the Santa Monica Mountains, all offers of dedication for trail easements shall be recorded on the final map. Trail easements established by deed restriction shall be recorded on the deed no later than final map recordation. See Section 8178-2.9.2. (AM.ORD.4451-12/11/12, AM.ORD.4586-10/19/21) All offers of dedication for trail easements shall be recorded on the final map. Trail easements established*

by deed restriction shall be recorded on the deed no later than final map recordation.

The proposed project does not involve a subdivision. Therefore, Ventura County CZO Section 8177-4.1.4 does not apply to the proposed project.

- 4. Ventura County CZO Section 8177-4.1.4:** *New development shall be sited and designed to protect public views to and from the shoreline and public recreational areas. Where feasible, development on sloped terrain shall be set below road grade.*

As discussed in Section C (above) and in Section B, Item 6 (Scenic Resources) of the MND prepared for the proposed project (Exhibit 4), the proposed Project site does not include any land within the Scenic Resource Protection (SRP) Overlay Zone, however, the site is within the Santa Monica Mountains Overlay Zone. The Santa Monica Mountains consist of sensitive habitats, such as riparian corridors, native chaparral, and oak woodlands. The proposed project will not be visible from California State Highway 1 – Pacific Coast Highway or the nearest trails that are part of the Point Mugu State Park Trail System, including Big Sycamore Canyon Train and Yellow Hill Trail. The California Department of Parks and Recreation’s Yellow Hill Trail is approximately 1.17 miles east of the proposed project site, and Big Sycamore Canyon Trail is approximately 2.6 miles west of the proposed project site. In addition, the proposed project site is located greater than 1,000 feet from publicly owned park lands. At these distances and due to the steep terrain, public views of the proposed project would likely not be visible or would be minimal at best. The proposed single-family dwelling and garage will be sited in such a way that it will not be silhouetted when visible from public viewing areas. In order to ensure that the proposed development blends in with the natural environment of the Santa Monica Mountains, the project will be conditioned to require the Applicant to submit a materials sample/color board at the time of construction of the new single-family dwelling and shall utilize natural building materials and colors (earth tones and non-reflective paints) on exterior surfaces of all structures and incorporate materials that will limited the potential for bird-strikes (Exhibit 5, Condition No. 22).

Based on the discussion above, the proposed project will comply with Ventura County CZO Section 8177-4.1.4.

- 5. Ventura County CZO Section 8177-4.1.5:** *Development shall not be sited on ridgelines or hilltops when alternative sites on the parcel are available and shall not be sited on the crest of major ridgelines.*

The proposed residence and garage have not been sited along a prominent ridgeline or the crest of a major ridgeline.

Based on the discussion above, the proposed project will comply with Ventura County CZO Section 8177-4.1.5.

- 6. Ventura County CZO Section 8177-4.1.6:** *Except within the existing South Coast community, as shown on the south coast subarea Land Use Plan map, all development proposals located within 1000 feet of publicly owned park lands shall be sited and designed to mitigate potential adverse visual impacts upon park lands. Appropriate mitigation measures include additional landscaping, use of natural materials, low building profiles, earth tone colors, and the like. Development shall not be sited within 500 feet of a park boundary unless no alternative siting on the property is possible consistent with the policies of the Plan.*

The project site is not located within 1,000 feet of publicly owned park lands. In addition, to ensure that the proposed development blends in with the natural environment of the Santa Monica Mountains, the project will be conditioned to require the Applicant to submit a materials sample/color board at the time of construction of the new single-family dwelling and shall utilize natural building materials and colors (earth tones and non-reflective paints) on exterior surfaces of all structures (Exhibit 5, Condition No. 22). Additional mitigation includes ensuring invasive species are not introduced through landscaping or in erosion control seed mix (Exhibit 5, Condition No. 29).

Based on the discussion above, the proposed project will comply with Ventura County CZO Section 8177-4.1.6.

- 7. Ventura County CZO Section 8177-4.1.7:** *Development shall neither preclude continued use of, nor preempt, the option of establishing inland recreational trails along routes depicted on the LCP Land Use Plan maps. A recorded offer of dedication or a deed restriction creating a trail easement shall be required as a condition of approval on property crossed by trails shown on the LCP Land Use Plan maps.*

Ventura County CZO Section 8177-4.1.8: *All new trail corridors shall be a minimum of 25 feet in width, with a larger corridor width for major feeder trails. The routing of trails shall be flexible in order to maintain an adequate buffer from adjacent development. Where feasible, development shall be sited sufficiently distant from the trail so as not to interfere with the trail route.*

Ventura County CZO Section 8177-4.1.9: *During the permitting process, the applicant shall provide the County with any documentation in their possession, or any information they are aware of, regarding the potential or contemplated acquisition of the subject property or portion thereof by a public natural resource agency or non-profit conservation organization.*

The proposed project site is not located on any trail route, and it would not preclude the continued use of any inland recreational trail as depicted in the Ventura County

Coastal Area Plan (Figure 4.1-7, California Coastal Trail, South Coast, 2017). Additionally, the property has not been contemplated for acquisition by a public natural resource agency.

Based on the discussion above, the proposed project will comply with Ventura County CZO Sections 8177-4.1.8, 8177-4.1.9 and 8177-4.1.10.

8. Ventura County CZO Section 8177-4.1.10: *Any areas within the Santa Monica Mountains used for private recreational purposes shall continue to be so used unless it becomes unfeasible to do so. These properties are subject to the following:*

- a. *The only principally-permitted uses (not appealable to the Coastal Commission) on such properties are recreational uses. Planned Development Permits for new recreational uses, or the expansion of existing recreational uses, shall be reviewed for conformance with Section 8178-2 and may be issued by the Planning Director in accordance with Article 11. Permits for all other uses shall be decided upon in accordance with Articles 4 and 11, and all other applicable provisions of this Chapter and the certified LCP Land Use Plan.*
- b. *Prior to the granting of a permit that allows a conversion of recreational uses to non-recreation uses, Section 8177-4.1.9 shall be followed.*

The subject property has not been, and is not currently, subject to private recreational use.

Based on the discussion above, the proposed project will comply with Ventura County CZO Section 8177-4.1.10.

9. Ventura County CZO Section 8177-4.1.11: *The (prescribed) standards and requirements apply to all outdoor lighting for development in the Santa Monica Mountains (M) Overlay Zone. If ESHA or a buffer zone is located on the lot or may be impacted by proposed outdoor lighting, additional outdoor lighting standards and restrictions may apply to the lighting pursuant to Section 8178-2.6.15. If development is subject to the standards of more than one section in this Chapter with respect to outdoor lighting, the more restrictive standards shall apply.*

The Applicant will be subject to the requirement for the submittal of a lighting plan in accordance with Coastal Zoning Ordinance Sections 8177-4.1.11 (Outdoor Lighting) and Section 8178-2.6.15 (Outdoor Lighting Standards in ESHA and Buffer Zones) to preserve the natural darkness of the night sky, reduce sky glow, minimize light trespass, improve star viewing, and decrease energy consumption (Exhibit 5 Condition No. 34).

Based on the discussion above, the proposed project will comply with Ventura County CZO Section 8177-4.1.11.

10. Ventura County CZO Section 8178-2.6.1 – Least Environmentally Damaging Alternative *Any development allowed in ESHA or buffer zones, pursuant to Section 8178-2.5 shall constitute the least environmentally damaging alternative. The following findings shall be made regarding the development:*

- a. *The development consists of a feasible project design alternative that results in the least damage (i.e., direct/indirect/cumulative impacts) to ESHA, when compared to other feasible alternatives, and protects ESHA (both on and off-site) against significant disruption of habitat values;*
- b. *If the development is authorized to provide an economically beneficial use, the project shall, in addition to complying with Policies 4.2 and 4.3 of the Coastal Area Plan: (1) consist of a design alternative that avoids adverse impacts to ESHA (both on and off-site) to the maximum extent feasible; (2) include a building site that is consistent with the standards in Section 8178-2.6.2; and (3) minimize development outside the building site for access roads, fuel modification zone, and site grading.*

The Ventura County Local Coastal Program (LCP) defines ESHA as any area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem. Development within ESHA is limited to protect, maintain, and restore habitat values, however, Coastal Area Plan ESHA Policies 4.1.3-2.4.2 and 4.1.3-2.4.3 allow for the development of new residential uses on buildable lots in accordance with prescribed findings. As determined in the General Plan Consistency Analysis (Exhibit 6), the proposed Project has been designed to use the existing disturbed areas as documented in Section A7 (History) above and indicated in the MND (Exhibit 4) and minimize impacts to mapped ESHA located onsite. The Applicant's consulting Geologist determined that the west side of the subject property was not suitable for building due to a large ancient landslide. The Applicant's consulting Biologist evaluated the geological report and the potential impacts to biological resources and concluded that the proposed Project is the least environmentally damaging version of site development considering the constraints of the property (Exhibit 4 MND - Attachment 3). The proposed dwelling is sited on a flat area on the lot and will use an existing access road as the residential driveway. The site does not directly adjoin developed parcels to consolidate fuel modification zones or cluster site development. The total area of ESHA disturbance requiring compensatory mitigation is 3.097 acres and the building site identified on the Project Plans (encompassing the dwelling, garage, pool, patio and water tanks) is approximately 9,902 square feet. The Project is designed to permit development of a single-family dwelling, an economically beneficial use, and all other area outside of the development envelope and outside of the fuel modification zone will be subject to a conservation easement or deed restriction and restricted from disturbance (Exhibit 5, Condition No. 30). With the incorporation of the mitigation measures for impacts to Biological Resources BIO-1 through BIO-11, the proposed development consists of a feasible project design that results in the least damage

to ESHA and protects ESHA (both on and off-site) against significant disruption of habitat value.

Based on the discussion above, the proposed project will comply with Ventura County CZO Section 8178-2.6.1.

E. PD PERMIT FINDINGS AND SUPPORTING EVIDENCE

The Planning Director must make certain findings in order to determine that the proposed project is consistent with the permit approval standards of the Ventura County CZO (Section 8181-3.5 et seq.). The proposed findings and supporting evidence are as follows:

1. The proposed development is consistent with the intent and provisions of the County's Certified Local Coastal Program [Section 8181-3.5.a].

Based on the information and analysis presented in Sections C and D of this staff report, the finding that the proposed development is consistent with the intent and provisions of the County's Certified Local Coastal Program can be made.

2. The proposed development is compatible with the character of surrounding development [Section 8181-3.5.b].

The project site is located in the Santa Monica Mountains, has a General Plan land use designation of Open Space, and is zoned Coastal Open Space. The surrounding properties have the same General Plan land use and zoning designations as the proposed project site. Lots to the north, west, south and east are undeveloped.

As discussed in Section A of this staff report (above), the proposed project consists of a request to construct a single-family dwelling and has no potential to create any land use conflicts with surrounding residential development, generate new traffic beyond that associated with a single-family dwelling, or introduce physical development that is incompatible with the surrounding development.

The project site is located in the Santa Monica Mountains Overlay Zone. The purpose of this overlay is to protect habitats for several unique, rare, or endangered plant and animal species and to provide protective measures. As discussed in Sections C and D of this staff report (above), to preserve the natural character of the Santa Monica Mountains, the Applicant will be subject to Mitigation Measure BIO-8 (Exhibit 5, Condition No. 31), which requires the Applicant to enhance, restore, establish, and preserve ESHA at a 2:1 mitigation to impact ratio (6.19 acres to offset the loss of 3.097 acres of ESHA). In addition, all on-site ESHA outside of the development envelope shall be permanently protected through a conservation easement or a deed restriction. (Exhibit 5, Condition No. 30).

To ensure the proposed single-family residence is compatible with the natural environment of the Santa Monica Mountains, the Applicant will be required to submit to the Planning Division for review and approval, plans and materials/color board for all new development prior to the issuance of a Zoning Clearance for construction of the proposed project (Exhibit 5, Condition No. 22). The building specifications and water tanks shall utilize natural materials, be painted in earth tones to blend in with the environment and character of the community. Building materials such as windows will be required to include bird-safe glazing/treatments in accordance with CZO Section 8187-2.6.12.3 (Exhibit 5, Conditions No. 22).

With the adoption of the recommended condition of approval to limit the days and times of noise-generating construction activities, the proposed project will not generate noise that is incompatible with surrounding residential uses (Exhibit 5, Condition No. 21). Therefore, the proposed project will be consistent with the character of the surrounding development.

Based on the discussion above, this finding can be made.

3. The proposed development, if a conditionally permitted use, is compatible with planned land uses in the general area where the development is to be located [Section 8181-3.5.c].

The proposed project consists of a request for approval of a Coastal PD Permit to construct a single-story single-family dwelling with an attached garage, two 4,995-gallon water tanks, and related infrastructure. The proposed use is not a conditionally permitted use, and, therefore, the requirement of this finding does not apply to the proposed project.

Based on the discussion above, this finding can be made.

4. The proposed development would not be obnoxious or harmful, or impair the utility of neighboring property or uses [Section 8181-3.5.d].

As discussed in Section C, and E of this staff report (above), the proposed development will be compatible with surrounding residential uses and open space resources. The proposed project would not be obnoxious or harmful or impair the utility of neighboring property or uses. Water for the proposed project will be provided by an existing onsite water well. A private OWTS will adequately serve the proposed single-family dwelling, and will be constructed in compliance with local, and State standards. The surrounding public road network is adequate to continue serving the project site. Due to the project's location in a high fire hazard area, the proposed project will be subject to VCFPD-recommended conditions of approval including the requirement to ensure the dwelling contains sprinklers, adequate brush clearance around structures is maintained, and adequate access is provided on-site (Exhibit 5, Condition Nos. 49 through 59).

Furthermore, as discussed in Section D of this staff report (above), the proposed project will comply with the maximum building height and building setback requirements. The maximum building coverage standards of the Coastal Open Space zone is five percent of the lot; however, proposed development is 6,378 sq. ft. or 2.928 percent of the lot. The proposed building site is 9,902 sq. ft. The proposed project will be subject to a condition of approval to limit the days and hours of noise-generating construction activities in order to ensure that construction-generated noise does not significantly affect occupants of residences located within proximity to the proposed project site (Exhibit 5, Condition No. 21). Additionally, the proposed project will be subject to PWA-recommended conditions of approval to reduce any increase in post-development runoff to pre-development rates and amounts (Exhibit 5, Condition No. 39). Therefore, the proposed project will not be obnoxious or harmful, or impair the utility of neighboring properties or uses.

Based on the discussion above, this finding can be made.

5. The proposed development would not be detrimental to the public interest, health, safety, convenience, or welfare [Section 8181-3.5.e].

As discussed in Sections C of this staff report (above), there is an existing water well (SWN 01S20W22F02S) which will provide water for domestic purposes for the site.

The proposed project includes the installation and use of an OWTS that will comply with all applicable County, and State regulations (Exhibit 5, Condition Nos. 35 through 37). The proposed project will be subject to conditions of approval to ensure that it complies with the VCFPD's and state requirements for residential development located within high fire hazard areas (Exhibit 5, Condition Nos. 49 through 59). The surrounding private and public road network is adequate to serve the residential use of the property and will result in the improvement to a private access road which will improve parcel access in the area. While the scope of work includes grading and paving of an existing private road, the proposed project will not generate additional traffic beyond that associated with a single-family dwelling, on the County Regional Road Network and local public roads, and does not have the potential to alter the level of service of the roadways. Adequate public resources and infrastructure exist to serve the residential use of the subject property. The proposed project will not interfere with, or significantly affect, public use of recreational and open space resources within the Santa Monica Mountains National Recreation Area. Therefore, the proposed project will not be detrimental to the public interest, health, safety, convenience, or welfare.

Based on the discussion above, this finding can be made.

6. Private services for each individual development requiring potable water will be able to serve the development adequately over its normal lifespan.

Water for the project will be provided by an existing onsite water well (SWN 01S20W22F02S). The proposed project will be subject to a condition of approval to submit a Pump and Recovery Test to Public Works Agency, Watershed Protection District, Groundwater Section, for review and approval, to ensure the proposed water supply well meets all the criteria for demonstrating a permanent water supply in adequate quantity and quality (Exhibit 5, Condition No. 47). The proposed project will be subject to the Resource Management Agency, Environmental Health Division-recommended conditions of approval that require the Applicant obtain a Certification of Water Quality from EHD for the private water well to ensure compliance with the applicable Federal, State and County water regulations (Exhibit 5, Condition No. 35).

Based on the discussion above, this finding can be made.

- 7. When a water well is necessary to serve the development, the applicant shall be required to do a test well and provide data relative to depth of water, geologic structure, production capacities, degree of drawdown, etc. The data produced from test wells shall be aggregated to identify cumulative impacts on riparian areas or other coastal resources. When sufficient cumulative data is available to make accurate findings, the County must find that there is no evidence that proposed wells will either individually or cumulatively cause significant adverse impacts on the above mentioned coastal resources.**

As discussed in the staff report (above) and in the MND prepared for the proposed project (Exhibit 4), water for the project will be provided by an existing onsite water well (SWN 01S20W22F02S). Based upon review of the California's Groundwater Update 2020 (Bulletin 118, State of California Department of Water Resources, Appendix F, November 2021), the site is within the South Coastal Hydrologic Region but located outside the boundary of a defined groundwater basin/subbasin. Therefore, the site does not overlie and is not a hydrologically and/or hydrogeologically continuous area with an over-drafted basin and there is no evidence of overdraft. No test wells are required for the proposed Project due to the presence of the existing groundwater well. The Applicant has prepared a Pump and Recovery Test which demonstrates adequate capacity of the well water for domestic purposes (depth of water was indicated to be 489 feet based upon a test report prepared by Sierra Drilling Co. dated May 28, 2023) with very little draw down, adequate flow and pressure to serve the proposed development. The proposed project will be subject to the Resource Management Agency, Environmental Health Division-recommended conditions of approval that require the Applicant obtain a Certification of Water Quality from EHD for the private water well to ensure compliance with the applicable Federal, State and County water regulations (Exhibit 5, Condition No. 35).

Based on the discussion above, this finding can be made.

- 8. All need for sewage disposal over the life span of the development will be satisfied by existing sewer service to the immediate area or by location of septic facilities on-site consistent with other applicable provisions of the LCP.**

Public sewer service does not exist in the Santa Monica Mountains. As discussed in Section C of this staff report above, the proposed project includes the construction of a new onsite wastewater treatment system (OWTS) for domestic wastewater disposal. A soils/geotechnical report dated May 25, 2022, indicates the site is suitable for an alternative septic system and proposes an OWTS consisting of one 2,000-gallon septic tank with treatment tank and seepage pits. EHD reviewed the proposed project and found that septic feasibility has been demonstrated and that the proposed on-site wastewater treatment system would be sufficient to service the sewage disposal demand of the proposed single-family dwelling and will comply with Ventura County Building Code requirements, EHD guidelines, and state policies that apply to the OWTS.

Based on the discussion above, this finding can be made.

- 9. Development outside of the established "Community" area shall not directly or indirectly cause the extension of public services (roads, sewers, water etc.) into an open space area.**

The proposed project is has a General Plan and Coastal Area Plan land use designation of Open Space and is not in an established "Community" area. As discussed in the staff report (above) and in the MND prepared for the proposed project (Exhibit 4), water for the project will be provided by an existing onsite water well (SWN 01S20W22F02S). A new on-site wastewater treatment system will provide sewage disposal for the proposed residential use. The project does not involve the construction of new or expansion of existing public roads, or other public facilities or infrastructure (e.g., fire prevention or law enforcement facilities). Therefore, no expansion of public services will be required to support the proposed project.

Based on the discussion above, this finding can be made.

F. PLANNING DIRECTOR HEARING NOTICE, PUBLIC COMMENTS, AND JURISDICTIONAL COMMENTS

The Planning Division provided public notice regarding the Planning Director hearing in accordance with the Government Code (Section 65091), CZO (Section 8181-6.2 et seq.). On September 7, 2023, the Planning Division mailed notice to owners of property within 300 feet and residents within 100 feet of the property on which the project site is located. On September 11, 2023, the Planning Division placed a legal ad in the *Ventura County Star*. A hearing was scheduled September 21, 2023, though

the hearing was opened, and the item was continued for Planning staff to incorporate additional information related to the elimination of a second driveway, updates to the ESHA impacts and compensatory mitigation, and finalization of the Planning Director Staff Report. The item was continued to October 17, 2023 at 10:00 AM.

As of the date of this staff report, two comment letters were received on the MND from the California Department of Fish and Wildlife and the California Coastal Commission, with Planning Division responses to the issues raised included with the MND (Exhibit 4).

G. RECOMMENDED ACTIONS

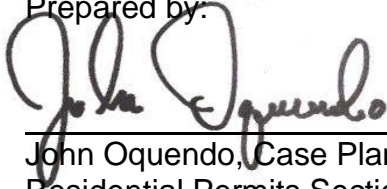
Based upon the analysis and information provided above, Planning Division Staff recommends that the Planning Director take the following actions:

1. **CERTIFY** that the Planning Director has reviewed and considered this staff report and all exhibits thereto, including the proposed MND (Exhibit 4), Mitigation Measures and Mitigation Monitoring and Reporting Program (Exhibit 5), and has considered all comments received during the public comment process;
2. **FIND**, based on the whole of the record before the Planning Director, including the Initial Study and any comments received, that upon implementation of the project mitigation measures there is no substantial evidence that the project will have a significant effect on the environment and that the MND reflects the Planning Director's independent judgment and analysis;
3. **ADOPT** the MND (Exhibit 4) and Mitigation Monitoring Program (Exhibit 5);
4. **MAKE** the required findings to grant a Coastal PD Permit pursuant to Section 8181-3.5 of the Ventura County CZO, based on the substantial evidence presented in Section E of this staff report and the entire record;
5. **GRANT** Coastal Planned Development Permit Case No. PL22-0082, subject to the conditions of approval (Exhibit 4).
6. **SPECIFY** that the Clerk of the Planning Division is the custodian, and 800 S. Victoria Avenue, Ventura, CA 93009 is the location, of the documents and materials that constitute the record of proceedings upon which this decision is based.

The decision of the Planning Director is final unless appealed to the Planning Commission within 10 calendar days after the permit has been approved, conditionally approved, or denied (or on the following workday if the 10th day falls on a weekend or holiday). Any aggrieved person may file an appeal of the decision with the Planning Division. The Planning Division shall then set a hearing date before the Planning Commission to review the matter at the earliest convenient date.

If you have any questions concerning the information presented above, please contact John Oquendo at (805) 654-3588 or John.Oquendo@ventura.org.

Prepared by:



John Oquendo, Case Planner
Residential Permits Section
Ventura County Planning Division

Reviewed by:

Susan Curtis for Jennifer Trunk

Jennifer Trunk, Manager
Residential Permit Section
Ventura County Planning Division

EXHIBITS

- Exhibit 2 Maps
- Exhibit 3 Plans
- Exhibit 4 MND and Response to Comments
- Exhibit 5 Conditions of Approval and Mitigation Monitoring and Reporting Program
- Exhibit 6 General Plan Consistency Analysis
- Exhibit 7 Resolution Documenting Acceptance of APNs 694-0-100-160 and 694-0-100-110 to Mountains Recreation and Conservation Authority (MRCA) and Deed Restriction



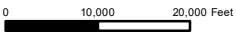
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community



Ventura County, California
 Resource Management Agency
 GIS Development & Mapping Services
 Map created on 09-08-2022

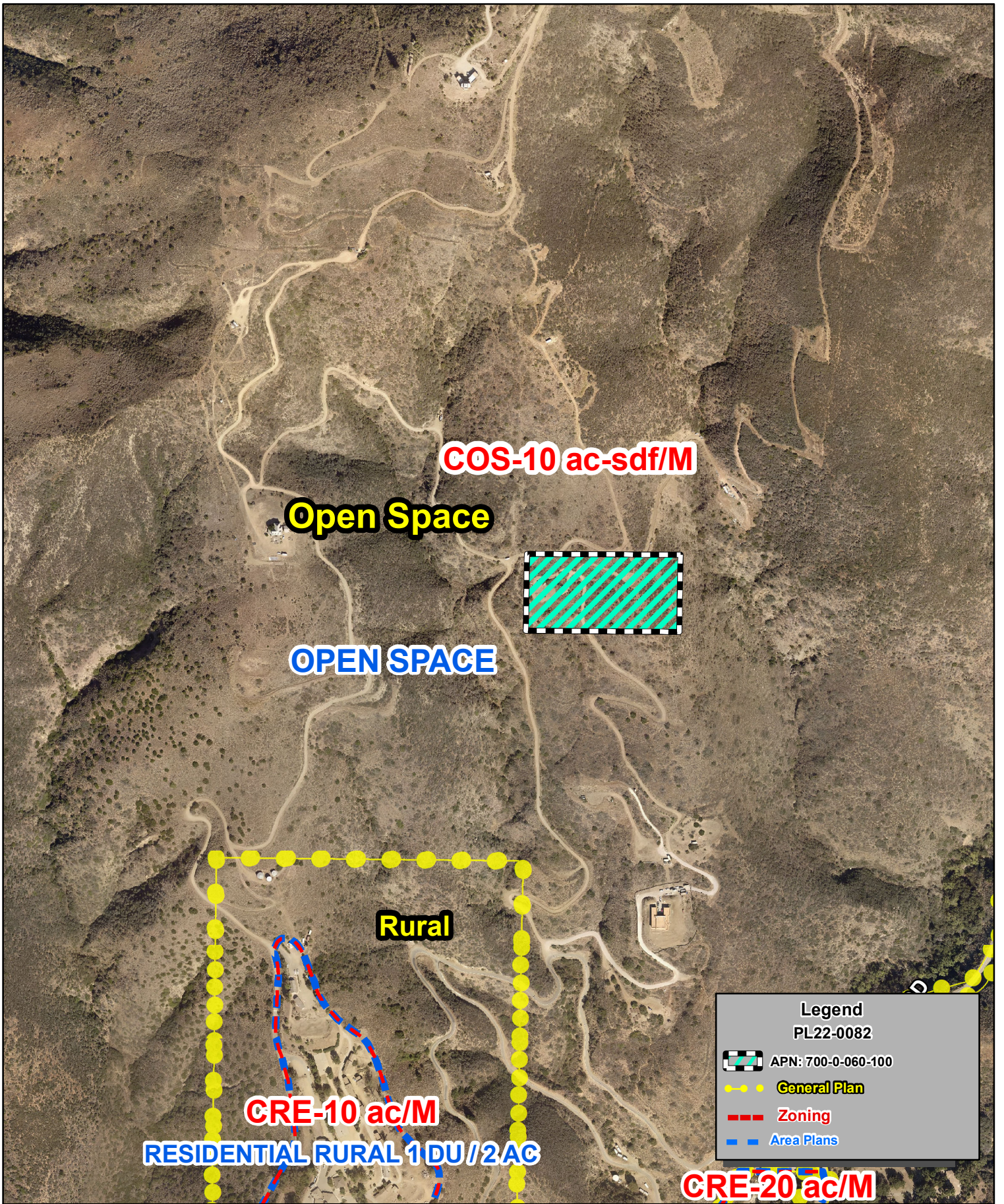


County of Ventura
 Planning Director Hearing
 Case No. PL22-0082
 Exhibit 2 - Maps







Disclaimer: This Map was created by the Ventura County Resource Management Agency, Mapping Services - GIS which is designed and operated solely for the convenience of the County and related public agencies. The County does not warrant the accuracy of this map nor does it involve a risk of economic loss or physical injury should be made in reliance thereon.





Legend
 PL22-0082

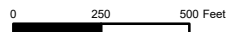
-  APN: 700-0-060-100
-  **General Plan**
-  **Zoning**
-  **Area Plans**



Ventura County, California
 Resource Management Agency
 GIS Development & Mapping Services
 Map Created on 09-08-2022
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**County of Ventura
 Planning Director Hearing
 PL22-0082
 General Plan & Zoning Map**

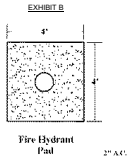
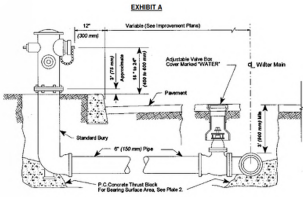


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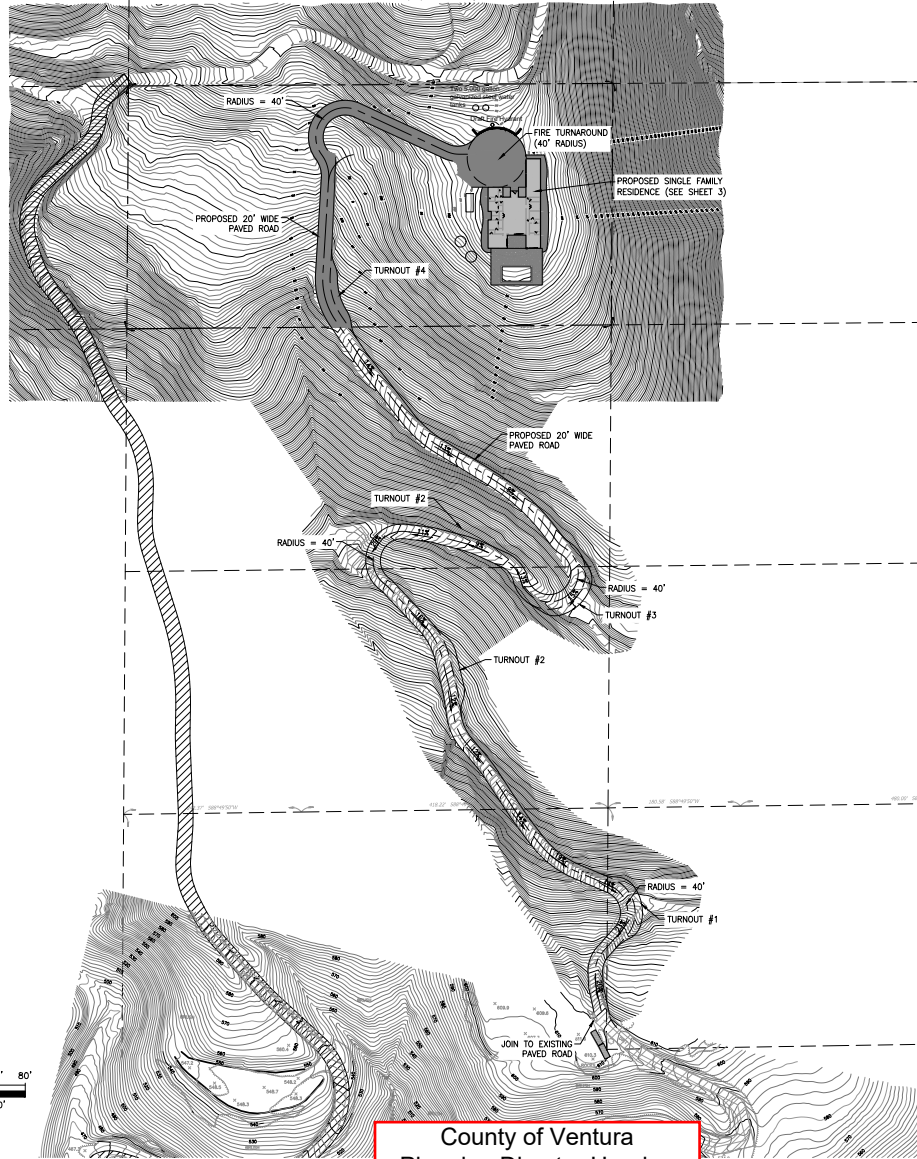




700-0-060-100

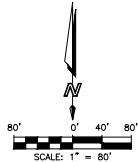


- Fire Department Notes
- Two 5,000 gallon galvanized steel water tanks will be supplied
 - Private On-site Staff Hydrant to be 40 inch wet barrel hydrant with one 4-inch & one 2 1/2-inch outlets, painted yellow.
 - Private water well, existing approved, shall exist.
 - Concrete pad provided around hydrant minimum 18" in all directions.



NOTES

1. THE PURPOSE OF THIS SITE PLAN IS TO DELINEATE A ROAD ALIGNMENT THAT IS COMPLIANT WITH FIRE APPARATUS ACCESS ROAD REQUIREMENTS.
2. THIS GRADING PLAN DOES NOT ADDRESS ANY GRADING FOR THE FIRE APPARATUS ACCESS ROAD.
3. THE SLOPES SHOWN ON THE FIRE APPARATUS ACCESS ROAD ARE EXISTING. ANY SLOPE IN EXCESS OF 18% MUST BE REDUCED TO 18% OR LESS TO COMPLY WITH THE VENTURA COUNTY FIRE CODE.



County of Ventura
 Planning Director Hearing
 Case No. PL22-0082
 Exhibit 3 - Plans

WDID: N/A APN: 700-0-060-100 GP XX-XXXX

NO.	DESCRIPTION OF REVISION	RCE	DATE	APP.	APP. DATE

PREPARED BY:
 **CHRIS NELSON & ASSOCIATES, INC.**
 SURVEYORS AND ENGINEERS

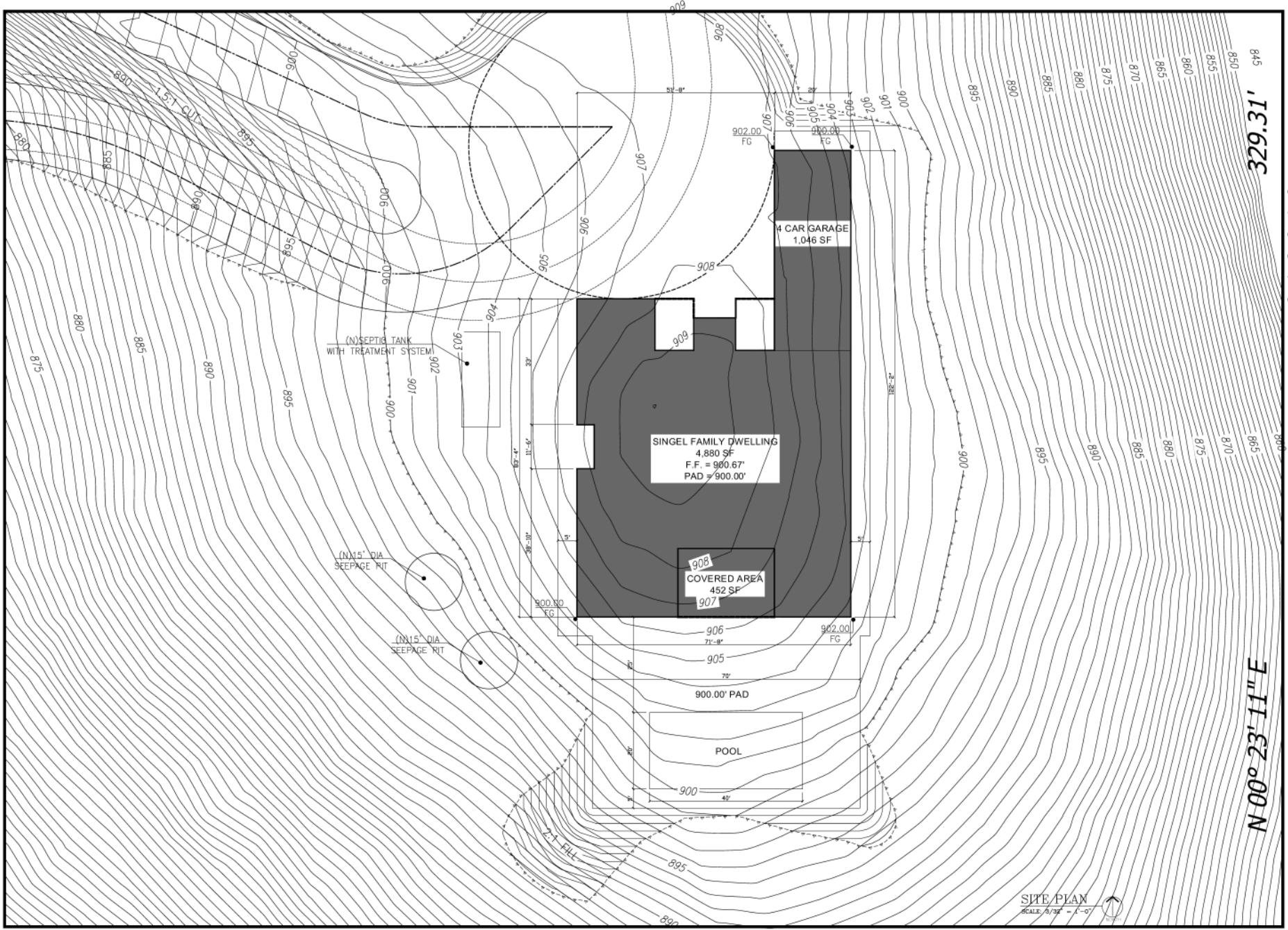
APP. DATE:
 BY:

OFFICE OF VENTURA
 WORKS AGENCY
 INSPECTION SERVICES

SPEC. NO.
 PROJ. NO.

SITE PLAN AND ACCESS ROAD
 YERBA BUENA PROPERTY - Michael Weisberg
 COUNTY OF VENTURA
 APN: 700-0-060-100

SHEET 1
 OF 2
 DRAWING NO.



SITE PLAN
 SCALE: 1/8" = 1'-0"

329.31'
 518

N 00° 23' 11" E

No.	Revision	Date

Date: 08.14.21
 Project No.:

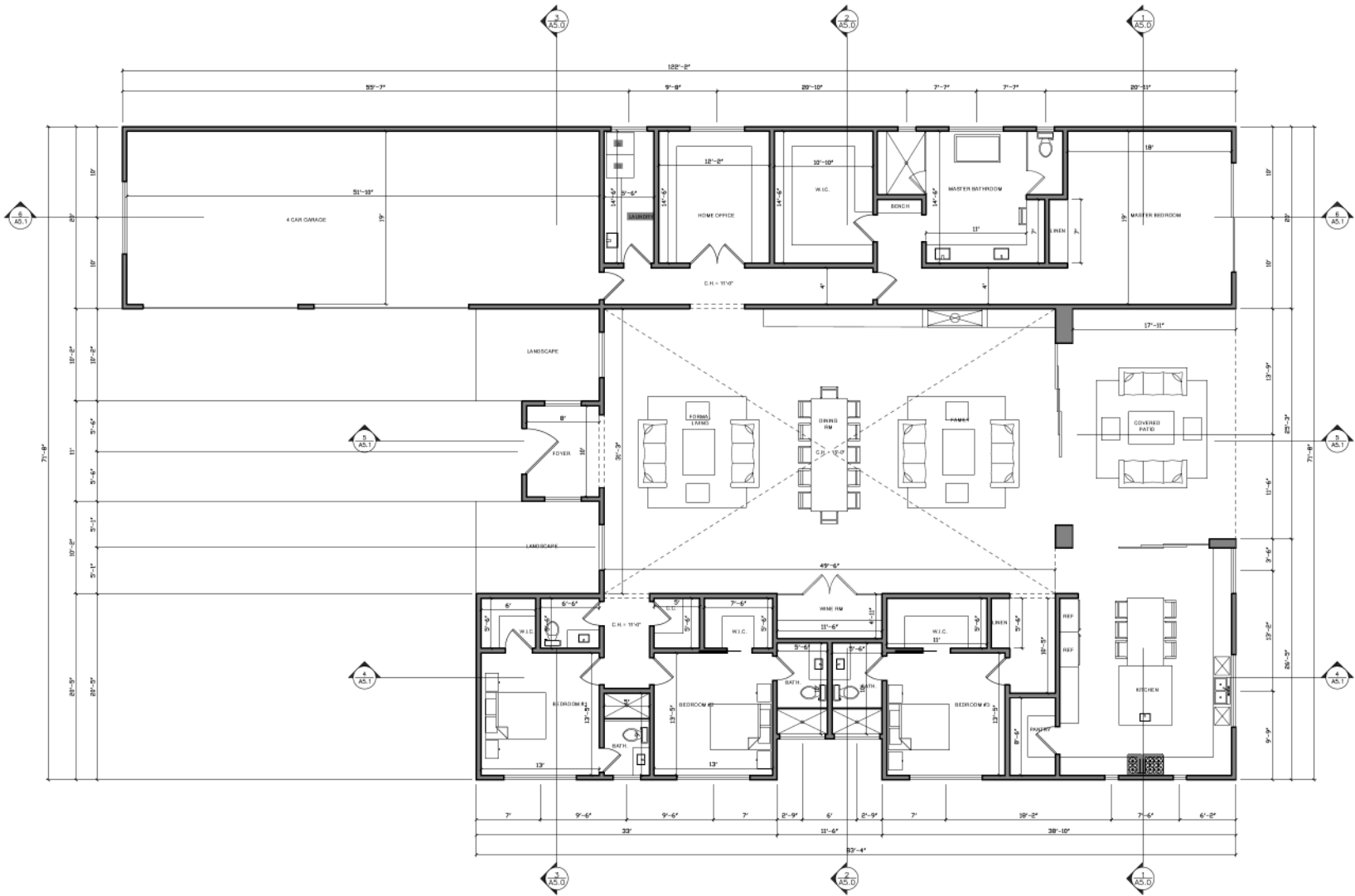


WARNING: THIS DRAWING MAY BE PROVIDED IN PART OR IN WHOLE TO ANY PERSON OR ENTITY WITHOUT THE WRITTEN CONSENT OF THE CONSULTING ENGINEER. THE CONSULTING ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN PROFESSION OF JULY 2000.

DATE	DESCRIPTION	BY	CHECKED	DATE

DRAWING TITLE: SITE PLAN
 PROJECT ADDRESS: YERBA BUENA

A2.0



FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"
 NORTH

No.	Revision	Date

Date:
 Project No.:



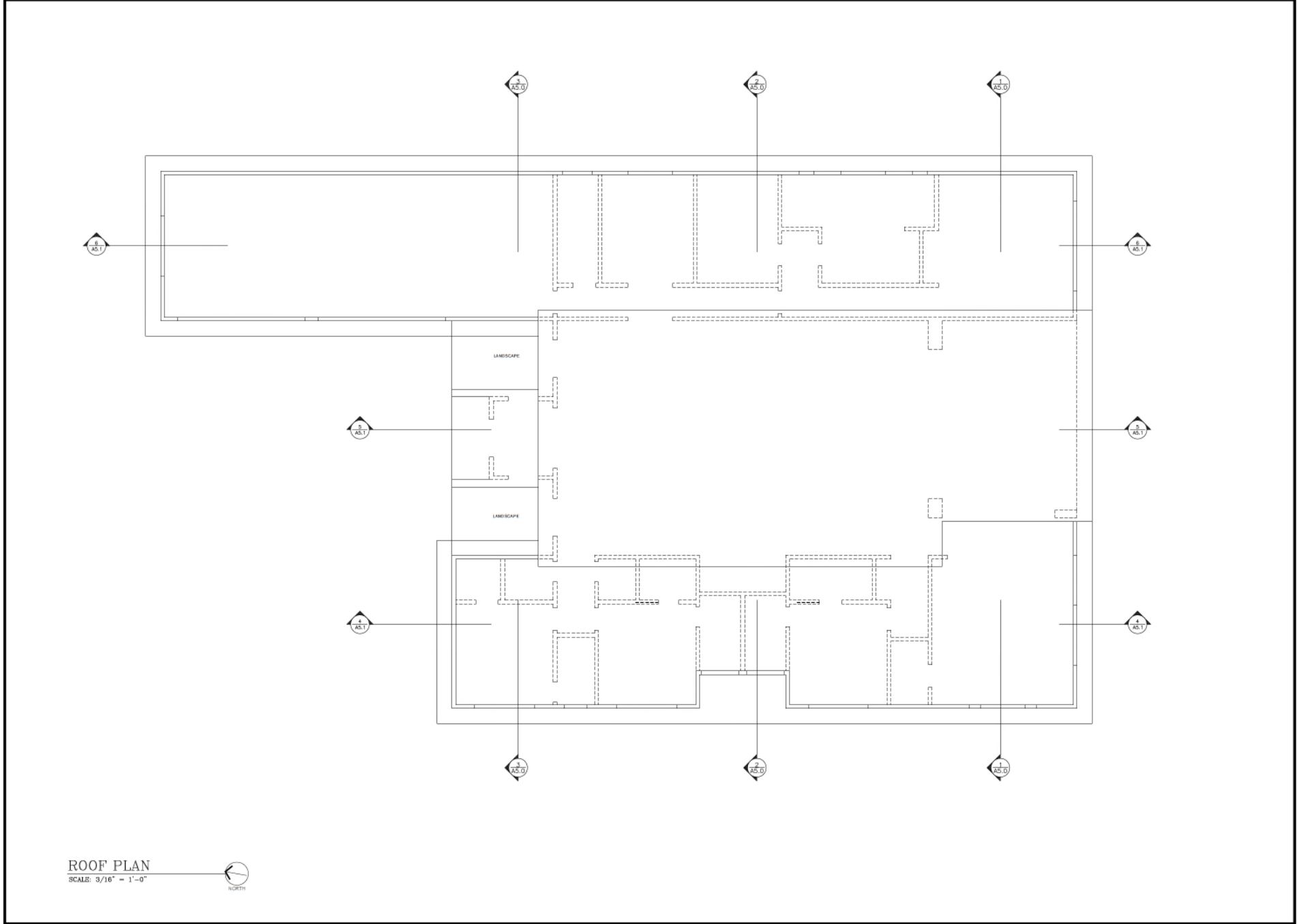
WE HEREBY CERTIFY THAT ALL PORTIONS OF THIS DRAWING HAVE BEEN PREPARED BY OR UNDER THE CLOSE PERSONAL SUPERVISION OF AN ARCHITECT REGISTERED IN THE STATE OF CALIFORNIA.

REGISTERED ARCHITECT		REGISTERED ARCHITECT	
NAME	EXPIRES	NAME	EXPIRES

VEERVA COUNTY
 ENGINEER OF CONSTRUCTION & SURVEYING

DRAWING TITLE: FLOOR PLAN
 PROJECT ADDRESS: YERBA BUENA

A3.0



ROOF PLAN
 SCALE: 3/16" = 1'-0"



No.	Revision	Date

Date: _____
 Project No.: _____

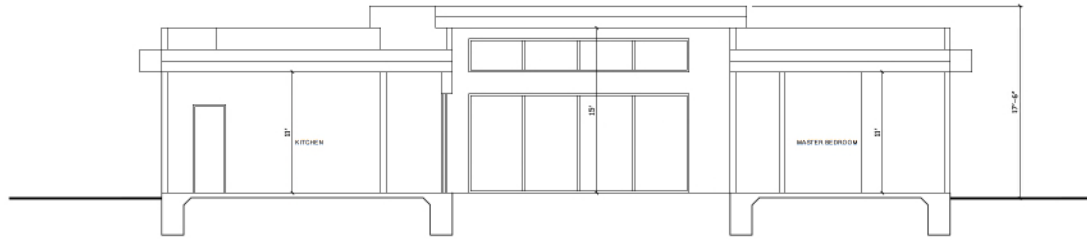


VERBA COUNTY
 ENGINEER OF CONSTRUCTION
 ILLINOIS PROFESSIONAL ENGINEERING BOARD
 LICENSE NO. 123456789
 EXPIRES 12/31/2024
 PROJECT ADDRESS: YERBA BUENA

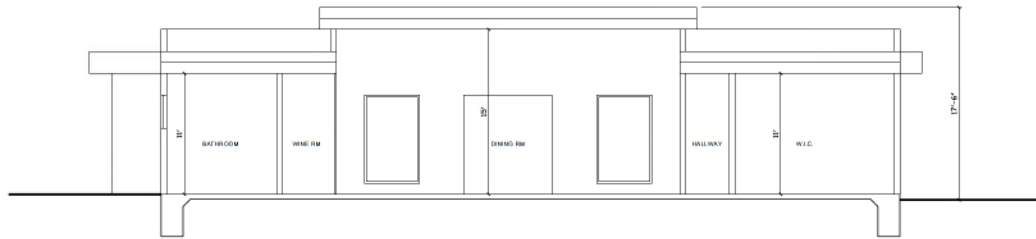
DATE	REVISION	BY	CHKD

DRAWING TITLE: ROOF PLAN
 PROJECT ADDRESS: YERBA BUENA

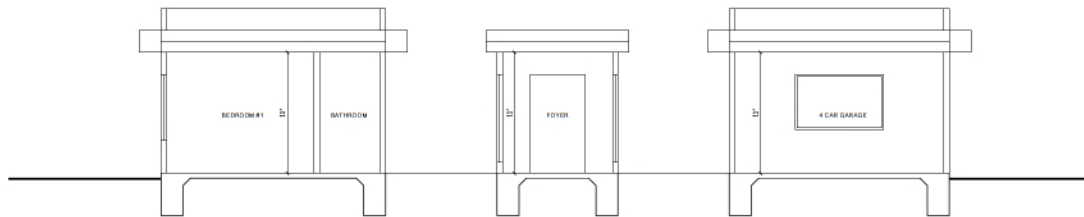
A4.0



SECTION 1
SCALE: 3/16" = 1'-0"



SECTION 2
SCALE: 3/16" = 1'-0"



SECTION 3
SCALE: 3/16" = 1'-0"

No.	Revision	Date

Date: _____
Project No.: _____



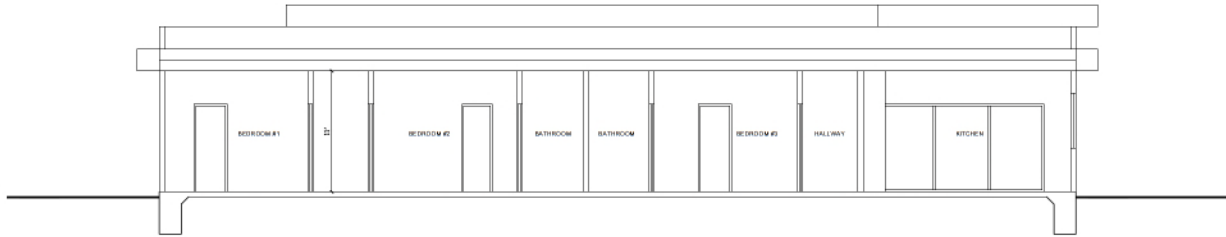
WE HEREBY CERTIFY THAT ALL INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF AND THAT WE ARE NOT PROVIDING ANY INFORMATION THAT IS UNLAWFUL, DEFAMATORY, OR IN VIOLATION OF ANY APPLICABLE LAW OR REGULATION.

REVISIONS		DATE	

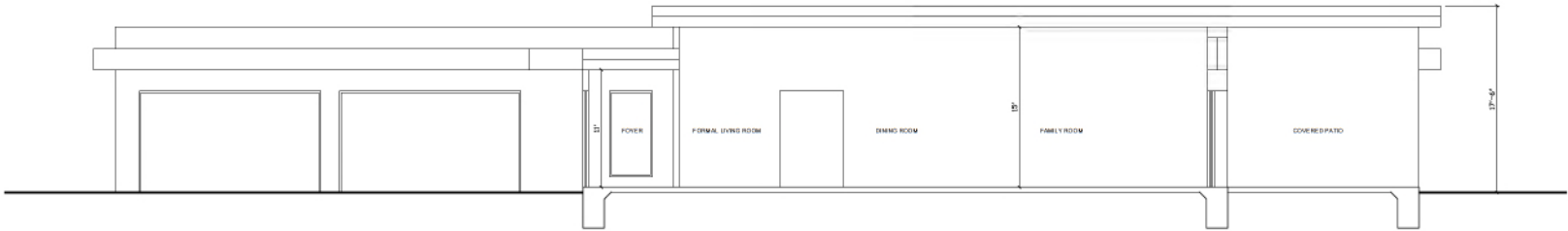
VERMONT COUNTY
SULLYVILLE, VERMONT
OFFICE OF DESIGN & BUILDING

DRAWING TITLE: SECTIONS
PROJECT ADDRESS: YERBA BUENA

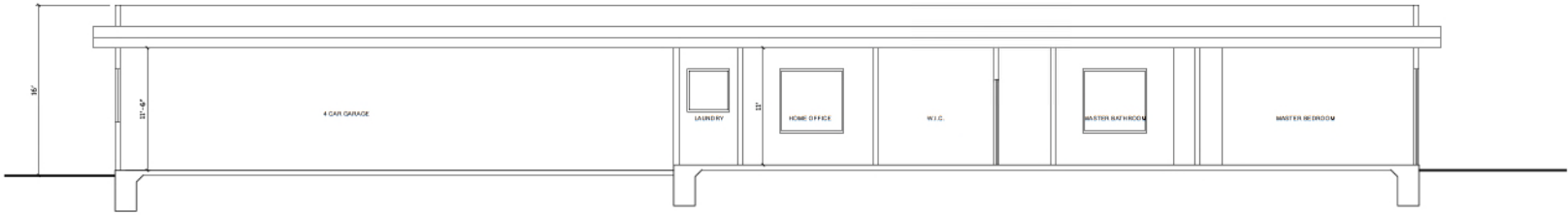
A5.0



SECTION 4
SCALE: 3/16" = 1'-0"



SECTION 5
SCALE: 3/16" = 1'-0"



SECTION 6
SCALE: 3/16" = 1'-0"

No.	Revision	Date

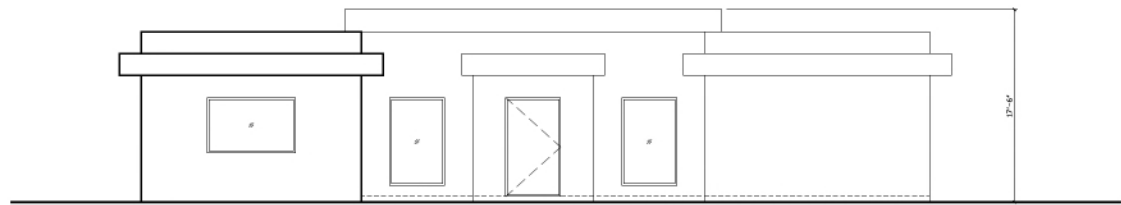
Date: _____
Project No.: _____



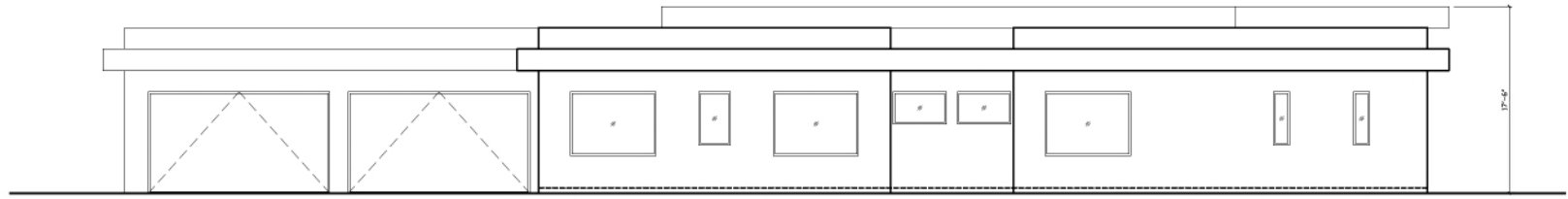
WE HEREBY CERTIFY THAT ALL INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEERING ACT, CHAPTER 48, STATUTES OF THE STATE OF CALIFORNIA, AND THE BOARD OF PROFESSIONAL ENGINEERS, REGISTRATION NO. 100,000,000.

REGISTERED PROFESSIONAL ENGINEER		REGISTERED ARCHITECT	
NAME	EXPIRES	NAME	EXPIRES

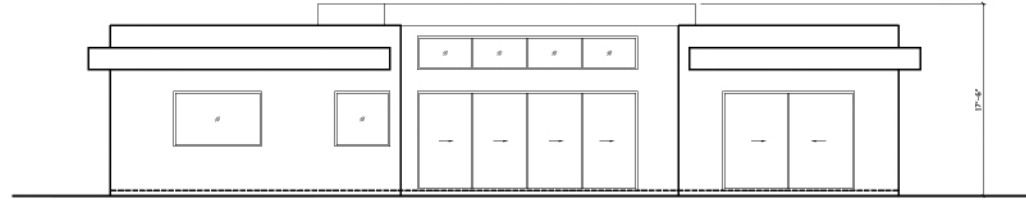
DRAWING TITLE: SECTIONS
PROJECT ADDRESS: YERBA BUENA



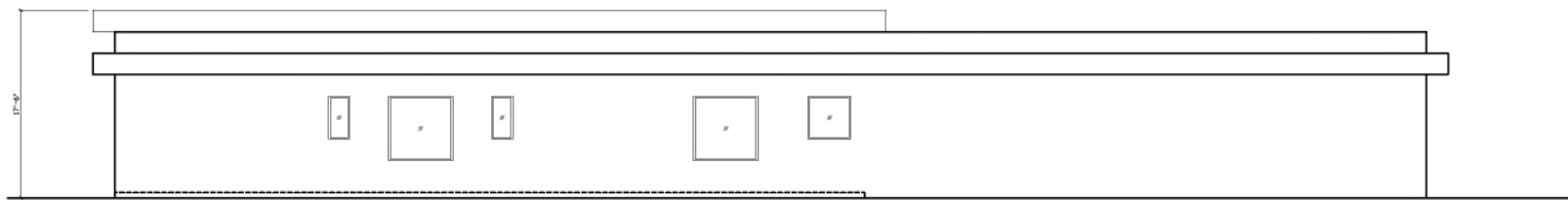
NORTH ELEVATION
SCALE: 3/16" = 1'-0"



WEST ELEVATION
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



EAST ELEVATION
SCALE: 3/16" = 1'-0"

No.	Revision	Date

Date: _____
Project No.: _____

VERBA COUNTY
PLANNING DEPARTMENT
111 SOUTH JEFFERSON ST., SUITE 200
YERBA BUENA, CA 94598
TEL: (925) 776-1100
FAX: (925) 776-1101

DATE	REVISION	BY	CHKD

DRAWING TITLE: ELEVATIONS
PROJECT ADDRESS: YERBA BUENA

A6.0

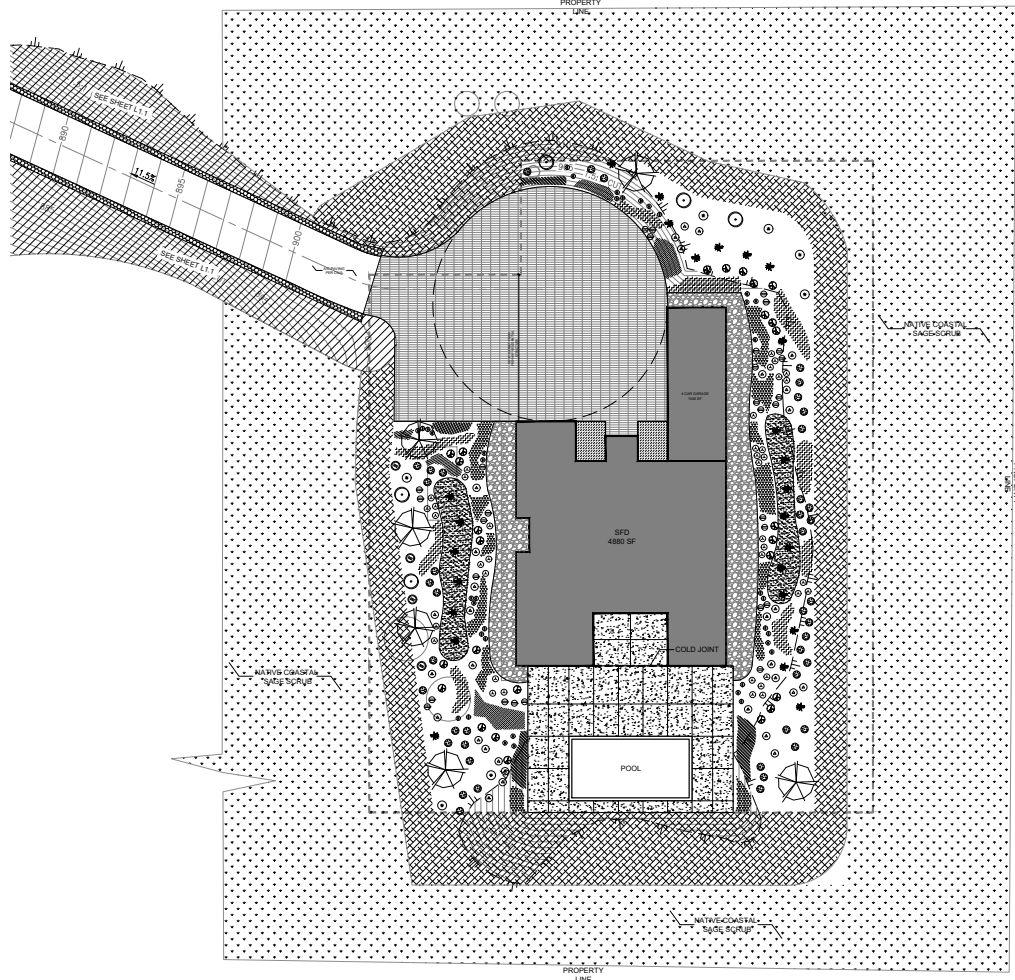


S T U B I O

GENERAL PLANTING NOTES

1. THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK.
2. THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES PRIOR TO INSTALLATION. PLANT MATERIAL QUANTITIES LISTED FOR CONVENIENCE OF CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITY DESIGNATED.
3. THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL CONTAINER GROWN TREES, SHRUBS AND VINES, INCLUDING SEEDED AND SODDED TURF, HYDRONMULCHES AND FLATTED GROUNDCOVERS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE AND PAY FOR PLANTING OF ALL PLANT MATERIALS, THE SPECIFIED GUARANTEE OF ALL PLANT MATERIALS, THE STAKING AND CUYING OF TREES AND THE CONTINUOUS PROTECTION OF ALL PLANT MATERIALS UPON THEIR ARRIVAL AT THE SITE.
4. ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
5. ALL BOXED TREES IN PAVING SHALL BE SELECTED AND SPOTTED BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE IN CONJUNCTION WITH PAVING CONTRACTOR AND GENERAL CONTRACTOR. GENERAL CONTRACTOR TO ASSUME ALL LIABILITY FOR ACCURATE PLACEMENT OF TREES.
6. ALL VINE RUNNERS SHALL BE INSTALLED WITH THE NURSERY STAKES REMOVED AND VINE RUNNERS SHALL BE ESPALIÉRE TO THE ADJACENT WALL OR FENCE.
7. ALL SOIL PREPARATION SHALL BE INSTALLED AS PER THE SOIL AGRONOMY REPORT TO BE PROVIDED AND PAID FOR BY THE SUBCONTRACTOR. THE REPORT SHALL BE IMMEDIATELY FORWARDED TO THE LANDSCAPE ARCHITECT UPON COMPLETION.
8. THE SOIL AMENDMENTS SPECIFIED ARE FOR BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE FOR A SOILS AGRONOMY REPORT FROM WALLACE SOILS LABORATORY (310) 615-0119 AND/OR ANY ADDITIONAL SPECIFICATION PROVIDED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIALS.
9. FOR BIDDING AREA TO BE LANDSCAPED, THE FOLLOWING AMENDMENTS SHALL BE USED UNLESS CONTRACTOR IS PROVIDED WITH SOILS AGRONOMY REPORT. AMENDMENTS SHALL BE UNIFORM BROADCAST AND THOROUGHLY INCORPORATED BY MEANS OF A ROTOTILLER OR EQUAL.

- AMOUNT PER 1,000 SQUARE FEET
- 4 CU. YDS. NITROGEN STABILIZED ORGANIC AMENDMENT DERIVED FROM REDWOOD SAWDUST.
 15 LBS. SOIL SULFUR
 15 LBS. 12-12-12 FERTILIZER
10. MULCH PER VENTURA COUNTY FIRE DEPARTMENT STANDARD 517. SEE PAGE 1.L.2.
11. THE PLANTING PITS FOR BOXED TREES SHALL BE EXCAVATED TWICE THE DIAMETER OF THE ROOTBALL WITH A MAXIMUM OF THE HEIGHT OF THE ROOTBALL TO THE BOTTOM OF THE PLANTING PIT.
- DO NOT OVER EXCAVATE!!!**
- THE BACKFILL MIX FOR USE AROUND THE ROOTBALL OF ALL TREES AND SHRUBS SHALL CONSIST OF THE FOLLOWING FORMULA:
- 6 PARTS ON-SITE SOIL
 4 PARTS BY VOLUME ORGANIC AMENDMENT PER ABOVE SOIL PREPARATION
 1 LB./CU. YD. OF MIX 12-12-12 COMMERCIAL FERTILIZER
 2 LBS./CU. YD. OF MIX IRON SULFATE
 10 LBS./CU. YD. OF MIX AGRICULTURAL GYPSUM
12. THIRTY (30) DAYS AFTER INSTALLATION ALL LANDSCAPE SHALL BE FERTILIZED WITH BEST FERTILIZER COMPANY 16-6-0 OR APPROVED EQUAL, APPLIED AT THE RATE OF SIX POUNDS (6 LBS.) PER 1,000 SQUARE FEET OR PER SOIL AGRONOMY REPORT. FERTILIZER APPLICATION SHALL BE CONTINUED THEREAFTER AT MONTHLY INTERVALS.
13. NO STAKED TREES PROPOSED.
14. FOR ALL SHRUBS, SEE DETAIL 1, THIS SHEET.
15. FERTILIZER TABLETS SHALL BE AGRIFORM 21 GRAM TABLETS (20-10-10) IN QUANTITIES AS FOLLOWS:
- | | |
|------------------|----------------------|
| 1 GALLON SHRUBS | 1 |
| 5 GALLON SHRUBS | 3 |
| 15 GALLON SHRUBS | 5 |
| BOXED TREES | 1 PER 4" OF BOX SIZE |
- PLACE TABLETS AT HALF THE DEPTH OF THE ROOTBALL.
16. ALL EXISTING LANDSCAPE AREAS DISTURBED DURING THE CONSTRUCTION PROCESS WILL BE RECONSTITUTED TO THEIR ORIGINAL STATE AT NO ADDITIONAL COST TO THE OWNER.
17. INSTALL 2" DEEP ROOT BARRIER ON ALL TREES WITHIN 4 FEET OF PAVING.
18. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" (SIX INCHES) OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
19. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.



PLANTING LEGEND

Symbol	Botanical Name/Common Name	Quantity	Size	WUCOLS	Remarks	Height x Width at Maturity
(Tree symbol)	TREE					
(Tree symbol)	Feijoa sellowiana / Pineapple guava	6	30" Box	L	Min. 30' from structure	20' x 15'
(Shrub symbol)	SHRUBS					
(Shrub symbol)	Agave attenuata 'Novel' / Foxtail agave	26	5g	L		30' x 30"
(Shrub symbol)	Agave viviparous / Octopus agave	25	5g	L		48" x 48"
(Shrub symbol)	Cactus pedunculatus / Crimson spot rodrose	31	5g	L	Min. 10' from structure	36" x 36"
(Shrub symbol)	Dendromecon rigida / Bush poppy	7	5g	VL	Min. 30' from structure	6' x 6'
(Shrub symbol)	Erigeron glaucus / Wayne Roderick / Seaside daisy	38	1g	L	@ 30" o.c.	12" x 16"
(Shrub symbol)	Hesperaloe x 'Pink Parade' / Pink yucca	43	5g	L	Min. 20' from structure	30" x 30"
(Shrub symbol)	Heteromeles arbutifolia / Toyon	5	15g	VL	Min. 30' from structure	6' x 6'
(Shrub symbol)	Kniphofia urtica / Red hot poker	38	1g	L	@ 30" o.c.	2' x 2'
(Shrub symbol)	Miconia stipitata / Lace fern	14	5g	M	@ 18" o.c.	30" x 30"
(Shrub symbol)	Romneya coulteri / Matija poppy	4	5g	VL	Min. 30' from structure	4' x 6'
(Shrub symbol)	Penstemon brevidentatus / Showy Penstemon	29	1g	VL	Min. 10' from structure	3' x 3'
(Groundcover symbol)	GROUND COVER					
(Groundcover symbol)	Bouteloua gracilis / Blue grama	8	4" qt flat	L	Min. 10' from structure	12" x 12"
(Groundcover symbol)	294 sf @ 18" o.c. = 128 plants					
(Groundcover symbol)	Mycopogon parviflorus / Myoporum	14	dir fl	L	if spacing between groupings	6" spreading
(Groundcover symbol)	Penstemon brevidentatus / Crested penstemon	12	4" qt flat	L	if spacing between groupings	24" x 24"
(Groundcover symbol)	724 sf @ 24" o.c. = 181 plants					
(Groundcover symbol)	Teucrium canadense / Golden-rod	2	4" qt flat	L	if spacing between groupings	6" x 36"
(Groundcover symbol)	251 sf @ 30" o.c. = 28 plants					
(Groundcover symbol)	Decorative Gravel					1,072 sf

TRANSITION TO NATIVE PLANTING 10,814 sf

TO BE INSTALLED IN GROUPS OF 1-3 PLANTS EACH WITH MINIMUM 15' SPACING BETWEEN GROUPINGS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT

Botanical Name/Common Name	Quantity/Size
Mimulus (aurantiacus) longiflorus / Sticky Monkeyflower	(50) 1 GAL
Gilia capitata / Globe gilia	(50) 1 GAL
Asclepias fascicularis / Narrow-leaved milkweed	(50) 1 GAL
Dudleya pulvereuta / Chalk dudleya	(30) 1 GAL
Eriophyllum confertiflorum / Golden yarrow	(30) 1 GAL

100' FUEL MODIFICATION ZONE 44,694 sf

IN THIS AREA, REMOVE ANY (E) ANTHEMIS CALIFORNICA, ERIGONUM CHERIDUM, SALVIA AND OTHER PLANT MATERIAL PROHIBITED PER THE VCFD GUIDELINE 410 PROHIBITED PLANT LIST.

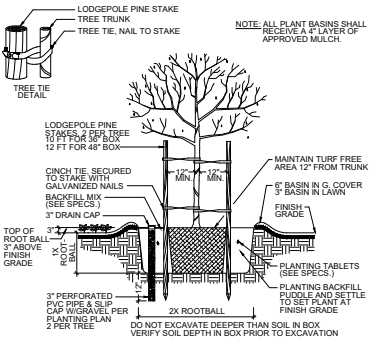
REPLACE ANY REMOVED PLANT MATERIAL 1:1 WITH THE FOLLOWING PLANT GROUPING TO BE INSTALLED IN GROUPS OF 1-3 PLANTS EACH WITH MINIMUM 15' SPACING BETWEEN GROUPINGS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT

Botanical Name/Common Name	Size	Size
Koeberlinia confertiflorum / Climbing Penstemon	1 GAL	AS REQUIRED
Opuntia crinita / California prickly pear	5 GAL	AS REQUIRED
Mirabilis laevis var. crassifolia / Cal. Four O'Clock	1 GAL	AS REQUIRED

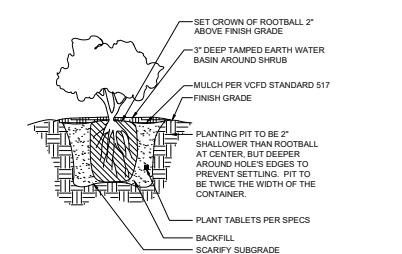
AREA SUMMARY

LANDSCAPE REQUIREMENT: SINGLE-FAMILY RESIDENTIAL SHALL BE DESIGNED SO THAT PLANTS THAT ARE NOT WATER WISE SPECIES SHALL BE LIMITED TO NOT MORE THAN 25% OF THE LANDSCAPE AREA OR LIMITED TO AN AREA WITHIN 50' OF THE PRIMARY RESIDENTIAL STRUCTURE ON THE PARCEL, WHICHEVER RESULTS IN LESS LANDSCAPE AREA INSTALLED WITH PLANTS THAT ARE NOT WATER WISE SPECIES. FOR LANDSCAPE AREAS MORE THAN 50' FROM THE PRIMARY RESIDENTIAL STRUCTURE AND OUTSIDE THE REQUIRED IRRIGATED FUEL MODIFICATION ZONE, NEW OR ALTERED PLANTINGS SHALL BE LIMITED TO WATER WISE SPECIES NATIVE TO THE SANTA MONICA MOUNTAINS.

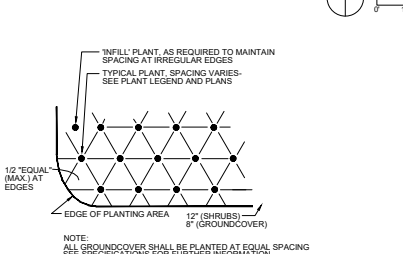
PROVIDED: ALL PLANTING BEYOND 50' SETBACK FROM PRIMARY STRUCTURE TO BE OF NATIVE SPECIES.



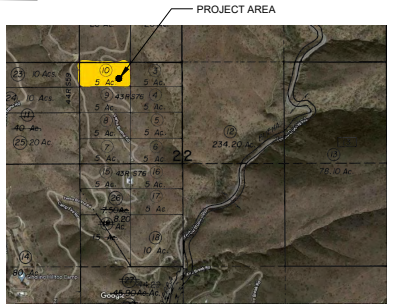
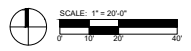
SHRUB STAKED TREE
SCALE: N.T.S.



SHRUB PLANTING
SCALE: N.T.S.



SHRUB AND GROUNDCOVER SPACING
SCALE: N.T.S.



VICINITY MAP
NTS

ESTABLISHMENT HYDROSEED FOR GRADED AREAD 9,546 sf

TO BE INSTALLED WHERE SOIL HAS BEEN DISTURBED ALONG NEW DRIVEWAY AREA . PER SEED MFG. RECOMMENDATIONS.

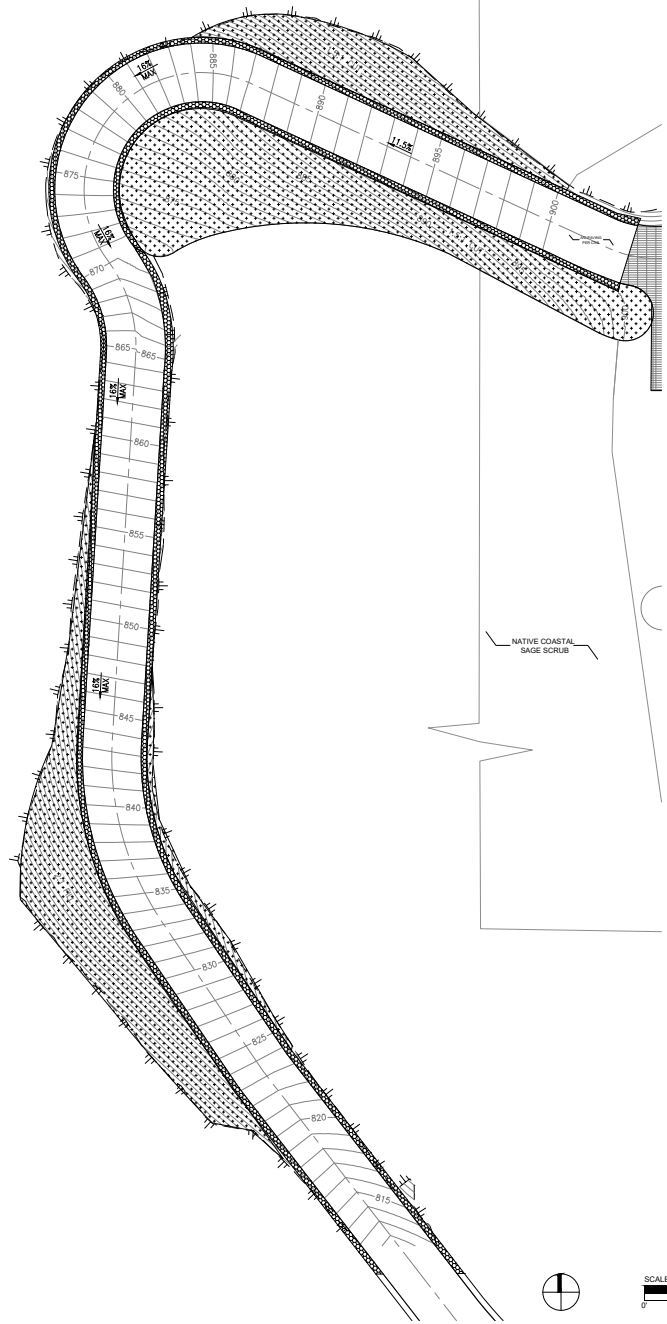
Botanical Name / Common Name	LB / Acre
Achillea millefolium / White / White Yarrow	0.25
Delphinium cardinale / Scarlet larkspur	1.00
Delphinium parryi / Blue larkspur	6.00
Delphinium patens / Spreading larkspur	2.00
Eriophyllum confertiflorum / Golden yarrow	0.50
Lupinus longifolius / Bush lupine	1.00
Mimulus cardinalis / Scarlet monkeyflower	1.00
Mimulus guttatus / Yellow monkeyflower	2.00
Penstemon centranthifolius / Scarlet bugler	0.50
Penstemon spectabilis / Royal penstemon	0.25
Trichostema lanatum / Woolly blue curls	0.75
Zauschneria cana / Narrow leaf california fuchsia	3.00

Seed Rate: 18.25 Lbs / Acre
 Hydroseeding slurry:
 2,500 Lbs / Acre Wood Fibre mulch, 150 Lbs / Acre Environ-mend Binder, 60 Lbs / Acre MycoApply® EndoNET Mycorrhizal inoculum, 800 Lb / Acre Biosol Forte 7-2-1 Organic fertilizer .

*** All seeds available from Stover Seed Company 213-626-9668 ***

HARDSCAPE LEGEND

Symbol	Type	Quantity	Remarks
	24" WIDE RIPRAP 3" GRAVEL ALONG EDGE OF PROPOSED A/C ROAD	4,220 LF	



SCALE: 1" = 20'-0"
 0 10 20 40



COURT LAND STUDIO
 ARCHITECTURE
 COURTLAND STUDIO, LLC
 202 E. Colorado Blvd., Suite C
 Pasadena CA 91101
 P: 615-786-6302
 F: 615-786-3217
 www.courtlandstudio.com

Table 3 – Fire Department FMZ Spacing

Type of Vegetation	Zone	Maximum Height	Maximum Area /diameter	% of Slope / Minimum horizontal Spacing*
Ground Cover	1 & 2	6-inches	Not Applicable	Not Applicable
Mosaic Grouping of Ground Cover (GC)	1	12-inches	Groupings shall not exceed 200 sq. ft. without minimum spacing to next grouping.	<20%: 2 x GC height 20%-40%: 4 x GC height >40%: 6 x GC height
	2	18-inches	Groupings shall not exceed 500 sq. ft. without minimum spacing to next grouping.	<20%: 2 x GC height 20%-40%: 4 x GC height >40%: 6 x GC height
Single Shrub	1	4-feet	4-foot diameter	<20%: 2 x shrub height 20%-40%: 4 x shrub height >40%: 6 x shrub height
	2	6-feet	4-foot diameter	<20%: 2 x shrub height 20%-40%: 4 x shrub height >40%: 6 x shrub height
Grouping of shrubs	1	Not Allowed	Not Applicable	<20%: 20-foot 20%-40%: 40-foot >40%: Not Allowed
	2	4-feet	Groupings shall not exceed 50 sq. ft. without minimum spacing to next grouping.	<20%: 20-foot 20%-40%: 40-foot >40%: Not Allowed

February 15, 2022 Defensible Space and Fuel Modification Zones 518-5

Single Tree	1	Not Applicable	Tree canopy at full maturity not allowed within 10-feet of any structure.	<20%: 20-foot 20%-40%: 30-foot >40%: 40-foot
	2	Not Applicable	Not Applicable	<20%: 10-foot 20%-40%: 20-foot >40%: 30-foot

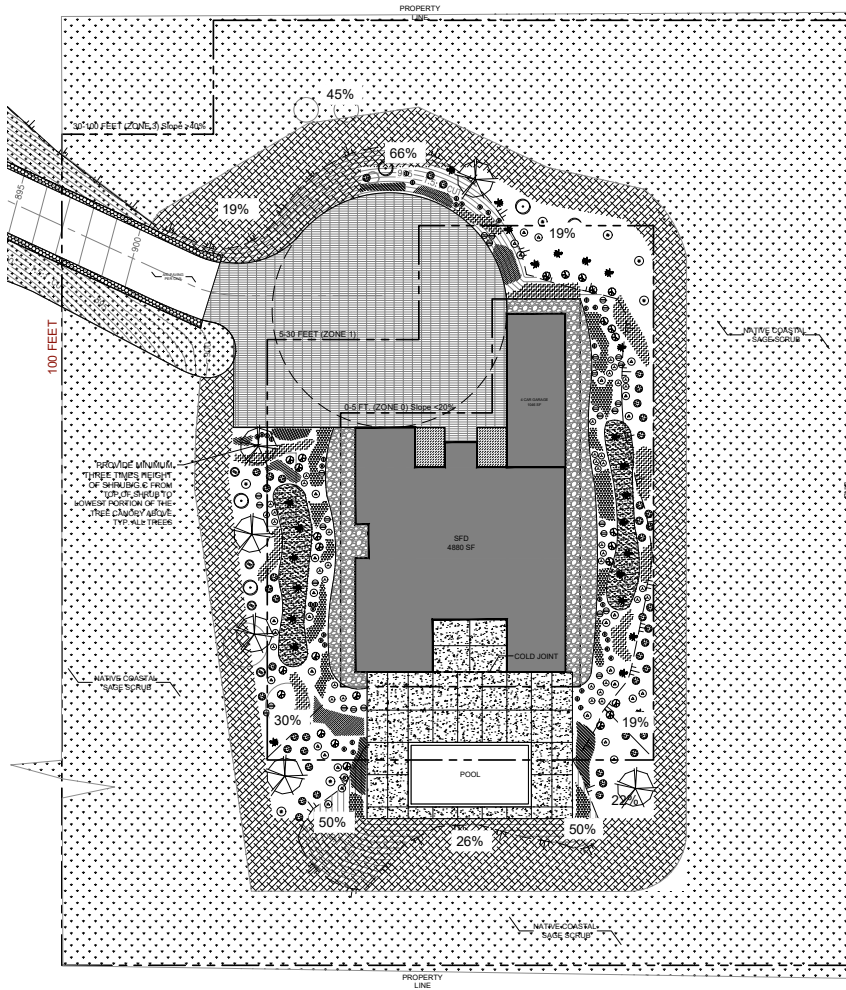
* Table 3 Spacing Notes:

- Spacing is measured canopy to canopy at maturity.
- Ground cover up to 3-inches high, when approved, may be installed within the required spacing between groups.
- Ground cover under tree canopies: When approved, the vertical clearance to the lowest branch of the tree canopy shall not be less than three times the height of ground cover or shrub. The horizontal clearance shall be 3-feet from the trunk of the tree.
- Slopes greater than 20%. For grouping of ground cover and shrubs over 6-inches high, the maximum horizontal distance running with the slope shall not exceed 10-feet before spacing is required to the next grouping.
- Use Zone 1 Tree Spacing for trees located between and/or overlapping Zone 1 and 2.
- Spacing of vegetation and trees at the outer edge of Zone 2 shall be based upon the height of the vegetation within Zone 2 or the adjacent area beyond the 100-foot zone, which ever provides for the greater spacing. This may require clearance outside the 100-foot zone or setting back vegetation and trees within Zone 2 away from the 100-foot line.

MULCH APPLICATION NOTES : STANDARD 517

Table 3.6 – Land Application Limitations within Defensible Space of a Structure

Zone	Distance from Structure	Requirement of Application
A	0 - 5 feet	Land application of mulch is prohibited. Non-combustible materials, such as gravel and decompose granite (DG) must be used.
B	>5 - 30 feet	Limited non-continuous use of organic mulch is allowed. Wood chips are not allowed. Use a mosaic (non-uniform) pattern with a maximum application area of 20 feet x 20 feet and a minimum 5-foot separation between application areas.
C	>30 - 100 feet	Organic mulch and wood chips are allowed. There is no limitation on application areas.
D	>100 - 200 feet	If additional defensible space is required for the parcel beyond 100 feet, the requirements will be the same as Zone C, or as determined by the Fire Prevention Bureau.



PLANTING LEGEND

Symbol	Botanical Name/Common Name	Quantity	Size	WUCOLS	Remarks	Height x Width (if shrubby)
(Tree symbol)	TREE					
(Tree symbol)	Feijoa sellowiana / Pineapple guava	6	30" Box	L	Min. 30' from structure	20' x 15'
(Shrub symbol)	SHRUBS					
(Shrub symbol)	Agave attenuata / Novel / Foxtail agave	26	5g	L		30" x 30"
(Shrub symbol)	Agave viviparva / Octopus agave	25	5g	L		48" x 48"
(Shrub symbol)	Citrus ladanifer / Citron spot rockrose	31	5g	L	Min. 10' from structure	36" x 36"
(Shrub symbol)	Dendromecon rigida / Bush poppy	7	5g	VL	Min. 30' from structure	6' x 6'
(Shrub symbol)	Erigeron glaucus / Wayne Roderick / Seaside daisy 167 @ 24" o.c.	38	1g	L		12" x 18"
(Shrub symbol)	Hesperaloe 'Pink Parade' / Pink yucca @ 30" o.c.	43	5g	L	Min. 20' from structure	30" x 30"
(Shrub symbol)	Heteromeles arbutifolia / Toyon @ 60" o.c.	5	15g	VL	Min. 30' from structure	6' x 6'
(Shrub symbol)	Kingfisher avaria / Red hot poker @ 18" o.c.	38	1g	L		2' x 2'
(Shrub symbol)	Microclelia stingsa / Lace fern @ 30" o.c.	14	5g	M		30" x 30"
(Shrub symbol)	Romneya coulteri / Matlija poppy @ 48" o.c.	4	5g	VL	Min. 30' from structure	4' x 6'
(Shrub symbol)	Penstemon speciosus / Showy Penstemon @ 24" o.c.	29	1g	L	Min. 10' from structure	3' x 3'
(Ground cover symbol)	GROUND COVER					
(Ground cover symbol)	Bouteloua gracilis / Blue grama 284 @ 18" o.c. = 126 plants	8	4" of flat	L	Min. 10' from structure	12" x 12"
(Ground cover symbol)	Myoporum parviflorum / Myoporum 680 @ 12" o.c. = 560 plants	14	dirt flat	L		6" spreading
(Ground cover symbol)	Penstemon clelandii / Cleveland penstemon 124 @ 30" o.c. = 181 plants	12	4" of flat	L	6" spacing between groupings	24" x 24"
(Ground cover symbol)	Teucrium cossonii majusculum / Germanard 251 @ 36" o.c. = 28 plants	2	4" of flat	L	7" spacing between groupings	6" x 30"
(Decorative gravel symbol)	Decorative Gravel 1.072 sf					

TRANSITION TO NATIVE PLANTING 10.814 sf

TO BE INSTALLED IN GROUPS OF 1-3 PLANTS EACH WITH MINIMUM 15' SPACING BETWEEN GROUPINGS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT

Botanical Name/Common Name	Quantity / Size
Mimulus (aurantiacus) longiflorus / Sticky Monkeyflower	(50) 1 GAL
Gilia capitata / Globe gilia	(50) 1 GAL
Asclepias fascicularis / Narrow-leaved milkweed	(50) 1 GAL
Dudleya pulcherrima / Chalk dudleya	(30) 1 GAL
Eriophyllum confertiflorum / Golden yarrow	(30) 1 GAL

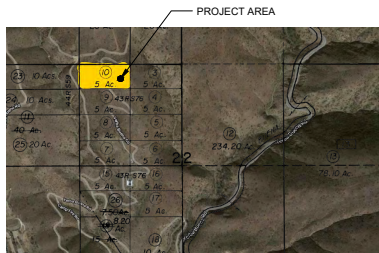
100' FUEL MODIFICATION ZONE 44.694 sf

IN THIS AREA REMOVE ANY (E) ARTEMESIA CALIFORNICA, EPHEDROMALM GERANIUM, SALVIA AND OTHER PLANT MATERIAL PROHIBITED PER THE VCDZ GUIDELINE 410 PROHIBITED PLANT LIST. REPLACE ANY REMOVED PLANT MATERIAL 1:1 WITH THE FOLLOWING PLANT GROUPING TO BE INSTALLED IN GROUPS OF 1-3 PLANTS EACH WITH MINIMUM 15' SPACING BETWEEN GROUPINGS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT

Botanical Name/Common Name	Size	Size
Koeberlinia confertiflora / Climbing Penstemon	1 GAL	AS REQUIRED
Opuntia oricola / California prickly pear	5 GAL	AS REQUIRED
Mirabilis laevis var. crassifolia / Cal. Four O'Clock	1 GAL	AS REQUIRED

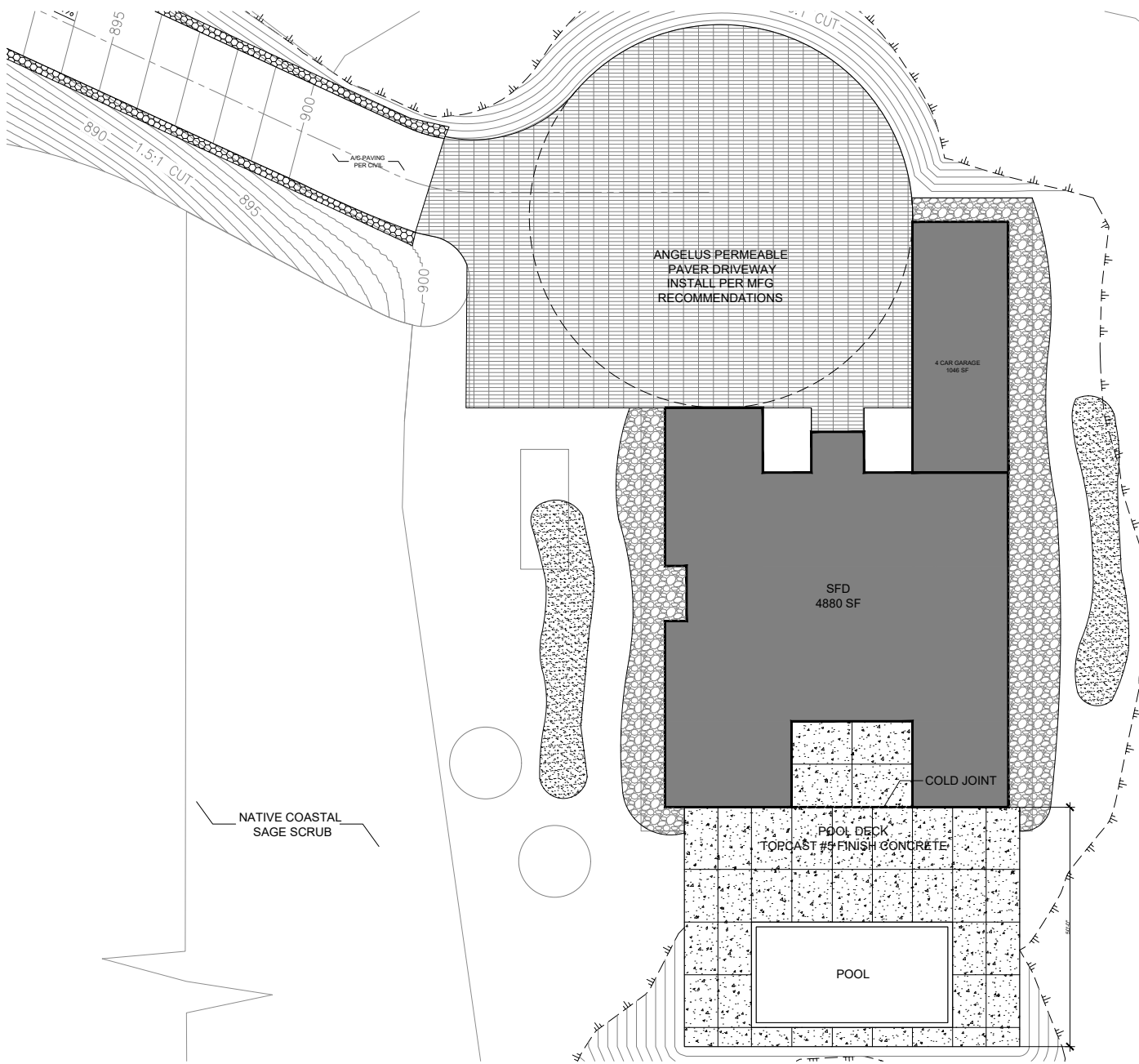
FUEL MODIFICATION NOTES

- ALL LANDSCAPING SHALL COMPLY WITH VENTURA COUNTY FIRE DEPARTMENT STANDARD 519 BASED UPON TYPE AND HEIGHT OF PLANTS, SPACING AND SLOPES.
- EXISTING VEGETATION SHALL BE MODIFIED OR REMOVED TO COMPLY WITH STANDARD 515.
- ALL VEGETATION WITHIN THE 100'-FOOT DEFENSIBLE SPACE / FUEL MODIFICATION ZONE SHALL BE MAINTAINED YEAR-ROUND IN ACCORDANCE WITH VCDZ STANDARD 515 AND STATE LAWS.
- MULCH AND WOODCHIPS SHALL COMPLY WITH FIRE DEPARTMENT STANDARD 517 AND ARE NOT ALLOWED WITHIN 5 FEET OF STRUCTURES.
- TREES EXCEEDING 6 FEET IN HEIGHT SHALL BE LIMBED UP FROM THE GROUND 5 FEET OR 1/2 THE HEIGHT OF THE TREE, WHICHEVER IS LESS.
- SINGLE TREES, SHRUBS, OR GROUNDCOVERS SHALL BE MAINTAINED IN A MANNER THAT THEY DO NOT READILY TRANSMIT FIRE FROM NATIVE VEGETATION TO A STRUCTURE. MALOSMA LAURINA, ENCLIA CALIFORNICA, AND ALL OTHER PLANTS NOT LISTED ON THE PROHIBITED LIST SHALL BE PRESERVED AND SPACED AT A MINIMUM 15' FROM OTHER SHRUBS OR TREES AND SHALL BE MAINTAINED BY REGULARLY REMOVING ALL DEADFALL AND LITTER.
- HIGHLY COMBUSTIBLE OR FLAMMABLE PLANT MATERIAL SHALL NOT BE PLANTED WITHIN 100' OF A STRUCTURE.
- SUPPLEMENTAL PLANTINGS FROM THE APPROVED PLANT LIST SHALL BE ALLOWED. ALL NEW SHRUB AND TREES WITHIN THE 100' FUEL MODIFICATION ZONE SHALL BE SPACED AT MINIMUM 15' APART FROM OTHER SHRUBS AND TREES.
- TREE LIMBS SHALL BE PRUNED TO A MINIMUM HEIGHT OF 3X MATURE HEIGHT OF ADJACENT SHRUBS OR GROUNDCOVER.
- ALL LEAF LITTER SHALL BE REGULARLY REMOVED.
- STOCKPILES OF FIREWOOD, CONSTRUCTION MATERIALS, COMPOST OR DEBRIS PILES, AND COMBUSTIBLE CHEMICALS OR OTHER SUBSTANCES SHALL BE STORED A MINIMUM OF 30' FROM ANY STRUCTURE.
- REFER TO VENTURA COUNTY FIRE DEPARTMENT FIRE HAZARD REDUCTION PROGRAM.



VICINITY MAPS





HARDSCAPE LEGEND

Symbol	Type	Quantity	Remarks
[Pattern]	Angulus Aquatina - Paving Stones Color: Dark Grey/Pewee-Charcoal Pattern: Random Runner	6,720 sf	Available from Angulus Paving Stones
[Pattern]	Decomposed Granite	2,075 sf	
[Pattern]	Surf Green Crushed Gravel Size: 3/4" crushed	1,080 sf	Available from Bourget Bros.
[Pattern]	Topcast #9 Finish Concrete	3,030 sf	Color: TBD

GENERAL GRADING NOTES

- THIS DRAWING IS SCHEMATIC IN NATURE. CONTRACTOR IS RESPONSIBLE FOR GUARANTEEING ALL GRADING IS SUFFICIENT FOR PROPER SITE DRAINAGE.
- CONTRACTOR TO VERIFY GRADES AND NOTIFY LANDSCAPE ARCHITECT PRIOR TO START OF GRADING WORK.
 - ALL DRAIN LINES TO DRAIN AT 1% MINIMUM WITH SMOOTH CONTINUOUS FALL.
 - ALL TOP SURFACES OF STEP TRENDS TO SLOPE AT 1% FOR DRAINAGE.
 - ALL PLANTED AREAS TO SLOPE TO CATCH BASINS AT 2% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
 - ALL PROPOSED PAVING SURFACES SHALL MEET EXISTING PAVING SURFACES WITH SMOOTH AND CONTINUOUS TRANSITION AND FLUSH ALONG ENTIRE EDGE.
 - CONCRETE WALKS TO HAVE A MAXIMUM CROSS SLOPE OF 2% AND SHALL MEET ALL LOCAL AND COUNTY REQUIREMENTS.
 - PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, EXISTING DRAINAGE STRUCTURES, STREET IMPROVEMENTS, AND FINISH FLOOR ELEVATIONS. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY UPON ANY DISCREPANCIES.
 - CONTRACTOR SHALL VERIFY PROPOSED DRAINAGE INVERTS.
 - ALL FINISH GRADES IN PLANTED AREAS SHALL BE 1-1/2" BELOW ADJACENT PAVING SURFACE UNLESS NOTED OTHERWISE.

GENERAL CONSTRUCTION NOTES

- ALL DIMENSIONS ARE TAKEN FROM CURB FACE, BUILDING FACE OR EDGE OF PAVING, UNLESS OTHERWISE NOTED ON PLAN. THE DIMENSIONS ARE SHOWN FOR APPROXIMATE LINE AND ALL RADIUS AND CURVES ARE TO HAVE CONTINUOUS AND SMOOTH TRANSITIONS WITHOUT ABRUPT CHANGES OR BENDS.
- ALL FORMS AND ALIGNMENT OF PAVING SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO POURING (GIVE A MINIMUM OF 48 HOURS NOTICE).
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FOR ALL DAMAGES INCURRED.
- CONTRACTOR SHALL NOTE AND INSTALL SLEEVE LOCATIONS SHOWN ON IRRIGATION, LIGHTING, AND CONSTRUCTION PLANS.
- ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE LATEST UNIFORM BUILDING CODE.
- THESE NOTES SHALL BE USED IN CONJUNCTION WITH THE PLANS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR MUST CHECK ALL DIMENSIONS, FRAMING CONDITIONS AND SITE CONDITIONS BEFORE STARTING WORK. LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR POSSIBLE DEFICIENCIES.
- CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE CONSTRUCTED SIMILAR TO THE DETAILS FOR THE RESPECTIVE MATERIALS.
- THE DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. ALL BRACING, TEMPORARY SUPPORTS, SHORING, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OBSERVATION VISITS TO THE JOB SITE BY THE LANDSCAPE ARCHITECT DO NOT INCLUDE INSPECTION OF CONSTRUCTION METHODS AND SAFETY CONDITIONS AT THE WORKSITE. THESE VISITS SHALL NOT BE CONSTRUED AS CONTINUOUS AND DETAILED INSPECTIONS.
- DESIGN, MATERIALS, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE, PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT.

NATIVE COASTAL SAGE SCRUB

ANGELUS PERMEABLE PAVER DRIVEWAY INSTALL PER MFG RECOMMENDATIONS

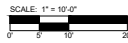
4 CAR GARAGE 1046 SF

SFD 4880 SF

COLD JOINT

POOL DECK TOPCAST #9 FINISH CONCRETE

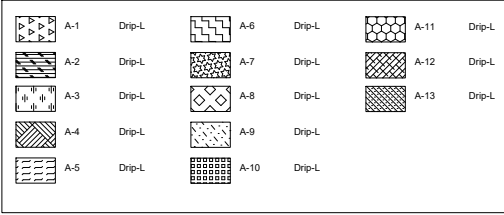
POOL



COURTLAND STUDIO ARCHITECTURE

COURTLAND STUDIO, LLC
 3901 F. Coleman Blvd., Suite 111
 Palmdale, CA 91367
 P: 818-788-0382
 F: 818-788-2013
 www.courtlandstudio.com

HYDROZONES

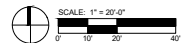
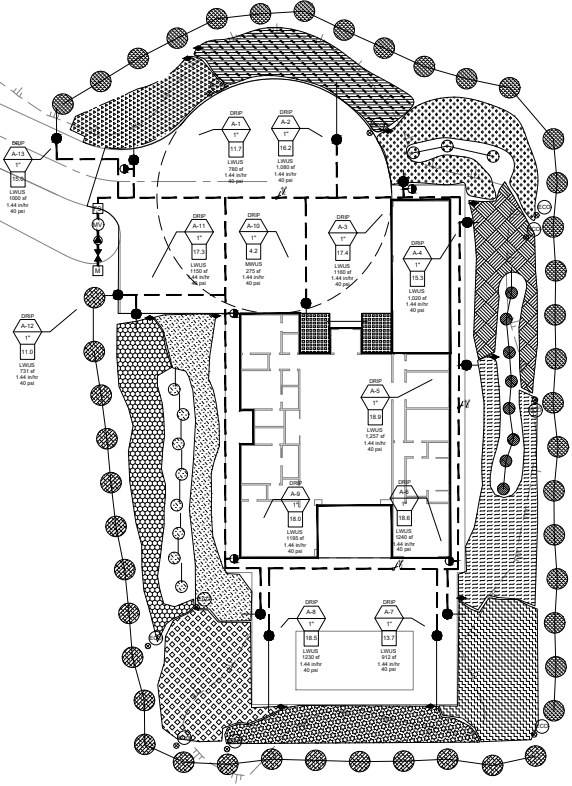


GREEN BUILDING NOTES:

- I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.
- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
- AFTER INSTALLATION, INSTALLER TO PERFORM PRESSURE TESTING AND VERIFY WATER COVERAGE OF ENTIRE IRRIGATION SYSTEM. INSTALLER SHALL ADJUST OR REPLACE ANY DEVICES TO ENSURE EFFICIENT, COMPLETE AND PROPER WORKING OF THE SYSTEM.
- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- THE CONTROLLER IS SHIPPED WITH A COMPLETE OPERATIONS MANUAL WHICH SHALL BE GIVEN TO OWNER OR KEPT ON SITE PER OWNER'S REQUEST.
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OR THE LANDSCAPE PLANS, IRRIGATION PLANS OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

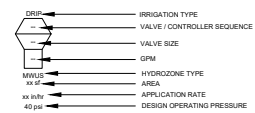
GENERAL IRRIGATION NOTES:

- ALL MAINLINE PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. ALL SLEEVING SIZES SHALL BE AS INDICATED ON THE PLANS. ALL SLEEVES SHALL BE AT A DEPTH OF 18" MINIMUM BELOW SUB GRADE.
- ALL LATERAL LINE PIPING UNDER PAVING SHALL BE PVC SCHEDULE 40 AND SHALL BE INSTALLED PRIOR TO PAVING. THE PIPING SHALL BE A MINIMUM OF 12" BELOW SUB GRADE.
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF THE REJECTION.
- THE 120 VAC ELECTRICAL POWER SOURCE AT THE CONTROLLER LOCATION SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR. MAKE THE FINAL CONNECTION FROM THE SOURCE TO THE CONTROLLER OR AS ALLOWED BY LOCAL CODES.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED OR DIRECTED.
- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, OR OTHER SIMILAR APPURTENANCES SHOWN IN PAVED AREAS IS FOR DESIGN AND GRAPHIC CLARIFICATION AND SHALL BE INSTALLED IN IRRIGATED PLANTING AREAS. WHEREVER POSSIBLE INSTALL ALL VALVES AND BOXES IN SHRUB AREAS AND NOT IN TURF AREAS.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES OF THE SITE. COORDINATE WORK WITH OTHER TRADES AND CONTRACTORS FOR THE LOCATION AND INSTALLATION OF ALL IRRIGATION EQUIPMENT. REPAIR AND/OR REPLACE ALL ITEMS DAMAGED BY WORK PERFORMED.
- DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS THAT THE FIELD CONDITIONS VARY FROM THE DRAWINGS AND THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT HAVE NOT BEEN INDICATED ON THE ENGINEERING. SUCH ITEMS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS IN THE EVENT THAT THIS NOTIFICATION IS NOT HEEDED.
- FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR THEIR OPTIMUM OPERATION.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE OF 40 PSI AND A MAXIMUM FLOW DEMAND OF 18.8 GPM. VERIFY WATER PRESSURES PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCES BETWEEN THE WATER PRESSURE SHOWN ON THE PLANS AND THE PRESSURE READING IN THE FIELD TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED HEREIN SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- REFER TO THE SPECIFICATIONS FOR ADDITIONAL DETAILED INFORMATION.
- THE CONTRACTOR SHALL PROVIDE IN HIS BID FOR A ONE-YEAR (1-YEAR) MAINTENANCE PERIOD.
- THE CONTRACTOR SHALL INSTALL ALL MAINLINES IN LANDSCAPE AREAS AND NOT UNDER PAVING UNLESS IT IS A NECESSARY CROSSING OF A STREET OR WALK. THE MAINLINE SHALL BE INSTALLED AT THE DEPTH NOTED IN THE IRRIGATION DETAILS AND AT A HORIZONTAL DISTANCE OF 12"-24" FROM THE EDGE OF ALL CURBS OR WALKS. ALL MAINLINE AND VALVES SHALL BE LOCATED BEHIND THE PROPERTY LINE.
- AUTOMATIC LANDSCAPE IRRIGATORS SHALL BE INSTALLED IN SUCH A WAY THAT IT DOESN'T SPRAY ON THE BUILDING.



IRRIGATION LEGEND

SYMBOL	MFG	MODEL NUMBER	DESCRIPTION	REMARKS
MV	HUNTER	ICV-1013	1" MASTER CONTROL VALVE	SEE DETAIL A
	HUNTER	ICZ-101-40	1" CRIMP REMOTE CONTROL VALVE (1" ICV FILTER BENTONITE GLOBE W/1" HY100 FILTER-REGULATOR)	SEE DETAIL B
	HUNTER	3/4" HOSE BIBBS		
NIBCO			APPROVED BRONZE 150 PSI RATED BALL VALVE. LINE SIZE IN VALVE BOX.	SEE DETAIL C
FEBCO			LF85S-YA, 1" REDUCED PRESSURE BACKFLOW DEVICE	SEE DETAIL D
FS	HUNTER	HC-100-FLOW	HC FLOW METER W/ 1" MNPT THREAD	SEE DETAIL E
	HUNTER	PHC-100	PHC-100 1/2" 270° OUTDOOR WALL MOUNT W/PT CONTROLLER W/ HYDRAWEATHER BASH WATER MANAGEMENT SOFTWARE. 120 VAC POWER TO THE CONTROLLER LOCATION BY OTHERS.	SEE DETAIL F
M	APPROVED		METER	
RAINBIRD		AR VALVE KIT, 1" AIR VACUUM RELIEF VALVE IN VALVE BOX AT HIGH POINT.		SEE DETAIL G
NETAFIM		TLOSS-MFV AUTOMATIC FLUSH VALVE IN VALVE BOX AT LOW POINT.		SEE DETAIL H
RAINBIRD		XFD-09-12-xx DRIPLINE W/ COPPER SHIELD EMITTERS. EMITTERS @ 12" O.C. & 12" ROW SPACING.		SEE DETAIL I
APPROVED		PVC SCH. 40 LATERAL LINE. SEE PLAN FOR SIZE.		SEE DETAIL J
APPROVED		PVC SCH. 40 MAINLINE SLEEVE. 2 AT EACH LOCATION 2X THE DIA. OF PIPE TO BE SLEEVED.		SEE NOTES 1, 2
APPROVED		MAINLINE: 1) LINER CONCRETE DECK (IN GARAGE); TYPE 1, COPPER FOR SIZES 1-1/2" AND SMALLER		SEE DETAIL I
APPROVED		2) BETWEEN WATER MARK AND BACKFLOW: TYPE 1, COPPER		
APPROVED		3) DOWNSTREAM FROM BACKFLOW: SCHEDULE 40 PVC BURIED IN SOIL SIZE 1 1/2" AND SMALLER. SEE NOTES.		
ECO	HUNTER		ECO-DRIP SYSTEM INDICATOR	SEE DETAIL J



HYDROZONE LEGEND

SYMBOL	DESCRIPTION
CST	COOL SEASON TURF
WST	WARM SEASON TURF
HWWS	HIGH WATER USING SHRUB/TREE
MWWS	MEDIUM WATER USING SHRUB/TREE
LWWS	LOW WATER USING SHRUB/TREE
VLWWS	VERY LOW WATER USING SHRUB/TREE

Maximum Applied Water Allowance Calculations for New and Rehabilitated Residential Landscapes

Enter values in Pale Blue Cells

Turf Cells Show Results

Messages and Warnings

Click on the blue cell on right to Pick City Name
ET, of City from Appendix A

Volume	Name of City
43.95 ET (Inches/year)	ET, of City from Appendix A
12000	Overhead Landscape Area (ft²)
12000	Drip Landscape Area (ft²)
0	SLA (ft²)
13,000.00	Total Landscape Area

Results:
ETWA = (0.82 x 43.95 SLA) + (1.0 - 0.82) x SLA

Messages and Warnings

MARMA calculation incorporating Effective Precipitation (Optional)
Precipitation (Gallons)

Volume	Name of City
43.95 ET (Inches/year)	ET, of City from Appendix A
13,000.00	Total Landscape Area
0.00	Special Landscape Area
14	Total annual precipitation (Inches/year)
3.50	Espt (in)(25% of total annual precipitation)

Enter Effective Precipitation

Results:
MARMA = (ET, Espt) x (0.82) + (0.18 x LA) + (1.0 - 0.82) x SLA

Volume	Name of City
17,729.20	Gallons
227.99	Cubic Feet
0.85	Acres-ft
4.16	Millions of Gallons

Estimated Total Water Use

Equation: ETWA = ET, x 0.82 + (Espt) x (MARMA) + SLA. Considering precipitation ETWA = (ET, Espt) + 0.82 x (MARMA) + (SLA)

Enter values in Pale Blue Cells

Turf Cells Show Results

Messages and Warnings

Irrigation Efficiency Default Value for overhead is 75 and drip is 81.

Plant Water Use Type	Plant Factor
Very Low	0 - 0.1
Low	0.2 - 0.3
Medium	0.4 - 0.6
High	0.7 - 1.0
SLA	1

Hydrozone	Irrigation System (Type or click on cell below)	Plant Water Use (Type or click on cell below)	Plant Factor (PF)	Hydrozone Area (HA) (ft²)	Irrigation Efficiency (IE) (%)	ETWA (ETWA) (ft³/yr)
A-1	Drip	Low	0.25	1,000.00	0.81	207
A-2	Drip	Low	0.25	1,000.00	0.81	207
A-3	Drip	Low	0.25	1,000.00	0.81	207
A-4	Drip	Low	0.25	1,000.00	0.81	207
A-5	Drip	Low	0.25	1,000.00	0.81	207
A-6	Drip	Low	0.25	1,000.00	0.81	207
A-7	Drip	Low	0.25	1,000.00	0.81	207
A-8	Drip	Low	0.25	1,000.00	0.81	207
A-9	Drip	Low	0.25	1,000.00	0.81	207
A-10	Drip	Low	0.25	1,000.00	0.81	207
A-11	Drip	Low	0.25	1,000.00	0.81	207
A-12	Drip	Low	0.25	1,000.00	0.81	207
A-13	Drip	Low	0.25	1,000.00	0.81	207
SLA				0		0
	Sum			13,000		17,729

Results:

Volume	Name of City
17,729	Gallons
227.99	Cubic Feet
0.85	Acres-ft
4.16	Millions of Gallons

ETWA complex with MARMA

DIG ALERT

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

ATTENTION IS DIRECTED TO THE POSSIBLE EXISTENCE OF UNDERGROUND UTILITIES NOT KNOWN OR IN A LOCATION UNDETERMINED FROM RECORDS. THE CONTRACTOR SHALL USE THE SERVICES PROVIDED BY THE CONTRACTOR TO IDENTIFY THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO DOING WORK THAT MAY DAMAGE SUCH FACILITIES OR INTERFERE WITH THEIR SERVICE. BEFORE BEGINNING WORK, THE CONTRACTOR SHALL NOTIFY THE LOCATION OF UNDERGROUND UTILITIES BY CONTRACTOR'S UNDERGROUND SERVICE ALERT AT (800) 424-4133.

WATER PRESSURE NOTE:

- CONTRACTOR TO CONFIRM THAT AVAILABLE WATER PRESSURE IS SUFFICIENT FOR PROPER IRRIGATION OPERATION PRIOR TO INSTALLATION.

INSTALLATION NOTES:

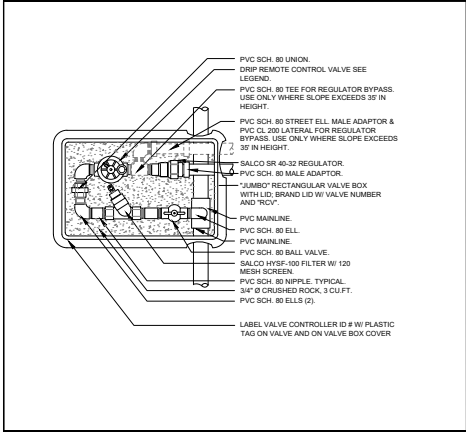
- PLACE FLUSH VALVES AT LOWEST ELEVATION OF HYDROZONE
- PLACE AIR RELIEF AT HIGHEST ELEVATION OF HYDROZONE
- PLACE DRIP TUBING PARALLEL TO CONTOURS

LANDSCAPE

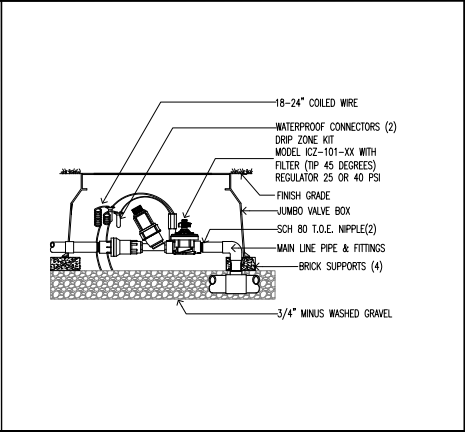
COURT LAND STUDIO

ARCHITECTURE

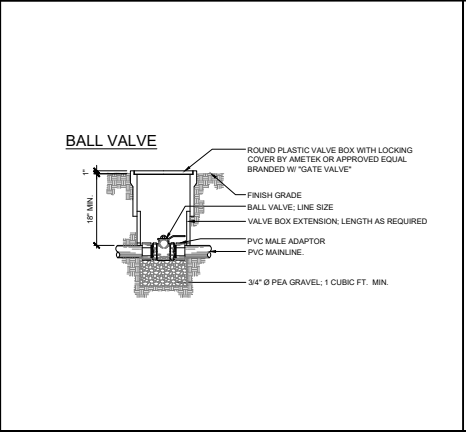
COURTLAND STUDIO, LLC
1016 S. Colorado Blvd. Suite C
Pasadena, CA 91101
P: 610-788-6262
F: 610-788-2117
www.courtlandstudio.com



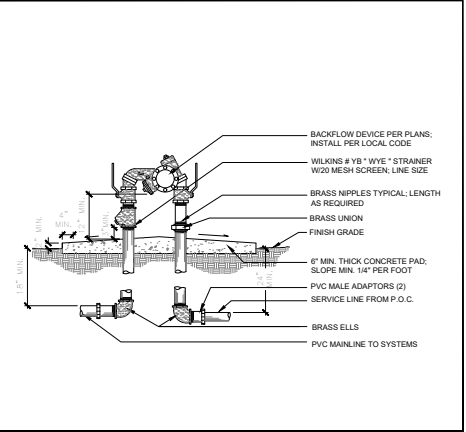
A) MASTER CONTROL / SPRAY CONTROL VALVE



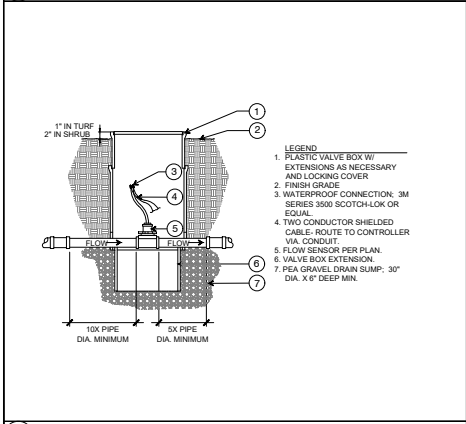
B) DRIP REMOTE CONTROL VALVE



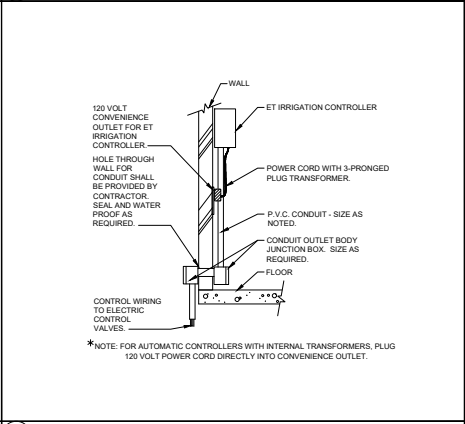
C) HOSE BIBB & BALL/GATE VALVE



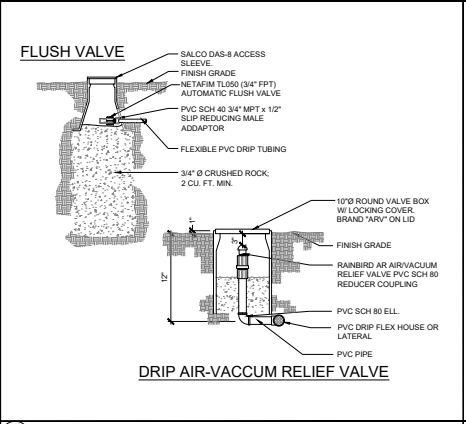
D) REDUCED PRESSURE BACKFLOW DEVICE



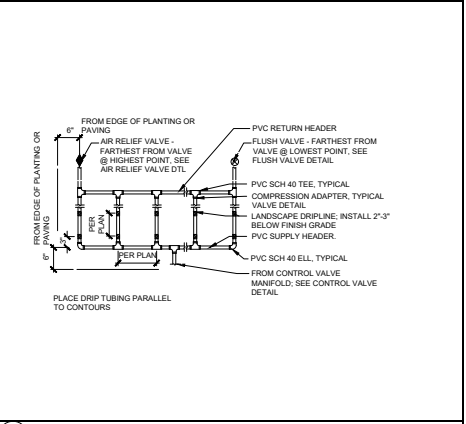
E) FLOW SENSOR



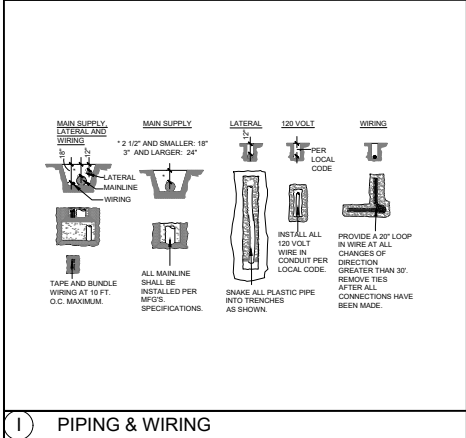
F) WALL MOUNT CONTROLLER



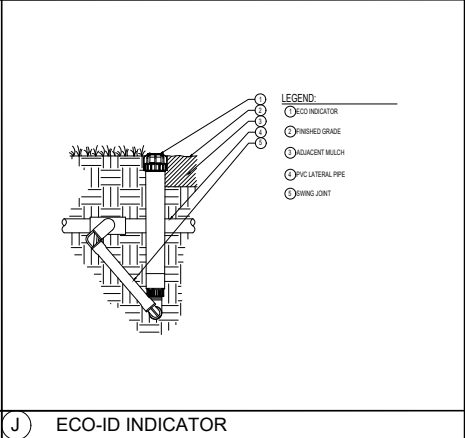
G) FLUSH VALVE & AIR/VACUUM RELIEF VALVE



H) DRIP TUBING INSTALLATION



I) PIPING & WIRING



J) ECO-ID INDICATOR





Responses to Comments on the Mitigated Negative Declaration

County of Ventura • Resource Management

800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-2478 • www.vcrma.org/divisions/planning

This section includes comments received during public circulation of the Mitigated Negative Declaration (MND) prepared for Coastal Planned Development Permit Case No. PL22-0082 – Weisberg Residence (Project).

The MND was circulated for a 30-day public review period that began on August 18, 2023 and ended on September 18, 2023. The Ventura County Resources Management Agency received 2 comment letters on the MND. The commenters and the page number on which each commenter's letter appear are listed below.

Letter No. and Commenter	Page No.
1 California Department of Fish and Wildlife (CDFW)	B-2
2 California Coastal Commission	B-4

The comment letters and responses follow. The comment letters are numbered sequentially, and each separate issue raised by the commenter, if more than one, has been assigned a number. The responses to each comment identify first the number of the comment letter, and then the number assigned to each issue (Response 1.1, for example, indicates that the response is for the first issue raised in Comment Letter 1).

Where a comment resulted in a change to the MND text, a notation is made in the response indicating that the text is revised. Changes in text are signified by strikeout font (~~strikeout font~~) where text was removed and by underlined font (underlined font) where text was added.

Letter 1

COMMENTER: California Department of Fish and Wildlife (CDFW)

DATE: September 13, 2023

Response 1.1

The Commenter states the MND does not describe plans for mitigation in sufficient detail and CDFW is not included in future reviews of mitigation and restoration plans. As indicated in Mitigation Measures (MM) BIO-1, BIO-8, BIO-9 and BIO-10, the Permittee will be responsible for finalizing preliminary plans and submitting documentation for review that verifies compliance with each of these mitigation measures. For MM BIO-1 the Permittee will have their Biologist prepare a Rare Plant Mitigation Plan (RPMP) which will layout the restoration of *Calochortus catalinae*, *C. plummerae*, and *Dichondra occidentalis*, including planting and salvaging methods, performance standards, maintenance, monitoring, reporting, success criteria, adaptive management, and contingencies for achieving success. For MM BIO-8, the Permittee will be required to restore 0.25 acres of the *Artemisia Californica* (Initial Study Biological Assessment, Magne 2022). MMs BIO-9 and MM BIO-10, require the Permittee finalize their plans for site fencing and fuel modification. As designed currently, the fuel modification will consist of 100-foot buffer area around the building and no permanent fencing. As no alteration to the bed, channel or banks of any stream, river or lake, no CDFW permit is required, no additional consultation with the Commenter is necessary.

Response 1.2

The Commenter states the MND does not provide sufficient detail on the long-term preservation of land to be used for compensatory mitigation. The Permittee has acquired five parcels, two of which (APNs 694-0-100-100 and -160) equal six acres and fulfill the Applicant's requirement for offsite mitigation to compensate for ESHA impacts. The Applicant has recorded a deed restriction on APNs 694-0-100-050, -090, -100, -110 and -160 [Instrument No. 2023000060443]. The deed restriction prohibits structural development, paving, and agriculture and instead retains native vegetation in perpetuity on all five parcels. The Applicant has initiated the transfer of all five parcels to the Mountains Recreation Conservation Authority who has agreed to receive the mitigation properties (Exhibit 5 Conditions of Approval, Condition No.31).

Response 1.3

The Commenter states that the MND does not address impacts to nesting birds. The Project includes Condition of Approval No. 20 which identifies avoidance measures for nesting birds. The Migratory Bird Treaty Act (MBTA) prohibits the take (including killing, capturing, selling, trading, and transport) of protected migratory bird species without prior authorization by the Department of Interior U.S. Fish and Wildlife Service. Ventura County, as Lead Agency, has determined avoidance of nesting birds can be addressed

through the conditions of approval in-lieu of a mitigation measure (Exhibit 5, Condition No. 20).

Response 1.4

The Commenter states that the plan provided for Catalina and Plummer's mariposa lily seed/bulb salvage may not result in appropriate mitigation for loss of these plants and no mitigation is proposed for loss of western dichondra. The Applicant and their consulting Biologist have acknowledged that western dichondra will be monitored as a part of the Rare Plant Mitigation Plan as required under Mitigation Measure BIO-1 Pre-Construction Survey – Seed/Bulb Salvage, and Relocation of Special-Status Plants and will monitor relocation success for a term of 10-years.

Letter 2

COMMENTER: California Coastal Commission

DATE: September 15, 2023

Environmental Review

Response 2.1

The Commenter states that a Coastal Initial Study Biological Assessment (CISBA) be completed in accordance with the Ventura County Local Coastal Program (LCP) and Coastal Zoning Ordinance (CZO) appendices. On August 5, 2022, Coastal Planned Development Permit, Case No. PL22-0082, was deemed complete. The Ventura County LCP, Environmentally Sensitive Habitat Areas (ESHA) Ordinance 4586, was not certified by the California Coastal Commission until September 9, 2022. The Planning Division determined the Biological Assessment (David Magney Environmental Consulting, 2022) prepared for the project was adequate for environmental review purposes (Exhibit 4, Attachment3).

Response 2.2

The Commenter states that a wet environment is located on the subject property and more information in the Mitigated Negative Declaration (MND) should be included to analyze any potential impacts that could result from development. The Biological Assessment (David Magney Environmental Consulting, 2022), Section B. Wetland Habitats states the following:

“There are no wetlands within 300 feet of the project site; therefore, neither wetlands nor wetland buffer are impacted by the project.”

The MND, Section 4C. Ecological Communities – Waters and Wetlands states the same.

The MND Section A.5 Environmental Setting notes Little Sycamore Canyon and Yerba Buena Creek are approximately 1,730 feet to the east. Reference to the tributary east of the subject lot that feeds into Little Sycamore Creek has been added to Section A.5 of the MND.

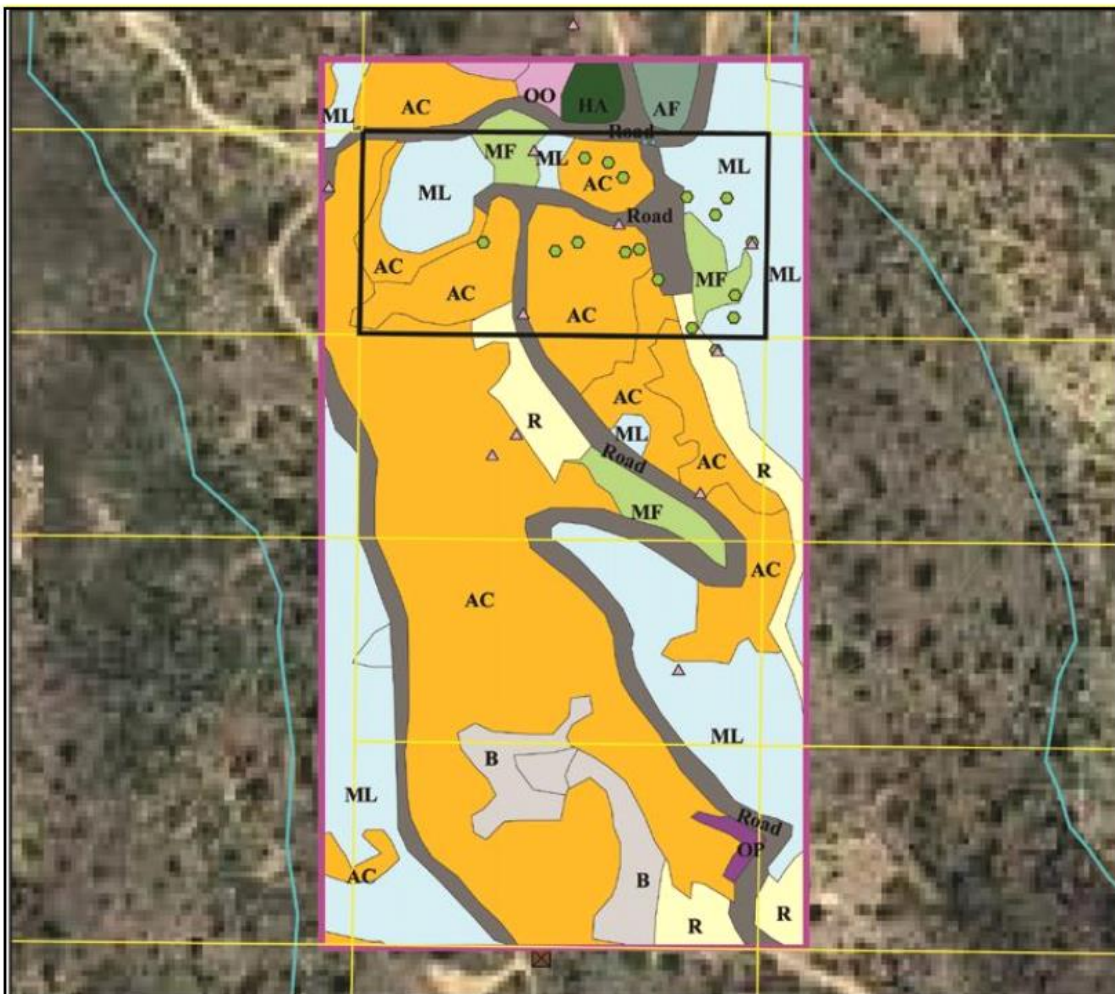
Note, according to the Hydrology and Hydraulics Report prepared by Chris Nelson & Associates, Inc., dated July 2022 (Exhibit 4, Attachment 8), the difference between the cumulative pre- and post-development flow rates for 10-year storm event is 0.00 cubic feet per second (cfs). The post-development conditions will generally maintain similar drainage patterns to the pre-development drainage conditions. No impacts to the tributary are expected to occur.

ESHA Determination

Response 2.3

The Commenter states that the MND should provide a more detailed analysis and provide a graphic representation of the ESHA that was removed without the benefit of a permit. The Biological Assessment (David Magney Environmental Consulting, 2022, amended 2023), Table 16 Existing Habitats and Land Cover and Expected Project Impacts has been updated by the Applicant's consulting Biologist. Additionally, Figure 8 (Excerpted Below) identifies the plant communities that exist onsite; except for the road and graded pad and small patches of ruderal vegetation, the site is predominantly ESHA. Revised Table 16 has been updated to include the presence of ruderal coastal sage scrub not previously included in the onsite impacts calculation for areas outside of the proposed development area. Mitigation Measure BIO-7 requires the Applicant to submit a Restoration Plan to restore 0.312 acres onsite prior to zoning clearance for construction of the project. The updated impact calculation now includes the unpermitted site disturbance indicated with the presence of ruderal vegetation for areas located outside of the proposed development (footprint and fuel modification) and the unpermitted impacts associate with the access drive to the property (a second driveway). The Restoration Plan will identify the area to be restored onsite. Additionally, the Applicant will be required to preserve in perpetuity through a conservation easement or conservation instrument, all remaining ESHA, buffer zones, and slopes over 30 percent gradient located outside of the approved building site and mandatory fuel modification zone.

Figure 8. Plant Communities of the Project Site



Vegetation Alliances

	Weisberg Parcel 100		AC - Artemisia californica		OO - Opuntia oricola
	Weisberg Survey Area		AF - Adenostoma fasciculatum		OP - Ornamental Planting
	Parcels		HA - Heteromeles arbutifolia		R - Ruderal
	Calochortus catalinae		MF - Malacothamnus fasciculatus		Road
	Dichondra occidentalis		ML - Malosma laurina		B - Barren

Map created 25 May 2022
 David Magney Environmental Consulting
 P.O. Box 1539, Cedar Ridge, CA 95924
 530/273-1799 - www.magney.org
 Sources: Ventura County Assessor's Office, DMEC
 Projection: NAD 1983, CA State Plane, Zone V (feet)
 Base Map: 2002 Aerial Photograph

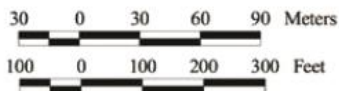


Exhibit 4 Attachment 4 - Figure 8 of Initial Study Biological Assessment (David Magney Environmental Consultants, August 2022)

Unpermitted Development

Response 2.4

The Commenter questions if the compensatory mitigation for the project is consistent with the Ventura County LCP. The proposed project will permanently remove approximately 121,314 sq. ft. (2.785 acres) of ESHA related to the construction of the access road, the home, and the required 100-foot fuel modification zone. Additionally, 13,590 sq. ft. (0.312 acres) of ESHA was cleared without the benefit of a permit (10,890 sq. ft. for the unpermitted clearance of the western portion of the lot, 1,829 sq. ft. (0.042 acres) ruderal vegetation disturbance, and 871 sq. ft (0.02 acre related to a second driveway that has since been omitted). Total ESHA impacts are 3.097 acres that will require mitigation at a 2:1 ratio (6.19 acres). Ventura County CZO Section 8178-2.10.1(a)(2) requires the Applicant to restore unpermitted impacts to ESHA onsite. Mitigation Measure BIO-7 requires the Applicant to submit a Restoration Plan for review and approval to restore 0.312 acres onsite prior to zoning clearance for construction of the project. Ventura County CZO Section 8178-2.10.1(a)(2)(i) notes that compensatory mitigation may be accomplished offsite. The remaining 5.882 acres will be mitigated through the acquisition of offsite parcels to be dedicated to Mountains Recreation and Conservation Authority (MRCA). The Applicant has acquired APNs 694-0-100-160 and 694-0-100-110 (6 acres) and recorded a deed restriction on said lots and MRCA has initiated the transfer of the property (Attachment 7).

Least Environmentally Damaging Alternative

Response 2.5

The Commenter states the MND does not contain an analysis of alternative building sites. On August 29, 2022, the Ventura County Planning Division determined the proposed project could have a significant effect on the environment with respect to biological resources and the County prepared an initial study/Mitigated Negative Declaration (MND). Pursuant to the California Environmental Quality Act (CEQA), an Environmental Impact Report (not an MND) must include a reasonable range of alternatives to a proposed project that could feasibly attain most of the basic project objectives and would avoid or substantially lessen any of the proposed project's significant effects to ESHA (CEQA Guidelines Section 15126.6(d)). The Ventura County CZO Section AE-1.3.1 requires the CISBA to include information that provides a factual basis for the least damaging alternative analysis. As stated in Response to Comment 2-1, the ISBA submitted for the project was deemed complete on August 5, 2022, prior to the certification of the ESHA amendments to the Ventura County LCP; therefore the requirements of the CISBA were not required. However, to ensure compliance with the County's LCP, the Applicant's Consulting Biologist has confirmed the proposed development was designed as the least environmentally damaging alternative based upon preceding work from the Consulting Geologist (Gold Coast Geoservices, Inc) which

had previously identified an ancient landslide on the western portion of the project site and collocating the proposed building site along the site of the historic jeep trail in a relatively flat area that is able to achieve the appropriate safety factors (Magney, 2022) (Exhibit 4, Attachment 3). Additionally, the proposed building site does not exceed the Maximum Allowable Building Site of 10,000 sq. ft. as defined by CZO Section 8178-2.6.2 (a).

Response 2.6

The Commenter states the MND should contain an analysis describing if the proposed development is clustered to the maximum extent feasible. Further a reduced garage that maintains the approximately square shape of development, should be analyzed. The MND Section 25, Community Character notes the surrounding parcels are undeveloped. Therefore, siting the proposed dwelling adjacent to existing development is not an alternative. The proposal includes a 4-car garage that is attached and extends north of the residence. The building site is 9,902 square feet and is within the 10,000 square foot limitation permitted as reasonable economic use of a site (CZO Section 8178-2.6.2(a)). The standards included in Ventura County CZO Section 8178-2.6.2.2(b) which would require a reduction in the building site do not apply (see response to Comment 2-8 (below)).

Buildable Lot

Response 2.7

The Commenter states the MND does not contain information to determine if the subject property is a “buildable lot.” Ventura County CZO Section 8178-2.6.3(f) defines a buildable lot for residential use as being a legal lot that can feasibly accommodate the following structures and improvements in a manner that is consistent with the policies and provisions of the LCP and that meets established public health and safety standards: (1) a principal structure; (2) legally accessible, all-weather access road; (3) development is located outside known geological hazard areas; and (4) the lot is served by public water/sewer or can accommodate an on-site site well and/or wastewater treatment system that is adequate to serve the proposed development.

The subject lot was legally created by deed (recorded on April 6, 1937 in Book 521, Page 201), prior to regulation by the Subdivision Map Act and Ventura County Subdivision Ordinance. The MND prepared for the project analyzed the development of a single-family dwelling. The proposed dwelling would be served by a private well and onsite wastewater treatment system. The project has been conditioned to require the Applicant submit a Certification of Water Quality and to demonstrate compliance with state and local regulations related to the design and installation of the water system and OWTS (Exhibit 5, Condition Nos. 34 and 35). Ventura County Fire Protection District has conditioned the project to ensure an all-weather access road is constructed in compliance with the Fire Code (Exhibit 5, Condition Nos. 51 and 52).

Allowable Building Site and Access

Response 2.8

The Commenter states the MND should include a description of how the maximum allowable building site was determined and should include a graphic depicting the development within this area. Ventura County CZO Section 8178-2.6.2.2(b) states the allowable building site shall be reduced below the maximum allowed by Section 8178-2.6.2 when adequate land is not available due to one or more of the following: (1) public health and safety standards; (2) avoid wet environments or habitat within 100 feet of a riparian habitat, and (3) avoid a fuel modification zone overlapping onto public park land. Any reduction of the building site on this basis shall be supported by the Coastal Initial Study Biological Assessment (CISBA).

As stated above, the Applicant's Consulting Biologist has confirmed the proposed development was designed as the least environmentally damaging alternative based upon consideration of preceding work from the Consulting Geologist (Gold Coast Geoservices, Inc) which had previously identified an ancient landslide on the western portion of the project site and collocating the proposed building site along the site of the historic jeep trail in a relatively flat area that is able to achieve the appropriate safety factors. The proposed building site is 9,902 sq. ft. and is below the maximum allowed by 8178-2.6.2 (a). The proposed project, as conditioned, will comply with established building and fire codes, and the recommendations included in the Geotechnical Report (Gold Coast Geoservices, Inc., April 2022) and Hydrology & Hydraulics Report (Chirs Nelson & Associates, Inc., July 2022), (Exhibit 5). The 100-foot fuel modification zone for the proposed project falls wholly within the subject lot and will not encroach wet environments or within a riparian habitat and will not overlap onto any public park land. Therefore, a reduction in the 10,000 square foot building site is not warranted.

Response 2.9

The Commenter states the Ventura County LCP requires the number, width, and length of access roads and driveways shall be limited to the minimum necessary to establish access. Additionally, no more than one driveway is allowed. The site plan previously indicated two driveway access roads leading to the proposed dwelling. The northerly meets the turning radius for a VCFPD fire truck; therefore, the southerly access driveway has been eliminated from the plans. The VCFPD has conditioned the project to require the onsite access road/driveway to be a minimum 15 feet wide due to the project being located in a Hazardous Fire Area and Wildland Urban Interface Area. All grass and brush is required to be removed a distance of 10 feet on each side of all access road(s)/driveway(s) within the project (Exhibit 5, Condition Nos. 51 and 57). The unimproved access road within the subject property and extending south across APNs 700-0-060-090; -080; -070 and -060 will be improved pursuant to VCFPD development standards for access including the required three turnouts. Upgrades to this access road

will improve fire safety and evacuation. All previously existing unimproved access roads located on the project site would be restored and included in the conservation instrument that will restrict development in areas outside the designated development envelope.

Siting and Design

Response 2.10

The Commenter states Mitigation Measure BIO-6 notes invasive plant species shall not be included in any erosion control seed mixes and landscaping plans and requests BIO-6 be amended to restrict only indigenous, native plant species. The Commenter notes this requirement should also apply to the fuel modification zone which is referenced in Mitigation Measure BIO-9. Mitigation Measures BIO-6 and BIO-9 have been revised to require the Applicant to only use native plant species indigenous to Ventura County as recommended by a qualified biologist in accordance with an approved Fuel Modification Plan. Note, Ventura County CZO Article 2 defines native vegetation to include vegetation that is indigenous to Ventura County.

Response 2.11

The Commenter recommends [Condition No. 22] be amended to specify earth tone colors to include brown, green and gray, with no white, or light shades. Additionally, a condition of approval should also include a requirement for bird-safe treatments (e.g., tempered glass windows), ember resistant building materials, closed eaves, roof sprinkler system, and fireproof vents. Condition No. 22 has been amended to include bird-safe treatments, however limiting colors to green, brown and gray was not incorporated. The Ventura County LCP does not have a scale of approved colors incorporated by reference in the LCP and therefore cannot prohibit white or lighter shades. Note, light colors can provide accents to trim and other exterior features when used in moderation and when blended with natural materials. With reference to fire resistant building materials, the project site would be subject to the Ventura County Building Code Chapter 7a, Construction in Fire Zones. The purpose of this Chapter is to establish minimum standards for the protection of buildings and structures erected in any Hazardous Fire Areas. The VCFPD will review the project for compliance with Chapter 7a and require ignition resistant materials (i.e., galvanized openings, boxed eaves, use of stucco) be incorporated into the single-family dwelling. Compliance with the Ventura County Building Code is a ministerial action and incorporation of these building techniques is not required to be analyzed in the MND.

Response 2.12

The Commenter recommends Mitigation Measure BIO-10 be amended to allow only wildlife permeable fencing within the development envelope and a graphic depicting the development envelope be included in the MND. Mitigation Measure BIO-10 has been amended to limit wildlife permeable fencing to the limits of the development envelope. If the Applicant proposes fencing, BIO-10 requires the Applicant to submit plans showing

the fence location, materials, and elevations of the fence. Pursuant to Mitigation Measure BIO-7 and Condition of Approval No. 10, the Applicant will be required to permanently protect onsite ESHA through a conservation easement or deed restriction and record a Notice of Land Use Entitlement (NLUE). The legal description and graphic exhibit depicting onsite ESHA and excluding the development envelope will be recorded with the NLUE. The boundary of the development envelope is surveyed and indicated in the deed restriction recorded with the NLUE. If a fence is proposed, the location of the fence could be accurately located within the designated development envelope.

On Site Open Space Requirements

Response 2.13

The Commenter states the Ventura County LCP requires all onsite ESHA be permanently maintained in its natural state only through a conservation easement or conservation instrument (deed restriction), and not another type of recorded document. The Commenter recommends BIO-7 be modified to reflect that only an easement or deed restriction are allowed pursuant to the LCP. Additionally, the MND should describe the area that would be covered by the subject restriction. Mitigation Measure BIO -7 defines “Conservation Instrument” to include deed restriction, conservation easement and/or equivalent legal instrument permanently protecting the off-site and/or on-site land. The ISBA (Magney, 2022), Figure 12 shows the project impacts to natural vegetation. A legal description and graphic exhibit depicting onsite ESHA and excluding the development envelope will be recorded with the NLUE.

Closing Paragraph

Response 2.14

The Commenter states it is unclear in the MND which mitigation measures would be included as conditions and if these are the only conditions that would be required for the project. The California Environmental Quality Act (CEQA) requires public lead agencies to impose feasible mitigation measures as part of the approval of a “project” in order to substantially lessen or avoid the significant adverse effects of the project on the physical environment. California Code of Regulations, Title 14 (“CEQA Guidelines”), Section 15370 defines “mitigation” as:

- Avoiding the impact altogether,
- Minimizing the impact by limiting its degree or magnitude,
- Rectifying the impact by repairing, rehabilitating, or restoring the impacted environmental resource,
- Reducing or eliminating the impact over time, through actions that preserve or maintain the resource, and

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- Compensating for the impact by replacing or providing substitute resources or environmental conditions, including through permanent protection of such resources in the form of conservation easements.

The conditions of approval included in a permit enforce existing State and local regulations and are typically not included in an environmental document.

The staff report (Exhibit 5) includes all permit conditions and Mitigation Measures BIO-1 through BIO-11 (Condition Nos. 24 through 34).



State of California – Natural Resources Agency
 DEPARTMENT OF FISH AND WILDLIFE
 South Coast Region
 3883 Ruffin Rd
 San Diego, CA 92107
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GAVIN NEWSOM, Governor
CHARLTON H. BONHAM, Director



Comment Letter 1

September 13, 2023

John Oquendo
 Senior Planner
 Ventura County Resource Management Agency, Planning Division
 800 South Victoria Avenue
 Ventura, CA 93009
John.Oquendo@ventura.org

Subject: Coastal Planned Development (PD); Permit Case No. PL22-0082 (Project); Mitigated Negative Declaration (MND); SCH #2023080411

Dear John Oquendo:

The California Department of Fish and Wildlife (CDFW) has reviewed the above-referenced MND for the Project pursuant the California Environmental Quality Act (CEQA) and CEQA Guidelines.¹

Thank you for the opportunity to provide comments and recommendations regarding those activities involved in the Project that may affect California fish and wildlife. Likewise, CDFW appreciates the opportunity to provide comments regarding those aspects of the Project that CDFW, by law, may be required to carry out or approve through the exercise of its own regulatory authority under the Fish and Game Code.

CDFW ROLE

CDFW is California's **Trustee Agency** for fish and wildlife resources and holds those resources in trust by statute for all the people of the State. (Fish & G. Code, §§ 711.7, subd. (a) & 1802; Pub. Resources Code, § 21070; CEQA Guidelines § 15386, subd. (a).) CDFW, in its trustee capacity, has jurisdiction over the conservation, protection, and management of fish, wildlife, native plants, and habitat necessary for biologically sustainable populations of those species (*Id.*, § 1802.). Similarly, for purposes of CEQA, CDFW is charged by law to provide, as available, biological expertise during public agency environmental review efforts, focusing specifically on projects and related activities that have the potential to adversely affect fish and wildlife resources.

CDFW is also submitting comments as a **Responsible Agency** under CEQA. (Pub. Resources Code, § 21069; CEQA Guidelines, § 15381.) CDFW expects that it may need to exercise regulatory authority as provided by the Fish and Game Code. As proposed, for example, the Project may be subject to CDFW's lake and streambed alteration regulatory authority. (Fish & G. Code, § 1600 et seq.) Likewise, to the extent implementation of the Project as proposed may result in "take" as defined by State law of any species protected under the California Endangered Species Act (CESA) (Fish & G. Code, § 2050 et seq.), the project proponent may seek related take authorization as provided by the Fish and Game Code.

PROJECT DESCRIPTION SUMMARY

Proponent: Ventura County

Objective: The objective of the Project is to construct a 4,880-square-foot (sq. ft.), one-story single-family home with an attached 1,046-sq.-ft. garage, and a 452-sq.ft. covered patio and swimming pool area. Brush will be cleared in a 100-foot buffer zone around the residence, in an area totaling 67,808 sq. ft. An area of approximately 52,707 sq. ft is proposed to be graded for the residence and driveway, including new widened turnout

¹ CEQA is codified in the California Public Resources Code in section 21000 et seq. The "CEQA Guidelines" are found in Title 14 of the California Code of Regulations, commencing with section 15000.

John Oquendo, Senior Planner
 Ventura County Resource Management Agency, Planning Division
 September 13, 2023
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areas along the existing access road. Two 5,000-gallon water tanks are proposed to provide water access to the residence.

Location: The Project site is located within the Santa Monica Mountains, in an unincorporated area of Ventura County. The site is four parcels north of 10715 Yerba Buena Road and is surrounded by rural and open space.

Biological Setting: Parts of the Project site were graded in the 1980s for construction pads and a road. The Woolsey Fire of 2018 burned the entire Project parcel and the land surrounding the access road. No new structure building or grading has occurred since the fire.

The existing habitats and land cover on site are described in the Biological Assessment as follows: *Adenostoma fasciculatum* Shrubland Alliance, *Artemisia californica*- *Salvia* Shrubland Alliance, *Heteromeles arbutifolia* Shrubland Alliance, *Malacothamnus fasciculatus* Shrubland Alliance, *Malosma laurina* Shrubland Alliance, *Opuntia oricola* Shrubland Alliance), ornamental landscaping, ruderal, and road. The project will permanently remove approximately 2.795 acres of sensitive habitat. Additionally, 0.25 acre was previously cleared and graded, for a total of 3.045 acres that will be mitigated at a 2:1 ratio (6.09 acres). Restoration of 0.25 acres will occur on site, and the remaining 5.84 acres are planned to be mitigated through the acquisition of offsite parcels to be dedicated to Mountains Recreation and Conservation Authority (MRCA).

Sensitive plant species on site include Catalina mariposa lily (*Calochortus catalinae*; California Rare Plant Rank (CRPR) 4.2), Plummer's mariposa lily (*Calochortus plummerae*; CRPR 4.2), and western dichondra (*Dichondra occidentalis*; CRPR 4.2). Seed/bulb salvage and relocation is planned for sensitive plants that cannot be avoided.

Sensitive wildlife species likely to occur on site include: San Diego desert woodrat (*Neotoma lepida intermedia*; CDFW Species of Special Concern (SSC)), coast horned lizard (*Phrynosoma blainvillii*; SSC), and Southern California rufous crowned sparrow (*Aimophila ruficeps canescens*; CDFW Watch List). Woodrat middens were observed on site prior to the 2018 fire but were burned and no new middens have been detected thus far.

COMMENTS AND RECOMMENDATIONS

CDFW offers the comments and recommendations below to assist Ventura County in adequately identifying and/or mitigating the Project's significant, or potentially significant, direct and indirect impacts on fish and wildlife (biological) resources.

COMMENT #1: Mitigation Measures

Issue: The MND does not describe plans for mitigation in sufficient detail, and CDFW is not included in future reviews of mitigation and restoration plans.

Specific impact: Several Mitigation Measures (MM) state that plans for mitigation will be made, but do not provide adequate details on such plans. For example, MM BIO-1 does not provide a Rare Plant Mitigation Plan (RPMP), although it does state that one will be created. Similarly, MM BIO-9 states that a Fuel Modification Plan will be prepared but does not provide the plan for review. MM BIO-10 states that plans for fencing will be submitted to the Ventura County Planning Division for review and approval but does not provide the plans for public review. Furthermore, CDFW is not designated as an entity to review and approve any of these plans prior to implementation.

Why impact would occur: CEQA Guidelines section 15126.4 states that mitigation cannot be deferred and must have a nexus to and be roughly proportional to the impacts. Without a comprehensive plan for compensatory mitigation available during the MND's public review period, CDFW cannot ascertain as to whether this mitigation is roughly proportional to the biological impacts it is intended to reduce.

John Oquendo, Senior Planner
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Comment
1.1
Continued

Recommended Potentially Feasible Mitigation Measure(s) (Regarding Mitigation Measure or Alternative and Related Impact Shortcoming)

Recommendation #1:

To minimize significant impacts: The MND should include detailed plans that address all impacts to biological resources. These plans (e.g., RPMP, Fuel Modification, and Fencing Plans) should be provided for public review. If this is not feasible, the MND should state that all plans for mitigation and restoration shall be reviewed and approved by CDFW as well as the United States Fish and Wildlife Service prior to implementation.

Comment
1.2

COMMENT #2: In-Perpetuity Protection of Compensatory Mitigation Lands

Issue: The MND does not provide sufficient detail on the long-term preservation of land to be used for compensatory mitigation.

Specific impact: It is unclear whether all land to be used as compensatory mitigation, whether on or off site, will be protected and managed in perpetuity with a legal protection such as a conservation easement (CE). MM BIO-1 states that land used for translocating rare plants will be protected by a CE or other instrument such as a deed restriction, but no specific parcel of land is designated for this purpose. MM BIO-8 describes a location and endowment for 5.84 acres of mitigation land, but does not provide information on a CE or deed restriction.

Why impact would occur: If land is to be used as compensatory mitigation for habitat and rare plant loss, it must be conserved in perpetuity. Without more information on compensatory mitigation locations and legal protections, CDFW cannot determine whether these measures bring impacts to habitats and plant species to below significant.

Recommended Potentially Feasible Mitigation Measure(s) (Regarding Mitigation Measure or Alternative and Related Impact Shortcoming)

Recommendation #2:

To minimize significant impacts: All land to be used as mitigation must be protected in perpetuity, both physically and financially (e.g., a non-wasting endowment). CDFW strongly recommends that this land specifically be protected by CEs. The MND should provide detailed information on compensatory mitigation locations, protection, and other factors such as third-party beneficiaries for all mitigation areas, both on and off site. Again, if this information is not available at the time the MND is adopted, CDFW requests that we have the opportunity to review and approve the compensatory mitigation plans prior to implementation of the Project.

Comment
1.3

COMMENT #3: Impacts to Nesting Birds

Issue: The MND does not address impacts to nesting birds.

Specific impact: The MND does not include a MM for impacts to nesting birds, although one is recommended in the Biological Assessment.

Why impact would occur: Per the Biological Assessment, suitable habitat for nesting birds protected under the Migratory Bird Treaty Act is located within the Project site. In addition to direct removal of habitat, construction noise, vibration, dust, or human disturbance could result in temporary or long-term disturbance of nesting birds on the Project site.

Recommended Potentially Feasible Mitigation Measure(s) (Regarding Mitigation Measure or Alternative and Related Impact Shortcoming)

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Mitigation Measure #1

To minimize significant impacts: The MM provided in the Biological Assessment shall be included in the MND, and shall be modified as follows: (suggestions in ~~strikethrough~~ and **bold**):

Mitigation Action: Avoid violating the Migratory Bird Treaty Act or California Fish and Game Code §3503.

Supplemental Surveys. A qualified biologist shall survey the construction site prior to nesting season to identify any nests of birds that would be directly or indirectly affected by the construction activities. If nests were found prior to nesting season within 300 feet of the construction footprint, including the driveway/access road, then an additional survey ~~two weeks~~ **within three days** prior to initiation of site disturbance would be required to further identify any nests that would be directly or indirectly affected by the construction activities. Bird nesting typically occurs from February through August. Some bird species nest outside this period.

Active Nests. To protect any active nest sites, the following restrictions on construction are required between February and August (or until nests are no longer active as determined by a qualified biologist). **A qualified biologist shall conduct a nesting bird survey within three days prior to initiation of any site disturbance.** Clearing limits shall be established a minimum of 300 feet in any direction from any occupied nest (or as otherwise deemed appropriate by the monitoring biologist). Access and land surveying shall not be allowed within 100 feet of any occupied nest (or as otherwise deemed appropriate by the monitoring wildlife biologist). Onsite nests shall be avoided until vacated. Any encroachment into the 300/100-foot-buffer area around the known nest shall only be allowed if it is determined by a qualified wildlife biologist that the proposed activity would not disturb the nest occupants. Construction during the non-nesting season shall occur at the sites only if a qualified wildlife biologist has determined that fledglings have left the nest. Occupied nests adjacent to the construction site(s) may need to be avoided for short durations to ensure nesting success. Any nest permanently vacated for the season need not be protected.

COMMENT #4: Sensitive Plant Mitigation

Issue: The plan provided for Catalina and Plummer's mariposa lily seed/bulb salvage may not result in appropriate mitigation for loss of these plants. No mitigation is proposed for loss of western dichondra as a result of the Project.

Specific impact: MM BIO-1 states that a RPMP will be prepared, which will describe methods of translocating Catalina and Plummer's mariposa lily seeds and bulbs that will be impacted by Project activities. Figure 13 in the Biological Assessment shows a proposed mitigation site for planting these species. MM BIO-1 states that the RPMP shall require that monitoring be conducted for five years or until the success criteria and performance standards are met, whichever occurs sooner. CDFW is aware of numerous mariposa lily transplantation efforts over the past 15 years and has not received demonstrated success of this methodology.

Why impact would occur: Transplanting mariposa lily bulbs has a high failure rate and is unlikely to result in successful plant growth long-term. Disturbing soil near existing mariposa lilies to plant more individuals can overburden the soil and encourage wildlife such as rats to find and consume the bulbs. Short term monitoring of bulbs does not truly represent long-term outcome of the plant due to nutrients stored in the bulb.

Recommended Potentially Feasible Mitigation Measure(s) (Regarding Mitigation Measure or Alternative and Related Impact Shortcoming)

Comment
1.3
Continued

Comment
1.4

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Recommendation #3:

To minimize significant impacts: CDFW recommends avoidance and minimization of impacts to sensitive plants on site, and strongly recommends against transplantation as a mitigation method for mariposa lilies. If Ventura County chooses to move forward with seed/bulb salvage, any replanting effort should be moved away from areas with existing mariposa lilies to preserve remaining plants. If bulbs are planted, monitoring should be conducted for a minimum of 10 years and should show a steady or positive trend. Any RPMP developed should describe, in detail, a contingency plan in the likely event that the transplanting effort is unsuccessful, and the pursuit of a contingency should be added to mitigation measure MM BIO-1. Additionally, the RPMP should include plans for mitigation for western dichondra. Mitigation for this species should also be incorporated into a mitigation measure in the MND.

ENVIRONMENTAL DATA

CEQA requires that information developed in environmental impact reports and negative declarations be incorporated into a database which may be used to make subsequent or supplemental environmental determinations. (Pub. Resources Code, § 21003, subd. (e).) Accordingly, please report any special status species and natural communities detected during Project surveys to the California Natural Diversity Database (CNDDDB). The CNDDDB field survey form can be found at the following link: http://www.dfg.ca.gov/biogeodata/cnddb/pdfs/CNDDDB_FieldSurveyForm.pdf. The completed form can be mailed electronically to CNDDDB at the following email address: CNDDDB@wildlife.ca.gov. The types of information reported to CNDDDB can be found at the following link: http://www.dfg.ca.gov/biogeodata/cnddb/plants_and_animals.asp.

FILING FEES

The Project, as proposed, would have an impact on fish and/or wildlife, and assessment of filing fees is necessary. Fees are payable upon filing of the Notice of Determination by the Lead Agency and serve to help defray the cost of environmental review by CDFW. Payment of the fee is required in order for the underlying project approval to be operative, vested, and final. (Cal. Code Regs, tit. 14, § 753.5; Fish & G. Code, § 711.4; Pub. Resources Code, § 21089.)

CONCLUSION

CDFW appreciates the opportunity to comment on the MND to assist to assist Ventura County in identifying and mitigating Project impacts on biological resources.

Questions regarding this letter or further coordination should be directed to Brigid Moran at Brigid.Moran@wildlife.ca.gov.

Sincerely,

DocuSigned by:

Jennifer Turner

C3D449ECB7C14DE...

Jennifer Turner, acting for:
David A. Mayer
Environmental Program Manager
South Coast Region

ec: Jennifer Turner, CDFW – Jennifer.Turner@wildlife.ca.gov
Cindy Hailey, CDFW – Cindy.Hailey@wildlife.ca.gov
State Clearinghouse, Sacramento – State.Clearinghouse@opr.ca.gov
Jonathan Snyder, USFWS – Jonathan_d_Snyder@fws.gov

Comment
1.4

John Oquendo, Senior Planner
Ventura County Resource Management Agency, Planning Division
September 13, 2023
Page 6 of 8

REFERENCES

California Environmental Quality Act (CEQA). California Public Resources Code in section 21000 et seq. The "CEQA Guidelines" are found in Title 14 of the California Code of Regulations, commencing with section 15000.

California Office of Planning and Research. 2009 or current version. CEQA: California Environmental Quality Act. Statutes and Guidelines, § 21081.6 and CEQA Guidelines, § 15097, §15126.4(2).

John Oquendo, Senior Planner
 Ventura County Resource Management Agency, Planning Division
 September 13, 2023
 Page 7 of 8

ATTACHMENT A: Draft Mitigation Monitoring and Reporting Program (MMRP)

CDFW provides the following language to be incorporated into the MMRP for the Project.

Biological Resources (BIO)		
Mitigation Measure (MM) or Recommendation (REC) Description	Implementation Schedule	Responsible Party
<p>REC-1: Mitigation Measures: The MND should include detailed plans that address all impacts to biological resources. These plans (e.g. RPMP, Fuel Modification, and Fencing Plans) should be provided for public review. If this is not feasible, the MND should state that all plans for mitigation and restoration shall be reviewed and approved by CDFW as well as the US Fish and Wildlife Service prior to implementation.</p>	Prior to Project activities	Ventura County
<p>REC-2: In-Perpetuity Protection of Compensatory Mitigation Lands: All land to be used as mitigation must be protected in perpetuity, both physically and financially. CDFW strongly recommends that this land specifically be protected by CEs. The MND should provide detailed information on compensatory mitigation locations, protection, and other factors such as third-party beneficiaries for all mitigation areas, both on and off site.</p>	Prior to Project activities	Ventura County
<p>MM-1: Impacts to Nesting Birds: <i>The MM provided in the Biological Assessment shall be included in the MND, and shall be modified as follows: (suggestions in strikethrough and bold):</i></p> <p><u><i>Mitigation Action:</i></u> <i>Avoid violating the Migratory Bird Treaty Act or California Fish and Game Code §3503.</i></p> <p><u><i>Supplemental Surveys.</i></u> <i>A qualified biologist shall survey the construction site prior to nesting season to identify any nests of birds that would be directly or indirectly affected by the construction activities. If nests were found prior to nesting season within 300 feet of the construction footprint, including the driveway/access road, then an additional survey two weeks within three days prior to initiation of site disturbance would be required to further identify any nests that would be directly or indirectly affected by the construction activities. Bird nesting typically occurs from February through August. Some bird species nest outside this period.</i></p> <p><u><i>Active Nests.</i></u> <i>To protect any active nest sites, the following restrictions on construction are required between February and August (or until nests are no longer active as determined by a qualified biologist). A qualified biologist shall conduct a nesting bird survey within three days prior to initiation of any site disturbance. Clearing limits shall be established a minimum of 300 feet in any direction from any occupied nest (or as otherwise deemed appropriate by the monitoring biologist). Access and land surveying shall not be allowed within 100 feet of any occupied nest (or as otherwise deemed appropriate by the monitoring wildlife biologist). Onsite nests shall be avoided until vacated. Any encroachment into the 300/100-foot-buffer area around the known nest shall only be allowed if it is determined by a qualified wildlife biologist that the proposed activity would</i></p>	Prior to and during Project activities	Ventura County

John Oquendo, Senior Planner
 Ventura County Resource Management Agency, Planning Division
 September 13, 2023
 Page 8 of 8

<p><i>not disturb the nest occupants. Construction during the non-nesting season shall occur at the sites only if a qualified wildlife biologist has determined that fledglings have left the nest. Occupied nests adjacent to the construction site(s) may need to be avoided for short durations to ensure nesting success. Any nest permanently vacated for the season need not be protected.</i></p>		
<p>REC-3: Sensitive Plant Mitigation: CDFW recommends avoidance and minimization of impacts to sensitive plants on site. CDFW does not recommend transplantation as a mitigation method for mariposa lilies. If Ventura County chooses to go ahead with seed/bulb salvage, any replanting effort should be moved away from areas with existing mariposa lilies to preserve remaining plants. If bulbs are planted, monitoring should be conducted for a minimum of 10 years and should show a steady or positive trend. Additionally, the RPMP should include plans for mitigation for western dichondra.</p>	<p>Prior to, during, and after Project activities</p>	<p>Ventura County</p>

CALIFORNIA COASTAL COMMISSION

SOUTH CENTRAL COAST DISTRICT OFFICE
 89 SOUTH CALIFORNIA STREET, SUITE 200
 VENTURA, CA 93001-2801
 VOICE (805) 585-1800
 FAX (805) 641-1732



Letter 2

September 15, 2023

John Oquendo, Case Planner
 County of Ventura Resource Management Agency
 Planning Division
 800 S. Victoria Ave. L#1740
 Ventura, CA 93009

Subject: Mitigated Negative Declaration for Weisberg Planned Development Permit (PL22-0082)

Dear Mr. Oquendo:

Commission staff has reviewed the Mitigated Negative Declaration (MND) for the subject project and have several comments for your consideration. The project site is located within the Santa Monica Mountains area and includes construction of a 4,880 square foot single-family residence, 1,046 square foot garage, associated development, and mitigation for unpermitted and proposed impacts to environmentally sensitive habitat area (ESHA).

**Comments
2.1 and 2.2**

- ***Environmental Review:***

The LCP requires that an application for development that may result in adverse impacts to ESHA include a site-specific environmental assessment (CISBA). The MND should include an analysis which describes if the CISBA submitted by the applicant meets the requirements of the LCP, including all requirements in the CZO appendices. Additionally, it appears that there is a wet environment located on the subject property, and as such the MND should include a more detailed description of this area and an analysis of potential impacts that could result from the subject development.

**Comment
2.3**

- ***ESHA Determination:***

The MND indicates that the subject property contains ESHA, and that ESHA has been removed without the benefit of a permit. Based on the information contained within the MND, it is unclear which portions of the subject property contain habitat that meets the definition of ESHA, including those where ESHA was removed without the benefit of a permit (and must continue to be designated as ESHA, pursuant to the LCP). The MND should include a more detailed analysis and graphic depiction that describes which areas constitute ESHA on the subject site.

Furthermore, the LCP requires that the Planning Staff Biologist, County's designated biological consultant, or Coastal Commission on appeal shall

**Comment
2.3**

determine if the content and conclusions of the CISBA and the graphic depiction of habitats on the site-specific ESHA map were completed pursuant to the policies and standards of the LCP. Based on the information within the MND, it is unclear if this determination has been made.

**Comment
2.4**

- **Unpermitted Development:**
The MND indicates that 10,890 sq. ft. (0.25 acres) of ESHA was cleared without the benefit of a permit, and a mitigation ratio of 2:1 is required. It is unclear how the proposed mitigation is consistent with the requirements of the LCP. The MND should also contain a description and graphic depiction of the 0.25 acre area of vegetation removal. Furthermore, the MND should describe the amount of unpermitted grading that has occurred on the subject site, as well as an analysis that examines the need for restorative grading. Mitigation measures and condition(s) should be required to ensure that the appropriate ESHA mitigation plan is prepared by the applicant.

**Comment
2.5 and 2.6**

- **Least Environmentally Damaging Alternative:**
The LCP requires a written and graphic description as well as a tabular summary with comparative data of two or more project design alternatives to minimize impacts to ESHA. It appears that the proposed development is located on the portion of the property where illegal grading and vegetation removal has occurred, and the MND does not contain an analysis of alternative building sites. As such, it is unclear if the proposed development constitutes the least environmentally damaging alternative.

Furthermore, clustering development is required by the LCP in order to minimize adverse impacts to ESHA. This includes both clustering with adjacent development, as well as all development on a site. The MND should contain an analysis describing if the proposed development is clustered to the maximum extent feasible. Project alternatives, including a reduced sized garage that maintains the approximately square shape of the development, should be analyzed.

**Comment
2.7**

- **Buildable Lot:**
The subject parcel is 5-acres and has a land use designation of Open Space and a zoning designation of Coastal Open Space, 10-acre minimum lot size. Pursuant to the LCP, the County may allow development in ESHA in order to provide an economically beneficial use of the applicant's property, but only if the project site meets the "buildable lot" standards of the LCP. The MND does not contain information to determine if the subject property is considered a "buildable lot". This analysis, including a determination of lot legality, should be addressed within the MND.

**Comment
2.8 and 2.9**

- **Allowable Building Site and Access:**
As described in the LCP, if development is allowed within ESHA, then a maximum allowable building site must be determined. The MND should include a

**Comment 2.8
and 2.9
Continued**

description of how the maximum allowable building site was determined and should include a graphic depicting the development within this area.

Additionally, the site plan included within the MND depicts many improvements along the approximately 1,700-foot-long access road, driveway on the project site that loops creating an “o” shape, as well as a fire department turnaround. The LCP requires that the number, width, and length of access roads and driveways shall be limited to the minimum necessary to establish access. Additionally, no more than one driveway is allowed, and grading and landform alteration must be minimized. The MND should include a more detailed description of the need for the proposed grading and access road and driveway improvements and should clarify if fuel modification is required for these areas.

**Comment
2.10**

- ***Siting and Design:*** BIO-6 is included within the MND and requires that invasive species are not included within the erosion control seed mix or landscape plan for the subject development. However, in order to ensure consistency with the LCP, this mitigation measure should be modified to require that landscaping within the fuel modification zone consist only of locally indigenous, native plant species as recommended by a qualified biologist and be in accordance with an approved Fuel Modification Plan or ESHA Vegetation Management Plan.

**Comment
2.11**

The MND indicates that a condition for materials and colors will be required as part of the PD permit. In order to ensure consistency with the LCP, Commission staff recommend that language is added to this condition to specify that earth tones include shades of brown, green, and gray, with no white, or light shades.

Bird-safe treatments are required on all new structures pursuant to the LCP. As such, the MND should include a description of the bird-safe treatments that are included within the subject development, and their application should be required through a condition on the subject PD permit.

The LCP requires that fire safe site design and building techniques, such as ember resistant building materials, closed eaves, roof sprinkler system, fireproof vents, and insulated temper glassed windows are utilized in all development. The MND should include an analysis describing if these techniques would be included as a part of the subject development.

**Comment
2.12**

BIO-10 requires that all new fences or walls, except for those within 100 feet of structures and retaining walls, are permeable to wildlife. Fencing throughout the project site is not allowed by the LCP. As such, this mitigation measure should be updated to only allow wildlife permeable fencing within the designated development envelope and a graphic depicting the development envelope should be included within the MND.

**Comment
2.13**

- ***On-Site Open Space Requirements:***
Mitigation Measure BIO-7 requires that all on-site ESHA is permanently protected through a County-approved conservation easement, deed restriction or other recorded legal instrument. However, the LCP requires that all on-site ESHA is permanently maintained in its natural state only through a conservation easement or conservation instrument (deed restriction), and not another type of recorded document. This mitigation measure should be modified to reflect that only an easement or deed restriction are allowed pursuant to the LCP. Additionally, the MND should describe the area that would be covered by the subject restriction.

**Comm
2.14**

The Coastal Act and LCP require that ESHA and other coastal resources be protected and enhanced to the maximum extent feasible. With regard to the subject property, despite the proposed mitigation measures, the subject development appears to be inconsistent with the policies of the certified LCP. In order to fully address these impacts, additional siting and design alternatives should be evaluated. Staff would also note that it is unclear in the MND which mitigation measures would be included as conditions, and although additional conditions are cited, it is also unclear if those are the only conditions that would be required for the subject project, or if there are additional conditions that would be required that have not been identified within the MND.

Thank you for your consideration of our comments. Please feel free to contact me if you have questions.

Sincerely,



Jacqueline Phelps
District Supervisor



MITIGATED NEGATIVE DECLARATION

A. PROJECT DESCRIPTION:

Entitlement: Coastal Planned Development Permit Case No. PL22-0082

Applicant: Michael Weisberg, LEND TO AMERICA 401 K PLAN

Location: The 5-acre property/project site is located 1,240 feet northwest of 10715 Yerba Buena Road, 1.15 miles northwest the intersection of Yerba Buena Road, in the community of Malibu, in the unincorporated area of Ventura County.

Assessor's Parcel No.: 700-0-060-100

Parcel Size: 5 Acres

General Plan Designation: Open Space

Zoning Designation: COS-10 ac-sdf/M, Coastal Open Space – 10 Acre Minimum Lot Size, Slope Density Formula, Santa Monica Mountains Overlay

Responsible and/or Trustee Agencies: California Department of Fish and Wildlife

Project Description: The Applicant requests a Coastal Planned Development (PD) Permit to construct a 4,880 square feet (sq. ft.) one-story single-family dwelling with an attached 1,046 sq. ft. four car garage, a 452 sq. ft. covered patio and swimming pool with barbeque area on the northeast portion of the proposed building pad. The roof of the single-family dwelling will contain solar panels, which will provide electricity to the project site, and a 500-gallon propane tank for heating. Access to the site is provided by way of Yerba Buena Road using an existing unimproved 20-foot wide by 1,700-foot-long private driveway that will be upgraded per Ventura County Fire Protection District standards for access. Estimated earthwork includes 4,308 cubic yards cut and 2,835 of cubic yards fill and 1,473 cubic yards of export. Grading will consist of 2:1 cut and fill slopes and a building pad with a 2-5% gradient.

Water service will be provided by an existing permitted private water well (01S20W22F02S). Two proposed 4,995-gallon galvanized steel water tanks will provide water storage for domestic and firefighting purposes. An onsite wastewater treatment system (OWTS) that includes two seepage pits, approximately 5 feet

wide by 50 feet deep, a septic tank, and a treatment system tank would be constructed adjacent to and west of the single-family dwelling.

The proposed project will permanently remove approximately 121,314 sq. ft. (2.785 acres) of Environmentally Sensitive Habitat Areas (ESHA) related to the construction of the access road, the home, and the required 100-foot fuel modification zone. Additionally, 13,590 sq. ft. (0.312 acres) of ESHA was cleared without the benefit of a permit (10,890 sq. ft. for the unpermitted clearance of the western portion of the lot, 1,829 sq. ft. (0.042 acres) ruderal vegetation disturbance were identified on the subject, and 871 sq. ft (0.02 acre related to a driveway) for a total of 3.097 acres of ESHA that will require mitigation at a 2:1 ratio (6.19 acres). Restoration of 0.25 acres will occur onsite, the remaining 5.84 acres will be mitigated through the acquisition of offsite parcels to be dedicated to Mountains Recreation and Conservation Authority (MRCA).

B. STATEMENT OF ENVIRONMENTAL FINDINGS:

State law requires the Resource Management Agency, Planning Division, as the lead agency for the proposed project, to prepare an Initial Study (environmental analysis) to determine if the proposed project could significantly affect the environment. Based on the findings contained in the attached Initial Study, it has been determined that the proposed project may have a significant effect on the environment; however, mitigation measures are available that would reduce the impacts to less than significant levels. Therefore, a Mitigated Negative Declaration has been prepared and the applicant has agreed to implement the mitigation measures.

C. LISTING OF POTENTIALLY SIGNIFICANT ENVIRONMENTAL IMPACTS IDENTIFIED:

The Section B of the Ventura County Initial Study for Coastal Planned Development Permit Case No. PL 22-0082 identified the following impacts:

- 4-A Impacts to Species
- A-D Impacts to Ecological Communities – ESHA
- 4-E Impacts to Habitat Connectivity

The following Mitigation Measures are proposed: Mitigation Measure BIO-1 (Preconstruction Survey, Seed/Bulb Salvage, and Relocation of Special Status Plans), Mitigation Measure BIO-2 (Protection of Special-Status Plan Species within Fuel Modification Zones), Mitigation Measure BIO-3 (Pre-Construction Surveys and Relocation of Special-Status Wildlife), Mitigation Measure BIO-4 (Woodrat Nest Avoidance and Relocation), Mitigation Measure BIO-5 (Environmentally Sensitive Habitat Areas (ESHA) Construction Exclusion Fencing), Mitigation Measure BIO-6 (Invasive Species Seeding and Landscaping),

Mitigation Measure BIO-7 (Coastal Area Plan - Permanent Preservation of Environmentally Sensitive Habitat Area (ESHA) in the M Overlay Zone), Mitigation Measure BIO-8 (Compensatory Mitigation for Loss of ESHA), Mitigation Measure BIO-9 (Fuel Modification Plan), Mitigation Measure BIO-10 (Fencing Adjacent to Wildlife Corridors), Mitigation Measure BIO-11 (Wildlife Habitat Outdoor Lighting/Glare Condition)

D. PUBLIC REVIEW:

Legal Notice Method: Direct mailing to property owners within 300 feet and residents within 100 feet of the property on which the proposed project is located, and a legal notice in the Ventura County Star.

Document Posting Period: August 18, 2023 through September 18, 2023

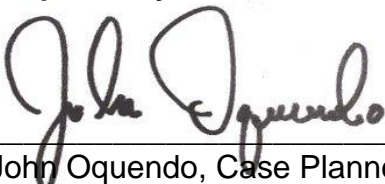
Public Review: The Initial Study/Mitigated Negative Declaration is available for public review online at <https://vcrma.org/divisions/planning> (select "CEQA Environmental Review") or at the County of Ventura, Resource Management Agency, Planning Division, 800 South Victoria Avenue, Ventura, California, from 8:00 am to 5:00 pm, Monday through Friday.

Comments: The public is encouraged to submit written comments regarding this Initial Study/Mitigated Negative Declaration no later than 5:00 p.m. on the last day of the document posting period to John Oquendo, the case planner, at the County of Ventura Resource Management Agency, Planning Division, 800 South Victoria Avenue L#1740, Ventura, CA 93009. You may also e-mail the case planner at John.Oquendo@ventura.org.

E. CONSIDERATION AND APPROVAL OF THE MITIGATED NEGATIVE DECLARATION:

Prior to approving the project, the decision-making body of the Lead Agency must consider this Mitigated Negative Declaration and all comments received on the Mitigated Negative Declaration. That body may approve the Mitigated Negative Declaration if it finds that all the significant effects have been identified and that the proposed mitigation measures will reduce those effects to less than significant levels.

Prepared by:



John Oquendo, Case Planner
(805) 654-3588

Reviewed for Release to the Public by:

Susan Curtis for Jennifer Trunk

Jennifer Trunk, Manager
Residential Permits Section



NOTICE OF AVAILABILITY AND INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

The County of Ventura Resource Management Agency (RMA) Planning Division, as the designated Lead Agency, has reviewed the following project:

1. **Project Case Number:** Coastal Planned Development Case No. PL22-0082
2. **Applicant:** Michael Weisberg
3. **Location:** Located 1,240 feet northwest of 10715 Yerba Buena Road, Malibu
4. **Assessor's Parcel No:** 700-0-060-100
5. **Parcel Size:** 5 Acres
6. **General Plan Designation:** Open Space
7. **Zoning Designation:** COS-10ac-sdf/M, Coastal Open Space, 10-acre minimum lots size – Slope Density Formula, Santa Monica Mountains Overlay
8. **Responsible and/or Trustee Agencies:** California Department of Fish and Wildlife
9. **Project Description:** The Applicant requests a Coastal Planned Development (PD) Permit to construct a 4,880 square feet (sq. ft.) one-story single-family dwelling with an attached 1,046 sq. ft. four car garage, a 452 sq. ft. covered patio and swimming pool with barbeque area on the northeast portion of the proposed building pad. The roof of the single-family dwelling will contain solar panels, which will provide electricity to the project site, and a 500-gallon propane tank for heating. Access to the site is provided by way of Yerba Buena Road using an existing unimproved 20-foot wide by 1,700-foot-long private driveway that will be upgraded per Ventura County Fire Protection District standards for access. Estimated earthwork includes 4,308 cubic yards cut and 2,835 of cubic yards fill and 1,473 cubic yards of export. Grading will consist of 2:1 cut and fill slopes and a building pad with a 2-5% gradient.

Water service will be provided by an existing permitted private water well (01S20W22F02S). Two proposed 4,995-gallon galvanized steel water tanks will provide water storage for domestic and firefighting purposes. An onsite wastewater treatment system (OWTS) that includes two seepage pits, approximately 5 feet wide by 50 feet deep, a septic tank, and a treatment system tank would be constructed adjacent to and west of the single-family dwelling.

The proposed project will permanently remove approximately 121,750.2 sq. ft. (2.795 acres) of Environmentally Sensitive Habitat Areas (ESHA) related to the construction of the access road, the home, and the required 100-foot fuel modification zone. Additionally, 10,890 sq. ft. (0.25 acres) of ESHA was cleared without the benefit of a permit, for a total of 3.045 acres of ESHA that will require mitigation at a 2:1 ratio (6.09 acres). Restoration of 0.25 acres will occur onsite, the remaining 5.84 acres will be mitigated through the acquisition of offsite parcels to be dedicated to Mountains Recreation and Conservation Authority (MRCA).

In accordance with Section 15070 of the California Code of Regulations, the RMA Planning Division determined that this proposed project may have a significant effect on the environment, however mitigation measures are available that would reduce the impacts to less than significant levels. As such, a Mitigated Negative Declaration has been prepared and the applicant has agreed to implement the mitigation measures.

List of Potentially Significant Environmental Impacts Identified:

Ventura County Initial Study Assessment Guidelines Item 4 A. Biological Resources – Species, Item 4 D. Biological Resources – Ecological Communities ESHA, and Item 4 E. Biological Resources – Habitat Connectivity.

The public review period is from August 18, 2023 to September 18, 2023. The Initial Study/Mitigated Negative Declaration is available for public review on-line at www.ventura.org/rma/planning (select “CEQA Environmental Review”) or at the County of Ventura, RMA, Planning Division, 800 South Victoria Avenue, Ventura, California from 8:00 am to 5:00 pm Monday through Friday. The public is encouraged to submit written comments to John Oquendo, no later than 5:00 p.m. on September 18, 2023 to the address listed above. Alternatively, you may e-mail your comments to the case planner at John.Oquendo@ventura.org.

Following the review period, consideration of the project will be given at a Planning Director public hearing to be held **at a date to be determined**.



Jennifer Trunk, Manager
Residential Permit Section Manager

August 17, 2023
Date



County of Ventura Planning Division

800 South Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-2488 • <http://www.ventura.org/rma/planning>

Initial Study for Weisberg Residence (2)

Section A – Project Description

1. **Project Case Number(s):** Coastal Planned Development Case No. PL22-0082
2. **Name of Applicant:** Michael Weisberg
3. **Project Location and Assessor's Parcel Number:** 700-0-060-100
4. **General Plan Land Use Designation and Zoning Designation of the Project Site:**
 - a. **General Plan Land Use Designation:** Open Space
 - b. **Coastal Area Plan Land Use Designation:** Open Space
 - c. **Zoning Designation:** COS-10ac-sdf/M, Coastal Open Space, 10-acre minimum lots size – Slope Density Formula, Santa Monica Mountains Overlay
5. **Description of the Environmental Setting:** The subject property is undeveloped, 5 acres in size, located in the coastal foothills of the Santa Monica Mountains, approximately 1 mile north of the Pacific Ocean, in the unincorporated community of Malibu, Ventura County (Attachment 1). An existing dirt road, along existing easements, passes through the parcel (Attachment 2). The site ranges in elevation from 825 feet to 940 feet above mean sea level (asl). Little Sycamore Canyon and Yerba Buena Creek are approximately 1,730 feet to the east and Clarks Peak (elevation of 1960 feet asl) to the southeast.

On October 15, 1987, the County of Ventura issued a well permit (01S20W22F02S) for the use of a domestic water well. County records indicate that a domestic well (SWN 01S20W22F04S) possibly existed within the parcel boundaries close to previously existing structures in the western portion of the parcel. The well (SWN 01S20W22F04S) does not exist with the Department of Water Resources (DWR) records. The applicant reported that a well search was performed and no well was located.

According to the Initial Study Biological Assessment (Attachment 3) the project site and surrounding areas are characterized by habitats within the Coastal Sage Scrub vegetation alliances. Little Sycamore Canyon and Yerba Buena Creek contain Southern Coast Live Oak Riparian Forest. Plant communities onsite

include native Coastal Sage Scrub, Chaparral, cleared/graded soils, and Ruderal areas.

Unpermitted grading occurred on the parcel between 1981 and 1989 and disturbed approximately 10,890 square feet (.25 acres) of environmentally sensitive habitat.

Yerba Buena Road is approximately 2,080 feet east of the subject site. Vehicular access to the lot is from Yerba Buena Road along existing paved private roads.

6. **Project Description:** The Applicant requests a Coastal Planned Development (PD) Permit to construct a 4,880 square feet (sq. ft.) one-story single-family dwelling with an attached 1,046 sq. ft. four car garage, a 452 sq. ft. covered patio and swimming pool with barbeque area on the northeast portion of the proposed building pad. The roof of the single-family dwelling will contain solar panels, which will provide electricity to the project site, and a 500-gallon propane tank for heating. Access to the site is provided by way of Yerba Buena Road using an existing unimproved 20-foot wide by 1,700-foot-long private driveway that will be upgraded per Ventura County Fire Protection District standards for access. Estimated earthwork includes 4,308 cubic yards cut and 2,835 of cubic yards fill and 1,473 cubic yards of export. Grading will consist of 2:1 cut and fill slopes and a building pad with a 2-5% gradient.

Water service will be provided by an existing permitted private water well (01S20W22F02S). Two proposed 4,995-gallon galvanized steel water tanks will provide water storage for domestic and firefighting purposes. An onsite wastewater treatment system (OWTS) that includes two seepage pits, approximately 5 feet wide by 50 feet deep, a septic tank, and a treatment system tank would be constructed adjacent to and west of the single-family dwelling.

The proposed project will permanently remove approximately 121,750.2 sq. ft. (2.795 acres) of Environmentally Sensitive Habitat Areas (ESHA) related to the construction of the access road, the home, and the required 100-foot fuel modification zone. Additionally, 10,890 sq. ft. (0.25 acres) of ESHA was cleared without the benefit of a permit, for a total of 3.045 acres of ESHA that will require mitigation at a 2:1 ratio (6.09 acres). Restoration of 0.25 acres will occur onsite, the remaining 5.84 acres will be mitigated through the acquisition of offsite parcels to be dedicated to Mountains Recreation and Conservation Authority (MRCA).

7. **List of Responsible and Trustee Agencies:** California Department of Fish and Wildlife
8. **Methodology for Evaluating Cumulative Impacts:** Pursuant to the CEQA Guidelines [§ 15064 (h) (1)], this Initial Study evaluates the cumulative impacts of the project using the list approach, by considering the incremental effects of the proposed project in connection with the effects of past, current, and probable future projects.

For a full list of the past, current, and probable future projects within the unincorporated area of Ventura County that were included in the analysis, please refer to the List and Map of Ventura County Pending and Approved Projects used in the cumulative impacts analysis, included as Attachment 4. Although all of the projects were considered in the analysis of cumulative impacts, the analysis focused on the following within the unincorporated area of Ventura County, due to their proximity to the project site and potential to contribute to environmental impacts to which the proposed Project may also contribute.

Table 1 – Unincorporated Ventura County Pending and Recently Approved Projects Within 5-Mile Radius

Case No.	Status	Description
PL17-0005	Approved	Coastal PD Permit to permit the demolition of an existing 4,500 sq. ft. single-family dwelling, construction of a new 4,783 single-family dwelling, attached two-car garage, and a 502 sq. ft. ADU.
PL17-0088	Pending	Coastal PD Permit for the construction of a new swimming pool and, pool cabana.
PL18-0010	Approved	Coastal PD Permit to authorize the unpermitted clearing of 4,253.92 sq. ft. ESHA removal.
PL18-0113	Pending	Coastal PD Permit to legalize unpermitted vegetation removal and grading.
PL21-0048	Pending	Coastal PD Permit to construct a new 2,128 sq. ft. single-family dwelling and 960 sq. ft. garage, with accessory site improvements (septic system, driveway, site landscaping). Project includes mitigation for ESHA removal.
PL21-0051	Pending	Major Modification to CUP LU10-0069 for the redevelopment of Camp Hess Kramer
PL22-0004	Pending	Coastal PD Permit for after the fact permitting of a 995 sq. ft. accessory dwelling unit and a 690 sq. ft. covered patio at the site of an existing single-family dwelling.
PL22-0005	Approved	Permit Adjustment to authorize the modifications to an existing wireless communications facility with antenna

		replacement, equipment shelter, and access road
PL22-0031	Approved	Site Plan Adjustment for the construction of a swimming pool and a 628 sq. ft. detached garage.
PL22-0060	Approved	Site Plan Adjustment authorizing a new 3,039 sq. ft. two story single-family dwelling and a 668 sq. ft. accessory dwelling unit (ADU), swimming pool and other accessory site improvements.
PL22-0082	Pending	Subject Application
PL22-0096	Approved	Site Plan Adjustment to permit modifications to a single-family dwelling presently under construction. The changes to the approved Coastal PD Permit include the addition of three (3) outdoor showers, the modification of the approved interior, and changes to the approved exterior finish materials.
PL22-0112	Pending	Minor Modification request to construct a new 1,237 sq. ft. garage, an 844 sq. ft. storage building and a completion of an access road at the site of an existing residence.

Section B – Initial Study Checklist and Discussion of Responses¹

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
RESOURCES:								
1. Air Quality (VCAPCD)								
Will the proposed project:								
a) Exceed any of the thresholds set forth in the air quality assessment guidelines as adopted and periodically updated by the Ventura County Air Pollution Control District (VCAPCD), or be inconsistent with the Air Quality Management Plan?	N	X	PS-M	PS	N	X	PS-M	PS
b) Be consistent with the applicable General Plan Goals and Policies for Item 1 of the Initial Study Assessment Guidelines?	N	X	PS-M	PS	N	X	PS-M	PS

RESOURCES:

1. Air Quality (VCAPCD) Impact Discussion:

1a. Regional air quality impacts include estimating ozone precursor emissions in the ambient air generated from a specific project, as Ventura County remains in a non-attainment status for the State 1-hour and 8-hour ambient air quality standards for ozone and the Federal 8-hour ambient air quality standard for ozone. Reactive organic compounds (ROC) and nitrogen oxides (NOx) are called ozone precursors because they create ground-level ozone when reacted with sunlight; ground-level ozone is commonly known as smog. The major sources of NOx in Ventura County are motor vehicles and other combustion processes. The major sources of ROC in Ventura County are cleaning and coating operations, petroleum production, and solvent evaporation. Long-term exposure of ground-level ozone can cause shortness of breath, nasal congestion, coughing, eye irritation, sore throat, headache, chest discomfort, breathing pain, throat dryness, wheezing, fatigue, and nausea.

Based on information provided by the applicant, regional air quality impacts will be less than significant for the Thousand Oaks Non-Growth Area, at 0.15 pounds (lbs.)/day ROC and 0.04 lbs./day NOx. Determination was based on information provided by the applicant

¹ The threshold criteria in this Initial Study are derived from the *Ventura County Initial Study Assessment Guidelines* (April 26, 2011). For additional information on the threshold criteria (e.g., definitions of issues and technical terms, and the methodology for analyzing each impact), please see the *Ventura County Initial Study Assessment Guidelines*.

for one 4,880 ft² single family dwelling unit, including their energy being supplied by solar panels on-site. The CalEEMod version 2020.4 air emissions model was used using a single-family dwelling residential land use setting for mobile emissions and trip information from the ITE's Trip Generation Manual, 11th Edition. A copy of the air emission model report is attached (Attachment 5).

1b. Local air quality impacts for the review of discretionary projects may involve a qualitative analysis for project-generated emissions of dust, odors, carbon monoxide, and toxics, if applicable, that can affect the health and safety of any nearby sensitive receptors. Sensitive receptors are considered the young, the elderly, and those susceptible to respiratory diseases such as asthma and bronchitis. Sensitive receptors can be found in schools, playgrounds, hospitals, and elderly care facilities. Residential areas can also be considered sensitive receptors, as some residents may reside in their homes for long periods of time. Based on information provided by the applicant, the subject project will generate less than significant local air quality impacts. A brief discussion is noted below.

CARBON MONOXIDE (CO)

No CO hotspots are expected to occur as a result of the project. In addition, with over 80% of the CO in urban areas emitted by motor vehicles, and with stricter, cleaner emission standards to the mobile fleet, CO ambient concentrations should remain at or lower than the most recent CO monitoring data available for Ventura County, which showed state attainment in 2004.

Air Quality Management Plan (AQMP)

The proposed project must address consistency with the AQMP if estimated operational emissions exceed 2 lbs./day or greater for ROC or NO_x, as described in the Air Quality Assessment Guidelines (AQAG), Section 4.2. The proposed project's operational emissions do not exceed 2 lbs./day for either ozone precursor, therefore, an AQMP consistency analysis is not required. The project would not conflict or obstruct with implementation of the most recent AQMP adopted (Initial Study Item Checklist C. Air Quality, Item 1) and would have a less than significant impact.

ODORS

The project is residential in nature and not expected to generate odorous emissions in such quantities as to be a nuisance to nearby land uses, as defined by APCD Rule 51, Nuisance and the California Health and Safety Code Section 41705.

DUST

The project is not expected to generate amounts of dust to exceed the PM ambient state or federal standards. However, construction operations, although temporary, may generate fugitive dust that may pose a public nuisance pursuant to the California Health and Safety Code 41705, or APCD Rule 51, Nuisance and violation of Rule 55, Fugitive Dust. Therefore, APCD recommends adding a condition of approval to ensure the construction is in compliance with APCD Rule 55, Fugitive Dust, and 51, Nuisance.

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
2A. Water Resources – Groundwater Quantity (WPD)								
Will the proposed project:								
1) Directly or indirectly decrease, either individually or cumulatively, the net quantity of groundwater in a groundwater basin that is overdrafted or create an overdrafted groundwater basin?		X				X		
2) In groundwater basins that are not overdrafted, or are not in hydrologic continuity with an overdrafted basin, result in net groundwater extraction that will individually or cumulatively cause overdrafted basin(s)?		X				X		
3) In areas where the groundwater basin and/or hydrologic unit condition is not well known or documented and there is evidence of overdraft based upon declining water levels in a well or wells, propose any net increase in groundwater extraction from that groundwater basin and/or hydrologic unit?		X				X		
4) Regardless of items 1-3 above, result in 1.0 acre-feet, or less, of net annual increase in groundwater extraction?		X				X		
5) Be consistent with the applicable General Plan Goals and Policies for Item 2A of the Initial Study Assessment Guidelines?		X				X		

2. Water Resources

A. Groundwater Quantity Impact Discussion:

2A-1. and 2A-2. Based upon review of the California's Groundwater Update 2020 (Bulletin 118, State of California Department of Water Resources, Appendix F, November 2021), the site is within the South Coastal Hydrologic Region but located outside the boundary

of a defined groundwater basin/subbasin. Therefore, the site does not overlie and is not hydrologically and/or hydrogeologically continuous area with an over-drafted basin and there is no evidence of overdraft. Additionally, the proposed Project will not contribute to groundwater overdraft. Project and cumulative impacts are determined to be less than significant.

2A-3. The proposed project is not located in a known or Department of Water Resources (DWR)-designated groundwater basin. Water to the site is reportedly provided by an active domestic well identified as State Well Number (SWN) 01S20W22F02S. County records indicate that a domestic well (SWN 01S20W22F04S) possibly existed within the parcel boundaries close to previously existing structures in the western portion of the parcel. The well (SWN 01S20W22F04S) does not exist with DWR records. The applicant reported that a well search was performed and no well was located. Per Ventura County Ordinance No. 4468 (Well Ordinance) if a well is encountered during site development it will need to be permitted for destruction or brought back to active status. Based upon the provided information, the proposed project is considered to have a less than significant impact to groundwater quantity.

2A-4. The applicant is proposing to construct a 4,880 square foot (SF) one-story single family (five-bedroom equivalent) dwelling, swimming pool and landscaping. The applicant will use less than 1.0-AFY of extracted groundwater at full build-out and that a water well pump and recovery test will be provided prior to construction.

2A-5. The proposed project will be consistent with the applicable General Plan Goals and Policies for Item 2A of the *Ventura County Initial Study Assessment Guidelines* and is considered to have a less than significant impact to groundwater.

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
2B. Water Resources - Groundwater Quality (WPD)								
Will the proposed project:								
1) Individually or cumulatively degrade the quality of groundwater and cause groundwater to exceed groundwater quality objectives set by the Basin Plan?		X				X		
2) Cause the quality of groundwater to fail to meet the groundwater quality objectives set by the Basin Plan?		X				X		
3) Propose the use of groundwater in any capacity and be located within two miles of the boundary of a former or current test site for rocket engines?		X				X		
4) Be consistent with the applicable General Plan Goals and Policies for Item 2B of the Initial Study Assessment Guidelines?		X				X		

B. Groundwater Quality Impact Discussion:

2B-1 and 2B-2. Wastewater service is not available in the area. The property will use a septic tank with treatment system and two 5 feet wide by 20 feet deep seepage pits for wastewater disposal. The minimum horizontal separation from water wells is 100 feet for septic tanks. The minimum horizontal separation from water wells is 150 feet for seepage pits. There are no other known or indicated potential sources of impact within the minimum horizontal separations of the well, as specified in the DWR California Well Standards Bulletin 74-90 as required by Section 4814 of Ventura County Ordinance No. 4468. The applicant provided a geotechnical report (Onsite Wastewater Treatment System Design Report for Proposed Single Family Residence, May 2022, Attachment 6) from Gold Coast Geoservices, Inc. dated May 25, 2022. The report stated that the proposed seepage pits and septic tank will be constructed with the adequate setbacks (17 and 20 feet from the residence per Site Plan). Adequate percolation rates were determined from onsite test borings and percolation tests conducted by Gold Coast for the seepage pit design. The seepage pits are proposed to be constructed into the underlying Topanga Formation, a “Formation of Concern” per the current County of Ventura Environmental Health Division (EHD) policy. A secondary effluent treatment system capable of de-nitrification will be incorporated into the septic system. Prior to an application for Plan Check review with the Ventura County Building and Safety Division,

the applicant shall submit and have approved groundwater quality analytical testing results would be submitted along with a pump and recovery test to verify the quality of groundwater resources. The proposed project will not cause the quality of groundwater to fail to meet the groundwater quality objectives set by the Basin Plan, because the proposed septic and treatment tank and seepage pits are located greater than the minimum indicated setbacks (17 foot and 20 foot setback proposed, 8 foot setback required) from the existing water well and will constructed to the recommended specifications as required by the Ventura County Building Code.

2B-3. The project is not located within two miles of the boundary of a former or current test site for rocket engines.

2B-4. The proposed project will be consistent with the applicable General Plan Goals and Policies for Item 2B of the *Ventura County Initial Study Assessment Guidelines* and is considered less than significant. Mitigation/Residual Impact(s)

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
2C. Water Resources - Surface Water Quantity (WPD)								
Will the proposed project:								
1) Increase surface water consumptive use (demand), either individually or cumulatively, in a fully appropriated stream reach as designated by SWRCB or where unappropriated surface water is unavailable?		X				X		
2) Increase surface water consumptive use (demand) including but not limited to diversion or dewatering downstream reaches, either individually or cumulatively, resulting in an adverse impact to one or more of the beneficial uses listed in the Basin Plan?		X				X		
3) Be consistent with the applicable General Plan Goals and Policies for Item 2C of the Initial Study Assessment Guidelines?		X				X		

C. Surface Water Quantity Impact Discussion:

2C-1. And 2C-2. The proposed project does not rely on or propose the use of surface water supplies in a fully appropriated stream reach as designated by SWRCB or where unappropriated surface water is unavailable. Water for the project will be provided by an existing domestic water supply well (SWN 01S20W22L01S) and is considered to have no impact on surface water quantity.

2C-3. The proposed project will be consistent with the applicable General Plan Goals and Policies for Item 2C of the *Ventura County Initial Study Assessment Guidelines* and is considered less than significant to surface water quantity.

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
2D. Water Resources - Surface Water Quality (WPD)								
Will the proposed project:								
1) Individually or cumulatively degrade the quality of surface water causing it to exceed water quality objectives as contained in Chapter 3 of the three Basin Plans?		X				X		
2) Directly or indirectly cause storm water quality to exceed water quality objectives or standards in the applicable MS4 Permit or any other NPDES Permits?		X				X		
3) Be consistent with the applicable General Plan Goals and Policies for Item 2D of the Initial Study Assessment Guidelines?		X				X		

D. Surface Water Quality Impact Discussion:

2D-1. Increased new development and urbanization is typically addressed through the Part 4.E., “Planning and Land Development Program” of the Ventura Countywide NPDES Municipal Stormwater Permit No. CAS004002, but the proposed project is not subject to these requirements as the site is not located within the urban unincorporated area. The increased impervious surface area does not have an individual and cumulative potential to exceed the threshold for significance related to the water quality objectives of the Los Angeles Region Basin Plan and is expected to have a less than significant impact on surface water quality objectives. Accordingly, no mitigation is required and standard requirements for surface water quality will apply to the construction and occupancy of the proposed development.

2D-.2 The proposed project is for a Coastal Development Permit to construct a 4,880 sq. ft. single-family home, a 1,046 sq. ft. garage, a 452 sq. ft. covered patio and swimming pool/BBQ area, and a 20-foot-wide by 1,700-foot-wide driveway. The parcel is located along Yerba Buena Road, Malibu (APN 700-0-060-100). Based on the location of the proposed project, the western portion of the site will be revegetated due to illegal grading. There will also be brush removal and thinning of a 100-foot fuel modification zone. It is not within the high-risk area or within the County Urban Unincorporated Area, however, the overall average slope of the site is 23.9%. Based on the project information, there will be approximately 52,707 sq. ft., or 1.21 acres, of disturbed area. In accordance with the Ventura Countywide Municipal Stormwater NPDES Permit CAS004002, “Development Construction Program” Subpart 4.F, the applicant will be required to include Best Management Practices (BMPs) designed to ensure compliance and implementation of an

effective combination of erosion and sediment control measures for a disturbed site area greater than 1 acre (Table 7 in Subpart 4.F, SW-2 and SW-HR). Additionally, the project is subject to coverage under the NPDES General Construction Permit (No. CAS000002). As such, neither the individual project nor the cumulative threshold for significance would be exceeded and the project is expected to have a Less than Significant (LS) impact related to water quality objectives or standards in the applicable MS4 Permit (Ventura Countywide Municipal Stormwater NPDES Permit CAS004002) or any other NPDES Permits.

2D-3. The proposed project is consistent with the applicable General Plan Goals and Policies for the *Ventura County Initial Study Assessment Guidelines* Item 2d.

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
3A. Mineral Resources – Aggregate (PIng.)								
Will the proposed project:								
1) Be located on or immediately adjacent to land zoned Mineral Resource Protection (MRP) overlay zone, or adjacent to a principal access road for a site that is the subject of an existing aggregate Conditional Use Permit (CUP), and have the potential to hamper or preclude extraction of or access to the aggregate resources?	X				X			
2) Have a cumulative impact on aggregate resources if, when considered with other pending and recently approved projects in the area, the project hampers or precludes extraction or access to identified resources?					X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 3A of the Initial Study Assessment Guidelines?	X				X			

3. Mineral Resources

A. Aggregate Impact Discussion:

3A-1. The proposed project is not located within a MRP Overlay Zone or located adjacent to land classified as MRZ-2. In addition, the subject property is not located adjacent to a principal access road to an existing mining facility. Therefore, the proposed project will not create a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, regarding the extraction of or access to aggregate resources.

3A-3. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies and the Coastal Area Plan for Item 3a of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
3B. Mineral Resources – Petroleum (PIng.)								
Will the proposed project:								
1) Be located on or immediately adjacent to any known petroleum resource area, or adjacent to a principal access road for a site that is the subject of an existing petroleum CUP, and have the potential to hamper or preclude access to petroleum resources?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 3B of the Initial Study Assessment Guidelines?	X							

B. Petroleum Impact Discussion:

3B-1. The proposed project is not located within or immediately adjacent to any known petroleum resource area, or adjacent to a principal access road for a site that is the subject of an existing petroleum Conditional Use Permit (CUP). Therefore, the proposed project does not have the potential to hamper or preclude access to petroleum resources and would not impact these resources and would not make a cumulatively considerable contribution to a significant cumulative impact related to petroleum resources.

3B-2. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 3b of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
4. Biological Resources								
4A. Species								
Will the proposed project, directly or								
1) Impact one or more plant species by reducing the species' population, reducing the species' habitat, fragmenting its habitat, or restricting its reproductive capacity?			X				X	
2) Impact one or more animal species by reducing the species' population, reducing the species' habitat, fragmenting its habitat, or restricting its reproductive capacity?			X				X	

4. Biological Resources

A. Species Impact Discussion:

David Magney Environmental Consulting (DMEC) conducted a search of California Department of Fish and Wildlife (CDFW) California Natural Diversity Database (CNDDB) BIOS Viewer (CDFW 2022) for the Triunfo Pass, California Quadrangle (USGS 7.5-minute Series Topographic Map) and all surrounding quadrangles (Point Mugu, Camarillo, Newbury Park, Thousand Oaks, and Point Dume) to identify previously recorded occurrences of special-status species and sensitive natural communities within the vicinity of the 5-acre project site (also referred to herein as the subject parcel). DMEC also conducted a literature search of California Native Plant Society's Inventory of Rare and Endangered Plants of California (CNPS 2022), the Locally Important Plant and Animal Lists (VCPD 2012a, 2012b), and the Checklist of Ventura County Rare Plants (Magney 2020) to identify previously recorded occurrences of special-status species in the vicinity of the proposed project site. DMEC also referenced biological resource assessments conducted on Weisberg's parcel at 10715 Yerba Buena Road (DMEC 2016), directly south of the subject parcel, and at nearby properties on behalf of Marco Beltrami (DMEC 2005) and Michael Parris (DMEC 2014) for special-status, or locally rare species observed in the vicinity of the Weisberg project site. The results of these queries yielded 55 plants and 52 wildlife species (DMEC 2022).

Biological assessment surveys were conducted at the project site by DMEC on February 18, April 19, and June 16, 2022 (DMEC 2022). The surveys included the subject parcel and fuel modification zone, and adjacent parcels that include the access road. Surveys included areas beyond the subject parcel focused along the access road to document

any sensitive biological resources that may be affected by the proposed paving of the access road.

Three special-status plants were observed on the project site: Catalina mariposa lily (*Calochortus catalinae*, California Rare Plant Rank [CRPR] 4.2), Plummer's mariposa lily (*Calochortus plummerae*, CRPR 4.2), and western dichondra (*Dichondra occidentalis*, CRPR 4.2). They were found scattered across much of the subject parcel. Specifically, Catalina mariposa lilies were found at four locations, Plummer's mariposa lilies were found at 23 locations, and western dichondra were found at 16 locations. Additionally, six occurrences of Catalina mariposa lily were found in the study area but on adjacent parcels; four occurrences of Plummer's mariposa lily were found in the study area on three adjacent parcels to the south and east of the existing access road; and one occurrence of western dichondra was found in the study area on the adjacent parcel immediately south of the Weisberg parcel (DMEC 2022).

No special-status animal species were detected during the project site surveys conducted in February, April, or June 2022. Based on the literature review of special-status species documented in the vicinity of the project site and the habitat suitability (e.g., plant species, vegetation density and disturbance, soils, elevation, on-site and adjacent land uses) four special-status animal species have the potential to occur on the project site (DMEC 2022). These include southern California rufous-crowned sparrow (*Aimophila ruficeps canescens*, Watch List), Allen's hummingbird (*Selasphorus sasin*, Watch List), coast horned lizard (*Phrynosoma blainvillii*, CDFW Species of Special Concern), and Santa Monica grasshopper (*Trimerotropis occidentaloidea*, S1S2).

The survey area is dominated by coastal sage scrub and chaparral natural communities, and also contains ornamental landscaping, unpaved roads, and ruderal and barren areas (DMEC 2022). Grading of the project footprint, vegetation clearance within the 100-foot fuel modification zone, and access road improvements will result in the following permanent impacts to natural vegetation communities:

- California sagebrush-ashy buckwheat scrub (*Artemisia californica-Eriogonum cinereum* Shrubland Association): 1.021 acres;
- Bush mallow scrub (*Malacothamnus fasciculatus* Shrubland Association): 0.269 acre;
- Laurel sumac-bush mallow-ashy buckwheat scrub (*Malosma laurina-Malacothamnus fasciculatus-Eriogonum cinereum* Shrubland Association): 0.547 acre.
- Ruderal: 0.076 acre

4A-1. Five of the 16 occurrences of western dichondra are within the proposed grading area within the project site and will be adversely affected, and nine occurrences are within the fuel modification zone. However, fuel modification activities are not likely to adversely affect them due to their low-growing stature (1-2 inches tall). Additionally, DMEC identified five occurrences outside any impact area.

Two of the six Catalina mariposa lily occurrences within the study area are within the fuel modification zone, and one is adjacent to the access road where it will be widened. Six of the 23 occurrences of Plummer's mariposa lily are within the proposed grading area and will be adversely affected, and two occurrences within the fuel modification zone may be affected by fuel modification activities. Construction and fuel modification impacts to Plummer's mariposa lily would reduce the species' population and habitat onsite and restrict its reproductive capacity. These impacts are considered significant. Mitigation Measure BIO-1 involves seasonally timed preconstruction surveys to identify locations of all special-status plants within the development footprint, and the preparation of a Special-Status Plant Relocation Plan. The Special-Status Plant Relocation Plan would be prepared to identify effective means of translocating plants, including topsoil salvage to preserve seed bank and management of salvaged topsoil. The Special-Status Plant Relocation Plan would require approval from the Planning Division. Mitigation Measure BIO-2 involves establishing protective fencing to avoid inadvertent impacts to Catalina and Plummer's mariposa lilies within the fuel modification zone. Implementation of Mitigation Measures BIO-1 and BIO-2 would reduce impacts to a less than significant level.

4A-2. No special-status animal species were detected during the project site surveys conducted in February, April, and June 2022. Based on the special-status species potential for occurrence analysis and an evaluation of on-site habitat, four special-status animal species may occur on the project site (DMEC 2022). These include southern California rufous-crowned sparrow (*Aimophila ruficeps canescens*, Watch List), Allen's hummingbird (*Selasphorus sasin*, Watch List), coast horned lizard (*Phrynosoma blainvillii*, CDFW Species of Special Concern), and Santa Monica grasshopper (*Trimerotropis occidentaloidea*, S1S2). If these species occur within the development footprint during construction, construction activities may result in direct mortality. In addition, loss of vegetation and dust generated during construction activities may also indirectly adversely impact these special-status species occurring in natural areas immediately adjacent to the footprint of the building envelope. Direct or indirect impacts to these species are considered significant. Mitigation Measure BIO-3, which requires pre-construction surveys and relocation of terrestrial special-status species (if necessary), and BIO-5 (See Section 4D) which requires installation of temporary fencing around the development envelope during construction, would reduce the impacts to a less than-significant level.

San Diego desert woodrat (*Neotoma lepida intermedia*, CDFW Species of Special Concern), is known to commonly occur in the project area. Because of the proximity of native vegetation adjacent to the development envelope and availability of nest material, there is a potential for woodrats to occur in these areas; and, therefore, they could be impacted by construction activities. Construction noise and dust, as well as increased human presence, may result in nest abandonment, or accidental damage to nests during construction may occur. These impacts are therefore considered significant. Mitigation Measure BIO-4 is proposed to avoid and minimize impacts to woodrats by avoiding active nests (middens) and/or relocation of nests as appropriate.

Suitable nesting habitat for passerines (perching birds) occurs within the areas proposed for construction and, avian species could be adversely affected directly (e.g., nest removal) or indirectly (e.g., nest abandonment from noise and vibrations). To comply with the protection of such birds afforded by the Migratory Bird Treaty Act and California Department of Fish and Game Code, the proposed project will be subject to a condition of approval requiring the Permittee to prohibit land clearing activities during the breeding and nesting season (January 1 - September 15), or retain a County-approved biologist to conduct site specific surveys prior to land clearing activities during the breeding and nesting season (January 1 - September 15) and to submit a Survey Report documenting the results of the initial nesting bird survey and a plan for continued surveys and avoidance of nests. Adherence to this condition of approval will also avoid direct and indirect impacts to special status avian species.

Mitigation/Residual Impact(s)

Mitigation Measure BIO-1: Pre-Construction Survey, Seed/Bulb Salvage, and Relocation of Special-Status Plants

Purpose: To minimize impacts to special-status plants and to prevent the local population from dropping below self-sustaining levels that may result from the proposed development.

Requirement: The Permittee shall contract with a County-approved qualified biologist to prepare a Rare Plant Mitigation Plan (RPMP). The Permittee shall provide a copy of a signed contract (financial information redacted) with a County-approved biologist responsible for the preparing the RPMP. The RPMP shall describe methods for translocating special-status plants, including topsoil salvage to preserve seed bank and management of salvaged topsoil; seed and bulb collection, storage; nursery propagation and planting; location of receptor site(s); land protection instruments for receptor areas; and funding mechanisms. The RPMP shall include, but not be limited to the following components: methods, success criteria, performance standards, maintenance, monitoring, reporting, adaptive management, responsible parties, identification of stakeholders/responsible parties, and contingencies for achieving success. If possible, translocation of the rare plants should occur onsite. If no suitable onsite location is available, then an offsite location could be used. A suitable translocation site on the parcel (or offsite if no onsite area is available) must be identified and approved by the County prior to impacting any special-status plants. Seed and bulb collection shall be conducted at the appropriate season by a qualified botanist. Salvaged seeds and bulbs of Catalina and Plummer's mariposa lily shall be transferred to an entity including, but not limited to, the Santa Barbara Botanic Garden or California Botanic Garden to propagate and amplify to at least three times the quantity of salvaged seeds and bulbs, which will then be planted at the recipient site during the seasonally appropriate window (a specified in the RPMP). The RPMP shall require that monitoring be conducted for five years or until the success criteria and performance standards are met, whichever occurs sooner.

Documentation: The following documentation requirements will apply:

All rare plant mitigation areas shall be permanently protected through a conservation easement or deed restriction and subsequently conveyed to a County-approved public agency or conservation organization. If a County-approved public agency or conservation organization cannot be identified that will accept conveyance of a conservation easement, a conservation instrument such as a deed restriction may be used instead to restrict future development of the area. The conservation easement(s), deed restriction(s) and/or other conservation instrument(s) shall be submitted to the Planning Division for review and approval along with the RPMP prior to issuance of a Zoning Clearance for construction.

The Permittee shall submit the conservation easement, deed restriction or other conservation instrument and RPMP to the Planning Division for review and approval. The Permittee shall submit monitoring reports to the Planning Division by December 30th annually for five years or until the performance criteria has been met. If success criteria are not met within the five-year monitoring period, contingency measures shall be implemented in accordance with the RPMP, and restoration and monitoring shall continue until success criteria are met.

Each conservation easement, deed restriction or other conservation instrument shall:

- a. Include a copy of this condition of approval, a site-specific mitigation map, and legal description and map(s) of the areas that are subject to the conservation easement, deed restriction or other conservation instrument (“Protected Areas”);
- b. Include provisions for the long-term preservation and maintenance of the mitigation areas (i.e., Protected Areas) by describing what maintenance activities are allowed, and by stating that the following are prohibited in the Protected Areas:
 1. Removal, mining, excavation, or disturbance of the soil or surface rocks or decaying material such as fallen trees (unless otherwise approved by the Planning Division);
 2. Dumping, filling, storing, disposal, burying, or stockpiling of any natural or manmade materials;
 3. Erection of buildings or structures of any kind, including, but not limited to, fencing, corrals, advertising signs, antennas, and light poles;
 4. Placement of pavements, concrete, asphalt and similar impervious materials, laying of decomposed granite for pathways, or setting of stones, paving bricks, or timbers;
 5. Operation of off-road vehicles, motorcycles, bicycles, mowers, tractors, or any other types of motorized or non-motorized vehicles or equipment;
 6. Removal or alteration of native trees or plants, through such activities as irrigating, mowing, draining, plowing, tilling or disking, except as necessary for controlled burns or fuel reduction as regulated by the Ventura County Fire Protection District, or for removal of non-native species and native habitat restoration or maintenance under the direction of a qualified biologist and following approval by, and/or coordination with, the Planning Division;
 7. Application of insecticides or herbicides, poisons, or fertilizers;
 8. Grazing or keeping of cattle, sheep, horses or other livestock, or pet animals;

9. Agricultural activity of any kind including the harvesting of native materials for commercial purposes;
10. Planting, introduction, or dispersal of non-native plant or animal species;
11. Hunting or trapping, except live trapping for purposes of scientific study or removal of non-native species;
12. Manipulating, impounding or altering any natural watercourse, body of water or water circulation and activities or uses detrimental to water quality, including but not limited to degradation or pollution of any surface or sub-surface waters;
13. Artificial lighting that illuminates or is directed towards mulefat scrub; and
14. Other activities that damage the existing flora or fauna.

- c. Be recorded with the Office of County Recorder, with a copy of the recorded document provided to the Planning Division, prior to issuance of a Zoning Clearance for construction.

Timing: The Permittee shall (1) record the conservation easement, deed restriction or other conservation instrument; and (2) submit a RPMP, in accordance with the applicable requirements of this condition (above) to the Planning Director for review and approval prior to issuance of a Zoning Clearance for construction. Implementation of the RPMP pursuant to the schedule stated therein shall begin no later than six months after the issuance of a Zoning Clearance for Construction.

Monitoring and Reporting: The Planning Division maintains a copy of the recorded conservation easement or deed restriction, or conservation instrument, in the Project file. The Planning Division has the authority to inspect the property subject to the conservation easement or deed restriction, or conservation instrument, to ensure that it is maintained as required. If the Planning Division confirms that the restricted area has not been maintained as required, enforcement actions may be enacted in accordance with § 8183-5 of the Ventura County Coastal Zoning Ordinance.

Mitigation Measure BIO-2: Protection of Special-Status Plant Species within Fuel Modification Zones

Purpose: To avoid potentially significant impacts to special-status plant species within the fuel modification zone.

Requirement: Ground disturbances and vegetation removal shall be prohibited within a 10-foot setback from the edge of the mariposa lily occurrences within the fuel modification zone. The permittee shall install permanent fencing (as approved by the Planning Division) around special-status plant occurrences within the fuel modification zones for the proposed development. The Permittee shall post a sign stating sensitive biological resources are present within the fenced area and that entry is prohibited. All fuel management shall be conducted in such a way as to avoid impacts to special-status plants to the greatest extent feasible.

Documentation: The Permittee shall identify the locations of special-status species and the limits of protective fencing on the grading plan and on a site plan for Zoning Clearance for Construction.

Timing: Prior to the issuance of a Zoning Clearance for construction, the Permittee shall install protective fencing in accordance with the site plan for Zoning Clearance for Construction approved by the Planning Division.

Monitoring and Reporting: The Planning Division maintains a copy of the authorized Fencing Plan with the Zoning Clearance for Construction in the Project file. The Planning Division has the authority to inspect the property to ensure that the protective fencing is installed and maintained as required. If the Planning Division confirms that the fencing has not been installed or maintained as required, enforcement actions may be enacted in accordance with § 8183-5 of the Ventura County Coastal Zoning Ordinance.

Mitigation Measure BIO-3: Pre-Construction Surveys and Relocation of Special-Status Wildlife

Purpose: To avoid significant impacts to special-status wildlife that could occur during vegetation clearing and grading.

Requirement: Two weeks prior to the initiation of, and periodically throughout, ground disturbance activities, a County-approved qualified biologist shall conduct surveys for special-status wildlife, including coastal whiptail [*Aspidoscelis tigris stejnegeri*], coast horned lizard [*Phrynosoma blainvillii*] and San Diego desert woodrat (*Neotoma lepida intermedia*), to ensure that these species are not harmed. Individuals of these species that are found shall be relocated to suitable undisturbed habitat, outside of the areas directly and indirectly (e.g., noise) affected by ground disturbance activities, as determined by a County-approved biologist. The County-approved biologist, with a CDFW Scientific Collecting Permit, shall conduct surveys and relocation activities according to methods approved by the CDFW.

Additionally, the project biologist(s) shall perform the following duties:

1. Attend a pre-construction meeting with the contractor and other key construction personnel prior to land clearing activities to conduct environmental training to include, but limited to, discussion of the importance of restricting work to designated areas, and identification of and minimizing harm to or harassment of wildlife that could be encountered.
2. Review and/or designate the construction area in the field with the contractor in accordance with the final grading plan.
3. The biologist shall monitor vegetation grubbing and initial grading in order to salvage and relocate wildlife that could be disturbed by this activity.

4. Periodically monitor the construction site to verify silt fencing is intact, trash receptacles are animal and weather-proof, and there is a prohibition of pets on the construction site.
5. Prepare a monitoring report after the land-clearing activities are completed, which describes the biological monitoring activities, including a monitoring log, photos of the site before, during, and after land clearing activities, and a list of special-status species observed.

Documentation: The Permittee shall provide to the Planning Division a signed contract with a County-approved qualified biologist that ensures wildlife surveys, and relocation of wildlife, will be conducted within 14 days prior to any ground disturbance activities. The Permittee shall submit a report to the Planning Division within 14 days of the wildlife surveys, notifying the Planning Division of the results of the surveys and avoidance and relocation activities.

Timing: Prior to the issuance of a Zoning Clearance for construction, the Permittee shall provide the signed contract with the County-approved biologist. Within 14 days of the wildlife surveys and relocation activities, the Permittee shall provide a report describing the results.

Monitoring and Reporting: The Permittee shall confirm with the Planning Division that a County-approved qualified biologist has been contracted to implement the requirements of this condition prior to issuance of a Zoning Clearance for construction. The Planning Division maintains copies of the signed contract and the survey reports in the Project file. The Planning Division has the authority to inspect the property during the development phase of the Project to ensure that the survey and wildlife relocation work is conducted as required. If the Planning Division confirms that the required surveys are not conducted as agreed upon or the fencing is not maintained as required, enforcement actions may be enacted in accordance with § 8183-5 of the *Ventura County Coastal Zoning Ordinance*.

Mitigation Measure BIO-4: Woodrat Nest Avoidance and Relocation

Purpose: In order to minimize impacts to special-status woodrats, land clearing and construction activities shall be regulated.

Requirement: The Permittee shall conduct all demolition, tree removal/trimming, vegetation clearing, and grading activities (collectively, "land clearing activities"), and construction in such a way as to minimize impacts to woodrats. This can be accomplished by implementing one of the following options:

1. Surveys: Conduct site-specific surveys prior to land clearing or construction activities. A County-approved qualified biologist with a CDFW Scientific Collecting Permit shall survey suitable habitat for special-status woodrats within areas that will be subject to land clearing activities, and within 50 feet of areas, that will be subject to land clearing

activities 14 days prior to the initiation of land clearing or construction activities. If the biologist does not find any nests, then no further action is required.

2. Avoidance Measures:

- a. If the County-approved qualified biologist finds active woodrat nests, the Permittee shall implement a 50-foot radius buffer area around the nests in which land clearing activities will be avoided.
- b. Wildlife exclusion fencing shall be installed around land clearing activities where middens are detected within 50 feet of the project footprint. Orange snow fencing is not considered a wildlife exclusion fence and is prohibited in areas where middens are found.

3. Relocation of Middens: If the minimum fencing distance cannot be achieved and the middens cannot be protected and/or avoided, the County-approved qualified biologist in consultation with CDFW, will select the location of artificial midden sites. The relocation or disturbance of wood rat midden areas are prohibited during the peak nesting season (November 1 through March 15). Woodrat middens will be relocated according to the following instructions:

- a. Artificial Midden Ratio: Artificial middens shall be installed at a 2:1 ratio for less than 5 middens impacted. If more than 5 middens are impacted in the population, the qualified biologist shall consult with the Planning Division to determine the appropriate ratio.
- b. Artificial Midden Location: Midden locations shall include but not be limited to downed woody debris, cactuses, dense understory and overstory cover (ideally 90 percent cover), or other "core element" (e.g., a stump, large log, rock, rock outcrop), and outside of drainage channels. Artificial middens shall be placed in a clustered pattern relative to adjacent natural middens (when present) and no further than 550 feet of the project footprint.
- c. Dismantling of Natural Middens: The entire midden site, including the aboveground midden and the below ground basement area, will be carefully examined to ensure that no adults or young are present before the midden is dismantled and the basement filled in.
- d. Trapping: If woodrats are present a trapping effort will be initiated. The trapping will consist of two to three live traps per active midden site being set each evening for 3 days. The traps will be baited with oatmeal, peanut butter, and apple and will contain synthetic batting for use as nesting material. Traps will be checked the following morning within 1 hour following sunrise. Traps containing woodrats will be placed facing the entrance of relocated middens and opened, allowing the woodrats to leave the traps on their own accord. Each release site will be monitored for approximately 1 hour after each woodrat is released to determine the short-term success rate of the artificial middens.

- e. Dismantling Middens: To provide refuge for woodrats that may be become displaced, piles of sticks/vegetation/slash shall be placed between the midden site to be dismantled and the new artificial midden site, 3 days prior to dismantling. The midden will be dismantled by hand, removing the materials layer by layer. All salvageable midden materials will be relocated and incorporated (as needed) or placed adjacent to the artificial midden.
 - f. Post-Midden Relocation: The qualified biologist will perform a survey to determine if the woodrat has reoccupied the project footprint following the implementation of the midden relocation measures.
4. Woodrat Presence and Activity After Midden Relocation: If newly constructed middens are found inside the project footprint following the commencement of land clearing activities, the trapping effort noted in section 4(d) above) shall be implemented.

Documentation: The Permittee shall provide to the Planning Division a Survey Report from the County-approved qualified biologist that includes a map, physical description of middens (e.g., size, width, and materials), a photo of each of the midden, and a plan for avoidance or relocation of the midden in accordance with the requirements set forth in this mitigation measure. Along with the Survey Report, the Permittee shall provide a copy of a signed contract (financial information redacted) with the qualified biologist(s) who will monitor avoidance and relocation efforts. Following the completion of land clearing activities, the Permittee shall submit to the Planning Division a Mitigation Monitoring Report from the qualified biologist(s) that documents the actions implemented to avoid or relocate woodrat nests, a map of the natural and artificial midden locations, trapping and relocation procedures, and the results of the relocation effort.

Timing: The County-approved qualified biologist shall conduct the survey within 30 days prior to the initiation of land clearing activities and follow all relocation timing protocols set forth in this condition (above). The Permittee shall submit the Survey Report and signed contract to the Planning Division, prior to issuance of a Zoning Clearance for construction. The Mitigation Monitoring Report shall be submitted within 14 days of completion of the land clearing activities.

Monitoring and Reporting: The Planning Division reviews for adequacy, and maintains in the Project file, the signed contract, Survey Report, and Mitigation Monitoring Report. If the Planning Division confirms that the required surveys and relocation measures were not implemented in compliance with the requirements of this condition, then enforcement actions may be enacted in accordance with §8183-5 of the Ventura County Coastal Zoning Ordinance.

With the implementation of Mitigation Measures BIO-1, BIO-2, BIO-3 and BIO-4, project specific impacts to plants and animal species will be less than significant, and the proposed Project will not make a cumulatively considerable contribution to a significant cumulative impact to plants and animal species.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
4B. Ecological Communities - Sensitive Plant Communities								
Will the proposed project:								
1) Temporarily or permanently remove sensitive plant communities through construction, grading, clearing, or other activities?	X				X			
2) Result in indirect impacts from project operation at levels that will degrade the health of a sensitive plant community?	X				X			

B. Sensitive Plant Communities Impact Discussion:

4B-1 and 4B-2. The CDFW Natural Communities List rarity rank to habitats and defines Global (G) and State (S) numbers to indicate the overall rarity of a plant community throughout its global and state range. Plant communities are assigned a numeric code between 1 and 5, with 1 being the rarest. Communities with a State Rank of 3 or lower are considered "rare" plant communities. The plant communities impacted by the project and their rarity rankings are as follows:

- California sagebrush-ashy buckwheat scrub (*Artemisia californica-Eriogonum cinereum* Shrubland Association, G5S5);
- Bush mallow scrub (*Malacothamnus fasciculatus* Shrubland Association, G4S4);
- Laurel sumac- bush mallow- ashy buckwheat scrub (*Malosma laurina-Malacothamnus fasciculatus- Eriogonum cinereum* Shrubland Association, G4S4);
- Ruderal (not ranked due to prevalence of non-native species).

Based on the Natural Communities List sensitivity rankings (CDFW 2022), none of the communities impacted by the project are considered sensitive. Because the project would not result in removal or indirect impact to sensitive plant communities, the project would not have a project-specific or cumulative impact.

Mitigation/Residual Impact(s)

None

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
4C. Ecological Communities - Waters and Wetlands								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
Will the proposed project:								
1) Cause any of the following activities within waters or wetlands: removal of vegetation; grading; obstruction or diversion of water flow; change in velocity, siltation, volume of flow, or runoff rate; placement of fill; placement of structures; construction of a road crossing; placement of culverts or other underground piping; or any disturbance of the substratum?	X				X			
2) Result in disruptions to wetland or riparian plant communities that will isolate or substantially interrupt contiguous habitats, block seed dispersal routes, or increase vulnerability of wetland species to exotic weed invasion or local extirpation?	X				X			
3) Interfere with ongoing maintenance of hydrological conditions in a water or wetland?	X				X			
4) Provide an adequate buffer for protecting the functions and values of existing waters or wetlands?	X				X			

C. Ecological Communities – Waters and Wetlands Impact Discussion:

There are no waters or wetlands within, or in the immediate vicinity of, the project site.

4C-1. The project would not result in any of the listed activities established by Ventura County’s Initial Study Assessment Guidelines within waters and/or wetlands as defined by Ventura County’s Initial Study Assessment Guidelines, therefore, the project would not have a project-specific or cumulative impact.

4C-2. The project would not result in disruptions to wetland or riparian plant communities; therefore the project would not have a project-specific or cumulative impact.

4C-3. The project would not interfere with hydrological conditions in waters and/or wetlands as defined in Ventura County’s Initial Study Assessment Guidelines, therefore the project would not have a project-specific or cumulative impact.

4C-4. The project would not interfere with any/existing buffers for waters and/or wetlands, therefore the project would not have a project-specific or cumulative impact.

Mitigation/Residual Impact(s):

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
4D. Ecological Communities - ESHA (Applies to Coastal Zone Only)								
Will the proposed project:								
1) Temporarily or permanently remove ESHA or disturb ESHA buffers through construction, grading, clearing, or other activities and uses (ESHA buffers are within 100 feet of the boundary of ESHA as defined in Section 8172-1 of the Coastal Zoning Ordinance)?			X				X	
2) Result in indirect impacts from project operation at levels that will degrade the health of an ESHA?			X				X	

D. Ecological Communities – ESHA (Applies to Coastal Zone Impact Discussion):

4D-1. The entire project site is located within the Coastal Zone. Based on the biological surveys, the natural vegetation communities potentially impacted by the project site include California sagebrush-ashy buckwheat scrub, bush mallow scrub, and laurel sumac- bush mallow- ashy buckwheat scrub. These vegetation associations are considered types of coastal sage scrub. These habitats and vegetation types are relatively rare in the Santa Monica Mountains and play an important role in the ecosystem of the Coastal Zone. The increasing threats from development and other anthropogenic impacts are also exacerbating the loss of these habitats. The Coastal Area Plan designates important habitat and serves to provide protective measures for the Santa Monica Mountains’ unique coastal resources, including plant and animal species. Therefore, the coastal sage scrub and chaparral communities occurring on the project site are considered ESHA.

Grading and other construction activities associated with the project would occur within 100 feet of ESHA and could result in inadvertent removal of ESHA, or degradation of the edges of native vegetation communities, creating edge effects. These direct and indirect impacts to sensitive plant communities would result in significant impacts; however, with the implementation of Mitigation Measure BIO-5 that requires installation of exclusion fencing between construction activities and ESHA, impacts would be less than significant.

Dust impacts would be reduced by adherence to the Ventura County Air Pollution Control District (VCAPCD) construction dust reduction requirements.

The proposed project will permanently remove approximately 121,750.2 sq. ft. (2.795 acres) of Environmentally Sensitive Habitat Areas (ESHA) related to the construction of the access road, the home, and the required 100-foot fuel modification zone. Additionally, 10,890 sq. ft. (0.25 acres) of ESHA was cleared without the benefit of a permit, for a total of 3.045 acres of ESHA that will require mitigation at a 2:1 ratio (6.09 acres). Restoration of 0.25 acres will occur onsite, the remaining 5.84 acres will be mitigated through the acquisition of offsite parcels to be dedicated to Mountains Recreation and Conservation Authority (MRCA). Restoration of 0.25 acres will occur on APN 700-0-060-100 (the project site). The applicant will provide for the permanent protection of 5.84 acres of ESHA in the Santa Monica Mountains by acquiring and conveying APNs 694-0-100-160 and 694-0-100-110 (6 acres) referred to herein as Conservation Land.

Mitigation Measure BIO-8 includes a combination of onsite restoration and offsite preservation to achieve ESHA compensatory mitigation. The Planning Director and MRCA, the party responsible for the long-term stewardship of the Conservation Land, will review the offsite preservation plan for adequacy. The selected Conservation Land satisfies the requirements of CZO Section 8178-2.10.4(b)(1) including the following location priorities: off-site compensatory mitigation site should be located within the same sub-watershed (defined as U.S. Geological Survey's 12-digit hydrological unit code (HUC or higher, when available)) as the impacted area, off-site compensatory mitigation site should be located in the same biogeographic region (as defined by CZO Section 8172-1) as the impacted area, and/or off-site compensatory mitigation site should be the same watershed as the impacted area. The Planning Director and the party responsible for the long-term stewardship of the Conservation Land, may consider other off-site compensatory mitigation sites as allowed under CZO 8178-2.10.4 (b)(1) (i.e., other sites within Santa Monica - Sierra Madre Linkage, Ventura River Linkage, Santa Clara River Linkage and in the same biogeographic region).

The Applicant will be required to comply with the Ventura County Fire Protection District Fire Hazard Reduction Program (FHRP). Initial compliance with the FHRP will require vegetation be removed, thinned, and sufficiently spaced within a minimum 100-foot fuel modification zone that is designated around combustible structures (and 10 feet from access roads). ESHA adjacent to the fuel modification zone also has the potential to be indirectly impacted by the introduction and proliferation of invasive plants; however, with the implementation of Mitigation Measure BIO-6 and eliminating invasive species in seeding and landscaping, impacts would be mitigated to a less-than-significant level and cumulative

Mitigation/Residual Impact(s)

Mitigation Measure BIO-5: Environmentally Sensitive Habitat Areas (ESHA) Construction Exclusion Fencing

Purpose: To reduce the potential indirect effects on adjacent habitat consistent with the Coastal Act and to locally important communities consistent with ESHA Goal 1 Ventura County General Plan Goal Policies and Programs (updated 2022), ground disturbance and vegetation removal in ESHA outside of the construction envelope is prohibited.

Requirement: The Permittee shall install temporary protective fencing (orange snow fencing is not considered wildlife exclusionary fencing) along the edge of the development envelope (including the fuel modification zone). The fencing must consist of durable materials and shall be staked or driven into the ground such that it is not easily moved and will perform its function for the duration of construction activities.

Documentation: The Permittee shall graphically depict and label the ESHA habitat, setback area from ESHA, and required fencing on all grading and site plans. The Permittee shall also provide photo documentation of the fencing installed at the site prior to issuance of a Zoning Clearance for construction.

Timing: The Permittee shall submit the site plan and grading plans with the locations of the fencing to the Planning Division for review and approval prior to Zoning Clearance for construction of the project. The Permittee shall install the fencing prior to any vegetation removal, ground disturbance activities, or construction activities (whichever occurs first). The Permittee shall maintain the fencing in place until the Resource Management Agency, Building and Safety Division, issues the Certificate of Occupancy for the single-family dwelling.

Monitoring and Reporting: The Planning Division maintains the grading and site plan with the fencing illustrated provided by the Applicant in the project file. The Applicant shall demonstrate to the satisfaction of the Planning Division that the temporary fencing is installed prior to any vegetation removal, ground disturbance activities, or construction activities (whichever occurs first). The Planning Division has the authority to inspect the site to confirm that the fencing stays in place during the development phase of the project in accordance with the approved plans.

Mitigation Measure BIO-6: Invasive Species Seeding and Landscaping

Purpose: To ensure protection of adjacent ESHA from the introduction of invasive species as required under the Local Coastal Program and the Coastal Act.

Requirements: Invasive plant species shall not be included in any erosion control seed mixes and landscaping plans associated with the Project. The California Invasive Plant Inventory Database contains a list of non-natives, invasive plants (California Invasive Plant Council [Updated 2022] or its successor).

Documentation: The Permittee shall submit the erosion control seed mix and a final landscape plan, for review and approval by the Planning Division. The Permittee shall provide photographs demonstrating that the Permittee installed all landscaping and irrigation in accordance with the approved plans.

Timing: Prior to issuance of a Zoning Clearance for construction, the Permittee shall submit the erosion control seed mix and a final landscape plan, for review and approval by the Planning Division. All planting and irrigation shall be installed prior to Certificate of Occupancy of the single-family dwelling.

Monitoring and Reporting: The Permittee shall provide photos of the landscaping to the Planning Division, or schedule a site inspection with the Planning Division, to verify that the Permittee installed landscaping and irrigation according to the approved plans. The Planning Division maintains copies of the approved plans and photographs in the Project file. The Planning Division, Public Works Agency Grading Inspectors, and Building and Safety, have the authority to conduct site inspections to ensure compliance with this condition consistent with the requirements of § 8183-5 of the *Ventura County Coastal Zoning Ordinance*.

Mitigation Measure BIO-7 Coastal Area Plan – Permanent Preservation of Environmentally Sensitive Habitat Area (ESHA) in the M Overlay Zone

Purpose: In accordance with Coastal Area Plan Policy 4.4.10 (4)(3) for Environmentally Sensitive Habitats in the South Coast, all ESHA within the Project site must be permanently protected through a County-approved conservation easement, deed restriction or other recorded legal instrument that permanently protects the Conservation Land in its natural state.

Requirement: All onsite ESHA shall be permanently protected through a conservation easement or deed restriction and subsequently conveyed (in the form of a conservation easement) to a County-approved public agency or conservation organization. If a County-approved public agency or conservation organization cannot be identified that will accept conveyance of a conservation easement, a conservation instrument such as a deed restriction may be used instead to restrict future development of the area.

The aforementioned deed restriction, conservation easement and/or equivalent legal instrument permanently protecting the off-site and/or on-site land (collectively, “Conservation Instrument”), as applicable, shall each:

- a. Include a copy of this condition of approval, a site-specific ESHA map, and legal description and map(s) of the areas that are subject to the Conservation Instrument (“Protected Areas”);
- b. Include provisions for the long-term preservation and maintenance of the Protected Areas by describing what maintenance activities are allowed, and by stating that the following are prohibited in the Protected Areas:
 1. Removal, mining, excavation, or disturbance of the soil or surface rocks or decaying material such as fallen trees;

2. Dumping, filling, storing, disposal, burying or stockpiling of any natural or manmade materials;
3. Erection of buildings or structures of any kind, including, but not limited to, fencing, corrals, advertising signs, antennas, and light poles;
4. Placement of pavements, concrete, asphalt and similar impervious materials, laying of decomposed granite for pathways, or setting of stones, paving bricks, or timbers;
5. Operation of dune buggies, motorcycles, all-terrain vehicles, bicycles, mowers, tractors, or any other types of motorized or non-motorized vehicles or equipment;
6. Removal or alteration of native trees or plants, through such activities as irrigating, mowing, draining, plowing, tilling, or disking, except as necessary for controlled burns (for fuel reduction, as regulated by the Ventura County Fire Protection District), removal of non-native species, and native habitat restoration or maintenance (which must be under the direction of a qualified biologist);
7. Application of insecticides or herbicides, poisons, or fertilizers;
8. Grazing or keeping of cattle, sheep, horses or other livestock, or pet animals;
9. Agricultural activity of any kind including the harvesting of native materials for commercial purposes;
10. Planting, introduction, or dispersal of non-native plant or animal species;
11. Hunting or trapping, except live trapping for purposes of scientific study or removal of non-native species;
12. Manipulating, impounding or altering any natural watercourse, body of water or water circulation on the ESHA, and activities or uses detrimental to water quality, including but not limited to degradation or pollution of any surface or sub-surface waters;
13. Light pollution (e.g., lighting that is located outside of, yet directed towards, the ESHA); and
14. Other activities that damage the existing flora, fauna, or hydrologic conditions of the ESHA.

Documentation: The Permittee shall record with the Conservation Instrument to the subject property: (1) the conditions of this Coastal PD Permit; (2) a site-specific ESHA map; and (3) legal description, with the Office of County Recorder, with a copy of the recorded document provided to the Planning Division.

Timing: Prior to, issuance of a Zoning Clearance for construction, the Permittee shall record (1) the conditions of this Coastal PD and (2) a site-specific ESHA map and legal description of the area to be restricted; and (3) legal description of the subject lot.

Monitoring and Reporting: The Planning Division will review this Project and all future projects on the subject property to ensure compliance with the requirements of this condition. The Planning Division has the authority to inspect the site to confirm on-going compliance with this project condition consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

Mitigation Measure BIO-8 Compensatory Mitigation for Loss of ESHA

Purpose: Provide compensatory mitigation for the loss of 0.25 acres of ESHA removed without the benefit of a permit and 2.795 acres of ESHA that will be permanently removed by the proposed development (3.045 acres total), and to comply with the applicable provisions of the Ventura County Coastal Zoning Ordinance Section 8178-2.10 (Compensatory Mitigation for ESHA)

Requirement: The Permittee will be required to mitigate 3.045 acres of ESHA at a 2:1 ratio (6.09 acres total). Restoration of 0.25 acres will occur on APN 700-0-060-100 (the project site). The Permittee shall provide for the permanent protection of 5.84 acres of ESHA in the Santa Monica Mountains by acquiring and conveying APNs 694-0-100-160 and 694-0-100-110 (6 acres) to Mountains Recreation and Conservation Authority (MRCA), a qualified conservation organization². Such land to be protected is hereinafter referred to as “Conservation Land.”

Onsite Restoration

At least 0.25 acres of ESHA shall be restored and permanently protected on-site. The areas selected to be restored on-site (Restoration Areas) shall be located on a southwest portion of the subject property as shown on the Initial Study Biological Assessment (Attachment 3) (David Magney Environmental Consultants, August 2022 and Appended March 2023). The Permittee shall ensure that a County-approved, qualified biologist prepares a Restoration Plan that includes the following:

² For the purposes of this mitigation measure, the conservation organization must meet all of the following criteria:

- (a) It must be a public conservation agency, or a private non-profit organization chartered under the US Code, Title 26, Part 501(c)3, whose primary purpose is the preservation and protection of land in its natural, scenic, historical, recreational and/or open space condition.
- (b) If it is a private non-profit organization, then it must be either a statewide, national or international organization, or a local community-based organization with a membership of at least 500 individuals and/or businesses.
- (c) It must have owned and/or managed natural resource/open space property, at least 50 acres in area, for at least one year. In lieu of meeting this requirement, a Conservation Organization may provide a financial surety to ensure the stewardship of the Conservation Parcel for a period of five years.
- (d) It must have the institutional and economic ability to maintain the property.

1. Restoration of vegetation specified in the Initial Study Biological Assessment (Attachment 3) for Coastal Sage Scrub and Chapparal [*Artemisia californica* and *Malosma laurina*]
2. A reference site for each vegetation alliance [*Artemisia californica* and *Malosma laurina*] that is an ecologically intact example of the alliance with minimal disturbance, with the following documented for each reference site:
 - a. Total percent cover by native plant species;
 - b. Species richness; and
 - c. Total percent cover by non-native plant species.
3. A plant palette and methods of salvaging, propagating, and planting. The plant palette shall consist only of plants propagated from locally collected (on the project site or adjacent to the project site) seeds or cuttings.
4. Methods of soil preparation.
5. Method and timing of irrigation.
6. Best Management Practices to avoid impacting the Coastal Sage Scrub and chapparal.
7. Maintenance and monitoring necessary to ensure that the restored plant communities meet the following success criteria by Year 5 of the maintenance and monitoring program:
 - a. 90 percent of the native plant cover found for the reference site;
 - b. 100 percent of the species richness found for the reference site; and
 - c. Equal or lower percent cover by non-native plant species as that found for the reference site.

The Permittee shall ensure that the Restoration Plan is fully implemented.

Offsite Preservation

The Permittee shall provide for the permanent protection of 5.84 acres of ESHA in the Santa Monica Mountains by acquiring and conveying APNs 694-0-100-160 and 694-0-100-110 (6 acres) to Mountains Recreation and Conservation Authority (MRCA), a qualified conservation organization. The Permittee shall provide for the establishment of an endowment to fund the long-term stewardship of the Conservation Land. The Permittee shall fund this endowment with a principal amount that, when managed and

invested prudently with an estimated rate of return like that of other endowments for similar purposes, is reasonably anticipated to cover the annual costs associated with the management, maintenance, monitoring, reporting, and other activities identified in the Conservation Plan (defined below) for the long-term stewardship of the Conservation Land.

The Permittee also shall make a one-time payment which will provide for the initial stewardship costs of the Conservation Land for up to three years while the endowment begins to accumulate investment earnings. The funds for the initial stewardship costs are distinct from the above-described funds for establishing the endowment. If there are funds remaining at the completion of the initial stewardship period, the funds shall be conveyed to the Permittee.

The acreages of ESHA vegetation alliances impacted by the Permittee's project must closely approximate the acreages of vegetation alliances preserved on the Conservation Land. The selected Conservation Land (APNs 694-0-100-160 and 694-0-100-110) are undeveloped, legal lots, have equivalent or greater overall habitat value than the ESHA that was cleared without a permit, is being removed for development purposes and will comply with the standards of Ventura County Coastal Zoning Ordinance Section 8178-2.10.5(b) related to Environmental Resources, Connectivity, and Preservation and Management. The area selected as the Conservation Land has been reviewed by the Planning Director and MRCA, the party responsible for the long-term stewardship of the Conservation Land, for adequacy.

Documentation:

Onsite Restoration

The Permittee shall submit to the Planning Division a Restoration Plan, prepared by a County-approved qualified biologist, to restore 0.25 acres of ESHA on APN 700-0-060-100. The Permittee shall submit a report with photographs of the restoration area and a description of the restoration work to demonstrate to the Planning Division that implementation of the Restoration Plan has commenced. The Permittee shall provide annual reports prepared by a County-approved qualified biologist on the progress of the restoration area for 5 years (or more, if the success criteria have not been met by Year 5).

Offsite Preservation

The Permittee shall submit to the Planning Division an acquisition and conservation plan addressing the following elements with respect to the Conservation Land and the endowment ("Conservation Plan"):

1. The location, acreage, and habitat types for all land proposed to be permanently protected;

2. Documentation in writing that the off-site mitigation lots used for ESHA preservation are undeveloped, legal lots that are used solely to implement compensatory mitigation.
3. Documentation in writing that the off-site mitigation lots satisfy the requirements of Ventura County Coastal Zoning Ordinance Section 8178-2.10.5 (b) including the following standards:
 - a. Environmental Resources - All off-site mitigation sites used for ESHA preservation shall contain the following environmental resources:
 - i. At least 90 percent of the lot shall be ecologically functioning ESHA and/or an ESHA wet environment buffer zone; or
 - ii. At least 50 percent of the lot shall be ecologically functioning ESHA and/or ESHA wet environment buffer zone plus one of the following: (1) an identified habitat connectivity corridor; (2) a wet environment, rock outcrops, dunes, or U.S. Fish and Wildlife Service (USFWS)-designated critical habitat ESHA; or (3) a lot is located within an acquisition area designated for conservation through a policy or planning document adopted by a federal, state, or County natural resource agency or a County-approved conservation organization.
 - b. Connectivity – The off-site mitigation sites used for compensatory mitigation shall not be isolated by development or other physical factors that would limit the movement of species to larger protected core ESHA areas. Specifically, the lot must be connected to a protected core ESHA or open space area by an intact native vegetation area that is at least 400 feet wide and less than 500 feet long. Wildlife must be able to move from the subject lot to core ESHA without encountering a major barrier (e.g., high-traffic road without wildlife-safe crossings, large facilities, etc.). An exception to this requirement may be allowed if the lot contains one of the following:
 - i. A sensitive biological resource that can persist in isolation (e.g., narrow endemic species or unique habitats such as vernal pools); or
 - ii. A habitat that functions as a steppingstone for special status species between protected core areas.
4. Provisions for initial and long-term stewardship of the Conservation Land and the estimated annual costs thereof and a description of the uses and maintenance activities that will be allowed within the ESHA.
5. The annual reporting, as defined in the Conservation Plan, shall be conducted by the party responsible for the long-term stewardship of the Conservation Land. Annual reports regarding the condition and stewardship of the Conservation Land shall be made available to the Planning Director, upon request;
6. An executed copy of Mountains Recreation and Conservation Authority adopted Resolution No. TBD authorizing the acceptance of the donation of APNs 694-0-100-160 and 694-0-100-110;
7. A description of, and schedule for, the acquisition and/or conveyance (in fee title or by conservation easement) of the Conservation Land to the Mountains Recreation and Conservation Authority to provide for its long-term stewardship.

The deed or other instrument that grants, or will grant, Mountains Recreation and Conservation Authority the authority to protect and maintain the ESHA shall be recorded with the deed to the property;

8. The proposed amount of the endowment and detailed description of how the amount of the endowment is computed; and,
9. The proposed amount of the initial stewardship costs, detailed description of how it is computed, and the duration of the initial stewardship period.

The Planning Division shall review the Conservation Plan, and if found to be adequate in light of applicable laws and the requirements set forth above, approve the submitted Conservation Plan for the protection of Conservation Lands.

All offsite Conservation Land shall be permanently protected through a conservation easement or deed restriction and subsequently conveyed (in fee title or in the form of a conservation easement) to Mountains Recreation and Conservation Authority. The conservation easement(s), deed restriction(s) and/or other conservation instrument(s) shall be submitted to the Planning Division for review and approval along with the Conservation Plan or HMP. Each conservation easement, deed restriction or other conservation instrument shall:

1. Include a copy of this condition of approval, a site-specific ESHA map, and legal description and map(s) of the areas that are subject to the conservation easement, deed restriction or other conservation instrument (“Protected Areas”);
2. Include provisions for the long-term preservation and maintenance of the Protected Areas by describing what maintenance activities are allowed, and by stating that the following are prohibited in the Protected Areas:
 - a. removal, mining, excavation, or disturbance of the soil or surface rocks or decaying material such as fallen trees;
 - b. dumping, filling, storing, disposal, burying, or stockpiling of any natural or manmade materials;
 - c. erection of buildings or structures of any kind, including, but not limited to, fencing, corrals, advertising signs, antennas, and light poles;
 - d. placement of pavements, concrete, asphalt and similar impervious materials, laying of decomposed granite for pathways, or setting of stones, paving bricks, or timbers;
 - e. operation of dune buggies, motorcycles, all-terrain vehicles, bicycles, mowers, tractors, or any other types of motorized or non-motorized vehicles or equipment;
 - f. removal or alteration of native trees or plants, through such activities as irrigating, mowing, draining, plowing, tilling or disking, except as necessary for controlled burns or fuel reduction as regulated by the Ventura County Fire Protection District, or for removal of non-native species and native habitat restoration or maintenance under the direction of a qualified biologist;
 - g. application of insecticides or herbicides, poisons, or fertilizers;
 - h. grazing or keeping of cattle, sheep, horses or other livestock, or pet animals;

- i. agricultural activity of any kind including the harvesting of native materials for commercial purposes;
 - j. planting, introduction, or dispersal of non-native plant or animal species;
 - k. hunting or trapping, except live trapping for purposes of scientific study or removal of non-native species;
 - l. manipulating, impounding or altering any natural watercourse, body of water or water circulation and activities or uses detrimental to water quality, including but not limited to degradation or pollution of any surface or sub-surface waters;
 - m. artificial lighting that illuminates or is directed towards ESHA; and
 - n. other activities that damage the existing flora, fauna or hydrologic conditions;
3. Be recorded with the Office of County Recorder, with a copy of the recorded document provided to the Planning Division.

Timing:

Restoration Plan

Prior to issuance of a Zoning Clearance for construction, the Permittee shall provide the Restoration Plan and final site plan to Planning Division staff for review and approval. The Permittee shall record these conditions of approval and provide a copy of the recorded conditions of approval and Restoration Plan to the Planning Division, prior to issuance of a Zoning Clearance for construction. Implementation of the Restoration Plan shall commence prior to issuance of Certificate of Occupancy. The annual reports must be provided to the Planning Division by December 31st of each year during the monitoring period.

Offsite Preservation

The Permittee shall submit a Conservation Plan along with the conservation easement(s), deed restriction(s) or other conservation instrument(s), in accordance with the applicable requirements of this condition above, to the Planning Director for review and approval. Prior to issuance of Zoning Clearance for construction, the final recorded conservation easement and/or other legal instrument required by this condition shall be submitted to the Planning Division.

Monitoring and Reporting:

Restoration Plan

The Planning Division shall review for approval the Restoration Plan and revised site plan prior to issuing a Zoning Clearance for construction. The Planning Division shall review the Permittee's report with photographs of the restoration area and a description of the restoration work to confirm that implementation of the Restoration Plan has commenced

prior to issuance of a Certificate of Occupancy. The restoration area must be monitored by a County-approved qualified biologist for at least 5 years (or more, if the success criteria have not been met by Year 5). The biologist shall provide an annual report on the status of the restoration area, including results of qualitative monitoring (i.e., photographs taken at permanent photo-points, observations of the health and condition of plantings and wildlife use of the restoration area) and quantitative monitoring (i.e., randomly placed transects to estimate cover and richness), to the Planning Division for the length of the monitoring period. The Permittee shall submit the annual reports to the Planning Division to demonstrate compliance with this condition and the success criteria. The release of the requirement for monitoring the restoration area may occur when the Planning Division determines that the success criteria have been met by Year 5 or later, based on the annual reports and a Planning Division staff site inspection.

Offsite Preservation

The Planning Division maintains a copy of the recorded conservation easement or deed restriction, or conservation instrument, in the Project file. The Planning Division has the authority to inspect the property subject to the conservation easement or deed restriction, or conservation instrument, to ensure that it is maintained as required. If the Planning Division confirms that the restricted area has not been maintained as required, enforcement actions may be enacted in accordance with § 8183-5 of the *Ventura County Coastal Zoning Ordinance*.

Mitigation Measure BIO-9: Fuel Modification Plan

Purpose: To mitigate potentially significant impacts to ESHA from fuel modification activities.

Requirement: The Permittee shall use a County-approved qualified biologist or licensed landscape architect to prepare a Fuel Modification Plan for County Planning review and approval that minimizes impacts to ESHA and meets the Ventura County Fire Protection District's requirements to modify fuels surrounding structures. The Fuel Modification Plan shall specify the methods of modifying vegetation surrounding structures that will avoid impacts to ESHA (e.g., use of hand tools to prune vegetation, thinning shrubs rather than clear-cutting, avoiding rare plants, avoiding nesting birds).

Documentation: A Fuel Modification Plan prepared by a County-approved qualified biologist or licensed landscape architect.

Timing: The Permittee shall submit a Fuel Modification Plan prior to issuance of a Zoning Clearance for construction.

Monitoring and Reporting: The Permittee shall submit the Fuel Modification Plan to Planning Division and the Ventura County Fire Protection District for review and approval to assure compliance with the requirements of this condition prior to issuance of a Zoning Clearance for construction. The Planning Division maintains copies of the Fuel Modification Plan provided by the Permittee in the Project file.

Potential permanent impacts to ESHA and/or ESHA buffers would be adequately mitigated with the implementation of MM-BIO-5 through MM-BIO-9.

Therefore, project-specific impacts would be less than significant and would not result in a cumulatively considerable impact with regard to ESHA and/or ESHA buffers. Residual impacts would be less than significant.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
4E. Habitat Connectivity								
Will the proposed project:								
1) Remove habitat within a wildlife movement corridor?	X				X			
2) Isolate habitat?	X				X			
3) Construct or create barriers that impede fish and/or wildlife movement, migration or long term connectivity or interfere with wildlife access to foraging habitat, breeding habitat, water sources, or other areas necessary for their reproduction?		X				X		
4) Intimidate fish or wildlife via the introduction of noise, light, development or increased human presence?			X				X	

E. Habitat Connectivity Impact Discussion:

4E-1.-4E-4. Article 2 of Ventura County CZO defines Habitat Connectivity Corridor – An area of contiguous natural habitats of sufficient width to facilitate the movement, migration, foraging, breeding, and dispersal of multiple animal or plant species between two or more core habitat areas. Habitat connectivity corridors facilitate important ecological functions such as seed and wildlife dispersal or pollination. Riparian habitats, streams, canyons, and wooded ridgelines function as habitat connectivity corridors and in some cases, areas of natural vegetation within developed areas may function as a movement corridor for certain species. The proposed project involves the minimal removal of habitat within a wildlife movement corridor, subject to fuel modification requirements and appropriate compensatory offset as required above. Because the project results in minimization of impacts from the removal of habitat within a wildlife

movement corridor, the project would not have a project-specific or cumulative impact on habitat within wildlife movement corridors.

No physical barriers to connectivity exist for the project site; however, certain types of fencing, which are typically erected for residential development, may create barriers to wildlife movement and habitat connectivity. To avoid future barriers to wildlife movement, Mitigation Measure BIO-10 shall be implemented, which will require fencing outside the development footprint to be permeable to wildlife.

In addition, the future occupation of the residence will likely increase levels of noise and human presence above existing levels; however, the increased noise levels are not considered to be significant impacts, as the noise levels are consistent with those typical of a residential development.

No lighting is proposed as part the of the project; however, the proposed project will likely incorporate lighting that could have a significant impact on wildlife movement, if it is excessive or shines into adjacent areas with native vegetation. Therefore, Mitigation Measure BIO-11 shall be implemented, which requires the Permittee to submit a lighting plan.

Mitigation/Residual Impact(s)

Mitigation Measure BIO-10: Fencing Adjacent to Wildlife Corridors

Purpose: To mitigate potentially significant environmental impacts to wildlife migration corridors from fencing.

Requirement: The Permittee shall ensure that all new fences or walls, except for those within 100 feet of structures and retaining walls, are permeable to wildlife, and conform to the following standards:

- a. A split-rail, pole, or wire fences must be constructed such that:
 - The top rail or wire is no more than 40 inches above the ground;
 - The top two rails or wires are at least 12 inches apart;
 - The bottom wire or rail is at least 18 inches above the ground;
 - Both the top and bottom wires or rails are smooth (no barbed wire on the top or bottom wires);
 - There are no vertical stays; and
 - The posts are located a minimum of 10 feet apart.
 - Fencing for grazing shall be limited to moveable one or two-strand electric fencing.

Documentation: The Permittee shall submit plans to the Planning Division for review and approval, which identify all fences to be constructed on the Project site. These plans must identify the fence locations and include schematic elevations detailing the design of, and materials to be used in, the fencing.

Timing: Prior to the issuance of a Zoning Clearance for construction, the Permittee shall submit a site plan which identifies all fences to be constructed on the Project site, to the Planning Division for review and approval. The Permittee shall install the approved fencing, prior to issuance of a Certificate of Occupancy for the principal structure.

Monitoring and Reporting: The Planning Division has the authority to conduct site inspections to ensure that the Permittee installs and maintains the fencing in compliance with this condition, consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

Mitigation Measure BIO-11: Wildlife Habitat Outdoor Lighting/Glare Condition

Purpose: To mitigate potentially significant environmental impacts from light and glare to wildlife migration corridors and/or wildlife habitat and to implement Ventura County Coastal Zoning Ordinance Sections 8177-4.1.11 (Outdoor Lighting) and Section 8178-2.6.15 (Outdoor Lighting Standards in ESHA and Buffer Zones) to preserve the natural darkness of the night sky, reduce sky glow, minimize light trespass, improve star viewing, and decrease energy consumption.

Requirement: All outdoor lighting shall be limited to essential lighting for security lighting at entry gates, principal structures, driveways, or yards, shall be fully shielded, directed downward, and installed and maintained in such a manner to avoid light trespass in excess of 0.1 foot-candles at the vertical plane and the horizontal plane at the edge of the building site to prevent the illumination of surrounding habitat. Outdoor light fixtures shall only be installed outside ESHA and in locations where light trespass into and the direct illumination of ESHA are avoided, except when outdoor lighting is necessary for a resource-dependent use within ESHA that is authorized by Section 8178-2.5. Lighting utilized for private driveway/access road shall be limited to solar light, reflectors or other low lumen options (under 60 lumens) for safe passage. Outdoor light in the ultraviolet spectrum range, uplighting (whether of the building or landscapes or other site improvements), floodlights, lights that blink flash, rotate, fade intermittently or have strobe light illumination are prohibited. Permanent landscape lighting (including string lights) located outside of occupied dining and patio entertainment areas are prohibited. All glass and other materials used on building exteriors and structures must be selected to minimize reflective glare. To minimize light and glare from emanating from the Project site, all light fixtures located on the exterior of structures, as well as all freestanding light standards, must be high cut-off type that divert lighting downward onto the property to avoid the casting of any direct light onto the adjacent habitat.

Site Light Shall Comply with Standards within Ventura County Coastal Zoning Ordinance Section 8177-4.1.11.5 (General Outdoor Lighting Standards) including the following (Except as Exempted in Ventura County Coastal Zoning Ordinance Sections 8177-4.1.11.2 (a), (b)(1), (2) & (4) and (d)):

1. Lighting Color. The correlated color temperature of each outdoor light fixture, except those used for security lighting (see Ventura County Coastal Zoning Ordinance Section 8177-4.1.11.5(h)), shall not exceed 2,700 Kelvin.

2. Maximum Lumens Per Light Fixture. All outdoor lighting shall have a maximum lumen output per light fixture as follows:
 - a. Walkway lighting shall have a maximum output of 100 lumens per light fixture.
 - b. See subsection 5. (Below) for lumen standards regarding security lighting.
 - c. All other lighting shall have a maximum output of 850 lumens.
3. Maximum Height Allowance.
 - a. Lighting fixtures shall be mounted as low as possible for the needed purpose.
 - b. Freestanding light fixtures used to light walkways, or hardscaping shall be located no higher than two feet above ground level.
 - c. In cases where light fixtures are affixed to fences, the top of the fixture shall not be higher than the height of the fence or greater than 6 feet, whichever is less.
 - d. All other freestanding light fixtures shall be no higher than 20 feet above ground level.
4. Dark Hours. Outdoor lighting shall be turned off from 10:00 p.m. until sunrise, or when people are no longer present in exterior areas being illuminated, whichever is the latest. Photocells or photocontrols shall be used to ensure all outdoor lighting is automatically extinguished (or not triggered by motion sensors) when sufficient daylight is available. Automated controls should be fully programmable and supported by battery or similar backup.
5. Essential Lighting.
 - a. Outdoor lighting shall utilize the minimum output necessary for the intended purpose and the correlated color temperature shall be 2700 Kelvin or less. All essential and security lighting shall be controlled by a motion detector or timer programmed to turn off no more than five minutes after activation.
 - b. Outdoor light fixtures used for security lighting shall be attached to legally established buildings or entry gate structures and controlled by motion sensors which extinguish no later than five minutes after activation. Security lighting shall not exceed a maximum output of 2,600 lumens per light fixture.

Documentation: The Permittee shall submit two copies of a lighting plan to the Planning Division for review and approval. The Permittee shall include the manufacturer's specifications for each exterior light fixture type (e.g., light standards, bollards, and wall mounted packs) in the lighting plan. The lighting plan must include illumination information within parking areas, pathways and structures proposed throughout the development. The Permittee shall install all exterior lighting in accordance with the approved lighting plan.

Timing: The Permittee shall submit the lighting plan to the Planning Division for review and approval, prior to the issuance of a Zoning Clearance for construction. The Permittee shall maintain the lighting pursuant to the approved lighting plan for the life of the Project.

Monitoring and Reporting: The Planning Division maintains a stamped copy of the approved lighting plan in the Project file. The Permittee shall ensure that the lighting is installed according to the approved lighting plan prior to the issuance of a Certificate of Occupancy. The Building and Safety Inspector and Planning Division staff have the authority to ensure that the lighting plan is installed according to the approved lighting

plan. The Planning Division has the authority to conduct site inspections to ensure ongoing compliance with this condition consistent with the requirements of 8183-5 of the Ventura County Coastal Zoning Ordinance.

With the implementation of Mitigation Measures BIO-10 and BIO-11, impacts to wildlife movement will be mitigated to a less-than-significant level.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
4F. Will the proposed project be consistent with the applicable General Plan Goals and Policies for Item 4 of the Initial Study Assessment Guidelines?			X				X	

F. Impact Discussion:

4F. The proposed project is consistent with the Ventura County General Plan Goals and Policies of the Ventura County Initial Study Assessment Guidelines. The project is consistent with General Plan Biological Resources Policies COS -1.1 (Protection of Sensitive Biological Resources) and COS-1.2 (Consideration of Sensitive Biological Resources) requires discretionary development that could potentially impact biological resources to be evaluated by a qualified biologist to assess impacts, and, if necessary, develop mitigation measures to mitigate any significant impacts to biological resources to less-than-significant. An Initial Study Biological Assessment (ISBA) (DMEC 2022) was prepared for the proposed project. With the implementation of Mitigation Measures BIO-1 through BIO-11 to protect the biological resources identified in the ISBA, the proposed project will be consistent with General Plan Policies COS-1.1 and COS-1.2.

The project site is located within areas that are subject to the Coastal Area Plan. Coastal Area Plan South Coast Santa Monica Mountains Policy 4.4.2.12 requires National Park Service, Coastal Conservancy, the Santa Monica Mountains Conservancy, State Department of Parks and Recreation, County Recreation Services, and Trust for Public Lands be consulted for discretionary entitlement applications that may adversely affect the biological resources. The Planning Division notified and requested comments from the National Parks Service, Santa Monica Mountains Conservancy, California State Coastal Conservancy, California State Parks, the Trust of Public Lands and Ventura County General Services Agency Parks Division regarding the proposed project. To date, no responses have been received.

Additionally, Coastal Area Plan South Coast Santa Monica Mountains Policy 5.8 (b) requires all habitat areas to be permanently maintained in open space through an easement or other appropriate means. The proposed project will be consistent with Coastal Area Plan South Coast Santa Monica Mountains Policy 5.8 (b) with the implementation of Mitigation Measure BIO-8, which will require the Applicant to enhance, restore, establish, and preserve ESHA at a 2:1 mitigation-to-impact ratio (The Permittee

will be required to mitigate 3.045 acres of ESHA at a 2:1 ratio (6.09 acres total). Restoration of 0.25 acres will occur on APN 700-0-060-100 (the project site)). The Permittee shall provide for the permanent protection of 5.84 acres of ESHA in the Santa Monica Mountains by acquiring and conveying APNs 694-0-100-160 and 694-0-100-110 (6 acres) to Mountains Recreation and Conservation Authority (MRCA)) through off-site compensatory mitigation and all onsite ESHA be permanently protected in perpetuity through a conservation easement or deed restriction. As a result, the proposed project is consistent with General Plan Goals and Policies and Coastal Area Plan policies governing biological resources.

Mitigation/Residual Impact(s)

With the implementation of Mitigation Measures BIO-1 through BIO-11, residual impacts will be less than significant.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
5A. Agricultural Resources – Soils (PIng.)								
Will the proposed project:								
1) Result in the direct and/or indirect loss of soils designated Prime, Statewide Importance, Unique or Local Importance, beyond the threshold amounts set forth in Section 5a.C of the Initial Study Assessment Guidelines?	X				X			
2) Involve a General Plan amendment that will result in the loss of agricultural soils?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 5A of the Initial Study Assessment Guidelines?	X				X			

5. Agricultural Resources

A. Soils Impact Discussion:

5A-1. The proposed project site includes soils designated as “Other Land” in the Ventura County Important Farmland Inventory (VCGIS 2022). The proposed project will not result in the removal of classified agricultural soils. Therefore the project will have no project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, related to the loss of agricultural soils designated “Prime,” having “Statewide Importance,” “Unique,” or having “Local Importance.”

5A-2. The proposed project does not include a General Plan amendment that will result in the loss of designated agricultural soils. Therefore, the proposed project will have no impact, and will not make a cumulatively considerable contribution to a significant cumulative impact, related to agricultural soil resources.

5A-3. The proposed project is consistent with the applicable Ventura County General Plan Goals and updated Ventura County General Plan Policies corresponding with Item 5a of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
5B. Agricultural Resources - Land Use Incompatibility (AG.)								
Will the proposed project:								
1) If not defined as Agriculture or Agricultural Operations in the zoning ordinances, be closer than the threshold distances set forth in Section 5b.C of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 5b of the Initial Study Assessment Guidelines?	X				X			

B. Land Use Incompatibility (Ag. Dept.) Impact Discussion:

5B-1. The proposed project site is not located on land zoned for agriculture, nor is it directly adjacent to agricultural land in production. In addition, the site is not located within the 300 feet threshold distance set forth in Section 5b.C of the *Ventura County Initial Study Assessment Guidelines*, to lands that are in agricultural production. Therefore, the proposed project will not have a project-specific impact on agricultural resources, and will not make a cumulatively considerable contribution to a significant cumulative impact related to agricultural resources.

5B-2. The proposed project is consistent with the applicable Ventura County General Plan Goals and updated Ventura County General Plan Policies corresponding with Item 5b of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
6. Scenic Resources (PIng.)								
Will the proposed project:								
a) Be located within an area that has a scenic resource that is visible from a public viewing location, and physically alter the scenic resource either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable future projects?		X				X		
b) Be located within an area that has a scenic resource that is visible from a public viewing location, and substantially obstruct, degrade, or obscure the scenic vista, either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable future projects?		X				X		
c) Be consistent with the applicable General Plan Goals and Policies for Item 6 of the Initial Study Assessment Guidelines?	X				X			

6. Scenic Resources Impact Discussion:

6a. and 6b. The proposed project site does not include any land within the Scenic Resource Protection (SRP) Overlay Zone. However, the site is within the Santa Monica Mountains Overlay Zone. The Santa Monica Mountains consist of sensitive habitats, such as riparian corridors, native chaparral and oak woodlands. The proposed project will not be visible from California State Highway 1 – Pacific Coast Highway or the nearest trails that are part of the Point Mugu State Park Trail System, including Big Sycamore Canyon Trail and Yellow Hill Trail. The California Department of Parks and Recreation’s Yellow Hill Trail is approximately 1.17 miles east of the proposed project site, and Big Sycamore Canyon Trail is approximately 2.6 miles west of the proposed project site. In addition, the proposed project site is located greater than 1,000 feet from publicly owned park lands.

Planning Division staff conducted a site visit on June 16, 2022 and determined that the proposed project site was not significantly visible from public roadways or viewing locations. Further, the proposed project will maintain a low building profile and will be built as a one-story single-family dwelling with a flat roof. The single-family dwelling will be built as a contemporary-modern style residence with open, minimalist decorative elements,

and extensive use of modern or “industrial” mixed materials throughout the home. Mitigation Measure BIO-9 requires the applicant to submit a Fuel Modification Plan that minimizes impacts to ESHA and meets the Ventura County Fire Protection District’s requirements to modify fuels surrounding structures. With the implementation of Mitigation Measures MM BIO-2, MM BIO-9 and MM BIO-8 which will preserve the Environmentally Sensitive Habitat Area (ESHA) onsite and mitigate for lost ESHA, the proposed project will not substantially degrade native vegetation onsite.

PRC § 30240 requires development in areas adjacent to environmentally sensitive habitat areas be designed to prevent impacts which would significantly degrade those areas. Public Resources Code (PRC) § 30251 requires permitted development to be sited and designed to protect views to and along the ocean and scenic coastal areas, to minimize the alteration of natural landforms, to be visually compatible with the character of surrounding areas, and, where feasible, to restore and enhance visual quality in visually degraded areas. In order to ensure that the site blends in with the natural environment of the Santa Monica Mountains, the proposed project will be conditioned to require that the single-family dwelling be painted with earth tone colors. With the design of the house intended to blend in with the natural environment, the proposed project would result in less-than-significant project-specific impacts and would not result in a cumulatively considerable contribution to a significant cumulative impact, related to scenic resources.

Condition of Approval – Scenic Resources: Materials and Colors in the Santa Monica Mountains Overlay Zone

Purpose: In order to ensure that buildings and structures comply with Public Resources Code §§ 30240(b) and 30251.

Requirement: The Permittee shall utilize natural building materials and colors compatible with surrounding terrain (earth tones and non-reflective paints) on exterior surfaces of all structures, including but not limited to the dwelling, trash area, water tanks, walls, pilasters, and fences.

Documentation: A copy of the approved plans denoting the colors and materials. The Permittee shall provide photos of the constructed principal structure/use and landscaping to the Planning Division, or schedule a site inspection with the Planning Division, to verify that the Permittee constructed and painted the principal structure/use and installed landscaping and irrigation according to the approved plans and materials sample/color board.

Timing: Prior to the issuance of a Zoning Clearance for construction of the project, the Permittee shall submit the building plans with the colors and materials noted on all structures for review and approval by the Planning Division. Prior to final inspection, the Permittee shall paint the structures according to the approved plans. Prior to Certificate of Occupancy, the Permittee shall provide photographs demonstrating that the Permittee constructed the principal structure or use in compliance with the approved plans and materials sample/color board and all landscaping and irrigation has been installed in

accordance with the approved plans or schedule a site inspection with the Planning Division, to verify that the Permittee constructed and painted the principal structure/use and installed landscaping and irrigation according to the approved plans and materials sample/color board.

Monitoring and Reporting: The Planning Division maintains the approved plans in the Project files. Prior to occupancy, the Planning Division has the authority to inspect the site to ensure that the exterior of the structures was treated as approved. The Permittee shall maintain these materials and colors throughout the life of the PD Permit. The Planning Division has the authority to inspect the site to confirm on-going compliance with the approved plans consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

6c. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies and the Ventura County Coastal Area Plan Policies (The South Coast, Santa Monica Mountains Policies 7) for Item 6 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
7. Paleontological Resources								
Will the proposed project:								
a) For the area of the property that is disturbed by or during the construction of the proposed project, result in a direct or indirect impact to areas of paleontological significance?		X				X		
b) Contribute to the progressive loss of exposed rock in Ventura County that can be studied and prospected for fossil remains?	X				X			
c) Be consistent with the applicable General Plan Goals and Policies for Item 7 of the Initial Study Assessment Guidelines?	X				X			

7. Paleontological Resources Impact Discussion:

7a. The proposed project site contains native soils classified as residual soil and slopewash or colluvium underlying sedimentary bedrock assigned to the Topanga formation with intrusive volcanics, as discussed in the Geotechnical Report from Gold Coast Geoservices, Inc., dated April 5, 2022 and addendum letter, dated July 26, 2022 (Attachment 7). According to CZO Section 8178-3.2, the Topanga Formation is classified by the Bureau of Land Management as of Moderate Paleontological Resource importance. Area classified Moderate are described as geological units which may contain vertebrate fossils or scientifically significant non-vertebrate fossils, by where occurrences are widely scattered. In such areas, the potential for a project to be sited on or impact a scientifically significant fossil locality is low. Consequently, the proposed Project is below the threshold of significance to require mitigation. Therefore, the proposed project will create a less-than-significant project-specific impact, and will make a less-than-significant cumulatively considerable contribution to a significant cumulative impact, to paleontological resources.

Although the proposed project is unlikely to result in impacts to paleontological resources, future grading activities will be subject to the following condition of approval, to ensure the protection of any subsurface resources that are inadvertently encountered during grading activities.

Paleontological Resources Discovered During Grading

Purpose: In order to mitigate potential impacts to paleontological resources that may be encountered during ground disturbance or construction activities.

Requirement: If any paleontological remains are uncovered during ground disturbance or construction activities, the Permittee shall:

- a. Cease operations and assure the preservation of the area in which the discovery was made;
- b. Notify the Planning Director in writing, within three days of the discovery;
- c. Obtain the services of a paleontological consultant or professional geologist who shall assess the find and provide a report that assesses the resources and sets forth recommendations on the proper disposition of the site;
- d. Obtain the Planning Director's written concurrence with the recommended disposition of the site before resuming development; and
- e. Implement the agreed upon recommendations.

Documentation: The Permittee shall submit the paleontologist's or geologist's reports. Additional documentation may be required to demonstrate that the Permittee has implemented the recommendations set forth in the paleontological report.

Timing: If any paleontological remains are uncovered during ground disturbance or construction activities, the Permittee shall provide the written notification to the Planning Director within three days of the discovery. The Permittee shall submit the paleontological report to the Planning Division immediately upon completion of the report.

Monitoring and Reporting: The Permittee shall provide the paleontological report to the Planning Division to be made part of the Project file. The Permittee shall implement any recommendations made in the paleontological report to the satisfaction of the Planning Director. The paleontologist shall monitor all ground disturbance activities within the area in which the discovery was made, in order to ensure the successful implementation of the recommendations made in the paleontological report. The Planning Division has the authority to conduct site inspections to ensure that the Permittee implements the recommendations set forth in the paleontological report, consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

7b. As described above, the proposed Project overlies a geological area within the Topanga Formation. While the Topanga Formation has the potential for widely scattered fossils, the proposed development activities will not result in the progressive loss of rock suitable for study or fossil retrieval. The project involves grading of the of the area around the proposed building pad and the access road; earthwork quantities estimated in the preliminary grading plan are 4,308 cubic yards (cu. yds.) of cut, 2,835 cu. yds. of fill and 14,473 cu yds. of export. Grading cross section in the Geotechnical Report (Attachment 7) indicate a relatively shallow but wide area of grading necessary to achieve the stabilization and drainage recommendations (approximately 3-5 feet). Based on this information, the proposed Project will not contribute to the progressive loss of exposed rock that can be studied and prospected for fossil remains.

7c. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 7 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
8A. Cultural Resources - Archaeological								
Will the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Demolish or materially alter in an adverse manner those physical characteristics that account for the inclusion of the resource in a local register of historical resources pursuant to Section 5020.1(k) requirements of Section 5024.1(g) of the Public Resources Code?		X				X		
2) Demolish or materially alter in an adverse manner those physical characteristics of an archaeological resource that convey its archaeological significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for the purposes of CEQA?		X				X		
3) Be consistent with the applicable General Plan Goals and Policies for Item 8A of the Initial Study Assessment Guidelines?	X				X			

8. Cultural Resources

A. Archaeological Impact Discussion:

8A-1. The project site is not located within a 0.25-mile radius of recorded prehistoric or historical archaeological sites. The applicant retained an archaeologist to prepare a Phase I Cultural Resources Assessment (Cogstone., February 2022) to evaluate the proposed project's potential to adversely affect archaeological resources. The Phase I record search with the South Central Coastal Information Center and surface survey of the project site did not reveal the presence of archaeological resources. In addition to the Phase I study, the Planning Division staff contacted local Native American representatives in August 2022 pursuant to Public Resource Code 21080.3.1 et seq (AB52) for comment and review. No responses were received regarding the proposed project.

Although the project is unlikely to result in impacts to Archaeological, future grading activities subject to the following conditions of approval to ensure the protection of any subsurface resources that are inadvertently encountered during grading.

Purpose: In order to mitigate potential impacts to archaeological resources discovered during ground disturbance.

Requirement: The Permittee shall implement the following procedures:

1. If any archaeological or historical artifacts are uncovered during ground disturbance or construction activities, the Permittee shall:

- (1) Cease operations and assure the preservation of the area in which the discovery was made;
- (2) Notify the Planning Director in writing, within three days of the discovery;
- (3) Obtain the services of a County-approved archaeologist who shall assess the find and provide recommendations on the proper disposition of the site in a written report format;
- (4) Obtain the Planning Director's written concurrence of the recommended disposition of the site before resuming development; and
- (5) Implement the agreed upon recommendations.

2. If any human burial remains are encountered during ground disturbance or construction activities, the Permittee shall:

- (1) Cease operations and assure the preservation of the area in which the discovery was made;
- (2) Immediately notify the County Coroner and the Planning Director;
- (3) Obtain the services of a County-approved archaeologist and, if necessary, Native American Monitor(s), who shall assess the find and provide recommendations on the proper disposition of the site in a written report format;
- (4) Obtain the Planning Director's written concurrence of the recommended disposition of the site before resuming development on-site; and
- (5) Implement the agreed upon recommendations.

Documentation: If archaeological remains are encountered, the Permittee shall submit a report prepared by a County-approved archaeologist including recommendations for the proper disposition of the site. Additional documentation may be required to demonstrate that the Permittee has implemented any recommendations made by the archaeologist's report.

Timing: If any archaeological remains are uncovered during ground disturbance or construction activities, the Permittee shall provide the written notification to the Planning Director within three days of the discovery. The Permittee shall submit the archaeological report to the Planning Division immediately upon completion of the report.

Monitoring and Reporting: The Permittee shall provide the archaeological report to the Planning Division to be made part of the Project file. The Permittee shall implement any recommendations made in the archaeological report to the satisfaction of the Planning Director. The archaeologist shall monitor all ground disturbance activities within the area in which the discovery was made, in order to ensure the successful implementation of the recommendations made in the archaeological report. The Planning Division has the authority to conduct site inspections to ensure that the Permittee implements the recommendations set forth in the archaeological report, consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

With the inclusion of Archaeological Resources Condition, the proposed project would not demolish or materially alter in an adverse manner the physical characteristics of an archaeological resource in a local register, pursuant to Section 5020.1(k) requirements of Section 5024.1(g) of the Public Resources Code. Therefore, the proposed project will have a less than significant impact on archaeological resources. Furthermore, the proposed project will not make a cumulatively considerable contribution to a significant cumulative impact related to archaeological resources.

8A-2. As stated in Section 8a-1 of this Initial Study (above), the Phase I record search and surface survey of the project site did not reveal the presence of archaeological resources. The proposed project will not demolish or materially alter in an adverse manner the physical characteristics that justify a resource’s inclusion in the California Register of Historical Resources. With the inclusion of Archaeological Resources Condition 1, the proposed project will have a less than significant impact on archaeological resources. Furthermore, the proposed project will not make a cumulatively considerable contribution to a significant cumulative impact to archaeological resources.

8A-3. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 8a of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
8B. Cultural Resources – Historic (PIng.)								
Will the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Demolish or materially alter in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources?	X				X			
2) Demolish or materially alter in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to Section 5020.1(k) of the Public Resources Code or its identification in a historical resources survey meeting the requirements of Section 5024.1(g) of the Public Resources Code?	X				X			
3) Demolish or materially alter in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA?	X				X			
4) Demolish, relocate, or alter an historical resource such that the significance of the historical resource will be impaired [Public Resources Code, Sec. 5020(q)]?	X				X			

B. Historical Impact Discussion:

8B-1 – 8B4. The subject property currently does not include any existing development other than two cleared areas and the existing well location. Therefore, the proposed project will have no impact on historical resources. Furthermore, the proposed project will not make a cumulatively considerable contribution to a significant cumulative impact to historical resources.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
9. Coastal Beaches and Sand Dunes								
Will the proposed project:								
a) Cause a direct or indirect adverse physical change to a coastal beach or sand dune, which is inconsistent with any of the coastal beaches and coastal sand dunes policies of the California Coastal Act, corresponding Coastal Act regulations, Ventura County Coastal Area Plan, or the Ventura County General Plan Goals, Policies and Programs?	X				X			
b) When considered together with one or more recently approved, current, and reasonably foreseeable probable future projects, result in a direct or indirect, adverse physical change to a coastal beach or sand dune?					X			
c) Be consistent with the applicable General Plan Goals and Policies for Item 9 of the Initial Study Assessment Guidelines?	X				X			

9. Coastal Beaches and Sand Dunes Impact Discussion:

9a and 9b. The proposed project is located within the Coastal Zone/Santa Monica Mountains Overlay Zone of the County of Ventura’s Local Coastal Program. The project site is approximately 0.9 miles north of the Pacific Ocean and ranges in elevation from approximately 825 to 940 feet above mean sea level. The proposed project’s distance from the coast does not have the potential to adversely impact a coastal beach or sand dune. Therefore, the proposed project will not create a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, to coastal beaches or sand dunes.

9c. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 9 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
10. Fault Rupture Hazard (PWA)								
Will the proposed project:								
a) Be at risk with respect to fault rupture in its location within a State of California designated Alquist-Priolo Special Fault Study Zone?	X							
b) Be at risk with respect to fault rupture in its location within a County of Ventura designated Fault Hazard Area?	X							
c) Be consistent with the applicable General Plan Goals and Policies for Item 10 of the Initial Study Assessment Guidelines?	X				X			

HAZARDS:

10. Fault Rupture Impact Discussion:

Any discussion of potential impacts of fault rupture hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

10a. -10b. There are no known active or potentially active faults extending through the project site, as evidenced by the Earthquake Zones of Required Investigation interactive map published by the California Geological Survey in accordance with the Alquist-Priolo Earthquake Fault Zoning Act. Furthermore, the proposed single-family dwelling is not within 50 feet of a mapped surface trace of an active fault. Therefore, the proposed project will not result in a project-specific impact from a potential fault rupture hazard.

The hazards from fault rupture will affect each project individually, and no cumulative fault rupture impacts will occur as a result of other approved, proposed, or probable projects.

10c. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 9 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
11. Ground Shaking Hazard (PWA)								
Will the proposed project:								
a) Be built in accordance with all applicable requirements of the Ventura County Building Code?		X						
b) Be consistent with the applicable General Plan Goals and Policies for Item 11 of the Initial Study Assessment Guidelines?	X				X			

11. Ground Shaking Hazard Impact Discussion:

Any discussion of potential impacts of ground shaking hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

11a. and 11b. The property will be subject to moderate to strong ground shaking from seismic events on local and regional fault systems. The present County of Ventura Building code adopted from the California Building Code, dated 2022, Chapter 16, Section 1613 requires the structures be designed to withstand this ground shaking. These parameters may need to be updated to the building code in effect at the time the application for a building permit is submitted. The requirements of the building code will reduce the effects of ground shaking to less than significant.

The hazards from ground shaking will affect each project individually; and no cumulative ground shaking hazard will occur as a result of other approved, proposed, or probable projects.

Therefore, the project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 11 of the *Ventura County Initial Study Assessment Guidelines*.

The hazards from ground shaking will affect each project individually; and no cumulative ground shaking hazard will occur as a result of other approved, proposed, or probable projects.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
12. Liquefaction Hazards (PWA)								
Will the proposed project:								
a) Expose people or structures to potential adverse effects, including the risk of loss, injury, or death involving liquefaction because it is located within a Seismic Hazards Zone?	X							
b) Be consistent with the applicable General Plan Goals and Policies for Item 12 of the Initial Study Assessment Guidelines?	X				X			

12. Liquefaction Hazards Impact Discussion:

Any discussion of potential impacts of liquefaction hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

12a. The project site is not located within a potential liquefaction zone based on the review of the applicable GIS Map (Ventura County GIS 2022). This map is a compilation of the State of California Seismic Hazards Maps for the County of Ventura and is used as the basis for delineating the potential liquefaction hazards within the County. Consequently, liquefaction is not a factor for the proposed project and the site is not within a State of California Seismic Hazards zone for liquefaction. There is no impact from potential hazards from liquefaction.

The hazards from liquefaction will affect each project individually; and no cumulative liquefaction hazard will occur as a result of other approved, proposed, or probable projects.

12b. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 12 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
13. Seiche and Tsunami Hazards (PWA)								
Will the proposed project:								
a) Be located within about 10 to 20 feet of vertical elevation from an enclosed body of water such as a lake or reservoir?								
b) Be located in a mapped area of tsunami hazard as shown on the County General Plan maps?								
c) Be consistent with the applicable General Plan Goals and Policies for Item 13 of the Initial Study Assessment Guidelines?								

13. Seiche and Tsunami Hazards Impact Discussion:

Any discussion of potential impacts of seiche and tsunami hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

13a. The site is not located adjacent to a closed or restricted body of water based on aerial imagery review (Ventura County GIS 2022) and is not subject to seiche hazard. There is no hazard from potential seiche and no impact to the proposed project.

The hazards from seiche and tsunami will affect each project individually; and no cumulative seiche and tsunami hazard will occur as a result of other approved, proposed, or probable projects.

13b. The project is not mapped within a tsunami inundation zone based on the Ventura County General Plan, Hazards Appendix, Figure 2.6, dated October 22, 2013. There is no impact from potential hazards from tsunami.

The hazards from seiche and tsunami will affect each project individually; and no cumulative seiche and tsunami hazard will occur as a result of other approved, proposed, or probable projects.

13c. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 13 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
14. Landslide/Mudflow Hazard (PWA)								
Will the proposed project:								
a) Result in a landslide/mudflow hazard, as determined by the Public Works Agency Certified Engineering Geologist, based on the location of the site or project within, or outside of mapped landslides, potential earthquake induced landslide zones, and geomorphology of hillside terrain?		X						
b) Be consistent with the applicable General Plan Goals and Policies for Item 14 of the Initial Study Assessment Guidelines?		X				X		

14. Landslide/Mudflow Hazard Impact Discussion:

Any discussion of potential impacts from landslide/mudflow hazards is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

14a. Based on review of available maps, publications and/or field information, the Public Works Agency has determined that the project site is within the area designated for Actual and Potential Mapped Landslide area and Earthquake Induced Landslide area (Ventura County GIS 2022), but that a sufficient project slope stability factor of safety can be applied to the project.

Specifically, the submitted Geotechnical Report (Attachment 7) addresses landslides/mudflow hazards and includes the following grading recommendations:

1. Removal and recompaction of the pad grading area with a minimum fill thickness of 24 inches below the foundation construction depth a minimum of 5 feet beyond the proposed building area, consisting of no more than 50 % rock material (at least 50 % or more sand or clayey sand);
2. For non-building pad areas used for landscaping and utility line construction, consideration may be given to over-excavation and recompaction to facilitate excavations that would otherwise encounter very hard bedrock;
3. An equipment width key shall be established at the toe of the proposed fill slope at the south side of the building pad extending a minimum of 12 inches into dense bedrock;

4. Spread footing, continuous footings, or independent footings may be used to support the proposed structure foundation as slab on grade structures;

All project components and structures would be designed in conformance with the Coastal Zoning Ordinance, the Fire Code, the Building Code, and standard permit conditions of approval.

Based on the above discussion, project-specific impacts resulting from landslides/mudflow hazards due to the project's location within a mapped landslide, and potential earthquake induced landslide zone would be less than significant with the inclusion of the conformance requirements discussed above, and the proposed project would not result in a cumulatively considerable impact.

The hazards from landslides/mudslides will affect each project individually; and no cumulative landslide/mudslide hazard will occur as a result of other approved, proposed, or probable projects.

14b. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 14 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No Mitigation Required

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
15. Expansive Soils Hazards (PWA)								
Will the proposed project:								
a) Expose people or structures to potential adverse effects, including the risk of loss, injury, or death involving soil expansion because it is located within a soils expansive hazard zone or where soils with an expansion index greater than 20 are present?		X						
b) Be consistent with the applicable General Plan Goals and Policies for Item 15 of the Initial Study Assessment Guidelines?		X				X		

15. Expansive Soils Hazards Impact Discussion:

The hazards from expansive soils will affect each project individually; and no cumulative expansive soils hazard will occur as a result of other approved, proposed, or probable projects.

15a. The Public Works Agency has reviewed geotechnical reports for the project site, regional data, and soil evaluations prepared by the U.S. Department of Agriculture, Soil Conservation Service to determine whether the project is subject to expansive soil hazards. To evaluate the expansion index of soils in the project area, the geotechnical report referred to the latest edition of the American Society for Testing and Materials (ASTM) D4829-21. The geotechnical report and soil evaluation (Attachment 8) determined that the project site contains near surface soils with an expansion index of 46. According to the ATSM Standards, the identified expansion index has a low expansion potential.

15b. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 15 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
16. Subsidence Hazard (PWA)								
Will the proposed project:								
a) Expose people or structures to potential adverse effects, including the risk of loss, injury, or death involving subsidence because it is located within a subsidence hazard zone?	X							
b) Be consistent with the applicable General Plan Goals and Policies for Item 16 of the Initial Study Assessment Guidelines?	X				X			

16. Subsidence Hazard Impact Discussion:

Any discussion of potential impacts from subsidence hazards is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

16a. The subject property is not within one of the identified areas subject to subsidence hazards as depicted in Figure 4.1-1 Subsidence Due to Groundwater Pumping (General Plan EIR, September 2020). In addition, the proposed project does not involve the development of an oil, gas or groundwater withdrawal facility and therefore, the project is considered to have no impact on the hazard of subsidence.

The hazards from subsidence will affect each project individually; and no cumulative subsidence hazard will occur as a result of other approved, proposed, or probable projects.

16b. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 16 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
17a. Hydraulic Hazards – Non-FEMA (PWA)								
Will the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Result in a potential erosion/siltation hazard and flooding hazard pursuant to any of the following documents (individually, collectively, or in combination with one another): <ul style="list-style-type: none"> • 2007 Ventura County Building Code Ordinance No.4369 • Ventura County Land Development Manual • Ventura County Subdivision Ordinance • Ventura County Coastal Zoning Ordinance • Ventura County Non-Coastal Zoning Ordinance • Ventura County Standard Land Development Specifications • Ventura County Road Standards • Ventura County Watershed Protection District Hydrology Manual • County of Ventura Stormwater Quality Ordinance, Ordinance No. 4142 • Ventura County Hillside Erosion Control Ordinance, Ordinance No. 3539 and Ordinance No. 3683 • Ventura County Municipal Storm Water NPDES Permit • State General Construction Permit • State General Industrial Permit • National Pollutant Discharge Elimination System (NPDES)? 	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 17A of the Initial Study Assessment Guidelines?	X				X			

17. Hydraulic Hazards

A. Non-FEMA Hazards Impact Discussion:

17A-1. Based on review of the project Hydrology and Hydraulics Report prepared by Chris Nelson & Associates, Inc., dated July 2022 (Attachment 8), the difference between the cumulative pre- and post-development flowrates for 10-year storm event is 0.00 cubic feet per second (cfs). The post-development conditions will generally maintain similar drainage patterns to the pre-development drainage conditions. Therefore, the project does not result in an increased potential for erosion/siltation hazards or flood hazards.

17A-2. Per the drainage report (Attachment 8) included in the project submittal, the proposed site storm water runoff volumes will not be increased from the existing conditions. Future construction will be completed according to current codes and standards. Therefore, the project is consistent with the applicable General Plan Goals and Policies for Item 17a of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
17b. Hydraulic Hazards – FEMA (WPD)								
Will the proposed project:								
1) Be located outside of the boundaries of a Special Flood Hazard Area and entirely within a FEMA-determined 'X-Unshaded' flood zone (beyond the 0.2% annual chance floodplain: beyond the 500-year floodplain)?	X				X			
2) Be located outside of the boundaries of a Special Flood Hazard Area and entirely within a FEMA-determined 'X-Shaded' flood zone (within the 0.2% annual chance floodplain: within the 500-year floodplain)?	X				X			
3) Be located, in part or in whole, within the boundaries of a Special Flood Hazard Area (1% annual chance floodplain: 100-year), but located entirely outside of the boundaries of the Regulatory Floodway?	X				X			
4) Be located, in part or in whole, within the boundaries of the Regulatory Floodway, as determined using the 'Effective' and latest available DFIRMs provided by FEMA?	X				X			
5) Be consistent with the applicable General Plan Goals and Policies for Item 17B of the Initial Study Assessment Guidelines?	X				X			

B. FEMA Hazards Impact Discussion:

17B-1 – 17B-4. The site is not located in or adjacent to a Federal Emergency Management Agency (FEMA) 1% annual chance (100-year); the site is located within an area with an unprinted Flood Rate Insurance Map - Panel Number 06111C1129F (dated January 29, 2021).

The project site is located in a Zone X (No Screen) an area with a minimal flood hazard. The nearest floodplain is the Pacific Ocean which is located approximately 1 mile to the south and down slope of the site. Therefore, a Floodplain Development Permit and a Floodplain Clearance are not required. The proposed project will not result in project-related impacts related to flooding, or contribute to cumulative impacts related to flooding. As such, the proposed project is considered to be less than significant.

17B-5. The project site is not in a FEMA Special Flood Hazard Area (100-year floodplain). The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 17B of the Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
18. Fire Hazards (VCFPD)								
Will the proposed project:								
a) Be located within High Fire Hazard Areas/Fire Hazard Severity Zones or Hazardous Watershed Fire Areas?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 18 of the Initial Study Assessment Guidelines?		X				X		

18. Fire Hazards Impact Discussion:

18a. The project is located in a High Fire Hazard Area/Fire Hazard Severity Zone, Very High within a State Responsibility Area. The project will comply with all applicable Federal, State regulations and the requirements of the Ventura County Building Code and the Fire Code. Therefore, the proposed project will not create a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, related to fire hazards.

18b. The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 18 of the Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
19. Aviation Hazards (Airports)								
Will the proposed project:								
a) Comply with the County's Airport Comprehensive Land Use Plan and pre-established federal criteria set forth in Federal Aviation Regulation Part 77 (Obstruction Standards)?	X				X			
b) Will the proposed project result in residential development, a church, a school, or high commercial business located within a sphere of influence of a County airport?	X				X			
c) Be consistent with the applicable General Plan Goals and Policies for Item 19 of the Initial Study Assessment Guidelines?	X				X			

19. Aviation Hazards Impact Discussion:

19a. The proposed Project site is not located within the sphere of influence of a County-operated airport. The nearest County airport is the Camarillo Airport, which is located approximately 12 miles to the northwest of the proposed project site. Point Mugu Naval Air Station (Naval Base Ventura County), is approximately 7 miles from the project site. The proposed project will not involve any obstructions to navigable airspace, as all possible future development on-site will be limited to a maximum height of 17.5 feet. Therefore, the proposed project will comply with the County's Airport Comprehensive Land Use Plan and pre-established federal criteria set forth in Federal Aviation Regulation Part 77 (Obstruction Standards). The proposed project will not have a significant project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact related to aviation hazards.

19c. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 19 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
20a. Hazardous Materials/Waste – Materials (EHD/Fire)								
Will the proposed project:								
1) Utilize hazardous materials in compliance with applicable state and local requirements as set forth in Section 20a of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 20a of the Initial Study Assessment Guidelines?	X				X			

20. Hazardous Materials/Waste

A. Hazardous Materials Impact Discussion:

20A-1. The proposed project is a residential development and will not utilize hazardous materials which require permitting or inspection from Ventura County Environmental Health Division/Certified Unified Program Agency but may use hazardous materials typically associated with construction activities. Improper storage, handling, and disposal of these materials may contribute to adverse impacts to the environment. Compliance with applicable state and local regulations will reduce the potential environmental impact. No project specific or cumulative impact related to hazardous materials is expected.

20a-2. The proposed project will be consistent with the General Plan for Item 20a of the *Ventura County Initial Study Assessment Guidelines* through proper handling, storage, and disposal of hazardous materials during construction activities.

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
20b. Hazardous Materials/Waste – Waste (EHD)								
Will the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Comply with applicable state and local requirements as set forth in Section 20b of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 20b of the Initial Study Assessment Guidelines?	X				X			

B. Hazardous Waste Impact Discussion:

20b-1. The proposed project is a residential planned development and will not generate hazardous wastes which require a Ventura County Environmental Health Division/Certified Unified Program Agency permit. No project specific or cumulative impact related to hazardous waste is expected.

20b-2. The proposed project will not generate hazardous waste and is consistent with the General Plan for Item 20b of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
21. Noise and Vibration								
Will the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
a) Either individually or when combined with other recently approved, pending, and probable future projects, produce noise in excess of the standards for noise in the Ventura County General Plan Goals, Policies and Programs (Section 2.16) or the applicable Area Plan?	X				X			
b) Either individually or when combined with other recently approved, pending, and probable future projects, include construction activities involving blasting, pile-driving, vibratory compaction, demolition, and drilling or excavation which exceed the threshold criteria provided in the Transit Noise and Vibration Impact Assessment (Section 12.2)?	X				X			
c) Result in a transit use located within any of the critical distances of the vibration-sensitive uses listed in Table 1 (Initial Study Assessment Guidelines, Section 21)?	X				X			
d) Generate new heavy vehicle (e.g., semi-truck or bus) trips on uneven roadways located within proximity to sensitive uses that have the potential to either individually or when combined with other recently approved, pending, and probable future projects, exceed the threshold criteria of the Transit Use Thresholds for rubber-tire heavy vehicle uses (Initial Study Assessment Guidelines, Section 21-D, Table 1, Item No. 3)?	X				X			
e) Involve blasting, pile-driving, vibratory compaction, demolition, drilling, excavation, or other similar types of vibration-generating activities which have the potential to either individually or when combined with other recently approved, pending, and probable future projects, exceed the threshold criteria provided in the Transit Noise and Vibration Impact Assessment [Hanson, Carl E., David A. Towers, and Lance D. Meister. (May 2006) Section 12.2]?	X				X			

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
f) Be consistent with the applicable General Plan Goals and Policies for Item 21 of the Initial Study Assessment Guidelines?	X				X			

The evaluation of noise and vibration impacts on future residential uses that may be established on the proposed project site is not required pursuant to CEQA and is provided in this Initial Study solely for the purposes of disclosure.

21.Noise and Vibration Impact Discussion:

21a. In order to determine whether a project will result in a significant noise impact, the Ventura County Initial Study Assessment Guidelines set forth standards to determine whether the proposed use is a “Noise Sensitive Use” or a “Noise Generator.” Noise sensitive uses are dwellings, schools, hospitals, nursing homes, churches and libraries. The proposed project, consisting of a single-family dwelling unit and accessory structures, is considered a noise sensitive use.

The proposed project is located near State Route 1 (Pacific Coast Highway), but is outside the CNEL 60dB(A) noise contour as mapped in the Resource Management Agency Geographic Information System (RMAGIS) noise contour maps. Therefore, future residential uses on the proposed location will not be subject to noise levels from traffic along State Route 1, which are incompatible with residential uses. In addition, the proposed project site is not located near any railroads or airports (both of which are approximately 12 miles and 10 miles away, respectively). Therefore, the proposed project will not be subject to unacceptable levels of noise from these noise generators.

21b. Although construction is unlikely to generate excessive ground-borne vibration or ground-borne noise levels, the proposed project will be subject to a condition of approval, to ensure that development of the proposed project complies with the requirements of the Ventura County General Plan Goals, Policies and Programs Policy HAZ-9.2 Noise Compatibility Standards. Therefore, the proposed project will not have a project-specific vibratory impact, and will not make a cumulatively considerable contribution to a significant cumulative vibratory impact, related to vibration-generating activities.

21c. The proposed project does not involve the creation of a vibration-generating transit use. Therefore, the proposed project will not have a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, related to the creation of a transit use located within any of the critical distances of the vibration-sensitive uses listed in Table 1 of the *Ventura County Initial Study Assessment Guidelines* (Section 21).

21d. The project site will extend an unnamed access road connecting to Yerba Buena Road. Portions of unnamed access road to the Project site are unpaved. Approximately 1,650 linear feet will be paved prior to the commencement of combustible construction onsite. The proposed project will not involve the use of semi-trucks or buses. The nearest sensitive receptor to the to the project site is located approximately 1,200 feet to the south. Therefore, the proposed project will not have a project-specific vibratory impact and will not make a cumulatively considerable contribution to a significant cumulative vibratory impact, related to the use of rubber-tire heavy vehicle uses.

21e. The temporary construction activities required to develop the project site as described in the Section A6, Project Description, of this Initial Study may include blasting, pile-driving vibratory compaction, demolition, drilling, excavation, or other similar types of vibration-generating activities. Equipment expected to be used includes such heavy machinery as backhoes, compactors, concrete mixers, dozers, graders, loaders, pile drivers, rollers, scrapers, shovels, and trucks. Although the proposed development is unlikely to generate excessive ground-borne vibration or ground-borne noise levels, it will be subject to the following standard condition of approval limiting construction hours. This condition is designed to ensure compliance with *Ventura County General Plan Policy HAZ-9.2 (Noise Compatibility Standards)*. As specified in the standard condition of approval, noise generating activities will be prohibited during nighttime hours, the applicant will be responsible to monitor noise, and a sign will be posted with the applicant's contact information.

Condition of Approval – Construction Noise:

Purpose: In order for this project to comply with the Ventura County General Plan Goals, Policies and Programs Hazards Policy HAZ-9.2 and the County of Ventura Construction Noise Threshold Criteria and Control Plan (Amended 2010).

Requirement: The Permittee shall limit construction activity for site preparation and development to the hours between 7:00 a.m. and 7:00 p.m., Monday through Friday, and from 9:00 a.m. to 7:00 p.m. Saturday, Sunday, and State holidays. Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions.

Documentation: The Permittee shall post a sign stating these restrictions in a conspicuous location on the Project site, in order so that the sign is visible to the general public. The Permittee shall provide photo documentation showing posting of the required signage to the Planning Division, prior to the commencement of grading and construction activities. The sign must provide a telephone number of the site foreman, or other person who controls activities on the jobsite, for use for complaints from the public. The Permittee shall maintain a "Complaint Log," noting the date, time, complainant's name, complaint, and any corrective action taken, in the event that the Permittee receives noise complaints. The Permittee must submit the "Complaint Log" to the Planning Division upon the Planning Director's request.

Timing: The Permittee shall install the sign prior to the issuance of a building permit and throughout all grading and construction activities. The Permittee shall maintain the signage on-site until all grading and construction activities are complete. If the Planning Director requests the Permittee to submit the “Complaint Log” to the Planning Division, the Permittee shall submit the “Complaint Log” within one day of receiving the Planning Director’s request.

Monitoring and Reporting: The Planning Division reviews, and maintains in the Project file, the photo documentation of the sign and the “Complaint Log.” The Planning Division has the authority to conduct site inspections and take enforcement actions to ensure that the Permittee conducts grading and construction activities in compliance with this condition, consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

Because the project will be of a limited duration and construction activities will be limited to certain hours, the proposed project will have a less-than-significant project-specific and cumulative impact related to vibration-generating activities.

21f. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 21 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
22. Daytime Glare								
Will the proposed project:								
a) Create a new source of disability glare or discomfort glare for motorists travelling along any road of the County Regional Road Network?	X				X			
b) Be consistent with the applicable General Plan Goals and Policies for Item 22 of the Initial Study Assessment Guidelines?	X				X			

22. Daytime Glare Impact Discussion:

22a. The Ventura County Initial Study Assessment Guidelines describe daytime glare as intense light that is blinding or discomforting to humans. Conditions that create daytime glare are typically caused by the reflection of sunlight from highly reflective surfaces at or above eye level. Daytime glare is caused by the reflective surfaces of buildings, structures, or facilities constructed with materials such as metal or glass. The project site is situated behind a ridge and would not be visible from any road in the County Regional Road Network, and, therefore, does not have the potential to create a new source of disability glare or discomfort glare for motorists. As discussed in Section 6A of this initial study, the Permittee shall utilize natural building materials and colors (earth tones and non-reflective paints) on exterior surfaces of all structures. Additionally, as discussed in Section 4E of this Initial Study, Mitigation Measure BIO-11 requires the Permittee to submit a lighting plan to ensure that new light sources associated with the proposed project would not illuminate areas outside of the project area. Therefore, the proposed project will not have a significant project-specific impact due to the creation of daytime glare and will not make a cumulatively considerable contribution to a significant cumulative impact associated with disability or discomfort glare.

22b. The proposed project is consistent with the updated Ventura County General Plan Goals and Policies) corresponding to the requirements of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
23. Public Health (EHD)								
Will the proposed project:								
a) Result in impacts to public health from environmental factors as set forth in Section 23 of the Initial Study Assessment Guidelines?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 23 of the Initial Study Assessment Guidelines?		X				X		

23. Public Health Impact Discussion:

23a. The proposed project has the potential to impact public health due to the use of onsite wastewater disposal systems (OWTS). An OWTS that is undersized, improperly installed, failing, or poorly maintained has the potential to create a public nuisance and/or

contaminate groundwater. Potential impacts can be reduced to less than significant with adherence to state and local OWTS regulations and proper maintenance of tanks and disposal fields. Septic tanks must be pumped by a Ventura County Environmental Health Division permitted pumper truck and septage wastes must be disposed of in an approved manner.

23b. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 23 of the *Ventura County Initial Study Assessment Guidelines*, provided the septic systems are properly installed and maintained so as not to contaminate groundwater or create a public nuisance.

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
24. Greenhouse Gases (VCAPCD)								
Will the proposed project:								
a) Result in environmental impacts from greenhouse gas emissions, either project specifically or cumulatively, as set forth in CEQA Guidelines §§ 15064(h)(3), 15064.4, 15130(b)(1)(B) and -(d), and 15183.5?		X				X		

24. Greenhouse Gases Impact Discussion:

24a. Neither APCD nor the County has adopted a threshold of significance applicable to Greenhouse Gas (GHG) emissions from projects subject to the County’s discretionary land use permitting authority. The County has, however, routinely applied a 10,000 metric tons carbon dioxide equivalent per year (MTCO₂e/Yr) threshold of significance to industrial projects, in accordance with CEQA Guidelines Section 15064.4(a)(2). APCD has concurred with the County’s approach. APCD supports the application of this numeric threshold as stated in the GHG Threshold Report APCD published in 2011 at the request of the APCD Board, which concludes “Unless directed otherwise, District staff will continue to evaluate and develop suitable interim GHG threshold options for Ventura County with preference for GHG threshold consistency with the South Coast AQMD and the SCAG region”. The South Coast AQMD at the same time proposed an interim screening threshold of 3,000 MTCO₂e/Yr for commercial/residential projects. Industrial projects or facilities are defined as stationary emission sources that have or are required to have an APCD Permit to Operate.

Based on information provided by the applicant, greenhouse gas impacts will be less than significant. The total GHG emissions are approximately 15.37 MT CO₂e/Yr (operational and construction amortized over 30 years). This is well below the recommended 3,000 MT CO₂e/Yr interim numerical threshold for residential and commercial projects from the adjacent air district (SCAQMD). Determination was based on information provided by the applicant for one 4,880 ft² single family dwelling unit, including their energy being supplied by solar panels on-site. The CalEEMod version 2020.4 air emissions model was used using a single-family dwelling residential land use setting for mobile emissions and trip information from the ITE's Trip Generation Manual, 11th Edition. A copy of the air emission model report is attached (Attachment 9).

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
25. Community Character (PInG.)								
Will the proposed project:								
a) Either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable probable future projects, introduce physical development that is incompatible with existing land uses, architectural form or style, site design/layout, or density/parcel sizes within the community in which the project site is located?	X				X			
b) Be consistent with the applicable General Plan Goals and Policies for Item 25 of the Initial Study Assessment Guidelines?	X				X			

LAND USE:

25. Community Character Impact Discussion:

25a. The project site is located in the Santa Monica Mountains in the Malibu community. The area surrounding the project site consists primarily of open space and rural residential development. Camp Hess Kramer, a private recreation camp, is located south and west of the project site.

The subject property is 5.0 acres in size and is zoned COS-10ac-sfd/M. The lots surrounding the project site are also zoned COS-10ac-sfd/M and range from approximately five acres to 40 acres in size. The surrounding areas are presently undeveloped and zoned COS-10ac-sfd/M.

The project site is approximately 940 ft. above sea level and is located 1 mile inland from the coast. The project site is currently undeveloped, except for two illegally graded areas, two water wells³, and unpaved access roads. Mitigation Measure BIO-8, as discussed in this Initial Study above, will require compensatory mitigation for impacts on ESHA, which will mitigate for the illegally graded areas through the conservation of comparable habitat at the appropriate ratio. Onsite restoration of previously disturbed area outside of the development envelope will occur along with the restriction of ESHA Area already present on the site as part of the Project implementation requirements under Mitigation Measure BIO-MM BIO-7.

The proposed project would result in the construction of a one-story single-family dwelling. The project is required to comply with the standards of the Ventura County Coastal Zoning Ordinance (CZO) Article 5 Development Standards for the COS-10ac-sfd/M zone (e.g., limitations on building coverage and height as well as minimum setback requirements from roadways for buildings and structures) that also apply to development on the surrounding properties. Therefore, the development of one single family dwelling on the proposed lot will be consistent with the size and scale of development despite the undeveloped nature of the surrounding area.

In order to ensure that the site blends in with the natural environment of the Santa Monica Mountains, a condition of approval for scenic resources will be placed on the proposed project, which will require the applicant to utilize natural building materials and colors compatible with surrounding terrain (earth tones and non-reflective paints) on exterior surfaces of all structures. As such, the proposed project will be compatible with the surrounding uses and would not adversely impact surrounding development. Therefore, the proposed project will result in less-than-significant project-specific impacts, and will not make a cumulatively considerable contribution to a significant cumulative impact, related to community character.

Pending projects within the vicinity of the proposed project primarily consist of modification requests for single family dwellings, the construction of accessory buildings, the legalization of unpermitted grading/ESHA removal, new Coastal Planned Development Permits for single family dwellings and second dwelling units, and a major modification request for the rebuild of Camp Hess Kramer. The pending projects in the vicinity of the proposed project will be subject to the same conditions of approval related to colors and materials in order to preserve the natural character of Malibu and the Santa Monica Mountains in keeping to the development standards set forth in the Ventura County Coastal Ordinance (§ 8175-2 et seq.). As such, the proposed project, in conjunction with pending projects in the vicinity of the proposed project will not adversely

³ Domestic well (SWN 01S20W22F04S) does not exist with the Department of Water Resources (DWR) records. The applicant reported that a well search was performed and no well was located

affect the community character of Malibu. The proposed project will not make a cumulatively considerable contribution to a significant cumulative community character impact.

25b. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 25 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
26. Housing (PInG.)								
Will the proposed project:								
a) Eliminate three or more dwelling units that are affordable to: <ul style="list-style-type: none"> • moderate-income households that are located within the Coastal Zone; and/or, • lower-income households? 	X				X			
b) Involve construction which has an impact on the demand for additional housing due to potential housing demand created by construction workers?		X				X		
c) Result in 30 or more new full-time-equivalent lower-income employees?	X				X			
d) Be consistent with the applicable General Plan Goals and Policies for Item 26 of the Initial Study Assessment Guidelines?	X				X			

26. Housing Impact Discussion:

26a. No dwelling units currently exist on the project site. The proposed project is for the construction of one single family dwelling on the project site and will not eliminate three or more dwelling units. The project, in fact, would result in the development of one new single-family dwelling unit, which will add to the County’s housing stock. Therefore, the proposed project will not have a significant project-specific impact to housing. The

proposed project will not make a cumulatively considerable contribution to a significant cumulative housing impact.

26b. As stated in the Initial Study Assessment Guidelines (Item 26 - 2), any project that involves construction has an impact on the demand for additional housing due to potential housing demand created by construction workers. However, construction worker demand is a less than significant project-specific and cumulative impact because construction work is short-term and there is a sufficient pool of construction workers within Ventura County and the Los Angeles metropolitan regions to implement future construction activities (Ventura County Initial Study Assessment Guidelines, p. 146). Therefore, the proposed project will have a less-than-significant project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, related to the demand for construction worker housing.

26c. The proposed single-family dwelling will not result in 30 or more new full-time-equivalent lower-income employees, as the proposed residential project would not facilitate the development of a new commercial, institutional, industrial, or other employment-generating use on the subject property. Therefore, the proposed project will not create a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, related to the demand for housing for employees associated with commercial or industrial development.

26d. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 26 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27a(1). Transportation & Circulation - Roads and Highways - Level of Service (LOS) (PWA)								
Will the proposed project:								
a) Cause existing roads within the Regional Road Network or Local Road Network that are currently functioning at an acceptable LOS to function below an acceptable LOS? Conflict or be inconsistent with CEQA Guidelines § 15064.3, subdivision (b)?		X				X		

PUBLIC FACILITIES/SERVICES:

27. Transportation/Circulation:

A. Roads and Highways

(1) Level of Service Impact Discussion:

27a(1)-a. The project is a Coastal Planned Development Permit to construct a single-family dwelling. The project, as proposed, will generate fewer than 110 additional ADT on the local public roads and the Regional Road Network. In accordance with Ventura County General Plan Policy CTM-1.3 County Level of Service (LOS) Standard and Ventura County Traffic Impact Mitigation Fee (TIMF) Ordinance 4246, the Transportation Department of the Public Works Agency will collect a TIMF fee for the proposed Project. Payment of the TIMF ensures that the Level of Service (LOS) and safety of the existing roads would remain consistent with the Ventura County General Plan. Therefore, adverse traffic impacts relating to Vehicle Miles Traveled (VMT) on County roads will be “Less Than Significant.”

Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27a(2). Transportation & Circulation - Roads and Highways - Safety and Design of Public Roads (PWA)								
Will the proposed project:								
a) Have an Adverse, Significant Project-Specific or Cumulative Impact to the Safety and Design of Roads or Intersections within the Regional Road Network (RRN) or Local Road Network (LRN)?		X						

(2) Safety/Design of Public Roads Impact Discussion:

27a(2)-a. New development projects can affect the Public Road system through access encroachments, improving or widening roads, and/or construction new road sections. Some roads within the unincorporated County do not comply with the Ventura County Road Standards maintained by the Ventura County Public Works Agency (as adopted by the Board of Supervisors). The presence of a substandard road does not indicate that the road is unsafe, nor does it mandate new road improvements.

The Project is a Coastal Planned Development Permit to construct a single-family dwelling. When development occurs, the resulting low volume of traffic will not have the potential to alter the existing level of safety of the County-maintained roads in the Yerba Buena Area or State Route 1. During the construction phase, the Project will result in a temporary maximum 10 trips per day to complete the associated earthwork. Further, the implementation of Ventura County Building Code Appendix J (Section 103.3(5)), the permittee will be subject to additional limits on the truck round trips, truck trips during peak traffic hours, and will be prohibited from creating a safety hazard for ingress or egress routes (i.e., clogging turn pockets, or obstructing line of sight).

To address the concerns about the existing status of the existing roads in the Yerba Buena Area, consideration should be given to disclose to the applicant and any successors in interest of the properties that the existing road systems are not considered standard. Although they do not create a substantial risk of injury, when such roads are used with due care in a manner in which it is reasonably foreseeable that they will be used, they are of a rural nature with widths, grades, and other road features that would be considered substandard if such roads were being designed or built today. The following Condition of Approval will require that the applicant record a Notice of Substandard Access Roads (NSSAR) since the proposed development is adjacent to a substandard road, which may not be improved to the current County Road Standard in the future.

Notice of Substandard Access Roads

Purpose: The County requires the applicant/permittee or property owner to record a Notice of Substandard Access Roads (NSSAR) when the project/development is near a substandard road, which may not be improved to the current County Road Standard in the future.

Requirement: The applicant/permittee or the property owner shall provide record notice to successors in interest of the property that the existing road systems in the area are not considered standard; that, although such roads do not create an unreasonable risk of harm when used with due care, in a manner in which it is reasonably foreseeable that they will be used, these roads are of a rural nature with widths, grades, and other road features that would be considered substandard if such roads were being designed or built today, and that the County does not currently and also may not in the future have funds available to improve these roads.

The **NOTICE OF SUBSTANDARD ACCESS ROADS** condition shall include the following:

- A. The property is served by existing public roads and/or private roads in the Yerba Buena Area that do not meet current County Road standards.
- B. The applicant/permittee/owner/subdivider shall acknowledge that Yerba Buena Road, Cotharin Road, Deer Creek Road, and Pacific View Road in the Yerba

Buena Area and access roads connected to these roads do not meet current County Road Standards.

- C. The private portions of these public roads and the private roads are neither County-maintained nor currently eligible for any improvements at County expense.
- D. These roads are of rural nature with widths, grades, and other road features that would be considered substandard if such roads were being designed or built to current standards.
- E. These roads are to be used with due care in a manner in which it is reasonably foreseeable that they will be used.
- F. There are no current funding sources available to construct the improvements on the existing public roads in this area.

Documentation: The VCPWA-RT will provide the document for a Notice of Substandard Access Roads to the applicant/permittee. The applicant/permittee shall bring the draft Notice of Substandard Access Roads to the VCPWA-RT counter or contact VCPWA-RT Permits Section by phone at (805) 654-2055 or e-mail at pwa.transpermits@ventura.org, for review prior to recordation. The applicant/permittee shall record the Notice of Substandard Access Roads with the County Recorder. The applicant/permittee shall provide the VCPWA-RT with a copy of the recorded Notice of Substandard Access Roads.

Timing: This condition shall be met prior to the issuance of the Building Permit and/or Zoning Clearance for Use Inauguration, whichever comes first.

Monitoring: The VCPWA-RT will accept the recorded Notice of Substandard Access Roads from the applicant/permittee in conformance with the project conditions.

With the requirement to record a NSSAR, the proposed project will have a less-than-significant project-specific impact related to safety/design of County roads and will make a less-than-significant cumulatively considerable contribution to a significant cumulative impact related to safety/design of County roads.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27a(3). Transportation & Circulation - Roads & Highways – Safety & Design of Private Access (VCFPD)								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
a) If a private road or private access is proposed, will the design of the private road meet the adopted Private Road Guidelines and access standards of the VCFPD as listed in the Initial Study Assessment Guidelines?	X				X			
b) Will the project be consistent with the applicable General Plan Goals and Policies for Item 27a(3) of the Initial Study Assessment Guidelines?	X				X			

(3) Safety/Design of Private Access Impact Discussion:

27a(3)-a. The proposed Project does not involve the construction of new private roads at this time. The Project will utilize existing private roads for the purposes of physical access to the proposed building. The existing unnamed private road will be improved to meet the applicable design and safety requirements of VCFPD. Proposed improvements include paving and grading, the installation of turnouts and an onsite turnaround. The proposed paved access road will be 20 feet wide and approximately 1,650 feet in length. The proposed improvements will connect the site to existing paved private roads which join Yerba Buena Road (the nearest County Maintained Public Road) 1.18 miles to the southeast. With the proposed private access road improvements, the Project substantially meets the design and safety requirements (all weather surface, maximum grade, turnouts, turnaround requirement, distance between access point and the structure) of the Ventura County Fire Apparatus Access Code (VCFPD Ordinance No. 29). With no new private road proposed, a determination of no impact can be made. Therefore, the proposed project will not have a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, related to the safety and design of private access.

27a(3)-b. The proposed project will be consistent with the applicable Ventura County General Plan Goals and Policies for Item 27a(3) of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

Less than significant impacts, no mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27a(4). Transportation & Circulation - Roads & Highways - Tactical Access (VCFPD)								
Will the proposed project:								
a) Involve a road or access, public or private, that complies with VCFPD adopted Private Road Guidelines?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 27a(4) of the Initial Study Assessment Guidelines?		X				X		

(4) Tactical Access Impact Discussion:

27a(4)-a. Tactical access relates the organized system of roads/access to and from a project utilized in the event of any emergency or disaster. Projects which involve the use of roads which are impaired for the purposes of emergency access may result in significant impacts. VCFPD is permitted to consider the provision of alternate access design when determining the need for mitigation for projects. While the proposed private access roads serving the project site are existing, the utilization of the road requires the review of alternate access design under VCFPD Standard 501. Under Standard 501 Chapter 3, the fire code official may grant modifications to the Fire Apparatus Access Standard. VCFPD staff has determined that the proposed Project has been designed in conformance with the provisions of the applicable access standards, subject to conformance with all conditions of approval issued for the Project. The conditions of approval applicable to the subject property include requirements for fire suppression improvements on site (water tank and hydrant on site), implementation and maintenance of fuel modification requirements, construction of access road, and installation of fire sprinklers within the dwelling.

27a(4)-b. The proposed project will be consistent with the applicable Ventura County General Plan Goals and Policies for Item 27a(4) of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27b. Transportation & Circulation - Pedestrian/Bicycle Facilities (PWA/PIng.)								
Will the proposed project:								
1) Will the Project have an Adverse, Significant Project-Specific or Cumulative Impact to Pedestrian and Bicycle Facilities within the Regional Road Network (RRN) or Local Road Network (LRN)?	X				X			
2) Generate or attract pedestrian/bicycle traffic volumes meeting requirements for protected highway crossings or pedestrian and bicycle facilities?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 27b of the Initial Study Assessment Guidelines?	X				X			

B. Pedestrian/Bicycle Facilities Impact Discussion:

27b-1. 227b-2. The project does not purport to generate additional bicycle and pedestrian traffic on the County of Ventura Regional Road Network and local public roads. There is no pedestrian and/or bicycle crossing on State Highway 1, although bicyclists use the shoulder of State Route 1. Caltrans is planning a future crossing at Neptune’s Net. Furthermore, the County rural road does not require pedestrian facilities (sidewalks) and/or bicycle facilities (bike lanes). Therefore, the proposed project will not have a project-specific adverse impact and will not make a cumulatively considerable contribution to a significant cumulative impact to pedestrian and bicycle facilities/traffic.

27b-3. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 27b of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27c. Transportation & Circulation - Bus Transit								
Will the proposed project:								
1) Substantially interfere with existing bus transit facilities or routes, or create a substantial increase in demand for additional or new bus transit facilities/services?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27c of the Initial Study Assessment Guidelines?	X				X			

C. Bus Transit Impact Discussion:

27c-1. According to the Ventura County Initial Study Assessment Guidelines (p. 173), "A project will normally have a significant impact on bus transit if it would substantially interfere with existing bus transit facilities or routes, or if it would create a substantial increased demand for additional or new bus transit facilities/services." However, only "projects that can be expected to generate more than 100 daily vehicle trips (10 single family housing units or equivalent traffic generation) will be required to evaluate the specific project impacts through either consultation with the appropriate transit service provider or separate analysis performed by the applicant." Projects not generating more than 100 trips can be expected to result in "de minimis" impacts.

The project site is not located near a transit stop, existing bus transit facility, or bus route. Further, the development of one single-family dwelling will not generate more than 100 daily vehicle trips and will not exceed the threshold requiring a transit analysis. Therefore, the proposed project will not have project-specific adverse impacts and will not make a cumulatively considerable contribution to a significant cumulative impact, related to bus transit facilities/services.

27c-2. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 27c of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27d. Transportation & Circulation - Railroads								
Will the proposed project:								
1) Individually or cumulatively, substantially interfere with an existing railroad's facilities or operations?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27d of the Initial Study Assessment Guidelines?	X				X			

D. Railroads Impact Discussion:

27d-1. The proposed project site is located 12 miles from the nearest railroad and would not interfere with an existing railroad’s facilities or operations. Therefore, the proposed project will not have a project-specific adverse impact and will not make a cumulatively considerable contribution to a significant cumulative impact, related to existing railroad facilities or operations.

27d-2. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 27d of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27e. Transportation & Circulation – Airports (Airports)								
Will the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Have the potential to generate complaints and concerns regarding interference with airports?	X				X			
2) Be located within the sphere of influence of either County operated airport?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 27e of the Initial Study Assessment Guidelines?	X				X			

E. Airports Impact Discussion:

27e-1. -and 27e-2. The proposed project is located approximately 12 miles to the southeast from the nearest airport, Camarillo Airport, and is not located within the sphere of influence of any County-operated airport. Furthermore, future construction of a one-story single-family dwelling will not involve the introduction of substantial lighting, or other features that could interfere with air traffic safety. Potential impacts from glare will be mitigated to a less than significant level by with the implementation of Mitigation Measure BIO-11 which requires a Lighting Plan and a condition of approval which requires the applicant to utilize natural building materials and colors compatible with surrounding terrain (earth tones and non-reflective paints) on exterior surfaces of all structures. Therefore, the proposed project will not have project-specific adverse impacts and will not make a cumulatively considerable contribution to a significant cumulative impact, related to existing airport facilities or operations.

27e-3. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 27e of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27f. Transportation & Circulation - Harbor Facilities (Harbors)								
Will the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Involve construction or an operation that will increase the demand for commercial boat traffic and/or adjacent commercial boat facilities?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27f of the Initial Study Assessment Guidelines?	X				X			

F. Harbor Facilities Impact Discussion:

27f-1. The proposed project is located 15 miles from the nearest harbor, Channel Islands Harbor. Additionally, the development of the proposed single-family dwelling would not increase commercial boat traffic at the nearest harbor facilities. Therefore, the proposed project will not have a project-specific adverse impact and will not make a cumulatively considerable contribution to a significant cumulative impact, related to existing harbor facilities or operations.

27f-2. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 27f of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27g. Transportation & Circulation - Pipelines								
Will the proposed project:								
1) Substantially interfere with, or compromise the integrity or affect the operation of, an existing pipeline?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27g of the Initial Study Assessment Guidelines?	X				X			

G. Pipelines Impact Discussion:

27g-1. The Ventura County GIS Maps indicate that there are no major or minor pipelines that are located on the subject property. The nearest major pipeline to the project site is located approximately 12.3 miles to the northwest of the project site. Therefore, the proposed project will not result in project-specific impacts and will not make a cumulatively considerable contribution to a significant cumulative impact related to pipelines.

27g-2. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 27g of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
28a. Water Supply – Quality (EHD)								
Will the proposed project:								
1) Comply with applicable state and local requirements as set forth in Section 28a of the Initial Study Assessment Guidelines?		X				X		
2) Be consistent with the applicable General Plan Goals and Policies for Item 28a of the Initial Study Assessment Guidelines?		X				X		

28. Water Supply

A. Water Supply – Quality Impact Discussion:

28a-1. The proposed project is a residential development which will utilize an existing onsite water well for domestic water. Ground water may contain contaminants harmful to human health. Water quality analysis has not yet been conducted. Water that does not meet primary drinking water standards established by the State for bacteriological and inorganic chemicals shall require treatment to use as a source of domestic water. The water well will require a Certification of Water Quality approval from the Ventura County Environmental Health Division prior to building permit issuance. The proposed project will also utilize an onsite wastewater treatment system (OWTS) for domestic sewage disposal. The use of an OWTS has the potential to contaminate groundwater supplies.

Conformance with the Ventura County Building Code and periodic monitoring/testing of the water well for compliance with drinking water standards will reduce any project-specific and cumulative impacts to a level considered less than significant.

28a-2. Proposed project is consistent with the General Plan for Item 28a of the Initial Study Assessment Guidelines regarding permanent domestic water supply.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
28b. Water Supply – Quantity (WPD)								
Will the proposed project:								
1) Have a permanent supply of water?		X				X		
2) Either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable probable future projects, introduce physical development that will adversely affect the water supply - quantity of the hydrologic unit in which the project site is located?		X				X		
3) Be consistent with the applicable General Plan Goals and Policies for Item 28b of the Initial Study Assessment Guidelines?		X				X		

B. Water Supply – Quantity Impact Discussion:

28b-1. Water service to the site will be provided by an existing domestic well identified as State Well Number (SWN) 01S20W22F02S. Any necessary repairs will be completed to attain the needed pumping rate and water quality. The existing well and two 5,000-gallon water tanks will provide a reservoir for both domestic and fire-fighting purposes. County records indicate that a domestic well (SWN 01S20W22F04S) possibly existed within the parcel boundaries close to previously existing structures in the western portion of the parcel. The well (SWN 01S20W22F04S) does not exist with DWR records. The applicant reported that a well search was performed and no well was located. Per Ventura County Ordinance No. 4468 (Well Ordinance) if a well is encountered during site development it will need to be permitted for destruction or brought back to active status.

28b-2. The proposed project will not, either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable probable future projects, introduce physical development that would adversely affect the water supply – quantity.

28b-3. The proposed project will be consistent with the applicable General Plan Goals and Policies for Item 28b of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
28c. Water Supply - Fire Flow Requirements (VCFPD)								
Will the proposed project:								
1) Meet the required fire flow?		X				X		
2) Be consistent with the applicable General Plan Goals and Policies for Item 28c of the Initial Study Assessment Guidelines?		X				X		

C. Water Supply - Fire Flow Impact Discussion:

28c-1. The project is not served by a water purveyor; a private water system is proposed. The applicant will be required to provide a water supply onsite and fire hydrants that can provide the required fire flow in accordance with the Ventura County Waterworks Manual and the Ventura County Fire Protection District’s Fire Code. Therefore, the proposed project will not have any project-specific impacts, and will not make a cumulatively considerable contribution to a significant cumulative impact, related to fire flow requirements.

28c-2. The proposed project will be consistent with the applicable General Plan Goals and Policies for Item 28c of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
29a. Waste Treatment & Disposal Facilities - Individual Sewage Disposal Systems (EHD)								
Will the proposed project:								
1) Comply with applicable state and local requirements as set forth in Section 29a of the Initial Study Assessment Guidelines?		X				X		
2) Be consistent with the applicable General Plan Goals and Policies for Item 29a of the Initial Study Assessment Guidelines?		X				X		

29. Waste Treatment/Disposal Facilities

A. Individual Sewage Disposal System Impact Discussion:

29a-1. The proposed project includes a single-family residence which will utilize a new onsite wastewater treatment system (OWTS) for domestic wastewater disposal. A soils/geotechnical report dated May 25, 2022, indicates the site is suitable for an alternative septic system and proposes an OWTS consisting of one 2,000-gallon septic tank with treatment tank and seepage pits. Septic feasibility has been demonstrated. A complete and detailed evaluation of the proposed OWTS shall be conducted by Environmental Health Division (EHD) Liquid Waste Program staff during the plan review and construction permitting process. EHD Liquid Waste Program staff shall review and verify all relevant documentation, including but not limited to: the geotechnical report, system design calculations, compliance with local building codes, and historic geological data for the area. Conformance with the County Building Code Ordinance, state OWTS policy, and EHD guidelines, as well as proper routine maintenance of OWTS, will reduce any project-specific and cumulative impacts to a level considered less than significant.

29a-2. Proposed project will be consistent with the General Plan for Item 29a of the *Ventura County Initial Study Assessment Guidelines* provided the septic systems are properly installed and maintained so as not to contaminate groundwater or create a public nuisance.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
29b. Waste Treatment & Disposal Facilities - Sewage Collection/Treatment Facilities (EHD)								
Will the proposed project:								
1) Comply with applicable state and local requirements as set forth in Section 29b of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 29b of the Initial Study Assessment Guidelines?	X				X			

B. Sewage Collection/Treatment Facilities Impact Discussion:

29b-1. The proposed project will utilize an onsite wastewater treatment system and will not require connection to a sewage collection facility. The project will not have any project-specific or cumulative impacts.

29b-2. Proposed project will not require connection to a sewage collection facility and General Plan for Item 29b of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
29c. Waste Treatment & Disposal Facilities - Solid Waste Management (PWA)								
Will the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Have a direct or indirect adverse effect on a landfill such that the project impairs the landfill's disposal capacity in terms of reducing its useful life to less than 15 years?		X				X		
2) Be consistent with the applicable General Plan Goals and Policies for Item 29c of the Initial Study Assessment Guidelines?		X				X		

C. Solid Waste Management Impact Discussion:

29c-1. As required by California Public Resources Code (PRC) 41701, Ventura County's Countywide Siting Element (CSE), adopted in June 2001 and updated annually, Ventura County has at least 15 years of disposal capacity available for waste generated by in-County projects. Because the County currently exceeds the minimum disposal capacity required by state PRC, the proposed project will have less than significant project-specific impacts and will not make a cumulatively considerable contribution to significant cumulative impacts, related to Ventura County's solid waste disposal capacity.

29c-2. Ventura County Ordinance 4421 requires all discretionary permit applicants whose proposed project includes construction and/or demolition activities to reuse, salvage, recycle, or compost a minimum of 60% of the solid waste generated by their project. The IWMD's waste diversion program (Form B Recycling Plan/Form C Report) ensures this 60% diversion goal is met prior to final occupancy, consistent with the Ventura County General Plan's Public Facilities, Services, and Infrastructure Goals PFS-5.2 and PFS-5.3. Therefore, the proposed project will have less than significant project-specific impacts and will not make a cumulatively considerable contribution to significant cumulative impacts related to the Ventura County General Plan's goals and policies for Item 29c of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
29d. Waste Treatment & Disposal Facilities - Solid Waste Facilities (EHD)								
Will the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Comply with applicable state and local requirements as set forth in Section 29d of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 29d of the Initial Study Assessment Guidelines?	X				X			

D. Solid Waste Facilities Impact Discussion:

29d-1. The proposed project does not involve a solid waste operation or facility. The project will not have any project-specific or cumulative impacts related to a solid waste operation or facility.

29d-2. The proposed project does not involve a solid waste operation or facility and is consistent with the General Plan for Item 29d of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
30. Utilities								
Will the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
a) Individually or cumulatively cause a disruption or re-routing of an existing utility facility?	X				X			
b) Individually or cumulatively increase demand on a utility that results in expansion of an existing utility facility which has the potential for secondary environmental impacts?	X				X			
c) Be consistent with the applicable General Plan Goals and Policies for Item 30 of the Initial Study Assessment Guidelines?	X				X			

30. Utilities Impact Discussion:

30a. - 30b. The proposed project site is currently undeveloped and does not include any utility facilities on the subject property. The proposed project would not result in the disruption or re-routing of an existing utility facility. Additionally, the proposed project will be using rooftop solar panels for electricity and propane for gas. The proposed project will use satellite for television and communication connections. As such, the proposed project will not require the expansion of utility facilities to provide services to the proposed project. Therefore, the proposed project will not have project-specific adverse impacts and will not make a cumulatively considerable contribution to a significant cumulative impact, related to existing utility facilities.

30c. The proposed project will be consistent with the applicable Ventura County General Plan Goals and Policies for Item 30 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department) *	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
31a. Flood Control Facilities/Watercourses - Watershed Protection District (WPD)								
Will the proposed project:								

Issue (Responsible Department) *	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Either directly or indirectly, impact flood control facilities and watercourses by obstructing, impairing, diverting, impeding, or altering the characteristics of the flow of water, resulting in exposing adjacent property and the community to increased risk for flood hazards?		X				X		
2) Be consistent with the applicable General Plan Goals and Policies for Item 31a of the Initial Study Assessment Guidelines?		X				X		

31. Flood Control/ Drainage:

A. WPD Facilities/Watercourses Impact Discussion:

31a-1. The proposed Project is located approximately 1,840 feet to the west of Little Sycamore Canyon which is the nearest Ventura County Watershed Protection District (WPD) jurisdictional redline channel. No direct drainage connections to the channel are proposed or indicated on any of the applicant's submitted project materials.

It is understood that impacts from increases in impervious area are reduced under the Drainage Plan Condition of Approval imposed by the Engineering Services Department, Development and Inspection Services, by reference to Appendix J of the Ventura County Building Code requiring that runoff from the site will be released at no greater than the undeveloped flow rate and in such a manner as to not cause an adverse impact downstream in velocity or duration.

Any proposed activity in, on, over, under or across Little Sycamore Canyon will require a permit from the Watershed Protection District prior to the issuance of a zoning clearance for construction of the project. Further, in accordance with Ventura County Watershed Protection District Ordinance WP-2 effective October 10, 2013, no person shall impair, divert, impede or alter the characteristics of the flow of water running in or to a District jurisdictional red line channel without first obtaining a written permit from the District.

Given to the distance of the site to Little Sycamore Canyon, District staff determined that the proposed conditions of approval related to drainage plan review adequately addresses any potential impact likely to result from construction and operation of the proposed land use. Therefore, the environmental assessment is less-than-significant on red line channels under the jurisdiction of the Watershed Protection District.

31a-2. The proposed project will be consistent with the applicable Ventura County General Plan Goals and Policies for Item 31a of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
31b. Flood Control Facilities/Watercourses - Other Facilities (PWA)								
Will the proposed project:								
1) Result in the possibility of deposition of sediment and debris materials within existing channels and allied obstruction of flow?	X				X			
2) Impact the capacity of the channel and the potential for overflow during design storm conditions?	X				X			
3) Result in the potential for increased runoff and the effects on Areas of Special Flood Hazard and regulatory channels both on and off site?	X				X			
4) Involve an increase in flow to and from natural and man-made drainage channels and facilities?	X				X			
5) Be consistent with the applicable General Plan Goals and Policies for Item 31b of the Initial Study Assessment Guidelines?	X				X			

B. Other Facilities/Watercourses Impact Discussion:

31b-1. through 31b-5. This project will not alter or create an obstruction of flow in the existing drainage as site runoff will maintain the drainage patterns that presently exist. The development will be completed according to current codes and standards that require no increase in sediment discharge or obstruction of flows in existing channels. According to the Hydrology & Hydraulics Report (Chirs Nelson & Associates, Inc., July 2022), the project preserves the existing trend of runoff and drainage patterns for stormwater discharge. The project will not create an obstruction of flow in the existing drainage as

any runoff volume will be similar to the present conditions and directed to the existing drainage areas. The parcel is located outside of an Area of Special Flood Hazard. The development drainage conditions will remain unchanged from existing conditions with no increase in runoff, therefore there is no impact to the flood hazard zone or regulatory channels. Therefore, there will be no increase in flow to and from natural and man-made drainage channels and facilities. The project will be completed according to current codes and standards. Therefore, the project is consistent with the applicable General Plan Goals and Policies for Item 31b of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
32. Law Enforcement/Emergency Services (Sheriff)								
Will the proposed project:								
a) Have the potential to increase demand for law enforcement or emergency services?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 32 of the Initial Study Assessment Guidelines?	X				X			

32. Law Enforcement/Emergency Services Impact Discussion:

32a. The proposed Project is a request for a Coastal PD Permit to construct a single-family dwelling, which is one of the categories of projects that have been determined to have the potential to increase demand for law enforcement or emergency services. This change in land use will not require additional personnel, equipment, or facilities of the Ventura County Sheriff’s Department, in order to continue to provide law enforcement/emergency services to the project site. The nearest Ventura County Sheriff’s Station, Camarillo substation, is located approximately 13 miles away from the proposed project site, at 3701 Las Posas Rd, Camarillo, CA 93010. The nearest Los Angeles County Sheriff’s Station, Malibu/Lost Hills Sheriff’s Station, is located approximately 27 miles south of the proposed project site, at 27050 Agoura Road, Agoura Hills, CA 91301. Section 4E of this Initial Study, Mitigation Measure BIO-11 requires the Permittee to submit a Lighting Plan. The lighting plan will ensure that appropriate lighting for safety is in place. The incorporation of security features within the site lighting will reduce the vulnerability of the project to theft, vandalism, disturbances, etc. and demand for law enforcement services. Therefore, the proposed project would have a less-than-significant

project-specific impact and would not make a cumulatively considerable contribution to a significant cumulative impacts to emergency services.

32b. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 32 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
33a. Fire Protection Services - Distance and Response (VCFPD)								
Will the proposed project:								
1) Be located in excess of five miles, measured from the apron of the fire station to the structure or pad of the proposed structure, from a full-time paid fire department?		X				X		
2) Require additional fire stations and personnel, given the estimated response time from the nearest full-time paid fire department to the project site?		X				X		
3) Be consistent with the applicable General Plan Goals and Policies for Item 33a of the Initial Study Assessment Guidelines?		X				X		

33. Fire Protection District

A. Distance/Response Time Impact Discussion:

33a-1. through 33a-3. A private water system is proposed in accordance with National Fire Protection Association (NFPA) 1142 and Ventura County Fire District Standard 14.5.1. The nearest fire station is Ventura County Fire Station No. 56 which is 1.5 miles from the proposed project via Yerba Buena Road and State Route 1 (Pacific Coast Highway). The distance from Fire Station 56 to the project site is adequate and the proposed project will not require a new fire station or additional equipment. Therefore, the proposed project will not have a significant project-specific impact related to fire protection services. The proposed project will not make a cumulatively considerable contribution to a significant cumulative impact related to fire protection services.

33a-3. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 33A of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
33b. Fire Protection Services – Personnel, Equipment, and Facilities (VCFPD)								
Will the proposed project:								
1) Result in the need for additional personnel?	X				X			
2) Magnitude or the distance from existing facilities indicate that a new facility or additional equipment will be required?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 33b of the Initial Study Assessment Guidelines?	X				X			

B. Personnel/Equipment/Facilities Impact Discussion:

33b-1. The proposed project will not result in the need for additional VCFPD personnel. Therefore, the proposed project will not have a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, with regard to the need for fire personnel.

33b-2. As stated in this Initial Study (above), the nearest fire station to the project site is Ventura County Fire Station 56, which is located approximately 1.5 miles to the southeast of the project site on State Route 1 (Pacific Coast Highway). The distance from Fire Station 56 to the project site is adequate. Additionally, the Ventura County Fire Protection District has included a Condition of Approval for the proposed project, which will require the applicant to provide a water supply onsite and fire hydrants that can provide the required fire flow in accordance with the Ventura County Waterworks Manual and the Ventura County Fire Protection District’s Fire Code.

A new fire station or equipment will not be required to serve the proposed project. Therefore, the proposed project would not have a project specific impact or contribute to a cumulatively considerable significant impact to fire personnel, equipment, or facilities.

33b-3. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 33B of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
34a. Education - Schools								
Will the proposed project:								
1) Substantially interfere with the operations of an existing school facility?		X				X		
2) Be consistent with the applicable General Plan Goals and Policies for Item 34a of the Initial Study Assessment Guidelines?	X				X			

34. Education

A. Schools Impact Discussion:

34a-1. The closest school to the project site is Laguna Vista Elementary School, in the Ocean View School District. Laguna Vista Elementary School is located approximately 16.7 miles northwest of the project site. The proposed project will not interfere with the operations of an existing school facility. Any additional demand created by the proposed project would be mitigated by payment of school fees pursuant to § 65996 of the California Government Code (2014b). The Ocean View School District collects fees, as authorized by Senate Bill 50, which results in complete school facilities mitigation. Therefore, the proposed project will not have a significant project-specific impact to schools. The proposed project will not make a cumulatively considerable contribution to a significant cumulative impact.

34a-2. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 34A of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
34b. Education - Public Libraries (Lib. Agency)								
Will the proposed project:								
1) Substantially interfere with the operations of an existing public library facility?	X							
2) Put additional demands on a public library facility which is currently deemed overcrowded?		X						
3) Limit the ability of individuals to access public library facilities by private vehicle or alternative transportation modes?	X							
4) In combination with other approved projects in its vicinity, cause a public library facility to become overcrowded?						X		
5) Be consistent with the applicable General Plan Goals and Policies for Item 34b of the Initial Study Assessment Guidelines?	X				X			

B. Libraries Impact Discussion:

34b-1. through 34b-4. The nearest public library to the project site, the Camarillo Library, is located approximately 14 miles northwest of the project site. The proposed project consists of the construction of a single-family dwelling and represents less than one percent increase in the local population. The proposed project would not restrict the ability of private individuals to access public library facilities by private vehicle or public transportation. The proposed project would have a less than significant impact on overcrowding due to the limited number of additional residents that the proposed project will contribute relative to the existing population serviced by the Camarillo Library. Therefore, the proposed project will not have a significant project-specific impact to public libraries. The proposed project will not make a cumulatively considerable contribution to a significant cumulative public libraries impact.

34b-5. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 34B of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
35. Recreation Facilities (GSA)								
Will the proposed project:								
a) Cause an increase in the demand for recreation, parks, and/or trails and corridors?		X			X			
b) Cause a decrease in recreation, parks, and/or trails or corridors when measured against the following standards: <ul style="list-style-type: none"> • <u>Local Parks/Facilities</u> - 5 acres of developable land (less than 15% slope) per 1,000 population; • <u>Regional Parks/Facilities</u> - 5 acres of developable land per 1,000 population; or, • <u>Regional Trails/Corridors</u> - 2.5 miles per 1,000 population? 	X				X			
c) Impede future development of Recreation Parks/Facilities and/or Regional Trails/Corridors?	x				X			
d) Be consistent with the applicable General Plan Goals and Policies for Item 35 of the Initial Study Assessment Guidelines?	X				X			

35. Recreation Impact Discussion:

35a. and 35b. The proposed single-family dwelling may result in an increased demand for recreation, parks, and/or trails and corridors in the local area. However, the potential increase in population in the Santa Monica Mountains as a result of the proposed project is minimal and will not impede the future development of local parks facilities.

Therefore, the proposed project will result in less-than-significant project-specific impacts and will not make a cumulatively considerable contribution to a significant cumulative impact, related to recreational facilities.

35c. The proposed project does not have the potential to impede the development of parks/facilities and/or regional trails/corridors. There are no parks/facilities and/or regional trails/corridors located on, or immediately adjacent to the proposed project site. The closest hiking trails are the California Department of Parks and Recreation’s Yellow Hill Trail, which is approximately 1.2 miles east of the proposed project site, and Big Sycamore Canyon Trail, which is approximately 2.7 miles west of the proposed project site.

35d. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 35 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

No Mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
36. Tribal Cultural Resources								
Would the project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
a) Cause a substantially adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is graphically defined in terms of size, scope of the landscape, sacred place, or object with cultural value to a California Native American tribe.		X				X		
b) Listed or eligible for listing in the California Register of Historical Resources, or in the local register of historical resources as defined in Public Resources Code Section 5020.1(k)? or	X				X			
c) A resource determined by the Lead Agency, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1.		X				X		

36. Tribal Cultural Resources Impact Discussion:

36a. -36c. On July 1, 2015, California Assembly Bill 52 (AB 52) was enacted, expanding the scope of the California Environmental Quality Act (CEQA) by incorporating a new resource category, tribal cultural resources.

A tribal cultural resource is defined Public Resource Code Section 21074(a) as either of the following:

1. Sites, features, places, cultural landscapes, sacred places, and objects with cultural value to a California Native American tribe that are either of the following:
 1. Included or determined to be eligible for inclusion in the California Register of Historical Resources
 2. Included in a local register of historical resources as defined in subdivision (k) of Section 5020.1.
2. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Section 5024.1. In applying the criteria set forth in subdivision (c) of Section

5024.1 for the purposes of this paragraph, the lead agency shall consider the significance of the resource to a California Native American tribe.

3. A cultural landscape that meets the criteria of subdivision (a) is a tribal cultural resource to the extent that the landscape is geographically defined in terms of the size and scope of the landscape.
4. A historical resource described in Section 21084.1, a unique archeological resource as defined in subdivision (g) of Section 21083.2, or a “nonunique archaeological resource” as defined in subdivision (h) of Section 21083.2 may also be a tribal cultural resource if it conforms with the criteria of subdivision (a).

AB 52 also established a consultation process with all California Native American Tribes identified by the Native American Heritage Commission and non-federally recognized tribes that are traditionally and culturally affiliated with the geographic area of the proposed project. Native American tribes included in the consultation are those that have requested notice of projects proposed in the jurisdiction of the lead agency. The goal of early consultation is to determine whether tribal cultural resources are present at the project site and if so, concur on mitigation or avoidance measures to avoid a significant effect on tribal cultural resources. In accordance with the prescribed procedures, a letter was sent to representatives for the Ventureño-Barbareño on August 18, 2022. No response was received from tribal representatives and no additional consultation will occur.

A Phase I Cultural Resource Assessment was conducted for the project by Cogstone (Holly Duke, February 2022) that included an archaeological and historic setting field survey for the project site. The results of the cultural resource assessment confirm that there are no previously recorded tribal cultural resources located onsite or within ¼ mile of the project site. Additionally, the site does not contain any resources listed or eligible for listing in the California Register of Historic Resources, or in the local Ventura County Register as defined in Public Resources Code Section 5020.1 (k). The pedestrian field survey conducted on February 25, 2022, found that the ground surface throughout the project site has been partially disturbed with the previous construction of the onsite wells and unpermitted grading. No cultural resources were present within the Project area during the pedestrian survey. The cultural resource assessment also indicates that in addition to the lack of evidence of cultural resources, the steep site topography across much of the Project site indicate that the potential for subsurface resources is low. Based on these findings, the proposed project is not expected to impact tribal cultural resources.

Although the potential for discovery of buried tribal cultural resources remains low, the project would be conditioned such that if any archeological resources are uncovered during ground disturbance or construction activities, the Permittee shall:

1. Cease operations and ensure the preservation of the area in which the discovery was made;
2. Notify the Planning Director in writing within three days of the discovery;

3. Obtain the services of a qualified consultant who shall assess the discovery and provide a report that assesses the resources and sets forth recommendations on the proper disposition of the site;
4. Obtain the Planning Director's written concurrence with the recommended disposition of the site before resuming development; and
5. Implement the agreed upon recommendations.

Based on the above discussion, project-specific impacts to tribal cultural resources that are eligible for inclusion in a local or state Register of Historical Resources would be less than significant with the inclusion of the conformance requirements discussed above, and the proposed project would not result in a cumulatively considerable impact.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
37. Energy								
Would the project:								
a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?	X				X			
b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?	X				X			

37. Energy Impact Discussion:

37a. The proposed Project, a request to develop a new single-family dwelling, will not result in unnecessary or wasteful energy consumption. Project construction would require the use diesel fuel to operate construction related machinery, vehicles, and generators. The applicant estimates approximately 30 days to complete grading activities associated with the construction of the private access road and the grading of the building pad. The

applicant also estimates construction of the dwelling will take approximately 11 months. All diesel vehicles used during the construction phase are subject to idling limits required by applicable California State laws and APCD Rules and Regulations. Based on these projections and the review of the scope of work, construction activities associated with Project-implementation will not result in any significant or cumulatively considerable consumption of energy.

The applicant has indicated that the home will not require extension of electrical utility services, as the dwelling will utilize solar panels for domestic energy usage. As such, the Project will have no impact to energy resources when the home is occupied.

37b. Because the project would not conflict with or obstruct a state or local plan for renewable energy or energy efficiency, the project would not have a project-specific or cumulative impact on energy use.

Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department) *	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
38. Wildfire								
If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:								

Issue (Responsible Department) *	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
a) Substantially impair an adopted emergency response plan or emergency evacuation plan?		X				X		
b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?		X				X		
c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?		X				X		
d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?		X				X		

38. Wildfire Impact Discussion:

38a. – 38d. As stated above, the proposed Project is located in the Very High Fire Hazard Severity Zone within a State Responsibility Area. The Project will be equipped with fire alarms and fire protection improvements (water tank, building sprinklers) included as part of the standard requirements for new dwellings. The Project is also subject to standard conditions of approval related to the construction of a new private water supply and the installation of access roads and brush clearance. The proposed scope of work will not impact the severity of fire risk for this area of Ventura County nor will the Project impact emergency response plans for Ventura County.

In the event of a fire, the Project site is accessible by the Fire Department and emergency services via the existing private access road to the subject property.

All project components and structures would be designed in conformance with Coastal Zoning Ordinance, Fire Code, Building Code, and standard permit conditions or approval. Based on the discussion above, the proposed Project will have a less than significant impact upon Wildfire Hazards.

Mitigation/Residual Impact(s)

No mitigation required.

***Key to the agencies/departments that are responsible for the analysis of the items above:**

Airports - Department Of Airports	AG. - Agricultural Department	VCAPCD - Air Pollution Control District
EHD - Environmental Health Division	VCFPD - Fire Protection District	GSA - General Services Agency
Harbors - Harbor Department	Lib. Agency - Library Services Agency	Plng. - Planning Division
PWA - Public Works Agency	Sheriff - Sheriff's Department	WPD – Watershed Protection District

****Key to Impact Degree of Effect:**

N – No Impact
LS – Less than Significant Impact
PS-M – Potentially Significant but Mitigable Impact
PS – Potentially Significant Impact

Section C – Mandatory Findings of Significance

Based on the information contained within Section B:		
	Yes	No
1. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?		X
2. Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals? (A short-term impact on the environment is one that occurs in a relatively brief, definitive period of time while long-term impacts will endure well into the future).		X
3. Does the project have impacts that are individually limited, but cumulatively considerable? “Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effect of other current projects, and the effect of probable future projects. (Several projects may have relatively small individual impacts on two or more resources, but the total of those impacts on the environment is significant.)		X
4. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?		X

Findings Discussion:

1. As stated above in Section B, the proposed project contains new development that could adversely affect endangered, threatened or rare species, coastal habitat and locally important species/communities that have the potential to occur within the development envelope and throughout the Project site. However, Biological Mitigation Measures BIO-1 through BIO-11, as identified in Item 4 of this Initial Study Checklist, reduce potential impacts resulting from the Project to a less than significant level. Accordingly, the proposed Project does not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce or restrict the range of an endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.
2. As stated in Section B, the proposed project does not have the potential to achieve short-term to the disadvantage of long-term environmental goals.

3. As stated in Section B the proposed Project does not have the potential to create a cumulatively considerable contribution to a significant cumulative impact.
4. No environmental effects have been identified which would cause substantial adverse effects, either directly or indirectly on human beings. As stated in Section B, the proposed project does not involve the use of hazardous materials in a manner that pose any unusual risks since they must be handled in compliance with all applicable regulations. Additionally, the proposed project does not involve operational noise that will interfere with surrounding uses, traffic hazards, adverse impacts to water bodies located on or around the project site and will not generate any hazardous wastes.

Section D – Determination of Environmental Document

Based on this initial evaluation:

<input type="checkbox"/>	I find the proposed project could not have a significant effect on the environment, and a Negative Declaration should be prepared.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measure(s) described in Section B of the Initial Study will be applied to the project. A Mitigated Negative Declaration should be prepared.
<input type="checkbox"/>	I find the proposed project, individually and/or cumulatively, MAY have a significant effect on the environment and an Environmental Impact Report (EIR) is required.*
<input type="checkbox"/>	I find that the proposed project MAY have a “potentially significant impact” or “potentially significant unless mitigated” impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An Environmental Impact Report is required, but it must analyze only the effects that remain to be addressed.*
<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or Negative Declaration pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.



 John Oquendo, Case Planner

8/17/2023

 Date

Attachments:

- Attachment 1 – Aerial Location Map
- Attachment 2 – Project Plans
- Attachment 3 – Initial Study Biological Assessment (David Magney Environmental Consultants, August 2022)
- Attachment 4 – Map of Past, Present, and Reasonably Foreseeable Future Projects Used in the Cumulative Impacts Analysis
- Attachment 5 – CalEEMod ROGNOx Air Quality Impact Model for PL22-0082
- Attachment 6 – Onsite Wastewater Treatment System Design Report (Gold Coast Geoservices, Inc., May 2022) Addendum Letter (July 2022)
- Attachment 7 – Geotechnical Report (Gold Coast Geoservices, Inc., April 2022)
- Attachment 8 – Hydrology & Hydraulics Report (Chirs Nelson & Associates, Inc., July 2022)

Attachment 9 – CalEEMod Greenhouse Gases for Air Quality Impact Model for PL22-0082

Attachment 10 – Works Cited

Attachment 1 -

Location Map

**See Exhibit 2 for
Planning Director
Hearing for Case
No. 22-0082**

Attachment 2 -

Project Plans

**See Exhibit 3 for
Planning Director
Hearing for Case
No. 22-0082**

**BIOLOGICAL ASSESSMENT
OF THE WEISBERG PROPERTY
107XX YERBA BUENA ROAD, MALIBU
VENTURA COUNTY, CALIFORNIA
(APN 700-0-060-100)**



Prepared for:

**VENTURA COUNTY PLANNING DIVISION
800 S. VICTORIA AVENUE
VENTURA, CA 93009**

On behalf of:

MICHAEL WEISBERG

AUGUST 2022

*To pr
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County of Ventura
Initial Study/ Mitigated Negative
Declaration
Case No. PL22-0082
Attachment 3 - Initial Study Biological
Assessment (David Magney
Environmental Consultants, August 2022)

**Biological Assessment
of the Weisberg Property
107xx Yerba Buena Road, Malibu
Ventura County, California
(APN 700-0-060-100)**



Prepared for:

Ventura County Planning Division

800 S. Victoria Avenue

Ventura, CA 93009

Contact: John Oquendo, Senior Planner

805/654-3588

On behalf of:

Michael Weisberg

10715 Yerba Buena Road

Malibu, CA 90265

Prepared by:

David Magney Environmental Consulting

P.O. Box 1539

Cedar Ridge, CA 95924-1539

Contact: David L. Magney

530/273-1799

26 May 2022, Updated 26 June and 3 August 2022

This document should be cited as:

David Magney Environmental Consulting. 2022. Biological Assessment of the Weisberg Property, 107xx Yerba Buena Road, Malibu, Ventura County, California (APN 700-0-60-100). 26 May 2022, updated 26 June and 3 August 2022. (PN 15-0202.) Cedar Ridge, California. Prepared for Ventura County Planning Division, Ventura, California. Prepared on behalf of Michael Weisberg, Malibu, California.




Initial Study Biological Assessment Certification

Original ISBA report date: none
 Case number: none at this time
 Permit type: Single-family residence
 Applicant: Michael Weisberg
 Planning Division case planner: John Oquendo
 Total parcel(s) size: 5.0 acres
 Assessor Parcel Number(s): 700-0-060-100
 Development proposal description: construct single-family residence

Prepared for Ventura County Planning Division by: David Magney Environmental Consulting

As an approved and contracted biologist with the Ventura County Planning Division, I hereby certify that this Initial Study Biological Assessment was prepared according to the Planning Division’s requirements and that the statements furnished in the report and associated maps are true and correct to the best of my knowledge and belief; and I further certify that I was present throughout the site visit associated with this report.

Approved Biologist (signature): 		Date: 3 August 2022
Name (printed): David L. Magney	Title: Owner	Company: David Magney Environmental Consulting
Phone: 530/237-1799	email: david@magney.org	
Other Biologist (signature):		Date:
Name (printed):	Title:	Company:
Phone:	email:	
Role:		



INITIAL STUDY CHECKLIST

This Biological Assessment DID provide adequate information to make *preliminary* CEQA findings regarding potentially significant impacts.

		Project Impact Degree of Effect				Cumulative Impact Degree of Effect			
		N	LS	PS-M*	PS	N	LS	PS-M*	PS
A	Endangered, threatened or rare species (includes nests)			X				X	
B	Wetland habitat	X				X			
C	Coastal habitat			X				X	
D	Wildlife movement routes		X				X		
E	Locally important species/communities			X				X	

N: No impact

LS: Less than significant impact

PS-M: Potentially significant unless mitigation incorporated.

PS: Potentially significant

* DO NOT check this box unless the Biological Assessment provided information adequate enough to develop mitigation measures that reduce the level of impact to less than significant.



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SUMMARY

Michael Weisberg, applicant, has applied for the proposed development of his parcel located at 107xx Yerba Buena Road, Malibu, Ventura County. The proposed development includes construction of a 4,880 sf single-family home including a 452 sf covered patio, with a 1,046 sf attached garage and an outdoor pool. Brush would need to be cleared in a 100 ft. fuel modification zone surrounding the proposed home. Additionally, the project site is located within an area that contains Coastal Sage Scrub, which qualifies as an Environmentally Sensitive Habitat Area (ESHA).

The Weisberg property is located within the Santa Monica Mountains, Malibu, in an unincorporated area of Ventura County. The project area is located on a primarily south-facing slope composed of burned Coastal Sage Scrub and Chaparral. The project area is located on a primarily south-facing slope composed of Coastal Sage Scrub and Chaparral that has been disturbed in part by a pre-1972 Jeep trail and later by clearing for a house pad.

The project will cause direct and indirect mitigable impacts to a locally important species/habitats.

Mitigation measures are recommended to reduce all significant impacts to less-than-significant levels. These mitigation measures include:

- MM 1: Conduct pre-construction surveys for special-status plant species onsite and avoid or relocate these species if found in the construction zone and/or fuel modification zone.
- MM 2: Fence and protect any special-status plant species onsite within the Fuel Modification Zone.
- MM 3: Conduct Pre-Construction Surveys for Special-status Wildlife Species Onsite and Avoid or Relocate These Species if found in the Construction Zone or fuel modification zone.
- MM 4: Protect Bird Nests.
- MM 5: Hooded Outdoor Lighting.
- MM 6: Protect Coastal Sage Scrub on the Project Site.
- MM 7: Restore Disturbed Areas on the Project Site.
- MM 8: Fund Restoration/Preservation Projects in the Santa Monica Mountains Region.
- MM 9: Restrict Construction Activities.

SECTION 1. CONSTRUCTION FOOTPRINT DESCRIPTION

PROJECT LOCATION

The Weisberg project site is located four parcels north of 10715 Yerba Buena Road in the Santa Monica Mountains region of the unincorporated area of Ventura County near Malibu, California (APN 700-0-060-100), as shown on Figure 1, General Project Site Location, but as yet lacks a designated street address. The project site ranges from approximately 825 feet (251.5 meters) to 940 ft. (286.5 meters) above mean sea level. The project site is located at NW $\frac{1}{4}$ SE $\frac{1}{4}$ NW $\frac{1}{4}$ S22 T1S R20W San Bernardino Meridian, Triunfo Pass, California Quadrangle (USGS 7.5-minute Series Topographic Map), and at the approximate coordinates of 34.070501°N latitude and 118.966992°W longitude. In the region, Little Sycamore Canyon and Yerba Buena Creek are to the east, Clarks Peak is to the north, and the Pacific Ocean is to the south.

The Weisberg parcel is approximately 5.0 acres (2.02 hectares) and rectangular in shape, with the east-west axis being longer. One existing dirt road, along existing easements, passes through the parcel, general south to north, and then splitting to the east and west. A Jeep trail historically passed through the proposed house pad from north to south on the spine of the north-south oriented ridge. The historic Jeep trail measures approximately 0.203 acre of the Weisberg parcel.

DEVELOPMENT HISTORY

DMEC has reviewed aerial imagery available at the County of Ventura and on Google Earth, and determined that the majority of the initial grading on this parcel occurred between 1981 and 1989. Figure 2, Historical Aerial Imagery of the Weisberg Property, shows current and historic aerial imagery of the project site, with the red arrows generally indicated the location of the proposed house pad. Aerial imagery from 1975 and 1977 indicates that the parcel was undeveloped aside from a small primitive road (Jeep trail) on the eastern portion of the parcel during these years. That road disturbed approximately 0.203 acre of the Weisberg parcel.

As of 1989, two areas on the project parcel had been cleared and a road had been graded generally north to south connecting the 5-acre parcels south of the project parcel. By this time, approximately 2.05 acres of Coastal Sage Scrub and chaparral had been cleared, excluding the original Jeep trail. It is unclear who conducted this clearing and grading. Because the roads are part of a recorded easement that dates back as far as 1936, they are not being considered as an impact associated with this project, and have been excluded from the fuel modification zone calculations. This same road and construction pads are still present, but much of the areas cleared around the construction pads has been re-colonized by native Coastal Sage Scrub species.

The Woolsey Fire of 2018 burned the entire parcel and the structures that were present at that time, as well as all the parcels over which the access road traverses. No new structures or grading has occurred since the fire. At some time since 1987, a water well was drilled on the project parcel.

Figure 1. General Project Site Location

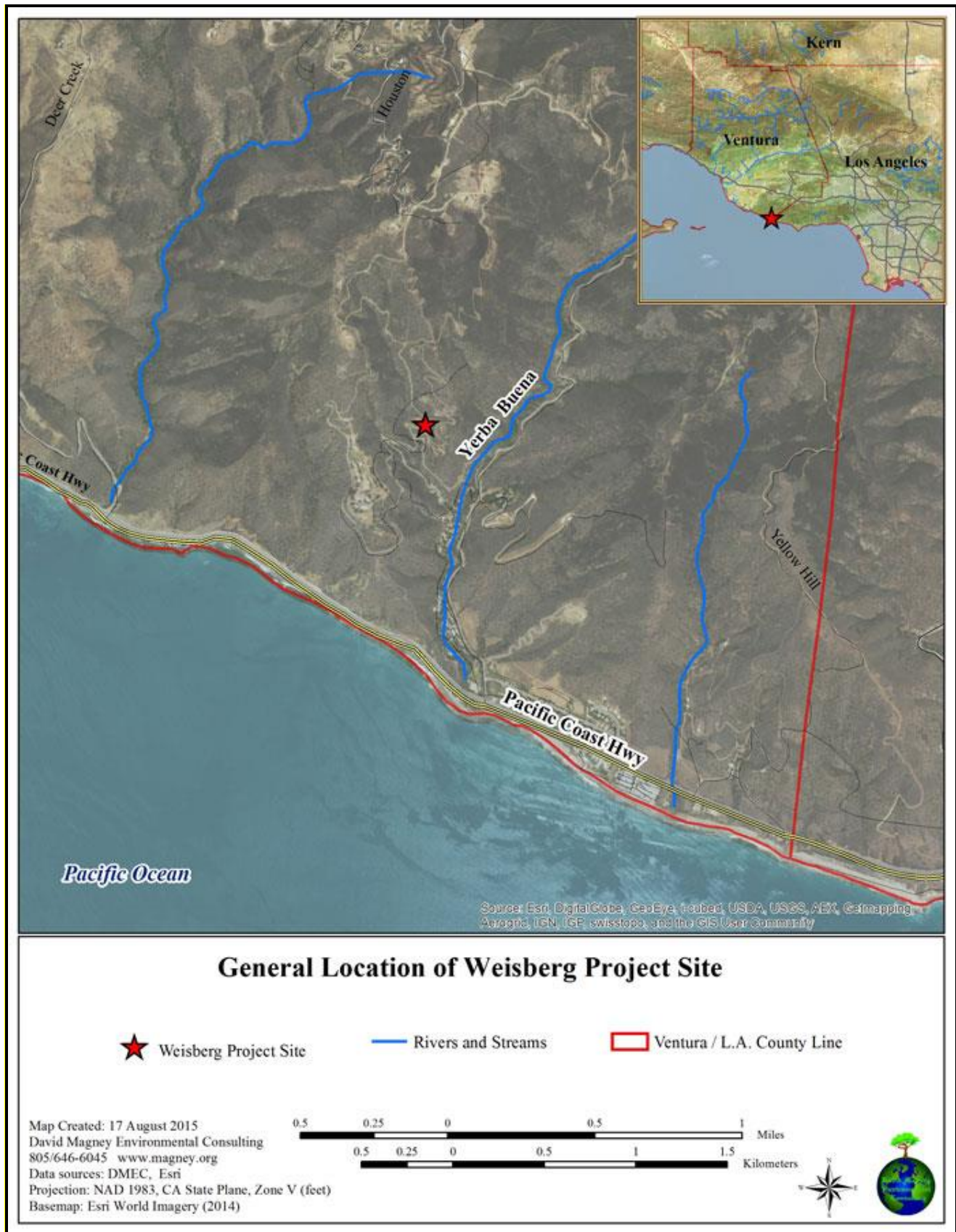
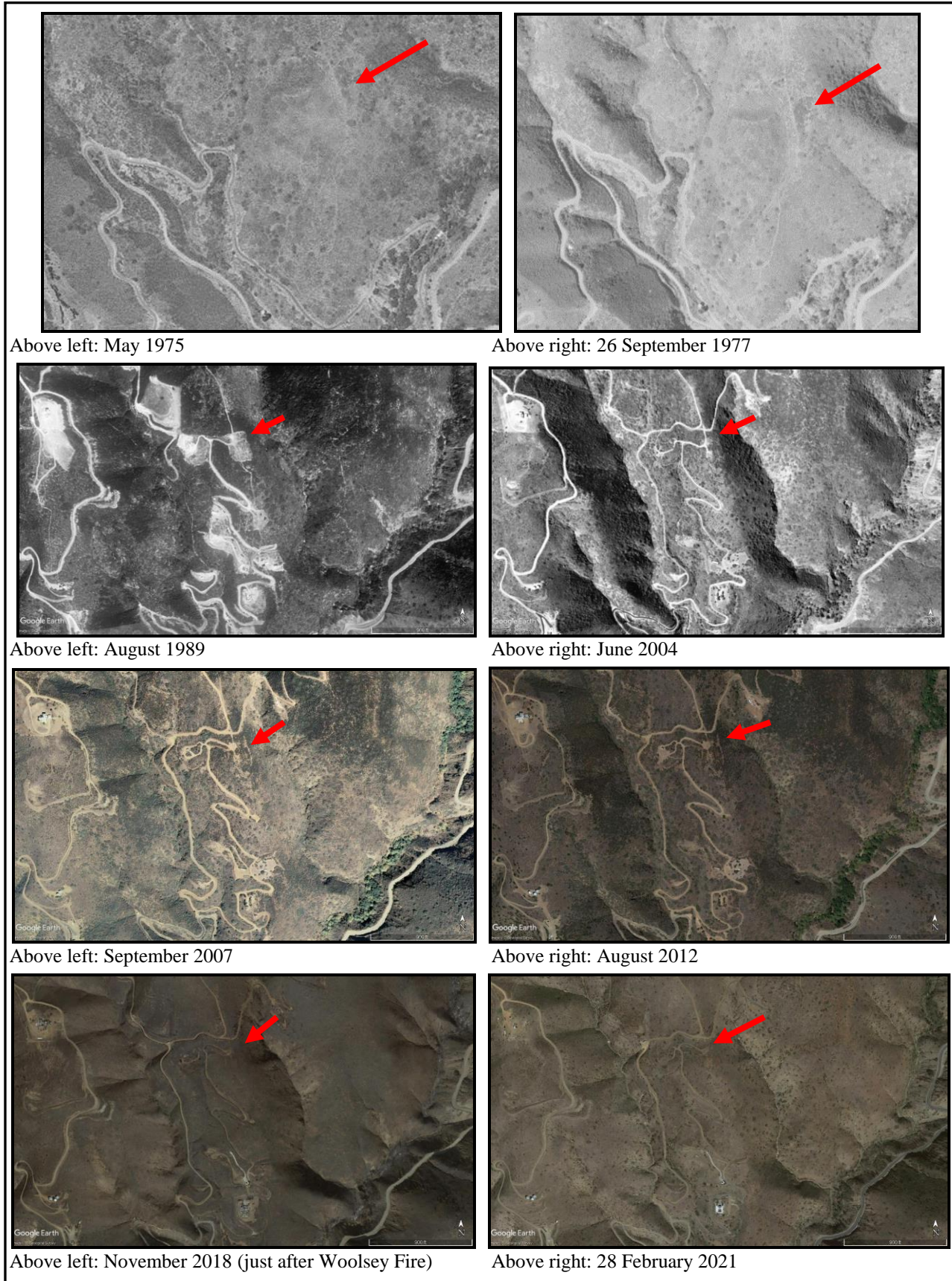


Figure 2. Historic Aerial Imagery of the Weisberg Property





DEVELOPMENT PROPOSAL DESCRIPTION

The current proposed development consists of a single-family residence with attached garage and patio with an outdoor pool. The proposed house is 4,880 square feet. An area of approximately 52,707 square feet is proposed to be graded for the residence and driveway, including turnout areas along the access road. That area is based on a preliminary grading plan and may change as the project develops. Figure 3, Preliminary Grading Plan for the Weisberg Residence and Access Road, shows the preliminary plan for areas that will be graded. Brush will be cleared in a 100-foot-buffer zone around the residence, in an area totaling 67,808 square feet.

The existing 20-foot wide access road will be widened in three areas as shown on Figure 2 with the entire road paved. Currently this road is unpaved above (north of) 10715 Yerba Buena Road (residence at southern end of area depicted on Figure 2). The grading footprint for the proposed house and driveway is shown on Figure 4, Preliminary Grading Plan for Proposed Residence and Driveway. Two 5,000-gallon water tanks are proposed north of the turnaround circle adjacent to the existing water well. These features have a footprint of approximately 103 square feet. Figure 5, Proposed House and Landscaping, shows the proposed house, hardscaping, and landscaping for the proposed house.

Construction Footprint Size

The proposed development includes construction of a 4,880 sf single-family home including a 452 sf covered patio, with a 1,046 sf attached garage and an outdoor pool. Details of the footprint of the proposed construction are provided in Table 1, Proposed Project Facilities, and the layout are provided on Figure 4, Proposed House and Landscaping.

The total area to be graded, for the house pad and widening of the existing access road outside of the Weisberg parcel is 2.998 acres.

Table 1. Proposed Project Facilities

Project Feature	Square Feet	Acres
Residence (including garage)	5,926	0.138
Fire Brush Clearance Area	67,808	1.557
Draft Grading Area	52,707	1.21
Driveway	60,490	1.389
Water Tanks	103	0.0024
Totals	130,593 ¹	2.998

¹ Several of the elements in Table 1, such as the draft grading area, fuel modification zone, and driveway overlap. Therefore the actual total square footage and acreage of the project is smaller than these figures.



Figure 3. Preliminary Grading Plan for the Residence and Access Road

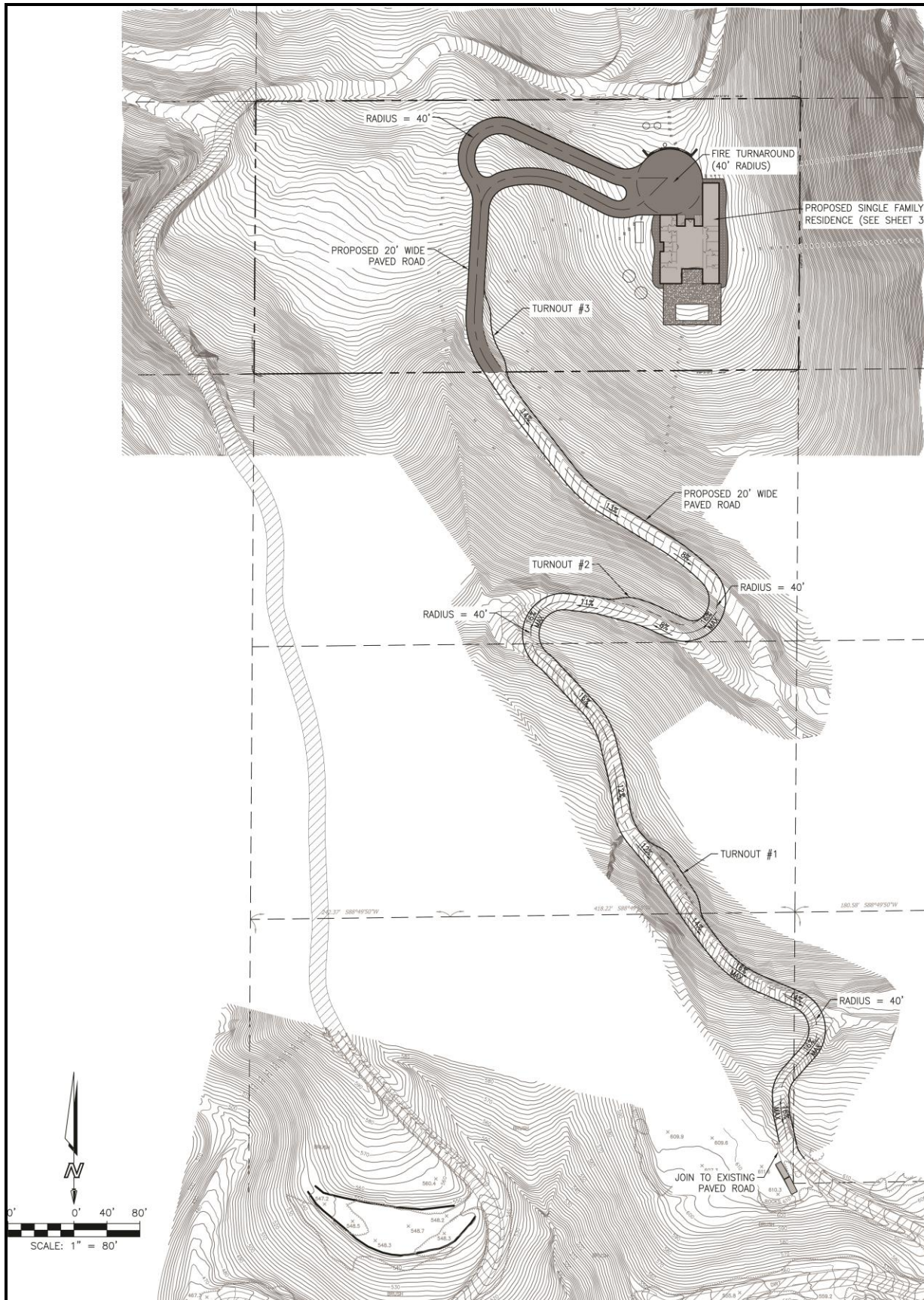
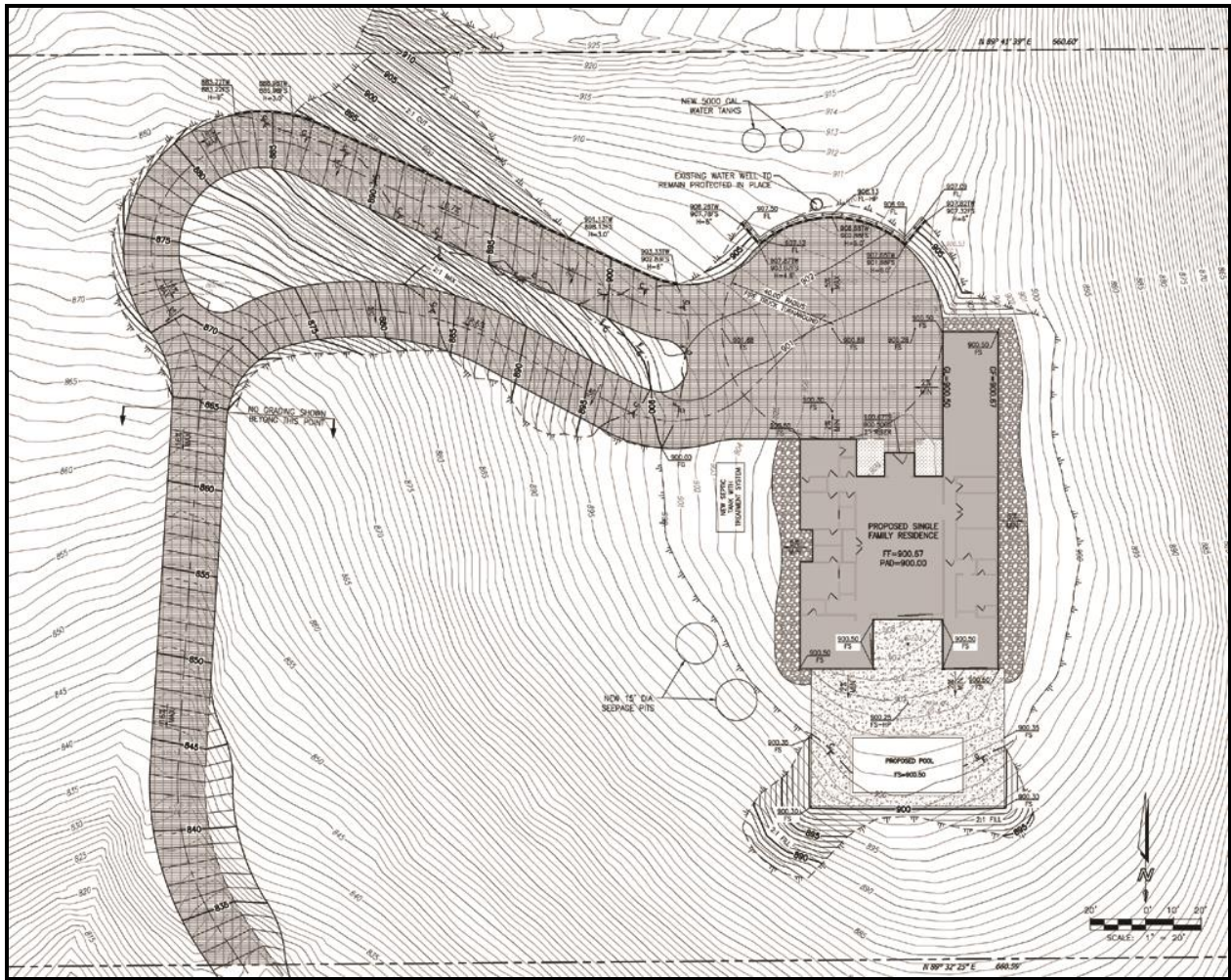




Figure 4. Preliminary Grading Plan for Proposed Residence and Driveway



Development Area Size

The development includes the pad for the house and hardscaping around it (including the pool), the two 5,000-gallon water tanks, and loop driveway, plus the pullout areas along the existing access road. Details of the development area size are provided in Table 2, Proposed Development Area.

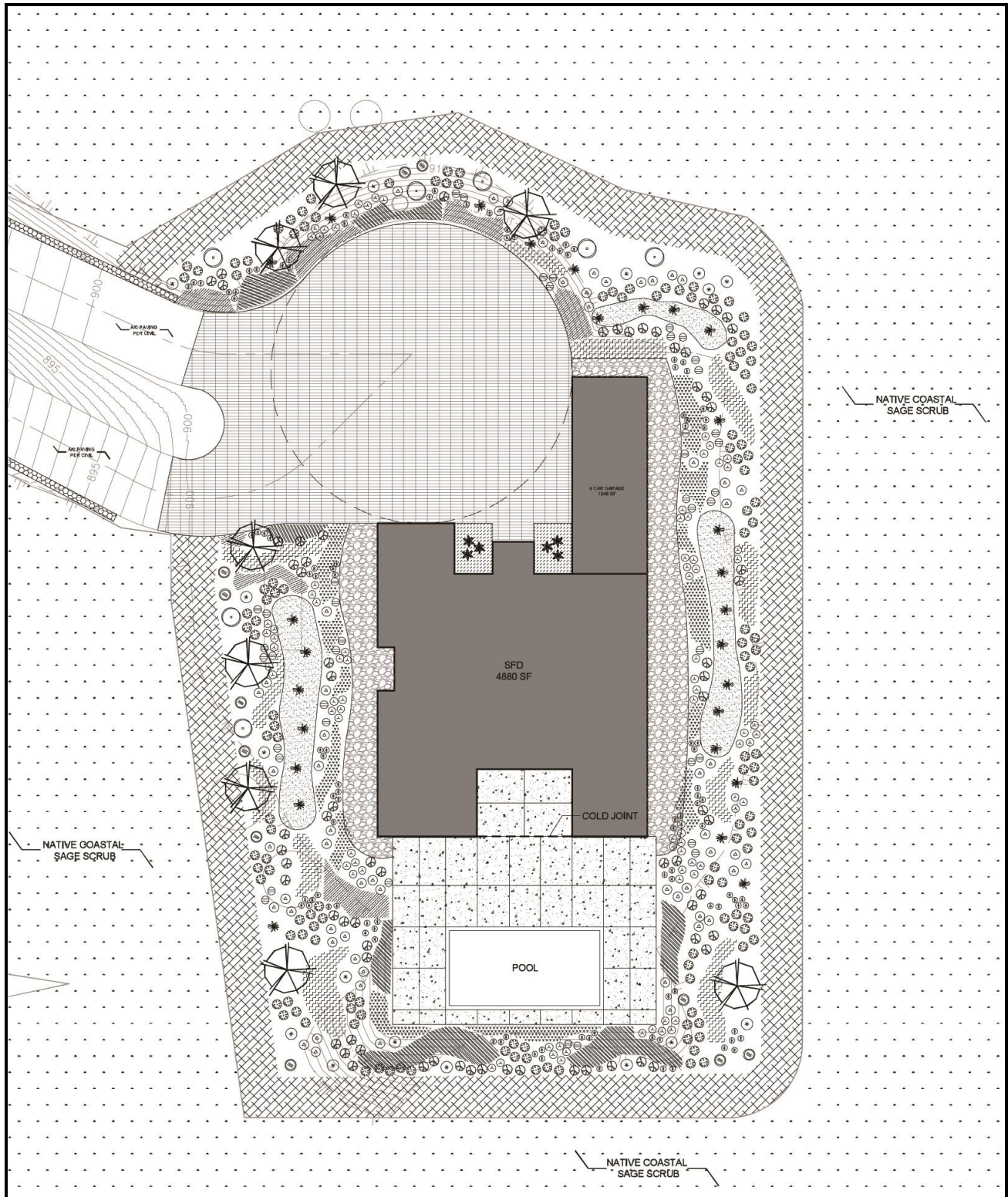
Table 2. Proposed Development Area

Project Feature	Square Feet	Acres
Residence	27,962 ²	0.642
Water Tanks	103	0.019
Access Road and Driveway	24,745	0.568
Totals	52,810	1.212

² A portion of this area includes the historic Jeep trail.



Figure 5. Proposed House and Landscaping





Coastal Zone/Overlay Zones

The project site is within the Coastal Zone / Santa Monica Mountains Overlay Zone.

Zoning

COS-10 ac-sdf/M (Coastal Open Space, 10 acre minimum parcel size, slope density formula, Santa Monica Mountains overlay zone).

Elevation

The elevation of the project site is 900 feet above sea level on average.

SECTION 2. SURVEY AREA DESCRIPTION AND METHODS

SURVEY PURPOSE

Discretionary actions undertaken by public agencies are required to demonstrate compliance with the California Environmental Quality Act (CEQA). The purpose of this Initial Study Biological Assessment (ISBA) is to gather enough information about the biological resources associated with the proposed project, and their potential to be impacted by the project, to make a CEQA Initial Study significance finding for biological resources. In general, ISBAs are intended to:

- Provide an inventory of the biological resources on a project site and the values of those resources.
- Determine if a proposed project has the potential to impact any significant biological resources.
- Recommend project redesign to avoid, minimize, or reduce impacts to significant biological resources.
- Recommend additional studies necessary to adequately assess potential impacts and/or to develop adequate mitigation measures.
- Develop mitigation measures, when necessary, in cases where adequate information is available.

SURVEY AREA DESCRIPTION

Survey Area Definition (per the Ventura County Planning Division): The survey area is the location that the biologist will assess. The survey area includes the construction footprint and any other areas potentially affected by the project, such as from light, dust, noise, runoff, etc., and any required buffers, such as for wetlands. The construction footprint plus a 100-foot buffer—beyond the fire hazard brush clearance boundary—(or 20-foot from the cut/fill boundary or road fire hazard brush clearance boundary – whichever is greater) is generally the minimum size of a survey area. Required off-site improvements—such as roads or fire hazard brush clearance—are included in the survey area. Survey areas can extend off the project's parcel(s) because indirect impacts may cross property lines.

Survey Area 1 (SA1)

For the purpose of this biological assessment, the entire property is the survey area. Any impacts to biological resources that may occur as a result of the construction have been evaluated.

Location

The Weisberg project site is a vacant 5.0-acre property located at 107xx Yerba Buena Road in the Santa Monica Mountains region of the unincorporated area of Ventura County, California, as shown on Figure 1 and Figure 3. The project site ranges in elevation from approximately 825 feet (251.5 meters) to 940 ft. (286.5 meters) above mean sea level. It is located in the NW $\frac{1}{4}$ SE $\frac{1}{4}$ NW $\frac{1}{4}$ S22 T1S R20W San Bernardino Meridian, Triunfo Pass, California Quadrangle (USGS 7.5-minute Series



Topographic Map), and at the approximate coordinates of 34.070501°N latitude and 118.966992°W longitude. In the region, Little Sycamore Canyon and Yerba Buena Creek are to the east, Clarks Peak is to the north, and the Pacific Ocean is to the south.

The survey area includes the Weisberg parcel plus the area on adjacent parcels, primarily along the access road to the south.

Survey Area Boundaries

For the purpose of this biological assessment, the Weisberg parcel boundaries and fuel modification zone, plus the parcels containing the access road are considered the survey area boundaries, which is depicted on Figure 6, Map of Survey Area. Biological field surveys included the project parcel and portions of parcels to the north and those that include the access road. The surveys beyond the Weisberg parcel were concentrated along the access road to document any sensitive biological resources that may be affected by the proposed paving of the access road.

Survey Area Environmental Setting

The Weisberg parcel and other parcels in the survey area occur primarily on moderate to steep southerly-facing slopes. The study area is almost entirely composed of Coastal Sage Scrub and Chaparral vegetation alliances, with small patches of Ruderal Grassland and developed/disturbed areas.

Surrounding Area Environmental Setting

Habitats existing adjacent to the project site primarily include Coastal Sage Scrub vegetation alliances. Little Sycamore Canyon and Yerba Buena Creek are approximately 1,730 feet southeast of the parcel, and contain Southern Coast Live Oak Riparian Forest (a sensitive habitat). Several other empty (some with temporary storage containers and/or equipment) development pads on adjacent parcels surround the project site. Building pads associated with Camp Hess Kramer are on a ridgeline to the southwest of the property where several buildings were destroyed by the Woolsey Fire of 2018.

Cover

The property primarily consists of native Coastal Sage Scrub and Chaparral vegetation alliances. Plant communities existing onsite include:

55.1% native Coastal Sage Scrub (2.754 acres)

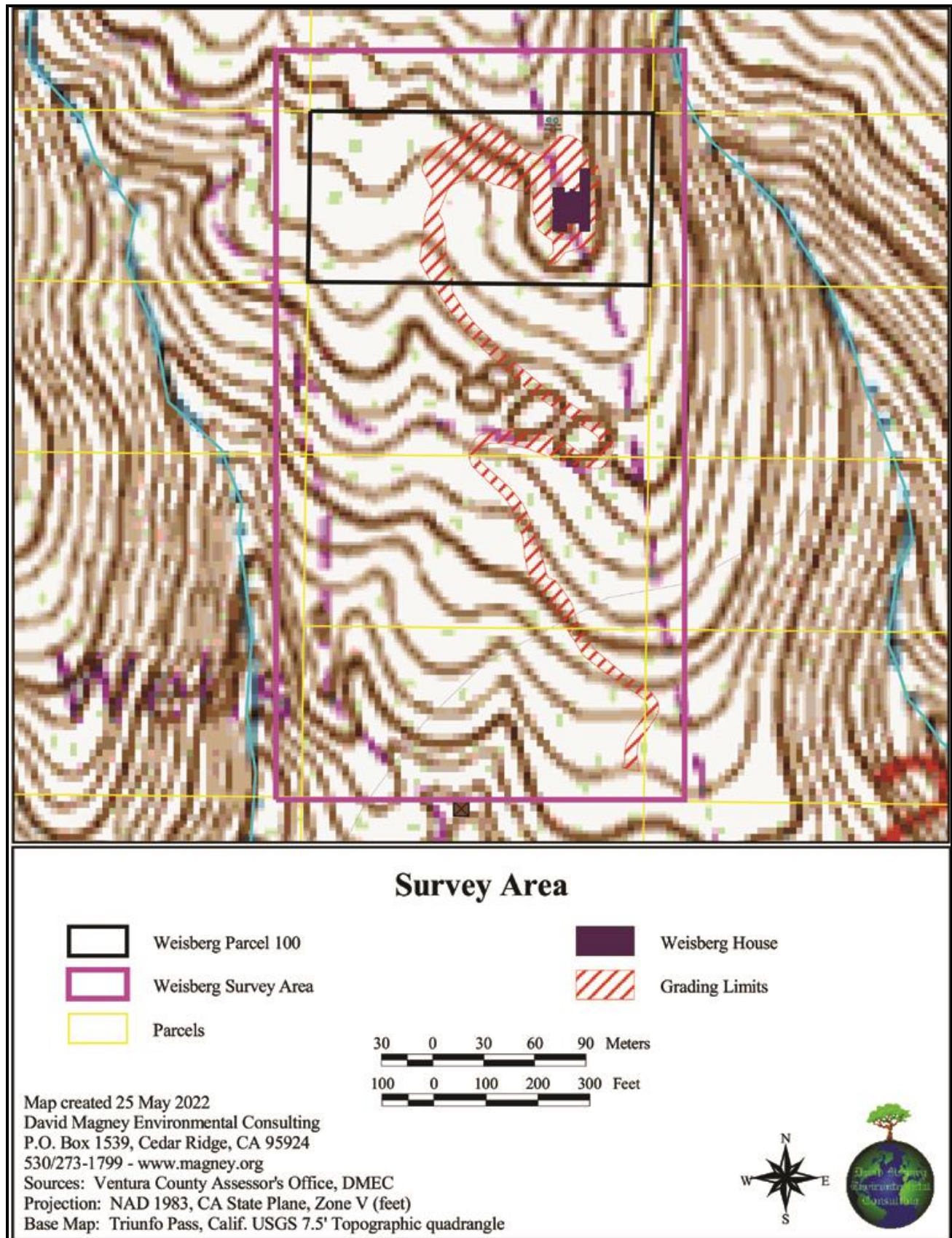
29.0% native Chaparral (1.449 acres)

13.7% bare ground/cleared/graded (0.685 acre)

0% buildings, paved roads, and other impervious surfaces (0 acres)

2.3% Ruderal areas (0.115 acre)

Figure 6. Map of Surveyed Area



METHODOLOGY

Literature Survey

DMEC conducted a search of the California Department of Fish and Wildlife's (CDFW's) California Natural Diversity Database (CNDDDB) BIOS Viewer (CDFW 2022) for the Triunfo Pass, California Quadrangle (USGS 7.5-minute Series Topographic Map) (in which the Weisberg property exists), and all surrounding quads (Point Mugu, Camarillo, Newbury Park, Thousand Oaks, and Point Dume). DMEC conducted this database search to account for special-status species tracked by CDFW in the area and with potential to occur at the project site. The CNDDDB Special Animals List (CDFW 2021a) was also referenced to determine if any wildlife species observed onsite are considered special-status species. The CNDDDB Special Vascular Plants, Bryophytes, and Lichens List (CDFW 2021b) was referenced to account for any other special status plant species could potentially occur on site.

DMEC also conducted a literature search of California Native Plant Society's *Inventory of Rare and Endangered Plants of California* (CNPS 2022). DMEC referenced the Locally Important Plant and Animal Lists (VCPD 2012a, 2012b), and the *Checklist of Ventura County Rare Plants* (Magney 2020) to account for other special-status plant species not tracked by CNDDDB with potential to occur in the vicinity of the proposed project site. DMEC also referenced biological resource assessments conducted on Weisberg's parcel at 10715 Yerba Buena Road (DMEC 2016), directly south of the subject parcel, and at nearby properties on behalf of Marco Beltrami (DMEC 2005) and Michael Parris (DMEC 2014) for special-status, or locally rare species observed in the vicinity of the Weisberg project site. Projects reviewed under California Environmental Quality Act (CEQA) should consider impacts to Locally Important Species as significant. Generally, impacts to an entire population of one or more of the species listed herein would be considered significant. Taxonomic experts were contacted to assist with identification of difficult taxa or groups (Knudsen pers. comm., Rebman pers. comm., Fred Roberts, Jr.).

DMEC also searched in-house files on occurrences of plants and wildlife:

- David Magney's manuscript of the *Flora of Ventura County* (Magney 2021) for detailed information regarding the distribution and status of vascular plants known to occur in Ventura County;
- DMEC's atlas of terrestrial gastropods (DMEC 2009a) for distribution and occurrences of terrestrial snails and slugs potentially occurring onsite; and
- David Magney's preliminary list of bryophytes known to occur in Ventura County (Magney 2009b).

Field Survey Methods

Three field surveys of the project site were conducted on 18 February, 19 April, and 16 June 2022 by David Magney, with the details of those surveys provided in Table 3, Survey Dates and Details. Rincon Consultants biologist Robin Murray was present for much of the 16 June 2022 survey as part of a site inspection on behalf of Ventura County Planning Department. The surveys were conducted onsite to identify the native and naturalized flora and fauna onsite, including special-status plant and wildlife species and sensitive habitats. The parcel was walked over to account for as many observable plant and wildlife species as feasible onsite, without conducting intensive sampling, such as trapping or other observation techniques. A Global Positioning System (GPS) unit was carried to track



footpaths and to mark waypoints of findings of interest. DMEC concentrated survey efforts in and around the areas that have the potential be directly affected by any proposed development activities.

Experts on taxonomy of certain plant species were consulted to assist with identification, such as Fred Roberts on the *Calochortus plummerae*-*C. weedii* complex and Michael Simpson on the southern California *Cryptantha* taxa.

Table 3. Survey Dates and Details

Survey Date and Details							
Survey Key	Survey Date	Survey Area Map Key	Survey Type	Time Period	Methods/ Constraints	GPS	Surveyors
SD1	18 February 2022	SA1	ISBA	10:00 AM – 3:00 PM	Visual / On Foot	Garmin GPSMap 62stc	David Magney
SD2	19 April 2022	SA1	ISBA	8:30 AM - 2:00 PM	Visual / On Foot	Garmin GPSMap 62stc	David Magney
SD3	16 June 2022	SA1	ISBA; Verification	10:30 AM – 2:30 PM	Visual / On Foot	Garmin GPSMap 62stc	David Magney Robin Murray

ISBA = Initial Study Biological Assessment

Figure 7, Surveyed Areas of the Project Site, illustrates the areas walked and surveyed during the 2022 surveys, which included some areas surrounding the project parcel. Observation data points are shown as waypoints on Figure 7, where all taxa observed within a general 10-meter circle from the center of the waypoint, and dominant and special-status species were noted. A total of 59 waypoints were sampled, 36 of which specifically documented the location of one or more special-status species.

Photographs were taken at each waypoint as well as all plant and wildlife taxa observed. Voucher specimens were taken of selected plant taxa, which will be deposited into the herbarium at UCSB.

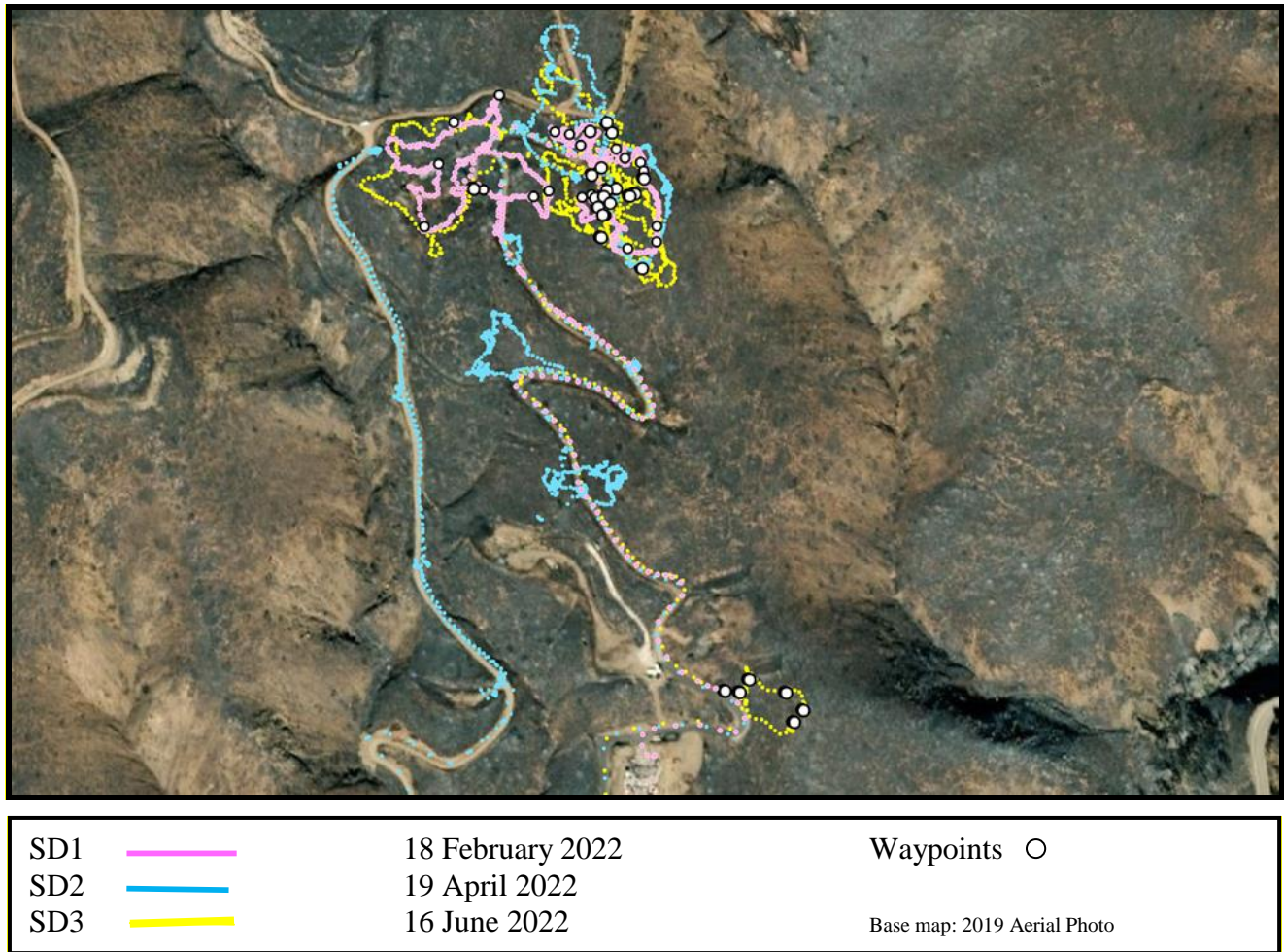
Mapping Methods

Mapping of the vegetation alliances was performed with the aid of ArcGIS programs (ArcView 3.3 and ArcMap 10.5.1 and related programs). The vegetation maps (Figures 8 and 12) were drawn onscreen at a scale of from 1:200 to 1:1,200 using color aerial photographs (ESRI basemap).

The polygons of these maps differentiate the distinct land cover signatures related to patterns observed on the aerial photograph. These polygons were classified and attributed with different vegetation alliances after checking all available vegetation data gathered onsite by DMEC. DMEC’s field data were also consulted as ground-truthing points (waypoints) in order to discern the boundaries of vegetation alliances that were not easily detected with the aerial imagery.

Occurrences of special-status species were mapped based on field survey waypoints (see Figure 7) where the number of individuals and associated species found with them were recorded. Each occurrence was also photographed.

Figure 7. Surveyed Areas of the Project Site



Assessment Methods

After field survey data and habitat mapping were completed, DMEC compared site data with current lists of sensitive habitats and special-status species identified as part of the literature survey. Species unidentified in the field were identified in the laboratory using reference manuals (e.g. *Jepson Manual*³, Jepson eFlora⁴) and field guides and internet resources (e.g. eBird.com⁵, iNaturalist.com, BugGuide.net⁶).

Any biological resource or taxon of interest present onsite that would be impacted the proposed project was assessed for the significance of the impact.

³ Jepson Manual (Baldwin et al. 2012)

⁴ Jepson eFlora: <https://ucjeps.berkeley.edu/eflora/>

⁵ eBird.net: The Cornell Lab of Ornithology - <https://ebird.org/home>

⁶ BugGuide.net: <https://bugguide.net/>

Significance Thresholds

A significant impact would occur if the following conditions resulted from the implementation of the proposed project resulted in:

- Loss of one or more individuals of a federally listed species;
- Loss of one or more individuals of a state-listed species;
- Loss of one or more California Fully Protected Species;
- Loss of one or more Ventura County Locally Important Species;
- Extirpation of an entire population or a special-status species;
- Reduction of the size of the population to a state that it was not expected to be viable and self-sustaining.

If either of these conditions would occur, then the impact was considered a significant impact and mitigation measures were identified to avoid, reduce, or minimize the impact, or compensate for the loss.

Impacts to state or federally listed species or Ventura County Locally Important Species were initially considered significant and required a full impact assessment. All other special-status species known or expected to occur onsite was considered to be potentially significant, with the final determination based on the level of rarity and threat and how the proposed project is expected to impact individuals or populations present onsite or nearby, depending on the ecology of the taxon.

Mitigation measures were recommended for any project-related impacts depending on whether the impact was considered significant.

SECTION 3. BIOLOGICAL INVENTORY

This section describes the existing, pre-project conditions of the project site, including topography, landscape position, site history, habitats (primarily natural vegetation), and the flora and fauna of the project site.

HABITATS: PLANT COMMUNITIES, PHYSICAL FEATURES, AND WETLANDS

Background Research

Currently, the property is undeveloped; however, there are existing dirt access roads and an existing development pad that had been cleared of vegetation over the last 30 years. These areas most were most likely composed of Coastal Sage Scrub and Chaparral prior to being cleared. The rest of the parcel is composed of Coastal Sage Scrub and patches of chaparral.

Little Sycamore Canyon and Yerba Buena Creek are approximately 1,720 feet southeast of the parcel, and contains Southern Coast Live Oak Riparian Forest (a sensitive habitat). Several other empty construction pads and roads are on adjacent parcels surrounding the project site. Buildings associated with Camp Hess Kramer are on a ridgeline to the southwest of the property. The elevation onsite is approximately 900 feet above mean sea level.

Plant Communities/Habitats

Locally important or rare plant communities were found within the survey area(s)

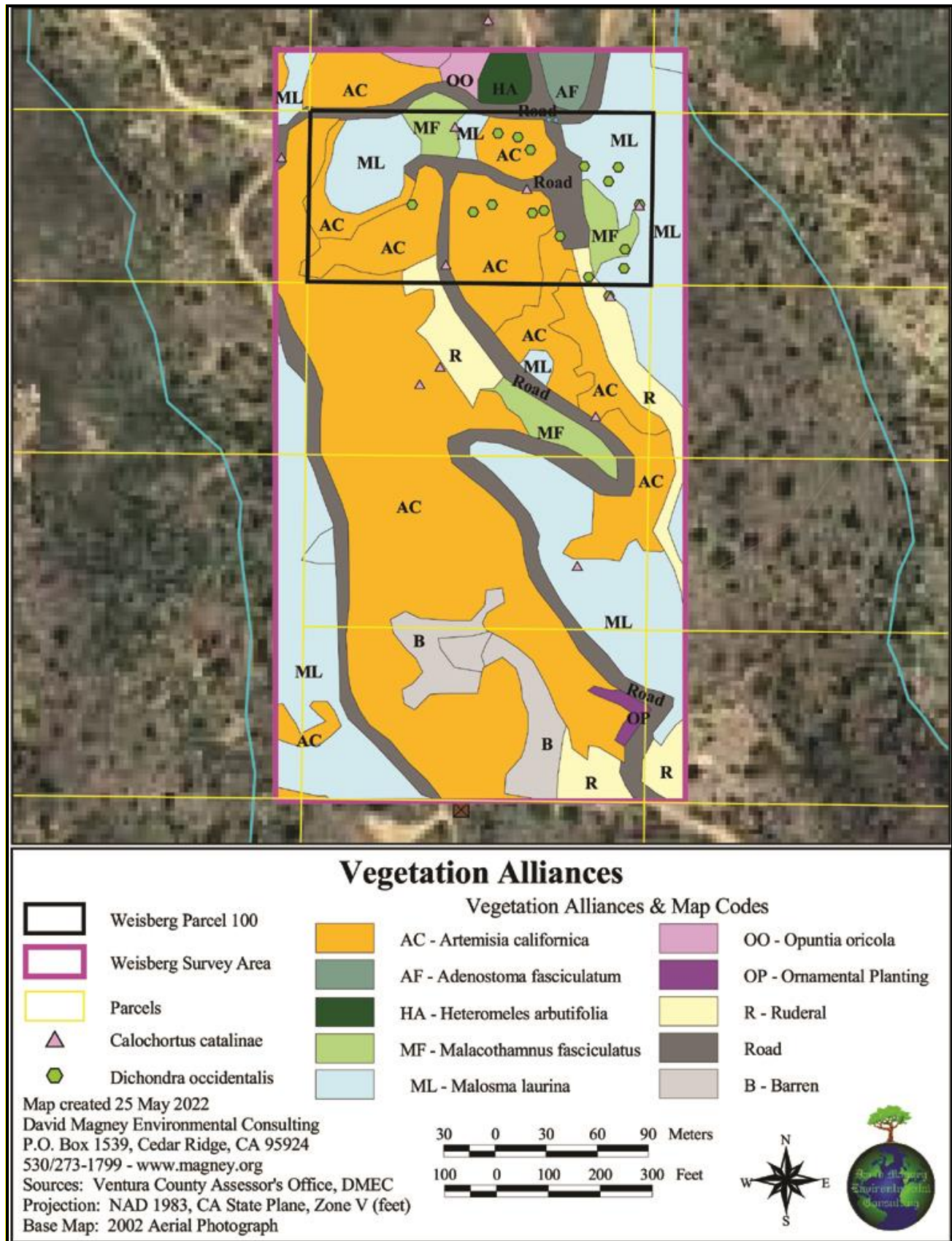
Major Plant Communities Summary

The majority of the project site is dominated by Coastal Sage Scrub, with areas dominated by Chaparral and some small patches of Ruderal habitats. The habitats observed within the property are discussed in detail below, and are summarized in Table 4, Plant Communities of the Project Site. All habitats and plant alliances found within and adjacent to the Weisberg property are mapped below in Figure 8, Plant Communities of the Project Site⁷.

⁷ The boundaries between plant alliances and associations, especially within Coastal Sage Scrub, can be subtle and ambiguous. DMEC has provided the approximate boundaries between the observed plant communities onsite.



Figure 8. Plant Communities of the Project Site



Coastal Sage Scrub

Coastal Sage Scrub is a shrubland dominated by facultative drought-deciduous, low-growing, soft-leaved, and grayish-green (malacophyllus) shrubs and subshrubs. Coastal Sage Scrub habitats typically exhibit a patchy distribution, often in close association with areas inhabited by grassland or chaparral habitats. Coastal Sage Scrub is a community at risk, with approximately 90 percent already lost to development (urban and agriculture); very little Coastal Sage Scrub has been protected by any legal mechanisms, such as enforceable conservation easements (Davis et al. 1985). (Boyd 1999).

The Coastal Sage Scrub habitat observed onsite is within the Ventura County Coastal Zone as defined by the California Coastal Commission. Section 30107.5 of the Coastal Act defines an Environmentally Sensitive Habitat Area (ESHA) as, “any area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and developments”. Regardless, Coastal Sage Scrub is a sensitive habitat considered by CNDDB (CDFW 2015) (classified as Coastal Sage Chaparral Scrub), which has a status of G3 S3.2.

The alliances and associations within the Coastal Sage Scrub communities that were observed at the Weisberg study area and property are listed and described below. Since the entire survey area was burned in the Woolsey Fire in late 2018, the vegetation is rejuvenating naturally and it returned basically to what was present prior to the fire; however, many areas that may have been dominated by chaparral species prior to the fire are now dominated by Coastal Sage Scrub species, and will likely return to chaparral-dominants in approximately five years if not disturbed by human activities or another wildfire.

The study area Coastal Sage Scrub vegetation alliances observed onsite include: *Artemisia californica* Shrubland Alliance, *Malosma laurina* Shrubland Alliance, *Malacothamnus fasciculatus* Shrubland Alliance, and *Opuntia oricola* Shrubland Alliance. Each are described below.

***Artemisia californica* Shrubland Alliance (California Sagebrush Scrub)**

This alliance is dominated by *Artemisia californica* (California Sagebrush). *Artemisia californica* typically forms a continuous to intermittent canopy of at least 60% relative cover over a variable ground layer (Sawyer et al. 2009). In the survey area, there are several associations within this alliance, including *Artemisia californica-Eriogonum cinereum* Shrubland Association (California Sagebrush-Ashy Buckwheat Scrub), *Artemisia californica-Eriogonum cinereum-Malosma laurina* Shrubland Association (California Sagebrush-Ashy Buckwheat-Laurel Sumac Scrub), and *Artemisia*



californica-Eriogonum cinereum-Salvia mellifera Shrubland Association (California Sagebrush-Ashy Buckwheat-Black Sage Scrub). This alliance and its associations also include shrubs typically associated with chaparral communities in the Santa Monica Mountains, including *Ceanothus cuneatus* and *Heteromeles arbutifolia*.

Common associated plants of these associations at the project site include: *Stipa pulchra*, *Calystegia macrostegia* var. *intermedia*, *Deinandra fasciculata*, *Diplacus longiflorus*, *Salvia leucophylla*, *Mirabilis*

laevis ssp. *crassifolia*, *Encelia californica*, *Marah macrocarpa*, and *Crocanthemum scoparium*. Naturalized herbs and grasses are also common onsite, including: *Hirschfeldia incana*, *Avena barbata*, *Erodium cicutarium*, *Bromus madritensis* ssp. *rubens*, and *Brachypodium dactylon*.

On the Weisberg property *Artemisia californica* Shrubland Alliance occupies approximately 2.348 acres.

***Malacothamnus fasciculatus* Shrubland Alliance (Bushmallow Scrub)**

This vegetation alliance is dominated by *Malacothamnus fasciculatus* var. *fasciculatus* (Chaparral Bushmallow), a large evergreen shrub widespread along the south coast of California, from 0 to 580 meters elevation. *M. fasciculatus* is the dominant or co-dominant in the shrub canopy with *Acmispon glaber*, *Adenostoma fasciculatum*, *Artemisia californica*, *Ceanothus megacarpus*, *C. spinosus*, *Cercocarpus betuloides*, *Diplacus longiflorus*, *Encelia californica*, *Eriogonum cinereum*, *E. fasciculatum* var. *foliolosum*, *Hesperoyucca whipplei*, *Heteromeles arbutifolia*, *Malosma laurina*, *Rhus ovata*, and *Salvia mellifera*. Emergent trees or tall shrubs may be present at low cover, including *Juglans californica*, *Platanus racemosa*, or *Quercus agrifolia*. (Keeler-Wolf and Evens 2006.)

Membership rules for this vegetation alliances are: shrubs < 3 m; canopy is open and two tiered; herbaceous layer is usually sparse, with *M. fasciculatus* is > 50% relative cover (Keeler-Wolf and Evens 2006).

Malacothamnus fasciculatus Shrubland Alliance has a Global Rarity Ranking of G4 and a State Rarity Ranking of S4. It is endemic to the California Floristic Province (Keeler-Wolf and Evens 2006).

Malacothamnus fasciculatus Shrubland Alliance plant associations found at the Weisberg study area include: *Malacothamnus fasciculatus*/*Eriogonum cinereum* Shrubland Association (Bushmallow-Ashy Buckwheat), and *Malacothamnus fasciculatus*-*Malosma laurina*/*Eriogonum cinereum* Shrubland Association, with the former a novel association not described in the Manual of California Vegetation (Keeler-Wolf and Evens 2006) or the online edition⁸.

Associated species of *Malacothamnus fasciculatus* Shrubland Alliance in the Weisberg study area includes: *Acmispon glaber*, *Artemisia californica*, *Bromus diandrus*, *Calystegia macrostegia* var. *intermedia*, *Ceanothus cuneatus*, *Encelia californica*, *Eriogonum cinereum*, *Eriophyllum confertiflorum* var. *confertiflorum*, *Hirschfeldia incana*, *Marah macrocarpa*, *Malosma laurina*, *Rhus ovata*, and *Solanum xanti*. Two special-status plant species, *Calochortus catalinae* and *Dichondra occidentalis*, are sometimes found associated with this vegetation alliance.



Malacothamnus fasciculatus Shrubland Alliance occupies approximately 0.795 acre of the study area, and 0.406 acre of the Weisberg parcel.

⁸ CNPS A Manual of California Vegetation Online: <https://vegetation.cnps.org/alliance/234>

***Malosma laurina* Shrubland Alliance (Laurel Sumac Scrub)**

This vegetation alliance is dominated by *Malosma laurina* (Laurel Sumac), a large evergreen shrub widespread along the south coast of California below the frost line (*M. laurina* is sensitive to sub-freezing temperatures), from 5 to 400 meters elevation. *M. laurina* is the dominant or co-dominant in the shrub canopy with *Artemisia californica*, *Ceanothus megacarpus*, *Diplacus longiflorus*, *Encelia californica*, *Eriogonum cinereum*, *E. fasciculatum* var. *foliolosum*, *Hesperoyucca whipplei*, *Heteromeles arbutifolia*, *Keckiella antirrhinoides*, *Rhamnus ilicifolia*, *Rhus integrifolia*, *R. ovata*, *Salvia leucophylla*, *S. mellifera*, *Tetracoccus dioicus* (not present onsite), and *Toxicodendron diversilobum*. Emergent trees or tall shrubs may be present at low cover, including *Juglans californica*, *Platanus racemosa*, *Quercus agrifolia*, or *Sambucus mexicana*.

Membership rules for this vegetation alliances are: shrubs < 5 m; canopy is open or continuous. Herbaceous layer is sparse or grassy, with *M. laurina* is > 50% or is > 30% relative cover if co-dominant with *Eriogonum fasciculatum* or *Salvia mellifera* in the shrub canopy (Keeler-Wolf and Evens 2006).

Malosma laurina Shrubland Alliance has a Global Rarity Ranking of G4 and a State Rarity Ranking of S4. It is endemic to the California Floristic Province (Keeler-Wolf and Evens 2006).

Malosma laurina plant associations found at the Weisberg study area include: *Malosma laurina/Acmispon glaber* Shrubland Association (Laurel Sumac/Deerweed Scrub), and *Malosma laurina/Hesperoyucca whipplei* Shrubland Association.

Associated species of *Malosma laurina* Shrubland Alliance in the Weisberg study area includes: *Acmispon glaber* var. *glaber*, *Adenostoma fasciculatum* var. *fasciculatum*, *Artemisia californica*, *Calystegia macrostegia* var. *intermedia*, *Ceanothus cuneatus* var. *cuneatus*, *Encelia californica*, *Eriogonum cinereum*, *Eriophyllum confertiflorum* var. *confertiflorum*, *Hesperoyucca whipplei*, *Marah macrocarpa*, *Malacothamnus fasciculatus*, *Rhus ovata*, and *Solanum xanti*. Three special-status plant species, *Calochortus catalinae*, *C. plummerae*, and *Dichondra occidentalis*, are sometimes found associated with this vegetation alliance.



Malosma laurina Shrubland Alliance occupies approximately 7.08 acres of the study area, and 1.449 acres of the Weisberg parcel.

***Opuntia oricola* Shrubland Alliance (Coastal Cactus Scrub)**

This vegetation alliance is dominated by *Opuntia oricola* (Roundpad Prickly Pear Cactus), a low-growing succulent evergreen shrub along the south coast of California from 0 to 1,200 meters elevation. *Opuntia o.* is dominant or co-dominant in the shrub canopy with *Artemisia californica*, *Cleome isomeris*, *Cneoridium dumosum*, *Cylindropuntia californica*, *C. prolifera*, *Encelia californica*, *Eriogonum fasciculatum*, *Euphorbia misera*, *Hesperoyucca whipplei*, *Lycium* spp., *Malosma laurina*, *Mirabilis laevis* var. *crassifolia*, *Opuntia ×occidentalis*, *O. littoralis*, *O. phaeacantha*, *O. ×vaseyi*, *Rhus integrifolia*, *Salvia mellifera*, and *Sambucus mexicana*. Emergent trees may be present at low cover, including *Schinus molle* (Keeler-Wolf and Evens 2006).

Membership rules for this vegetation alliances are: shrubs < 2 m; canopy intermittent or continuous in two tiers with *O. oricola* or other *Opuntia* species area > 50% relative cover in the shrub layer and the herbaceous layer is open to continuous and diverse (Keeler-Wolf and Evens 2006).

Opuntia oricola Shrubland Alliance has a Global Rarity Ranking of G4 and a State Rarity Ranking of S3 (Keeler-Wolf and Evens 2006).



Opuntia oricola Shrubland Alliance at the Weisberg study area consists of one association: *Opuntia oricola-Eriogonum cinereum-Hesperoyucca whipplei* Shrubland Association.

Associated species of *Opuntia oricola* Shrubland Alliance in the Weisberg study area includes: *Acmispon glaber* var. *glaber*, *Artemisia californica*, *Calystegia macrostegia* var. *intermedia*, *Ceanothus cuneatus* var. *cuneatus*, *Encelia californica*, *Eriogonum cinereum*, *Hesperoyucca whipplei*, and *Malosma laurina*. One special-status plant species,

Calochortus catalinae was found associated with this vegetation alliance.

Opuntia oricola Shrubland Alliance occupies approximately 0.205 acre of the study area but is not present on the Weisberg parcel.

Chaparral

Chaparral vegetation consists of large evergreen shrubs to 4 meters high, with either thick or small leaves. Chaparral is adapted to a Mediterranean climate of hot dry summers and cool wet winters. Chaparral features summer-drought-tolerant plants with hard sclerophyllous evergreen leaves. Chaparral alliances occupy slopes and flats with poor or thin soils with low levels of organic matter.

Adenostoma fasciculatum var. *fasciculatum* (Chamise) is the most common and characteristic species of cismontane chaparral. Common and characteristic shrub species of cismontane chaparral includes: *Arctostaphylos* spp., *Ceanothus* spp., *Cercocarpus betuloides*, *Dendromecon rigida*, *Eriodictyon* spp., *Frangula californica*, *Heteromeles arbutifolia*, *Lonicera* spp., *Quercus* spp., *Rhamnus* spp., *Rhus* spp., and *Salvia* spp. Cismontane Chaparral ranges throughout the coastal ranges of California into Baja California and the Sierra Nevada foothills.

Chaparral within the Weisberg study area includes *Adenostoma fasciculatum* Shrubland Alliance and *Heteromeles arbutifolia* Shrubland Alliance.

***Adenostoma fasciculatum* Shrubland Alliance (Chamise Chaparral)**

This vegetation alliance is dominated by *Adenostoma fasciculatum* var. *fasciculatum* (Chamise), a large needle-leaved evergreen shrub widespread throughout California, from 10 to 1,800 meters elevation. *Adenostoma fasciculatum* var. *fasciculatum* is the dominant or co-dominant in the shrub canopy with *Adenostoma sparsifolium*, *Arctostaphylos glandulosa*, *A. manzanita*, *A. viscida*, *Ceanothus* spp., *Diplacus aurantiacus*, *D. longiflorus*, *Eriodictyon californicum* (not present onsite), *E. crassifolium*, *Eriogonum fasciculatum*, *Hesperoyucca whipplei*, *Heteromeles arbutifolia*, *Quercus berberidifolia*, *Q. wislizeni*, *Salvia apiana*, *S. leucophylla*, *S. mellifera*, and *Toxicodendron diversilobum*. Emergent trees may be present at low cover.

Membership rules for this vegetation alliances are: shrubs < 4 m; canopy is intermittent to continuous, with *Adenostoma fasciculatum* is > 50% relative cover in shrub canopy.

Adenostoma fasciculatum Shrubland Alliance has a Global Rarity Ranking of G5 and a State Rarity Ranking of S5. It is endemic to the California Floristic Province (Keeler-Wolf and Evens 2006).

Adenostoma fasciculatum Shrubland Alliance plant association found at the Weisberg study area include: *Adenostoma fasciculatum*-*Ceanothus cuneatus*-*Heteromeles arbutifolia* Shrubland Association (Mixed Chaparral).



Associated species of *Adenostoma fasciculatum* Shrubland Alliance in the Weisberg study area includes: *Acmispon glaber* var. *glaber*, *Artemisia californica*, *Calystegia macrostegia* var. *intermedia*, *Ceanothus cuneatus* var. *cuneatus*, *Eriogonum cinereum*, *E. fasciculatum* var. *foliolosum*,

Hesperoyucca whipplei, *Heteromeles arbutifolia*, *Isocoma menziesii*, *Marah macrocarpa*, *Malosma laurina*, *Salvia mellifera*, and *Solanum xanti*. Two special-status plant species, *Calochortus plummerae* and *Dichondra occidentalis*, were sometimes found associated with this vegetation alliance.

Adenostoma fasciculatum Shrubland Alliance occupies approximately 0.223 acre of the study area but is not on the Weisberg parcel.

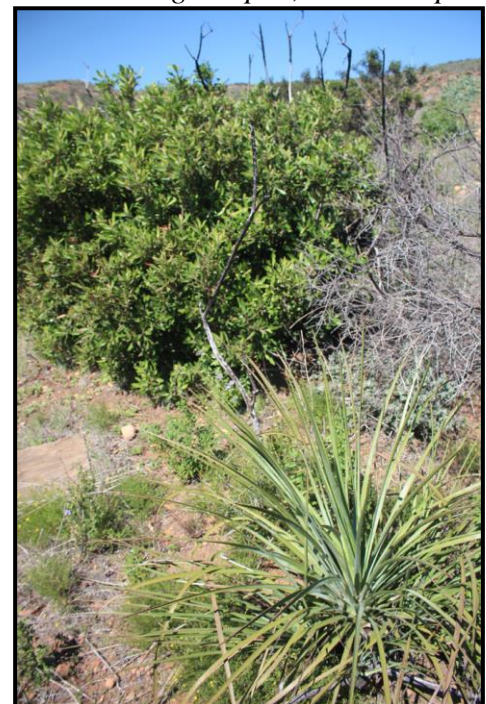
***Heteromeles arbutifolia* Shrubland Alliance (Toyon Chaparral)**

This vegetation alliance is dominated by *Heteromeles arbutifolia* (Toyon), a large evergreen shrub widespread along the south coast of California and the Sierra Nevada foothills (*M. laurina* is sensitive to sub-freezing temperatures), from 50 to 1,300 meters elevation. *H. arbutifolia* is the dominant or co-dominant in the shrub canopy with *Artemisia californica*, *Ceanothus megacarpus*, *Cercocarpus betuloides*, *Clematis lasiantha*, *Diplacus aurantiacus*, *D. longiflorus*, *Eriogonum fasciculatum*, *Fraxinus dipetala*, *Keckiella antirrhinoides* (not present onsite or in Ventura County), *K. cordifolia*, *Quercus berberidifolia*, *Rhamnus ilicifolia*, *Rhus ovata*, and *Salvia mellifera*. Emergent trees may be present at low cover, including *Juglans californica* or *Q. agrifolia*.

Membership rules for this vegetation alliances are: shrubs <15 m; canopy is open to continuous; herbaceous layer is sparse to continuous, with *Heteromeles arbutifolia* > 50% relative cover in the shrub canopy (Keeler-Wolf and Evens 2006) (Keeler-Wolf and Evens 2006).

Heteromeles arbutifolia Shrubland Alliance has a Global Rarity Ranking of G5 and a State Rarity Ranking of S4. It is endemic to the California Floristic Province (Keeler-Wolf and Evens 2006).

Associated species of *Heteromeles arbutifolia* Shrubland



Alliance in the Weisberg study area includes: *Acmispon glaber* var. *glaber*, *Adenostoma fasciculatum* var. *fasciculatum*, *Artemisia californica*, *Calystegia macrostegia* var. *intermedia*, *Ceanothus cuneatus* var. *cuneatus*, *Encelia californica*, *Eriogonum cinereum*, *Eriophyllum confertiflorum* var. *confertiflorum*, *Hesperoyucca whipplei*, *Marah macrocarpa*, *Malacothamnus fasciculatus*, *Rhus ovata*, and *Solanum xanti*. Three special-status plant species, *Calochortus catalinae*, *C. plummerae*, and *Dichondra occidentalis*, are sometimes found associated with this vegetation alliance.

Heteromeles arbutifolia Shrubland Alliance occupies approximately 0.215 acre of the study area, but is not present on the Weisberg parcel; rather, it occurs on the parcel immediately to the north. It would not be affected by the proposed project.

Developed/Disturbed

The roads and development pad on the Weisberg property fit into this category. These areas are mostly devoid of vegetation or may have some ruderal⁹ grasses and forbs present such as *Hirschfeldia incana* as well as *Deinandra fasciculata*, a native annual forb. Prior to clearing and grading these areas were comprised of *Artemisia californica* Shrubland Alliance.

Ornamental Landscaping

Ornamental Landscaping is a vegetation cover type that consists solely of planted species, usually nonnative ornamental species that are typically irrigated. The only ornamental landscaping present within the Weisberg study area is a row of planted *Schinus molle* (Peruvian Pepper) trees on the southernmost parcel on the west side of the access road.

Ornamental Landscaping occupies approximately 0.100 acre of the study area, but is not present on the Weisberg parcel. It would not be affected by the proposed project.

Ruderal

Ruderal habitats are sparsely vegetated areas that have been physically disturbed by human actions, such as grading or clearing. These disturbed areas are typically colonized very quickly by weedy plant species, mostly nonnative taxa, some of which are considered invasive. The ruderal vegetation consists primarily of herbaceous forbs and grasses.



⁹ Ruderal is defined as spontaneous vegetation that grows in areas managed or disturbed by human activities.

**Table 4. Plant Communities of the Project Site**

Map Key	SVC Alliance	SVC Association	Misc.	Alliance Status	Condition	Acres Total	Acres Impacted	Comments
AC	<i>Artemisia californica</i> Shrubland Alliance	<i>Artemisia californica</i> - <i>Eriogonum cinereum</i> Shrubland Association	ESHA	G5 S5	Intact	1.494	0.25	Burned in 2018 Woolsey Fire
AF	<i>Adenostoma fasciculatum</i> Shrubland Alliance	<i>Adenostoma fasciculatum</i> - <i>Ceanothus cuneatus</i> Shrubland Association	ESHA	G5 S5	Intact	0.223		Burned in 2018 Woolsey Fire
HA	<i>Heteromeles arbutifolia</i> Shrubland Alliance	<i>Heteromeles arbutifolia</i> – <i>Malosma laurina</i> Shrubland Association	ESHA	G5 S4	Intact	0.215		Burned in 2018 Woolsey Fire
MF	<i>Malacothamnus fasciculatus</i> Shrubland Alliance	<i>Malacothamnus fasciculatus</i> Shrubland Association	ESHA	G4 S4	Intact	0.795		Burned in 2018 Woolsey Fire
ML	<i>Malosma laurina</i> Shrubland Alliance	<i>Malosma laurina</i> – <i>Malacothamnus fasciculatus</i> – <i>Eriogonum cinereum</i> Shrubland Association	ESHA	G4 S4	Intact	7.08		Burned in 2018 Woolsey Fire
OO	<i>Opuntia oricola</i> Shrubland Alliance	<i>Opuntia oricola</i> – <i>Eriogonum cinereum</i> – <i>Hesperoyucca whipplei</i> Shrubland Association	ESHA	G4 S3	Intact	0.205		Burned in 2018 Woolsey Fire
ORN	Ornamental Landscaping	<i>Schinus molle</i> Planting			Intact			Planted after 2018
RU	Ruderal	Ruderal				1.558		cleared
RD	Road	Road				2.977		maintained
BA	Barren	Barren				1.045		cleared
LIC = Locally Important Plant Community ESHA = Environmentally Sensitive Habitat Area G1 or S1 = Critically Imperiled Globally or Subnationally (state) G2 or S2 = Imperiled Globally or Subnationally (state) G3 or S3 = Vulnerable to extirpation or extinction Globally or Subnationally (state)								

Plants of the Weisberg study area include *Acmispon glaber* var. *glaber*, *Avena barbata*, *Bromus diandrus*, *B. madritensis* ssp. *rubens*, *Brachypodium dactylon*, *Centaurea melitensis*, *Deinandra fasciculata*, *Erodium cicutarium*, and *Hirschfeldia incana*. No special-status species were observed within any of the ruderal habitats within the study area.

Ruderal habitats within the Weisberg study area occupy approximately 1.558 acres. Ruderal habitats on the Weisberg parcel consists of approximately 0.115 acre.

Road



Roads within the Weisberg study area are all graded dirt roads that are generally maintained for vehicle access to parcels in the area. Roads occupy approximately 2.977 acres of the study area of which 0.685 acre occur just on the Weisberg parcel.

Barren

Barren areas within the Weisberg study area are all graded or cleared areas that are generally maintained free of vegetation. Barren areas occupy approximately 2.977 acres of the study area of which none occur just on the Weisberg parcel.

Waters and Wetlands

Protected wetlands or waters were not found within the survey area(s).

Waters and Wetlands Summary

No impacts to riparian vegetation, County defined wetlands, federal jurisdictional waters (including wetlands), or state jurisdictional wetlands are expected to result from the proposed project; however, runoff may be increased and water quality of nearby small drainages and Little Sycamore Canyon Creek may be negatively influenced by development. The impacts to water quality onsite are likely a less-than-significant impact. However, it should be noted that although the property is only five acres, and although the proposed development is relatively small, the project contributes to the cumulative development in the area, which increases the total amount of runoff in the vicinity and affects the general water quality of nearby streams.

The U.S. Environmental Protection Agency (EPA) has determined that watersheds with less than 10% impervious surface from paved roads, buildings, and hardscaping is an indicator of good water quality in drainages¹⁰. Based on a ocular examination of recent aerial photography, currently less than 10% of the land within Little Sycamore Canyon has impervious surfaces.

PLANT AND ANIMAL SPECIES

Endangered, threatened, rare, or locally important species were observed or have a moderate to high

¹⁰ U.S. EPA, Tools of Watershed Protection in Developing Areas - https://cfpub.epa.gov/watertrain/moduleframe.cfm?parent_object_id=1280



potential to occur within the survey area(s).

Habitat suitable for nests of birds protected under the Migratory Bird Treaty Act does exist within the survey area(s).

Flora

The flora of the project consists of vascular and nonvascular plants growing naturally or planted onsite. Vascular plants consist of trees, shrubs, herbs, grasses and graminoids (monocot species not in the grass family), and ferns and fern allies. Nonvascular plants consist of fungi, lichens, and bryophytes (mosses, liverworts, and hornworts).

Sixty-five (65) vascular plant species were directly observed onsite by DMEC during the winter and spring field surveys conducted on 18 February, 19 April, and 16 June 2022. Of the 64 vascular plant taxa, 48 (73.8%) are native species and 17 (26.2%) are introduced naturalized or planted species. This ratio of native to non-native plants is substantially the same as the rest of California, which has about 75% native and 25% non-native (Baldwin et al. 2012). Table 5, Plants Observed at the Weisberg Property, lists all plant species observed on the Weisberg property and the immediately adjacent area during the field surveys (study area).

No nonvascular plants (lichens) were observed onsite, as opposed to the 19 lichens observed on the 5-acre Weisberg parcel to the south in 2015 (DMEC 2016), prior to the Woolsey Fire. Lichens are particularly susceptible to local extirpation by wildfires.

Table 5. Plants Observed on the Project Site

Scientific Name ¹¹	Common Name	Habit ¹²	WIS ¹³	Family
<i>Acmispon glaber</i> var. <i>glaber</i>	Deerweed	PH	.	Fabaceae
<i>Adenostoma fasciculatum</i> var. <i>fasciculatum</i>	Chamise	S	.	Rosaceae
<i>Amsinckia intermedia</i>	Rancher's Fire	AH	.	Boraginaceae
<i>Artemisia californica</i>	California Sagebrush	S	.	Asteraceae
<i>Avena barbata</i> *	Slender Wild Oats	AG	.	Poaceae
<i>Brachypodium distachyon</i> *	Short-pediceled Brome	AG	.	Poaceae
<i>Brassica nigra</i> *	Black Mustard	AH	.	Brassicaceae

¹¹ * = Introduced/naturalized plant species. ** = Introduced/naturalized plants listed by the California Invasive Plant Council (Cal-IPC) (2006, 2007) as invasive and a threat to wildlands. + = Escaped or persistent ornamental nonnative plant species. **Bold** = Special-status species. Scientific names follow Jepson Manual (Baldwin et al. 2012).

¹² Habit definitions: vascular plants: AG = annual grass or graminoid; PG = perennial grass or graminoid; AH = annual herb; PH = perennial herb; PV = perennial vine; S = shrub; T = tree. Non-vascular plants: CL = crustose lichen; FL = foliose lichen; FrL = fruticose lichen; M = moss.

¹³ WIS = Wetland Indicator Status. The following code definitions are according to Lichvar (2013):
 OBL = obligate wetland species, occurs almost always in wetlands (>99% probability).
 FACW = facultative wetland species, usually found in wetlands (67-99% probability).
 FAC = facultative species, equally likely to occur in wetlands or nonwetlands (34-66% probability).
 FACU = facultative upland species, usually found in nonwetlands (67-99% probability).
 NI = no indicator has been assigned due to a lack of information to determine indicator status.
 * = a tentative assignment to that indicator status by Lichvar (2012).
 Parentheses indicate a wetland status as suggested by David L. Magney based on extensive field observations.



Scientific Name ¹¹	Common Name	Habit ¹²	WIS ¹³	Family
<i>Brickellia californica</i>	California Brickellbush	S	.	Asteraceae
<i>Bromus diandrus</i> ssp. <i>diandrus</i> *	Ripgut Grass	AG	(FACU)	Poaceae
<i>Bromus madritensis</i> ssp. <i>rubens</i> *	Red Brome	AG	NI	Poaceae
<i>Calandrinia menziesii</i>	Red Maids	AH	.	Montiaceae
<i>Calochortus catalinae</i>	Catalina Mariposa Lily	PG	.	Liliaceae
<i>Calochortus plummerae</i> (Magney 95-22 ¹⁴)	Plummer's Mariposa Lily	PG	.	Liliaceae
<i>Calochortus plummerae</i> X <i>C. weedii</i>	Hybrid Plummer's Mariposa Lily	PG	.	Liliaceae
<i>Calystegia macrostegia</i> var. <i>intermedia</i>	Coastal Scrub Morning-glory	PV	.	Convolvulaceae
<i>Ceanothus cuneatus</i> var. <i>cuneatus</i>	Buck Brush	S	.	Rhamnaceae
<i>Centaurea melitensis</i> *	Tocalote	AH	.	Asteraceae
<i>Crocanthemum scoparium</i>	Peak Rushrose	S	.	Cistaceae
<i>Cryptantha intermedia</i> var. <i>intermedia</i>	Common Forget-Me-Not	AH	.	Boraginaceae
<i>Deinandra fasciculata</i>	Fascicled Tarplant	AH	.	Asteraceae
<i>Dipterostemon capitatus</i> ssp. <i>capitatus</i>	Blue Dicks	PG	.	Themidaceae
<i>Dichondra occidentalis</i> (Magney 2-22)	Western Dichondra	PH	.	Convolvulaceae
<i>Diplacus longiflorus</i>	Sticky Bush Monkeyflower	S	.	Phrymaceae
<i>Emmenanthe penduliflora</i> var. <i>penduliflora</i>	Whispering Bells	AH	.	Hydrophyllaceae
<i>Encelia californica</i>	California Brittlebush	S	.	Asteraceae
<i>Eriogonum cinereum</i>	Ash Coast Buckwheat	S	.	Polygonaceae
<i>Eriogonum fasciculatum</i> var. <i>foliolosum</i>	Leafy California Buckwheat	S	.	Polygonaceae
<i>Eriophyllum confertiflorum</i> var. <i>confertiflorum</i>	Common Golden Yarrow	S	.	Asteraceae
<i>Erodium cicutarium</i> *	Redstem Filaree	AH	.	Geraniaceae
<i>Eucalyptus polyanthemus</i> *+	Silver Dollar Gum	T	.	Myrtaceae
<i>Eucrypta chrysanthemifolia</i> var. <i>c.</i>	Common Eucrypta	AH	.	Boraginaceae
<i>Gilia capitata</i> ssp. <i>abrotanifolia</i>	Blue Field Gilia	AH	.	Polemoniaceae
<i>Hazardia squarrosa</i> var. <i>grindeloides</i>	Gumweed Sawtooth Goldenbush	S	.	Asteraceae
<i>Hesperoyucca whipplei</i> ssp. <i>cespitosa</i>	Clumping Our Lord's Candle	S	.	Agavaceae
<i>Heteromeles arbutifolia</i>	Toyon	S	.	Rosaceae
<i>Hirschfeldia incana</i> *	Summer Mustard	PH	.	Brassicaceae
<i>Isocoma menziesii</i> var. ?	A Goldenbush	S	.	Asteraceae
<i>Lupinus hirsutissimus</i>	Nettle Lupine	AH	.	Fabaceae
<i>Lupinus succulentus</i>	Arroyo Lupine	AH	.	Fabaceae
<i>Malacothamnus fasciculatus</i> var. <i>fasciculatus</i>	Chaparral Bushmallow	S	.	Malvaceae
<i>Malacothrix saxatilis</i> cf. var. <i>tenuifolia</i>	Tenuated Cliff-aster	PH	.	Asteraceae
<i>Malosma laurina</i>	Laurel Sumac	S	.	Anacardiaceae
<i>Malva parviflora</i> *	Cheeseweed	AH	.	Malvaceae
<i>Marah macrocarpa</i> var. <i>macrocarpa</i>	Large-fruited Man-root	PV	.	Cucurbitaceae
<i>Melica imperfecta</i>	Coast Range Melic	PG	.	Poaceae
<i>Mirabilis laevis</i> var. <i>crassifolia</i>	California Four O'clock	PH	.	Nyctaginaceae
<i>Opuntia littoralis</i>	Coastal Prickly Pear	S	.	Cactaceae
<i>Opuntia oricola</i>	Round-pad Prickly Pear	S	.	Cactaceae
<i>Phacelia cicutaria</i> var. <i>hispida</i>	Caterpillar Phacelia	AH	.	Boraginaceae
<i>Phacelia grandiflora</i>	Giant Flowered Phacelia	AH	.	Boraginaceae
<i>Phacelia ramosissima</i> var. <i>ramosissima</i>	Branching Phacelia	PH	.	Boraginaceae

¹⁴ Denotes voucher collection number. Vouchers to be deposited into the UCSB Herbarium.

Scientific Name ¹¹	Common Name	Habit ¹²	WIS ¹³	Family
<i>Rafinesquia californica</i>	California Chicory	AH	.	Asteraceae
<i>Rhus ovata</i>	Sugar Bush	S	.	Anacardiaceae
<i>Salsola tragus</i> *	Russian Thistle	AH	FACU	Chenopodiaceae
<i>Salvia leucophylla</i>	Purple Sage	S	.	Lamiaceae
<i>Salvia mellifera</i>	Black Sage	S	.	Lamiaceae
<i>Schinus molle</i> *+	Peruvian Pepper Tree	T	.	Anacardiaceae
<i>Senecio vulgaris</i> *	Common Groundsel	AH	.	Asteraceae
<i>Silene gallica</i> *	Windmill Pink	AH	.	Caryophyllaceae
<i>Sisymbrium irio</i> *	London Rocket	AH	.	Brassicaceae
<i>Solanum xanti</i>	Chaparral Nightshade	S	.	Solanaceae
<i>Sonchus asper</i> var. <i>asper</i> *	Prickly Sow-thistle	AH	FAC	Asteraceae
<i>Sonchus oleraceus</i> *	Common Sow-thistle	AH	.	Asteraceae
<i>Stipa pulchra</i>	Purple Needlegrass	PG	.	Poaceae
<i>Tauschia arguta</i> (Magney 3-22)	Southern Tauschia	PH	.	Apiaceae



Left to Right: *Crocanthemum scoparium*, *Calandrinia ciliata*, *Salvia leucophylla*, *Lupinus succulentus*, and *Acmispon glaber* with *Rafinesquia californica*.



Left to Right: *Tauschia arguta* and *Dichondra occidentalis*, *Stephanomeria virgata* var. *virgata*, and *Mirabilis crassifolia* var. *laevis*.

Fauna

Numerous species of wildlife are known to occur within the Santa Monica Mountains vicinity, and DMEC expects that many wildlife species frequent the property on a regular basis. Table 6, Wildlife Species Observed on the Project Site, contains a list of animal species observed on the Weisberg property as well as species expected to occur onsite but only detected nearby (as reported by others on eBird.org and iNaturalist.org).

Thirty (30) wildlife species were observed or detected on the Weisberg property in the DMEC surveys. They included nine (9) birds, three (3) reptiles, five (5) mammals, and fourteen (14) invertebrates.



Three mammals, Coyote, Mule Deer, and Bobcat, were detected by scat. The San Diego Desert Woodrat was detected by a nest at the southern end of the survey area in 2015. All other species were directly observed. There is suitable habitat onsite for more wildlife species, and DMEC expects that more wildlife, particularly birds and invertebrates, will be observed during the spring 2022 surveys.

Table 6. Wildlife Species Observed on the Project Site

Scientific Name ¹⁵	Common Name	Order and Family	Evidence
VERTEBRATES			
<i>Reptiles – Class Reptilia</i>			
<i>Sceloporus occidentalis</i>	Western Fence Lizard	Order Squamata: Family Phrynosomatidae	Observed
<i>Uta stansburiana elegans</i>	Side-blotched Lizard	Order Squamata: Family Phrynosomatidae	Observed
<i>Elgaria multicarinata</i>	Southern Alligator Lizard	Order Squamata: Family Anguillidae	Observed
<i>Crotalus oreganus helleri</i>	Southern Pacific Rattlesnake	Order Squamata: Family Viperidae	Reported ¹⁶
<i>Birds – Class Aves</i>			
<i>Buteo jamaicensis</i>	Red-tailed Hawk	Order Accipitriformes: Family Accipitridae	Observed
<i>Cathartes aura</i>	Turkey Vulture	Order Cathartiformes: Family Carthartidae	Observed
<i>Aphelocoma californica</i>	Western Scrub-jay	Order Passeriformes: Family Corvidae	Observed
<i>Callipepla californica</i>	California Quail	Order Galliformes: Family Odontophoridae	Observed
<i>Calypte anna</i>	Anna’s Hummingbird	Order Apodiformes: Family Trochilidae	Observed
Scientific Name	Common Name	Order and Family	Evidence
<i>Chamaea fasciata</i>	Wrentit	Order Passeriformes: Family: Sylviidae	Observed
<i>Corvus corax</i>	Common Raven	Order Passeriformes: Family Corvidae	Observed
<i>Pipilo crissalis</i>	California Towhee	Order Passeriformes: Family Embeziridae	Observed
<i>Zenaida macroura</i>	Mourning Dove	Order Columbiformes: Family Columbidae	Observed
<i>Passerina amoena</i>	Lazuli Bunting	Order Passeriformes: Family Cardinalidae	Reported ¹⁷
<i>Aimophila ruficeps</i>	Rufous-crowned Sparrow	Order Passeriformes: Family Passerellidae	Reported ¹⁸
<i>Passerculus sandwichensis</i>	Savannah Sparrow	Order Passeriformes: Family Passerellidae	Reported ¹⁹
<i>Mammals – Class Mammalia</i>			
<i>Odocoileus hemionus</i>	Mule Deer	Order Artiodactyla: Family Cervidae	Detected (scat)
<i>Mephitis mephitis</i>	Striped Skunk	Order Carnivora: Family Mephitidae	Observed
<i>Vulpes vulpes</i>	Red Fox	Order Carnivora: Family Canidae	Observed
<i>Canis latrans</i>	Coyote	Order Carnivora: Family Canidae	Detected (scat), Observed
<i>Lynx rufus</i>	Bobcat	Order Carnivora: Family Felidae	Detected (scat)
INVERTEBRATES			
Scientific Name	Common Name	Order and Family	Evidence
<i>Arachnids – Class Arachnida</i>			
<i>Eustala</i> sp.	Typical Orbweaver	Order Araneae: Family Araneidae	Reported ²⁰

¹⁵ An asterisk (*) indicates introduced, non-native species. **Bold type** indicates special-status species; SFP = California Fully Protected Species; SSC = California Species of Special Concern; SAL = CNDDDB Special Animals List.
¹⁶ Reported by “old-bean-adams” E of site on 20 May 2015, iNaturalist.org
¹⁷ Reported by “Luc Snakewalker” S of site on 19 April 2022, iNaturalist.org
¹⁸ Reported S of site on 22 March 2022 by Mira Falicki, iNaturalist.org
¹⁹ Reported S of site on 22 March 2022 by Mira Falicki, iNaturalist.org



Scientific Name	Common Name	Order and Family	Evidence
<i>Aphonopelma</i> sp.	Theraphosine Tarantula	Order Araneae: Family Theraphosidae	Reported ²¹
<i>Insects – Class Insecta</i>			
<i>Mexoleon</i> sp.	Antlion	Order Nevrothidae: Family Myrmeleontidae	Reported ²²
<i>Xylotrechus nauticus</i>	a Longhorn Beetle	Order Coleoptera: Family Cerambycidae	Reported ²³
<i>Pleocomma puncticollis</i>	Black Rain Beetle	Order Coleoptera: Family Pleocommidae	Reported ²⁴
<i>Scantius aegyptius</i>	Mediterranean Red Bug	Order Hemiptera: Family Pyrrhocoridae	Reported ²⁵
<i>Platypedia laticapitata</i>	Wide-headed Cicada	Order Hemiptera: Family Cicadidea	Observed
<i>Melanoplus</i> sp.	Short-horned Grasshopper	Order Orthoptera: Family Acrididae	Observed
<i>Leprus intermedius</i>	Saussure's Blue-winged Grasshopper	Order Orthoptera: Family Acrididae	Reported ²⁶
<i>Paravilla</i> sp.	Banded Bee Fly	Order Diptera: Family Bombyliidae	Reported ²⁷
<i>Andrena cerasifolii</i>	Cherry Plum Mining Bee	Order Hymenoptera: Family Apidae	Reported ²⁸
<i>Apis mellifera</i> *	European Honeybee	Order Hymenoptera: Family Apidae	Observed
<i>Bombus melanopygus</i>	Black-tailed Bumble Bee	Order Hymenoptera: Family Apidae	Reported ²⁹
<i>Bombus vosnesenskii</i>	Yellow-faced Bumble Bee	Order Hymenoptera: Family Apidae	Reported ³⁰
<i>Xylocopa californica</i>	Western Carpenter Bee	Order Hymenoptera: Family Apidae	Reported ³¹
<i>Diadasia</i> sp.	Chimney Bee	Order Hymenoptera: Family Apidae	Observed
<i>Anthidium</i> sp.	Carder Bee	Order Hymenoptera: Family Megachilidae	Reported ³²
<i>Chrysurissa densa</i>	Green Cockoo Wasp	Order Hymenoptera: Family Chrysididae	Reported ³³
<i>Abia americana</i>	American Honeysuckle Sawfly	Order Hymenoptera: Family Cimbicidae	Reported ³⁴
<i>Philanthus</i> sp.	a Beewolf	Order Hymenoptera: Family Crabronidae	Reported ³⁵
<i>Pseudomasaris coquillettii</i>	a Pollen Wasp	Order Hymenoptera: Family Vespidae	Reported ³⁶
<i>Pseudomasaris edwardsii</i>	Edward's Wasp	Order Hymenoptera: Family Vespidae	Reported ³⁷
<i>Euphydryas editha</i>	Edith's Checkerspot Butterfly	Order Lepidoptera: Family Nymphalidae	Observed
<i>Chlosyne gabbii</i>	Gabb's Checkerspot Butterfly	Order Lepidoptera: Family Nymphalidae	Reported ³⁸
<i>Danaus plexans</i>	Monarch Butterfly	Order Lepidoptera: Family Nymphalidae	Reported ³⁹
<i>Coenonympha californica</i>	Ringlet Butterfly	Order Lepidoptera: Family Nymphalidae	Observed
<i>Pieris rapae</i>	Cabbage White	Order Lepidoptera: Family Pieridae	Observed

²⁰ Reported by "old-bean-adams" E of site on 6 May 2015, iNaturalist.org

²¹ Reported by William Mason W of site in August 2021, iNaturalist.org

²² Reported by "old-bean-adams" S of site on 8 October 2014, iNaturalist.org

²³ Reported by "old-bean-adams" S of site on 8 March 2013, iNaturalist.org

²⁴ Reported by "old-bean-adams" S of site on 13 February 2013, iNaturalist.org

²⁵ Reported by "old-bean-adams" SE of site on 7 May 2015, iNaturalist.org

²⁶ Reported by "old-bean-adams" SS of site on 19 May 2015, iNaturalist.org

²⁷ Reported by "old-bean-adams" SE of site on 27 May 2015, iNaturalist.org

²⁸ Reported by "old-bean-adams" SE of site on 9 May 2015, iNaturalist.org

²⁹ Reported by "old-bean-adams" SE of site on 9 May 2014, iNaturalist.org

³⁰ Reported by "old-bean-adams" SE of site on 9 May 2014, iNaturalist.org

³¹ Reported by "old-bean-adams" SE of site on 1 May 2015, iNaturalist.org

³² Reported by "old-bean-adams" SE of site on 1 May 2015, iNaturalist.org

³³ Reported by "old-bean-adams" SE of site on 17 April 2014, iNaturalist.org

³⁴ Reported by "old-bean-adams" SE of site on 13 May 2015, iNaturalist.org

³⁵ Reported by "old-bean-adams" SE of site on 30 April 2015, iNaturalist.org

³⁶ Reported by "old-bean-adams" SE of site on 16 May 2015, iNaturalist.org

³⁷ Reported by "old-bean-adams" SE of site on 1 May 2015, iNaturalist.org

³⁸ Reported by K. Garner immediately S of site on May 2016, iNaturalist.org, and Ilana Turner W of project site in April 2017, iNaturalist

³⁹ Reported by "old-bean-adams" SE of site on 7 November 2014, iNaturalist.org



<i>Anthocharis sara</i>	Sara Orangetip	Order Lepidoptera: Family Pieridae	Observed
Scientific Name	Common Name	Order and Family	Evidence
<i>Colias eurytheme</i>	Common Sulphur Butterfly	Order Lepidoptera: Family Pieridae	Observed
<i>Calephelis nemesis</i>	Dusky Fatal Metalmark	Order Lepidoptera: Family Riodinidae	Observed
<i>Heliopetes ericetorum</i>	Northern White Skipper	Order Lepidoptera: Family Hesperidae	Observed
<i>Plebejus acmon acmon</i>	Acmon Blue	Order Lepidoptera: Family Lycaenidae	Observed
	a Blue	Order Lepidoptera: Family Lycaenidae	Observed
<i>Pyrgus communis</i>	Common Checkered Skipper	Order Lepidoptera: Family Hesperidae	Observed
<i>Arachnis picta</i>	Painted Tiger Moth	Order Lepidoptera: Family Erebididae	Reported ⁴⁰
<i>Ascalapha odorata</i>	Black Witch	Order Lepidoptera: Family Erebididae	Reported ⁴¹
<i>Apantesis ornata</i>	Ornate Tiger Moth	Order Lepidoptera: Family Erebididae	Reported ⁴²
<i>Apantesis proxima</i>	Mexican Tiger Moth	Order Lepidoptera: Family Erebididae	Reported ⁴³
<i>Ctenucha brunnea</i>	Brown Ctenucha Moth	Order Lepidoptera: Family Erebididae	Reported ⁴⁴
<i>Drasteria howlandii</i>	Howland's Graphic Owlet Moth	Order Lepidoptera: Family Erebididae	Reported ⁴⁵
<i>Drasteria pallescens</i>	Paler Graphic Owlet Moth	Order Lepidoptera: Family Erebididae	Reported ⁴⁶
<i>Pseudohemihyalea edwardsii</i>	Edward's Glassy-wing Moth	Order Lepidoptera: Family Erebididae	Reported ⁴⁷
<i>Spilosoma vestalis</i>	Vestal Tiger Moth	Order Lepidoptera: Family Erebididae	Reported ⁴⁸
<i>Acerra normalis</i>	Acerra Dart Moth	Order Lepidoptera: Family Noctuidae	Reported ⁴⁹
<i>Autographa californica</i>	Alfalfa Looper	Order Lepidoptera: Family Noctuidae	Reported ⁵⁰
<i>Bryolymnia viridata</i>	a Dart Moth	Order Lepidoptera: Family Noctuidae	Reported ⁵¹
<i>Dargida procinctus</i>	Girdler Moth	Order Lepidoptera: Family Noctuidae	Reported ⁵²
<i>Egira perlubens</i>	Brown Woodling	Order Lepidoptera: Family Noctuidae	Reported ⁵³
<i>Leucania multilinea</i>	Many-lined Wainscot Moth	Order Lepidoptera: Family Noctuidae	Reported ⁵⁴
<i>Dichagyris variabilis</i>	Yellow Dart Moth	Order Lepidoptera: Family Noctuidae	Reported ⁵⁵
<i>Euxoa olivia</i>	Four-spotted-front Cutworm Moth	Order Lepidoptera: Family Noctuidae	Reported ⁵⁶
<i>Euxoa reclusa</i>	A Rubbed Dart Moth	Order Lepidoptera: Family Noctuidae	Reported ⁵⁷
<i>Feralia februalis</i>	Cutworm Moth	Order Lepidoptera: Family Noctuidae	Reported ⁵⁸
<i>Lineostriastiria olivalis</i>	a Cutworm Moth	Order Lepidoptera: Family Noctuidae	Reported ⁵⁹
<i>Noctua pronuba</i>	Large Yellow Underwing	Order Lepidoptera: Family Noctuidae	Reported ⁶⁰

⁴⁰ Reported by "old-bean-adams" SE of site on 28 January 2014, iNaturalist.org

⁴¹ Reported by "old-bean-adams" SE of site on 14 November 2015, iNaturalist.org

⁴² Reported by "old-bean-adams" SE of site on 14 September 2013, iNaturalist.org

⁴³ Reported by "old-bean-adams" SE of site on 10 March 2012 and 14 September 2013, iNaturalist.org

⁴⁴ Reported by "old-bean-adams" SE of site on 12 May 2012, iNaturalist.org

⁴⁵ Reported by "old-bean-adams" SE of site on 3 May 2015, iNaturalist.org

⁴⁶ Reported by "old-bean-adams" SE of site on 18 May 2015, iNaturalist.org

⁴⁷ Reported by "old-bean-adams" SE of site on 9 March 2013, iNaturalist.org

⁴⁸ Reported by "old-bean-adams" SE of site on 19 October 2013, iNaturalist.org

⁴⁹ Reported by "old-bean-adams" SE of site on 21 April 2021, iNaturalist.org

⁵⁰ Reported by "old-bean-adams" SE of site on 18 May 2013, iNaturalist.org

⁵¹ Reported by "old-bean-adams" SE of site on 5 April 2014, iNaturalist.org

⁵² Reported by "old-bean-adams" SE of site on 12 April 2021, iNaturalist.org

⁵³ Reported by "old-bean-adams" SE of site on 21 April 2021, iNaturalist.org

⁵⁴ Reported by "old-bean-adams" SE of site on 21 April 2021, iNaturalist.org

⁵⁵ Reported by "old-bean-adams" SE of site on 12 April 2014 and 21 April 2021, iNaturalist.org

⁵⁶ Reported by "old-bean-adams" SE of site on 21 April 2021, iNaturalist.org

⁵⁷ Reported by "old-bean-adams" SE of site on 17 October 2015, iNaturalist.org

⁵⁸ Reported by "old-bean-adams" SE of site on 21 April 2021, iNaturalist.org

⁵⁹ Reported by "old-bean-adams" SE of site on 9 April 2016, iNaturalist.org

⁶⁰ Reported by "old-bean-adams" SE of site on 12 November 2011, iNaturalist.org

Scientific Name	Common Name	Order and Family	Evidence
<i>Orthosia praeses</i>	Dart Moth	Order Lepidoptera: Family Noctuidae	Reported ⁶¹
<i>Tetracis hirsutaria</i>	Hirsute Slant-lines Moth	Order Lepidoptera: Family Noctuidae	Reported ⁶²
<i>Zosteropoda hirtipes</i>	V-lined Quaker	Order Lepidoptera: Family Noctuidae	Reported ⁶³
<i>Cochisea sinuaria</i>	Wavy-lined Geometer Moth	Order Lepidoptera: Family Geometridae	Reported ⁶⁴
<i>Drepanulatrix bifilata</i>	a Geometer Moth	Order Lepidoptera: Family Geometridae	Reported ⁶⁵
<i>Hesperumia sp.</i>	a Geometer Moth	Order Lepidoptera: Family Geometridae	Reported ⁶⁶
<i>Chlorosea banksaria</i>	Bank's Emerald Moth	Order Lepidoptera: Family Geometridae	Reported ⁶⁷
<i>Nemoria darwiniata</i>	Columbian Emerald Moth	Order Lepidoptera: Family Geometridae	Reported ⁶⁸
<i>Macaria austrinata</i>	an Angle Moth	Order Lepidoptera: Family Geometridae	Reported ⁶⁹
<i>Pero macdunnoughi</i>	MacDunnough's Honest Pero Moth	Order Lepidoptera: Family Geometridae	Reported ⁷⁰
<i>Plataea sp.</i>	a Geometer Moth	Order Lepidoptera: Family Geometridae	Reported ⁷¹
<i>Stannodes sp.</i>	a Carpet Moth	Order Lepidoptera: Family Geometridae	Reported ⁷²
<i>Rhagea stigmella</i>	a Knot-horn Moth	Order Lepidoptera: Family Pyralidae	Reported ⁷³
<i>Synanthedon polygoni</i>	Buckwheat Root Borer Moth	Order Lepidoptera: Family Sesillidae	Reported ⁷⁴
<i>Hemaris thetis</i>	Rocky Mountain Clearwing	Order Lepidoptera: Family Spingidae	Reported ⁷⁵
<i>Hyles lineata</i>	White-lined Sphinx Moth	Order Lepidoptera: Family Spingidae	Reported ⁷⁶
<i>Sphinx perelegans</i>	Elegant Sphinx Moth	Order Lepidoptera: Family Spingidae	Reported ⁷⁷

Some wildlife species observed and photographed onsite are shown below.



Left: *Trirhabda* sp. (Skeletonizing Flower Beetle) on *Calochortus catalinae*. Center: *Diadasia* sp. (Chimney Bee) on *C. catalinae*. Right: *Platypedia laticapitata* (Wide-headed Cicada) calling for mate on shrub.

⁶¹ Reported by "old-bean-adams" SE of site on 21 April 2021, iNaturalist.org

⁶² Reported by "old-bean-adams" SE of site on 17 May 2014, iNaturalist.org

⁶³ Reported by "old-bean-adams" SE of site on 21 April 2021, iNaturalist.org

⁶⁴ Reported by "old-bean-adams" SE of site on 14 September 2013, iNaturalist.org

⁶⁵ Reported by "old-bean-adams" SE of site on 10 May 2014, iNaturalist.org

⁶⁶ Reported by "old-bean-adams" SE of site on 9 April 2016, iNaturalist.org

⁶⁷ Reported by "old-bean-adams" SE of site on 17 May 2014, iNaturalist.org

⁶⁸ Reported by "old-bean-adams" SE of site on 11 May 2013, iNaturalist.org

⁶⁹ Reported by "old-bean-adams" SE of site on 14 September 2014, iNaturalist.org

⁷⁰ Reported by "old-bean-adams" SE of site on 14 September 2014, iNaturalist.org

⁷¹ Reported by "old-bean-adams" SE of site on 14 September 2014, iNaturalist.org

⁷² Reported by "old-bean-adams" SE of site on 14 May 2016, iNaturalist.org

⁷³ Reported by "old-bean-adams" SE of site on 11 October 2014 and 17 October 2015, iNaturalist.org

⁷⁴ Reported by "old-bean-adams" SE of site on 8 May 2014 and 23 May 2015, iNaturalist.org

⁷⁵ Reported by "old-bean-adams" SE of site on 2 May 2016, iNaturalist.org

⁷⁶ Reported by "old-bean-adams" SE of site on 11 May 2013, iNaturalist.org

⁷⁷ Reported by "old-bean-adams" SE of site on 11 May 2013, iNaturalist.org

Endangered, Threatened, Rare, and Locally Important Species and Nests

(Initial Study Checklist A & E)

Endangered, threatened, rare, or locally important species were observed or have a moderate to high potential to occur within the survey area(s).

Special-status Species Summary

Definitions

Special-status habitats are vegetation types, associations, or sub-associations that support concentrations of special-status plant or wildlife species, are of relatively limited distribution, or are of particular value to wildlife.

Special-status species are plants and animals that are at least one of the following:

- *Listed as Endangered or Threatened* under Federal or California Endangered Species Acts,
- *Listed as Rare under the California Native Plant Protection Act, or*
- *Considered rare (but not formally listed) by resource agencies, professional organizations (e.g. Audubon Society, California Native Plant Society [CNPS], The Wildlife Society), and the scientific community.*

Listed species are those taxa that are formally listed as Endangered or Threatened by the federal government (e.g. USFWS), pursuant to the Federal Endangered Species Act (ESA) or as Endangered, Threatened, or Rare (for plants only) by the State of California (i.e. California Fish and Game Commission), pursuant to the California Endangered Species Act (CESA) or the California Native Plant Protection Act, or those formally adopted by a local (e.g. county or city government) agency as of local concern or rare, or similar status. Special-status species are defined in Table 7, Definitions of Special-status Species.

The CNPS' *Inventory of Rare and Endangered Plants of California* (CNPS 2015) categorizes rare California plants into one of five lists (1A, 1B, 2, 3, and 4) representing five levels of species status, one of which is assigned to a sensitive species to indicate its status of rarity or endangerment and distribution. Most taxa also receive a threat code extension following the List (e.g. 1B.1, 2.3), which replaces the R-E-D Code previously used by CNPS. Table 8, California Native Plant Society Rare Plants List, provides a definition for each List code number, and Table 9, California Native Plant Society List Threat Code Extensions, defines the CNPS List Threat Code Extensions that indicates the level of endangerment within California.

CNPS also has a Locally Rare Plant program, administered at the chapter level but overseen by the Rare Plant Program. The Channel Islands Chapter of CNPS has maintained a list of locally rare plants of Ventura County since 2000, developed and updated by David Magney (Magney 2020). This list has two categories: rare and uncommon. Locally Rare plants are those with five or fewer extant populations in Ventura County, regardless of how many may occur outside the county. Locally Uncommon plants are those with six to ten extant populations in the county.



Table 7. Definitions of Special-status Species

<ul style="list-style-type: none"> ○ Plants and animals legally protected under the California and Federal Endangered Species Acts or under other regulations. ○ Plants and animals considered sufficiently rare by the scientific community to qualify for such listing; or ○ Plants and animals considered to be sensitive because they are unique, declining regionally or locally, or are at the extent of their natural range. 	
Special-Status Plant Species	Special-Status Animal Species
<ul style="list-style-type: none"> ○ Plants listed or proposed for listing as threatened or endangered under the Federal Endangered Species Act (50 CFR 17.12 for listed plants and various notices in <i>Federal Register</i> for proposed species). ○ Plants that are Category 1 or 2 candidates for possible future listing as threatened or endangered under the Federal Endangered Species Act (55 CFR 6184, February 21, 1990). ○ Plants that meet the definitions of rare or endangered species under the CEQA (<i>State CEQA Guidelines</i>, Section 15380). ○ Plants considered by CNPS to be "rare, threatened, or endangered" in California (Lists 1B and 2 in CNPS 2001). ○ Plants listed by CNPS as plants needing more information and plants of limited distribution (Lists 3 & 4 in CNPS 2001). ○ Plants listed by CNPS as locally rare (Lake 2004, Magney 2007a, Wilken 2003). ○ Plants listed or proposed for listing by the State of California as threatened or endangered under the California Endangered Species Act (14 CCR 670.5). ○ Plants listed under the California Native Plant Protection Act (California Fish and Game Code 1900 et seq.). ○ Plants considered sensitive by other federal agencies (i.e. U.S. Forest Service, Bureau of Land Management) or state and local agencies or jurisdictions. ○ Plants considered sensitive or unique by the scientific community; occurs at natural range limits (<i>State CEQA Guidelines</i>, Appendix G). 	<ul style="list-style-type: none"> ○ Animals listed/proposed for listing as threatened/endangered under the Federal Endangered Species Act (50 CFR 17.11 for listed animals and various notices in <i>Federal Register</i> for proposed species). ○ Animals that are Category 1 or 2 candidates for possible future listing as threatened or endangered under Federal Endangered Species Act (54 CFR 554). ○ Animals that meet the definitions of rare or endangered species under the CEQA (<i>State CEQA Guidelines</i>, Section 15380). ○ Animals listed or proposed for listing by the State of California as threatened and endangered under the California Endangered Species Act (14 CCR 670.5). ○ Animal species of special concern (SSC) to the CDFG. ○ Animal species that are fully protected in California (California Fish & Game Code, Sections 3511 [birds], 4700 [mammals], 5050 [reptiles, amphibians]). ○ Animals considered rare or sensitive locally by a local agency or scientific community (<i>State CEQA Guidelines</i>, Appendix G)

Table 8. California Native Plant Society Rare Plants List (CNPS List)

CNPS List	Definition
1A	Presumed Extinct in California and elsewhere
1B	Rare, Threatened, or Endangered in California and elsewhere
2A	Rare, Threatened, or Endangered in California, but more common elsewhere
2B	Presumed Extinct in California, but more common elsewhere
3	Need more information (a Review List)
4	Plants of Limited Distribution (a Watch List)



Table 9. California Native Plant Society List Threat Code Extensions

CNPS Threat Code Extension	Definition
x.1	Seriously endangered in California (over 80% of occurrences threatened / high degree and immediacy of threat)
x.2	Fairly endangered in California (20-80% occurrences threatened)
x.3	Not very endangered in California (<20% of occurrences threatened)

The California Natural Diversity Database (CNDDDB) Element Ranking system (CDFW 2021) provides a numeric global and state-ranking system for all special-status species tracked by the CNDDDB. The global rank (G-rank) is a reflection of the overall condition of an element (species or natural community) throughout its global range. The state rank (S-rank) is assigned much the same way as the global rank, except state ranks in California often also contain a threat designation attached to the S-rank. This Element Ranking system is defined below in Table 10, California Natural Diversity Database Element Ranking System.

CNDDDB SEARCH RESULTS

This section addresses the special-status biological resources observed, reported, or having the potential to occur on the project site. These resources include plant and wildlife species that have been afforded special-status and/or recognition by federal and state resource agencies, as well as private conservation organizations. In general, the principal reason an individual taxon (i.e. species, subspecies, or variety) is given such recognition is the documented or perceived decline or limitations of its population size, geographic range, and/or distribution resulting in most cases from habitat loss.

DMEC conducted a search of CDFW’s CNDDDB RareFind5 (CDFW 2021) for the Weisberg project, California USGS Quadrangle Triunfo Pass (in which the project site is found), and for the five surrounding quadrangles, including Point Mugu, Camarillo, Newbury Park, Thousand Oaks, and Point Dume. DMEC conducted this database search to account for special-status species tracked by CNDDDB in the area and with potential to occur at the project site. One-hundred thirteen (113) special-status elements were reported by CNDDDB, including fifty-five (55) plant species, fifty-two (52) wildlife species, and six (6) habitats.

DMEC also conducted a search of CNPS’s *Inventory of Rare and Endangered Plants of California* (CNPS 2022) as well as referencing *Checklist of Ventura County Rare Plants* (Magney 2020), to account for CNPS-listed plants not tracked on the CNDDDB (CDFW 2021) database with potential to occur in the vicinity of the proposed project site. The CNDDDB Special Animals List (CDFW 2021b) was also referenced to account for other listed animal species.

**Table 10. California Natural Diversity Database Element Ranking System**

Global Ranking (G)	
G1	Less than 6 viable element occurrences (pops for species), OR less than 1,000 individuals, OR <809.4 hectares (ha) (2,000 acres [ac]).
G2	6 to 20 element occurrences OR 809.4 to 4,047 ha (2,000 to 10,000 ac).
G3	21 to 100 element occurrences OR 3,000 to 10,000 individuals OR 4,047 to 20,235 ha (10,000 to 50,000 ac).
G4	Apparently secure; rank lower than G3, factors exist to cause some concern (i.e. there is some threat, or somewhat narrow habitat).
G5	Population, or stand, demonstrably secure to ineradicable due to being commonly found in the world.
GH	All sites are historic ; the element has not been seen for at least 20 years, but suitable habitat still exists.
GX	All sites are extirpated ; this element is extinct in the wild.
GXC	Extinct in the wild; exists in cultivation.
G1Q	The element is very rare, but there is a taxonomic question associated with it.
<p>Subspecies Level: Subspecies receive a T-rank attached to the G-rank. With the subspecies, the G-rank reflects the condition of the entire <u>species</u>, whereas the T-rank reflects the global situation of just the <u>subspecies</u> or <u>variety</u>. For example: <i>Chorizanthe robusta</i> var. <i>hartwegii</i> is ranked G2T1. The G-rank refers to the whole species range (<i>Chorizanthe robusta</i>), whereas the T-rank refers only to the global condition of the variety (var. <i>hartwegii</i>).</p>	
State Ranking (S)	
S1	Less than 6 element occurrences OR less than 1,000 individuals OR less than 809.4 ha (2,000 ac). S1.1 = very threatened S1.2 = threatened S1.3 = no current threats known
S2	6 to 20 element occurrences OR 3,000 individuals OR 809.4 to 4,047 ha (2,000 to 10,000 ac). S2.1 = very threatened S2.2 = threatened S2.3 = no current threats known..
S3	21 to 100 element occurrences OR 3,000 to 10,000 individuals OR 4,047 to 20,235 ha (10,000 to 50,000 ac). S3.1 = very threatened S3.2 = threatened S3.3 = no current threats known
S4	Apparently secure within California; this rank is clearly lower than S3 but factors exist to cause some concern (i.e. there is some threat, or somewhat narrow habitat). NO THREAT RANK.
S5	Demonstrably secure to ineradicable in California. NO THREAT RANK.
SH	All California sites are historic ; the element has not been seen for at least 20 years, but suitable habitat still exists.
SX	All California sites are extirpated ; this element is extinct in the wild.
Notes	
<p>1. Other considerations used when ranking a species or natural community include the pattern of distribution of the element on the landscape, fragmentation of the population/stands, and historical extent as compared to its modern range. It is important to take an aerial view when ranking sensitive elements rather than simply counting element occurrences.</p> <p>2. Uncertainty about the rank of an element is expressed in two major ways: by expressing the rank as a range of values (e.g. S2S3 means the rank is somewhere between S2 and S3), and by adding a ? to the rank (e.g. S2?). This represents more certainty than S2S3, but less than S2. (CNDDDB 2009.)</p>	

Special-status Plants

A total of fifty-five (55) special-status plant species tracked by CNDDDB are known or reported in the vicinity of the project site and have the potential to occur onsite. Table 11, Special-status Plants Observed and Potentially Present Onsite, summarizes the CNDDDB reports for the 55 special-status plant species tracked for the Triunfo Pass quad and surrounding 5 quads, as well as locally rare plants observed onsite or nearby (Magney 2022) not tracked by the CNDDDB. Table 11 provides each species' scientific and common names, status, habitat requirements, and likelihood of occurrence.

Two special-status plants were observed during the 2015 surveys 0.2 mi south of the project parcel: *Calochortus catalinae* (Catalina Mariposa Lily, CNPS rank 4.2) and *Rhus integrifolia* x *R. ovata* (Hybrid Sugarbush, Ventura County Locally Rare).

Three special-status plants were observed on the project site: *Calochortus catalinae*, *C. plummerae* (Plummer's Mariposa Lily, CNPS rank 4.2), and *Dichondra occidentalis* (Western Dichondra, CNPS rank 4.2). They were found scattered across much of the 5-acre parcel (at 4, 18, and 15 specific locations, respectively). Six occurrences of *Calochortus catalinae* were found in the study area but on adjacent parcels. Four occurrences of *C. plummerae* were found three parcels to the south, east of the existing access road. One occurrence of *Dichondra occidentalis* was found on the parcel immediately south of the Weisberg parcel. Figure 9, Special-status Species Onsite, shows the specific locations of the 11 locations of *Calochortus catalinae*, 24 locations of *C. plummerae*, and the 16 locations of *Dichondra occidentalis* during the 2022 surveys.

Two occurrences of *Calochortus catalinae* onsite are within the fuel modification zone and one is in an area of the access road to be widened. Those within the fuel modification zone but outside the grading limits are not likely to be adversely affected by fuel modification activities.



Calochortus catalinae, Catalina Mariposa Lily.

Six (6) of the 23 occurrences of *Calochortus plummerae* are within the proposed grading area and will be adversely affected. Another 2 occurrences are within the fuel modification zone and will likely be affected by fuel modification activities since they typically occur when *C. plummerae* is flowering and fruiting.



Calochortus plummerae showing the variability of the form.



The photo above possibly represents a hybrid with *Calochortus weedii* due to the presence of cilia (line of hairs) on the margin of the petals.



Five (5) of the 16 occurrences of *Dichondra occidentalis* are within the proposed grading area and will be adversely affected. Another 9 occurrences are within the fuel modification zone; however, fuel modification activities are not likely to adversely affect them. Another 5 occurrences are outside any impact areas. *Dichondra occidentalis* is pictured on the here from the Weisberg parcel. This species is a groundcover that spreads by rhizomes.



It dies back during the summer drought season and re-emerges in the winter after sufficient winter precipitation.



Table 13, Blooming Periods of Special-status Plant Species Known and Expected Onsite, provides the likelihood of occurrence and blooming period (Magney 2015a manuscript) for each species to help determine if DMEC would have been able to detect species onsite during the timing of the surveys. The spring 2022 surveys coincided with the majority of these bloom times.

Table 11. Special-status Plant Species Observed and Potentially Present Onsite

Scientific Name	Common Name	Species Status ⁷⁸					Habitat Requirements ⁷⁹	Likelihood of Occurrence ⁸⁰
		G-Rank	S-Rank	Federal Listing ⁸¹	State Listing	CNPS List/Local Status ⁸²		
<i>Abronia maritima</i>	Red Sand-verbena	G4?	S3?	-	-	4.2	Coastal dunes. >100 m	Unlikely
<i>Antirrhinum nuttallianum</i> ssp. <i>subsessile</i>	Lesser Nuttall Snapdragon	-	-	-	-	LR	Rocky or disturbed places; Coastal Sage Scrub, Chamise Chaparral; <1,400 m. Observed in the vicinity of Deals Flat at the Beltrami property (2005).	Possible
<i>Asplenium vespertinum</i>	Western Spleenwort	G3?	S3.2	-	-	4.2	Rocky chaparral, cismontane woodland, coastal scrub, at the base of overhanging boulders. 500-1,000 m	Unlikely

⁷⁸ For special-status species definitions, refer to Tables 7 through 10 in the Methods Section.

⁷⁹ Required habitat according to CDFW (2013), and Jepson Flora Project (Baldwin *et al.* 2013).

⁸⁰ Likelihood of occurrence based on species' habitat requirements and presence of required habitat in the project site.

Observed = Species was directly observed during DMEC's seasonal 2015 and 2022 surveys;

Likely = Required habitat exists at the project site and/or has been reported onsite or nearby;

Possible = Marginal required habitat exists onsite, and/or required habitat exists in surrounding areas;

Unlikely = Required habitat does not exist at the project site nor does it exist nearby.

⁸¹ E = Endangered; T = Threatened; R = Rare; C = Candidate.

⁸² LR = a Locally Rare plant species with 5 or fewer occurrences in Ventura County, and LU = Locally Uncommon plant species with 6 to 10 occurrences in the County (Magney 2015b).



Scientific Name	Common Name	Species Status ⁷⁸					Habitat Requirements ⁷⁹	Likelihood of Occurrence ⁸⁰
		G-Rank	S-Rank	Federal Listing ⁸¹	State Listing	CNPS List/Local Status ⁸²		
<i>Astragalus brauntonii</i>	Braunton's Milkvetch	G2	S2	E	-	1B.1	Closed-cone coniferous forest, chaparral, coastal scrub, valley and foothill grassland. Recent burns or disturbed areas; in stiff gravelly clay soils overlying granite or limestone. 4-640 m.	Possible
<i>Atriplex coulteri</i>	Coulter's Saltbush	G2	S2	-	-	1B.2	Coastal bluff scrub, coastal dunes, coastal scrub, valley and foothill grassland. Ocean bluffs, ridgetops, as well as alkaline low places. 10-440 m.	Unlikely
<i>Baccharis malibuensis</i>	Malibu Baccharis	G1	S1	-	-	1B.1	Coastal scrub, chaparral, cismontane woodland. In Conejo volcanic substrates, often on exposed roadcuts. Sometimes occupies oak woodland habitat. 150-260 m.	Possible
<i>Calandrinia breweri</i>	Brewer's Calandrinia	G4	S34	-	-	4.2	sandy or loamy, disturbed sites and burns, Chaparral, Coastal scrub.	Possible
<i>Calochortus catalinae</i>	Catalina Mariposa Lily	G3	S3.2	-	-	4.2	Valley and foothill grassland, chaparral, coastal scrub, cismontane woodland. In heavy soils, open slopes, openings in brush. 30-700 m. Known onsite & 0.2 mi S of the project site (DMEC 2016).	Known
<i>Calochortus clavatus</i> var. <i>gracilis</i>	Slender Mariposa Lily	G4T2	S2	-	-	1B.2	Shaded foothill canyons; Elev. <1,000 m.	Unlikely
<i>Calochortus clavatus</i> var. <i>clavatus</i>	Club-haired Mariposa lily	G4T3	S3	-	-	4.3	Chaparral, cismontane woodland, coastal scrub, valley and foothill grasslands, generally serpentine soils. <1,300 m	Unlikely
<i>Calochortus plummerae</i>	Plummer's Mariposa Lily	G4	S4	-	-	4.2	Coastal scrub, chaparral, valley and foothill grassland, cismontane woodland, lower montane coniferous forest. Occurs on rocky and sandy sites, usually of granitic or alluvial material. Can be very common after fire. 90-1,610 m. Approximately 50 individuals were observed at 24 specific locations.	Known
<i>Camissoniopsis lewisii</i>	Lewis' Evening-Primrose	G2G3	S1S3	-	-	3	Coastal bluff scrub, cismontane woodland, coastal dunes, valley and foothill grasslands, in sandy or clay soils. <300 m	Possible
<i>Centromadia parryi</i> ssp. <i>australis</i>	Southern Tarplant	G3T2	S2	-	-	1B.1	Marshes and swamps (margins), valley and foothill grassland, vernal pools. Often in disturbed sites near the coast; also in alkaline soils sometimes with Saltgrass; also vernal pools. 0-425 m.	Unlikely
<i>Cercocarpus betuloides</i> var. <i>blancheae</i>	Island Mountain Mahogany	G5T4	S4	-	-	4.3	Chaparral, Closed-cone Coniferous Forest; Channel Islands, Central and South Coast counties. 30-600 m. Nearest known occurrence is near SR23 & Mulholland Hwy.	Possible
<i>Chaenactis glabriuscula</i> var. <i>orcuttiana</i>	Orcutt's Pincushion	G5T1	S1	-	-	1B.1	Coastal bluff scrub, coastal dunes. Sandy sites. 3-100 m.	Unlikely



Scientific Name	Common Name	Species Status ⁷⁸					Habitat Requirements ⁷⁹	Likelihood of Occurrence ⁸⁰
		G-Rank	S-Rank	Federal Listing ⁸¹	State Listing	CNPS List/Local Status ⁸²		
<i>Chloropyron maritimum</i> ssp. <i>maritimum</i>	Salt Marsh Bird's-beak	G4?T1	S1	E	E	1B.2	Coastal salt marsh, coastal dunes. Limited to the higher zones of salt marsh habitat. <30 m.	Highly Unlikely
<i>Chorizanthe parryi</i> var. <i>parryi</i>	Parry's Spineflower	G2T2	S2	-	-	1B.1	Coastal scrub, chaparral. Dry slopes and flats; sometimes at interface of 2 vegetation types, such as chaparral & oak woodland; dry, sandy soils. 40-1,705 m.	Possible
<i>Convolvulus simulans</i>	Small-Flowered Morning-glory	G3	S3.2	-	-	4.2	Coastal sage scrub, openings in chaparral, valley and foothill grasslands, in clay or serpentine soils. 30-875 m	Possible
<i>Deinandra minthornii</i>	Santa Susana Tarplant	G2	S2.2	-	R	1B.2	Chaparral, coastal scrub. On sandstone outcrops and crevices, in shrubland. 280-760 m.	Unlikely
<i>Delphinium parryi</i> ssp. <i>blochmaniae</i>	Dune Larkspur	G4T2	S2	-	-	1B.2	Chaparral, coastal dunes (maritime). On rocky areas and dunes. 30-37 m.	Unlikely
<i>Delphinium parryi</i> ssp. <i>purpureum</i>	Mt. Piños Larkspur	G4T3	S3.3	-	-	4.3	Sagebrush scrub, dry chaparral, pinyon and juniper woodland. 1,000-2,600 m.	Unlikely
<i>Dichondra occidentalis</i>	Western Dichondra	G3G4	S3S4	-	-	4.2	Chaparral, coastal scrub. Known from site downslope on E side of Yerba Buena Rd. Found over much of project site parcel.	Known
<i>Dodecatheon cleveandii</i> ssp. <i>patulum</i>	Lowland Padre Shooting Star	-	-	-	-	LR	Grassy slopes, flats; Meadow, Wildflower Field, Coastal Sage Scrub; <600 m. Observed in the vicinity of Deals Flat at the Beltrami property (2005).	Possible
<i>Dudleya blochmaniae</i> ssp. <i>blochmaniae</i>	Blochman's Dudleya	G2T2	S2.1	-	-	1B.1	Coastal scrub, coastal bluff scrub, valley and foothill grassland. Open, rocky slopes; often in shallow clays over serpentine or in rocky areas w/little soil. 5-450 m.	Possible
<i>Dudleya cymosa</i> ssp. <i>agourensis</i>	Agoura Hills Dudleya	G5T1	S2	T	-	1B.2	Chaparral, cismontane woodland. Rocky, volcanic breccia. 200-500 m.	Unlikely
<i>Dudleya cymosa</i> ssp. <i>marcescens</i>	Marcescent Dudleya	G5T2	S2	T	R	1B.2	Chaparral. On sheer rock surfaces and rocky volcanic cliffs. 180-520 m.	Possible
<i>Dudleya cymosa</i> ssp. <i>ovatifolia</i>	Santa Monica Mountains Dudleya	G5T1	S2.2	T	-	1B.2	Chaparral, coastal scrub. In canyons on sedimentary conglomerates; primarily n-facing slopes. 210-500 m.	Possible
<i>Dudleya parva</i> [<i>D. abramsii</i> ssp. <i>parva</i>]	Conejo Dudleya	G2	S2	T	-	1B.2	Coastal scrub, valley and foothill grassland. In clayey or volcanic soils on rocky slopes and grassy hillsides. 60-450 m.	Possible
<i>Dudleya verityi</i>	Verity's Dudleya	G1	S1	T	-	1B.2	Chaparral, cismontane woodland, coastal scrub. On volcanic rock outcrops in the Santa Monica Mountains. 60-120 m.	Highly Unlikely
<i>Eriogonum crocatum</i>	Conejo Buckwheat	G2	S2.1	-	R	1B.2	Chaparral, coastal scrub, valley and foothill grassland. Conejo volcanic outcrops; rocky sites. 50-580m.	Highly Unlikely
<i>Erysimum suffrutescens</i>	Suffrutescent Wallflower	G3	S3	-	-	4.2	Coastal bluff scrub. Chaparral (maritime), Coastal dunes, Coastal scrub	Highly Unlikely



Scientific Name	Common Name	Species Status ⁷⁸					Habitat Requirements ⁷⁹	Likelihood of Occurrence ⁸⁰
		G-Rank	S-Rank	Federal Listing ⁸¹	State Listing	CNPS List/ Local Status ⁸²		
<i>Fritillaria biflora</i> var. <i>biflora</i>	Chocolate Lily	-	-	-	-	LU	Heavy soils, serpentine barrens, slopes and mesas; grassland, Coastal Sage Scrub, Pinyon-Juniper Woodland; <1,200 m; Observed in the vicinity of Deals Flat at the Parris property (2013).	Possible
<i>Hordeum intercedens</i>	Vernal Barley	G3G4	S3S4	-	-	3.2	Coastal dunes, coastal scrub, valley and foothill grasslands, associated with vernal pools, dry, saline streambeds, alkaline flats and depressions. <500m.	Highly Unlikely
<i>Lasthenia glabrata</i> ssp. <i>coulteri</i>	Coulter's Goldfields	G4T3	S2.1	-	-	1B.1	Coastal salt marshes, playas, valley and foothill grassland, vernal pools. Usually found on alkaline soils in playas, sinks, and grasslands. 1-1,400 m.	Highly Unlikely
<i>Lepechinia fragrans</i>	Fragrant Pitcher Sage	G3	S3.2	-	-	4.2	Chaparral. Santa Monica and San Gabriel Mountains, Channel Islands. 20-1,310 m.	Possible
<i>Lepidium virginicum</i> var. <i>robinsonii</i>	Robinson's Peppergrass	G5T3	S3	-	-	4.3	Chaparral, Coastal scrub.	Possible
<i>Lilium humboldtii</i> ssp. <i>ocellatum</i>	Ocellated Humboldt Lily	G4T3	S3.2	-	-	4.2	Chaparral, cismontane woodland, lower montane coniferous forest, riparian forest. Yellow Pine Forest or openings, oak canyons. 30-1,800 m. ~12 known extant populations in Ventura County.	Unlikely
<i>Lomatium lucidum</i>	Shiny Lomatium	-	-	-	-	LR	Scrub, especially on burns, rocky loamy soil; Coastal Sage Scrub; 450-1,500 m. Observed in the vicinity of Deals Flat at the Beltrami property (DMEC 2005).	Possible
<i>Monardella hypoleuca</i> ssp. <i>hypoleuca</i>	White-veined Monardella	G4T2T3	S2S3	-	-	1B.3	Oak woodland and chaparral; <1,500 m	Possible
<i>Monardella sinuata</i> ssp. <i>sinuata</i>	Southern Curly-leaved Monardella	G3T2	S2	-	-	1B.2	Sandy Chaparral, Cismontane woodland, Coastal dunes, Coastal scrub (openings)	Unlikely
<i>Navarretia ojaiensis</i>	Ojai Navarretia	G1	S1	-	-	1B.1	Chaparral, coastal shrub, valley and foothill grasslands. Openings in scrublands or grasslands. 275-620 m.	Possible
<i>Nolina cismontana</i>	Chaparral Nolina	G2	S2	-	-	1B.2	Chaparral, coastal scrub. Primarily on sandstone and shale substrates; also known from gabbro. 140-1,275 m.	Possible
<i>Orcuttia californica</i>	California Orcutt Grass	G1	S1	E	E	1B.1	Vernal pools. 15-660 m.	Highly Unlikely
<i>Pentachaeta lyonii</i>	Lyon's Pentachaeta	G2	S2	E	E	1B.1	Chaparral, valley and foothill grassland. Edges of chaparral clearings, usually at ecotones between grassland and chaparral or edges of firebreaks. 30-630 m.	Possible
<i>Phacelia hubbyi</i>	Hubby's Phacelia	G3	S3.2	-	-	4.2	Chaparral, coastal scrub, valley and foothill grasslands, associated with open slopes, often gravelly, rocky or talus. <1,000 m	Unlikely
<i>Phacelia ramosissima</i> var. <i>austrolitoralis</i>	South Coast Branching Phacelia	G5?T3	S3.2	-	-	3.2	Chaparral, coastal dunes, coastal scrub, coastal salt marshes, sandy sometimes rocky soils. <3,800 m.	Possible



Scientific Name	Common Name	Species Status ⁷⁸					Habitat Requirements ⁷⁹	Likelihood of Occurrence ⁸⁰
		G-Rank	S-Rank	Federal Listing ⁸¹	State Listing	CNPS List/Local Status ⁸²		
<i>Piperia michaelii</i>	Michael's Rein Orchid	G3	S3.2	-	-	4.2	Coastal scrub, cismontane woodland, closed-cone coniferous forest, lower montane coniferous forest. Mudstone & humus ~ dry sites. 3-915 m. Four known pops. in Ventura Co.	Unlikely
<i>Rhus ovata</i> X <i>R. integrifolia</i>	Hybrid Sugar Bush	-	-	-	-	LR	Canyons, generally N-facing slopes, chaparral; <900 m. Observed 0.2 mi to the south (DMEC 2016).	Likely
<i>Senecio aphanactis</i>	Rayless Ragwort	G3?	S2	-	-	2B.2	Cismontane woodland, coastal scrub. Drying alkaline flats. 20-575m.	Possible
<i>Stylocline gnaphaloides</i>	Everlasting Nest Straw	-	-	-	-	LU	Open, generally sandy soil of dry slopes, burns, etc.; Chaparral, Coastal Sage Scrub, Yellow Pine Forest; <1,200 m. . Observed in the vicinity of Deals Flat at the Beltrami property (DMEC 2005).	Possible
<i>Suaeda esteroa</i>	Estuary Seablite	G3	S2	-	-	1B.2	Marshes and swamps. Coastal salt marshes in clay, silt, and sand substrates. 0-5 m.	Highly Unlikely
<i>Texosporium sancti-jacobi</i>	Woven-spored Lichen	G2	S1.1	-	-	-	Chaparral. Open sites; in California w/ <i>Adenostoma fasciculatum</i> , <i>Eriogonum</i> , <i>Selaginella</i> . At Pinnacles, on small mammal pellets. 290-660 m.	Unlikely
<i>Thelypteris puberula</i> var. <i>sonorensis</i>	Sonoran Maiden Fern	G5T3	S2.2?	-	-	2B.2	Meadows and seeps. Along streams, seepage areas. 50-550 m.	Highly Unlikely
<i>Tortula californica</i>	California Screw Moss	G2?	S2	-	-	1B.2	Sandy soil; Chenopod scrub, valley and foothill grasslands, 10-1,460 m	Unlikely
<i>Toxicoscordion</i> [<i>Zigadenus</i>] <i>brevibracteatus</i>	Death Camas	-	-	-	-	LR	Sandy desert; Pinyon-Juniper Woodland; 600-1,800 m. Observed in the vicinity of Deals Flat at the Beltrami property (DMEC 2005).	Unlikely

Table 13. Blooming Periods of Special-status Plant Species Known and Expected Onsite

Scientific Name	Common Name	Likelihood of Occurrence ⁸³	Blooming Period ⁸⁴	Comments
<i>Abronia maritima</i>	Red Sand-verbena	Unlikely	FEB-OCT	Blooming period was captured during the spring and summer surveys. Suitable habitat lacking.
<i>Antirrhinum nuttallianum</i> ssp. <i>subsessile</i>	Lesser Nuttall Snapdragon	Likely	MAR-AUG	Blooming period was captured during the spring and summer surveys.
<i>Asplenium vespertinum</i>	Western Spleenwort	Unlikely	Unknown	Would have been detectable during surveys; however, suitable habitats were not observed onsite or nearby.
<i>Astragalus brauntonii</i>	Braunton's Milkvetch	Possible	MAR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Atriplex coulteri</i>	Coulter's Saltbush	Unlikely	MAR-OCT	Blooming period was captured during the spring and summer surveys. Suitable habitat lacking.

⁸³ Likelihood of Occurrence based upon Jepson Flora Project (Baldwin *et al.* 2013) and Magney Manuscript.

⁸⁴ Blooming Periods bases upon Jepson Flora Project (Baldwin *et al.* 2013).



Scientific Name	Common Name	Likelihood of Occurrence ⁸³	Blooming Period ⁸⁴	Comments
<i>Baccharis malibuensis</i>	Malibu Baccharis	Possible	AUG	Would have been detectable during surveys. Suitable habitat lacking.
<i>Calochortus catalinae</i>	Catalina Mariposa Lily	Likely	MAR-APR	Blooming period was captured during the spring survey.
<i>Calochortus clavatus</i> var. <i>clavatus</i>	Club-haired Mariposa lily	Unlikely	APR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Calochortus clavatus</i> var. <i>gracilis</i>	Slender Mariposa Lily	Unlikely	MAR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Calochortus plummerae</i>	Plummer's Mariposa Lily	Likely	MAY-JUL	Blooming period was captured during the summer survey.
<i>Camissoniopsis lewisii</i>	Lewis' Evening-Primrose	Possible	MAR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Centromadia parryi</i> ssp. <i>australis</i>	Southern Tarplant	Unlikely	JUN-SEP	Blooming period was captured during the summer survey. Regardless, this taxon is not likely onsite since its required habitats (marshes, swamps, valley and foothill grassland, and vernal pools) were not observed onsite or nearby.
<i>Chaenactis artemisiifolia</i>	White Pincushion	Likely	APR-JUL	Blooming period was captured during the spring and summer surveys.
<i>Chaenactis glabriuscula</i> var. <i>orcuttiana</i>	Orcutt's Pincushion	Unlikely	APR-JUL	Blooming period was captured during the spring and summer surveys.
<i>Chloropyron</i> (= <i>Cordylanthus</i>) <i>maritimus</i> ssp. <i>maritimus</i>	Salt Marsh Bird's-beak	Unlikely	MAY-OCT	Blooming period was captured during the spring and summer surveys; however, not habitat present onsite.
<i>Chorizanthe parryi</i> var. <i>parryi</i>	Parry's Spineflower	Possible	APR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Convolvulus simulans</i>	Small-Flowered Morning-glory	Possible	APR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Deinandra minthornii</i>	Santa Susana Tarplant	Unlikely	JUL-OCT	Blooming period was captured during the summer survey. Suitable habitat lacking.
<i>Delphinium parryi</i> ssp. <i>blochmaniae</i>	Dune Larkspur	Unlikely	MAR-APR	Blooming period was captured during the spring survey.
<i>Delphinium parryi</i> ssp. <i>purpureum</i>	Mt. Piños Larkspur	Unlikely	APR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Dichondra occidentalis</i>	Western Dichondra	Known		Flowers not necessary for positive identification. Detected by leaves and habit.
<i>Dodecatheon clevelandii</i> ssp. <i>patulum</i>	Lowland Padre Shooting Star	Possible	JAN-APR	Blooming period was captured during the winter and spring surveys.
<i>Dudleya blochmaniae</i> ssp. <i>blochmaniae</i>	Blochman's Dudleya	Possible	MAY-JUN	Blooming period was captured during the spring and summer surveys.
<i>Dudleya cymosa</i> ssp. <i>agourensis</i>	Agoura Hills Dudleya	Unlikely	MAY-JUN	Blooming period was captured during the summer survey. Suitable habitat lacking.
<i>Dudleya cymosa</i> ssp. <i>marcescens</i>	Marcrescent Dudleya	Possible	MAY-JUN	Blooming period was the summer survey. Suitable habitat lacking.
<i>Dudleya cymosa</i> ssp. <i>ovatifolia</i>	Santa Monica Mountains Dudleya	Possible	MAY-JUN	Blooming period was captured during the summer survey. Suitable habitat lacking.
<i>Dudleya verityi</i>	Verity's Dudleya	Possible	MAY-JUN	Blooming period was captured during the summer survey. Suitable habitat lacking.
<i>Dudleya. parva</i> [<i>D. abramsii</i> ssp. <i>parva</i>]	Conejo Dudleya	Possible	MAY-JUL	Blooming period was captured during the summer survey. Suitable habitat lacking.
<i>Eriogonum crocatum</i>	Conejo Buckwheat	Unlikely	APR-JUL	Blooming period was captured during the spring and summer surveys. Suitable habitat lacking.
<i>Erysimum suffrutescens</i>	Suffrutescent Wallflower	Unlikely	JAN-JUL	Blooming period was captured during the spring and summer surveys.
<i>Fritillaria biflora</i> var. <i>biflora</i>	Chocolate Lily	Possible	FEB-JUN	Blooming period was captured during the spring and summer surveys.
<i>Helianthemum scoparium</i>	Peak Rushrose	Likely	MAR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Hordeum intercedens</i>	Vernal Barley	Unlikely	MAR-JUN	Blooming period was captured during the spring and summer surveys.



Scientific Name	Common Name	Likelihood of Occurrence ⁸³	Blooming Period ⁸⁴	Comments
<i>Lasthenia glabrata</i> ssp. <i>coulteri</i>	Coulter's Goldfields	Unlikely	MAR-MAY	Blooming period was captured during the spring survey.
<i>Lepechinia fragrans</i>	Fragrant Pitcher Sage	Unlikely	MAR-OCT	Blooming period was captured during the spring and summer surveys.
<i>Lepidium virginicum</i> var. <i>robinsonii</i>	Robinson's Pepper-grass	Possible	JAN-JUL	Blooming period was captured during the spring and summer surveys.
<i>Lilium humboldtii</i> ssp. <i>ocellatum</i>	Ocellated Humboldt Lily	Unlikely	MAY-OCT	Blooming period was captured during the summer survey. Suitable habitat lacking.
<i>Lomatium lucidum</i>	Shiny Lomatium	Likely	JAN-APR	Blooming period was captured during the spring survey.
<i>Monardella hypoleuca</i> ssp. <i>hypoleuca</i>	White-veined Monardella	Possible	JUN-AUG	Blooming period was captured during the summer survey.
<i>Monardella sinuata</i> ssp. <i>sinuata</i>	Southern Curly-leaved Monardella	Unlikely	APR-SEP	Blooming period was captured during the summer survey.
<i>Navarretia ojaiensis</i>	Ojai Navarretia	Possible	MAY-JUL.	Blooming period was captured during the spring survey.
<i>Nolina cismontana</i>	Chaparral Nolina	Unlikely	APR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Orcuttia californica</i>	California Orcutt Grass	Highly Unlikely	MAY-JUN	Blooming period was captured during the summer survey. Suitable habitat lacking.
<i>Pentachaeta lyonii</i>	Lyon's Pentachaeta	Possible	MAR-APR	Blooming period was captured during the spring survey.
<i>Phacelia hubbyi</i>	Hubby's Phacelia	Unlikely	APR-JUL	Blooming period was captured during the spring and summer surveys.
<i>Phacelia ramosissima</i>	South Coast Branching Phacelia	Possible	APR-OCT	Blooming period was captured during the spring and summer surveys.
<i>Piperia michaelii</i>	Michael's Rein Orchid	Unlikely	APR-AUG	Blooming period was captured during the spring and summer surveys.
<i>Rhus ovata</i> X <i>R. integrifolia</i>	Hybrid Sugar Bush	Likely	FEB-MAY	Blooming period was captured during the spring survey. If present, this species would be able to be identified by its leaves.
<i>Senecio aphanactis</i>	Rayless Ragwort	Possible	FEB-APR	Blooming period was captured during the spring survey.
<i>Stylocline gnaphaloides</i>	Everlasting Nest Straw	Likely	MAR-MAY	Blooming period was captured during the spring survey.
<i>Suaeda esteroa</i>	Estuary Seablite	Unlikely	JUL-AUG	Blooming period was likely captured during the surveys; however, this species is not likely onsite since it's required habitats (coastal salt marshes and swamps) were not observed onsite or nearby.
<i>Texasporium sancti-jacobi</i>	Woven-spored Lichen	Unlikely	Unknown	Would have been detectable during surveys.
<i>Thelypteris puberula</i> var. <i>sonorensis</i>	Sonoran Maiden Fern	Unlikely	JAN-SEP	Blooming period was captured during the spring and summer surveys.
<i>Tortula californica</i>	California Screw Moss	Unlikely	Unknown	Would have been detectable during surveys; however, no mosses observed onsite.
<i>Toxicoscordion</i> [<i>Zigadenus</i>] <i>brevibracteatus</i>	Death Camas	Likely	APR-JUN	Blooming period was captured during the spring and summer surveys.

Special-status Wildlife

No special-status wildlife species was detected on the Weisberg property; however, *Neotoma lepida intermedia* (San Diego Desert Woodrat) was detected four parcels to the south in 2015 but the Woolsey Fire destroyed any nests that may have occurred onsite and nearby, and this animal has not recolonized suitable habitats onsite since then. Other special-status wildlife species are known, or expected to occur in the vicinity of the project site. A total of fifty-seven (57) special-status wildlife species tracked by CNDDDB are known or reported in the vicinity of the project site and have the

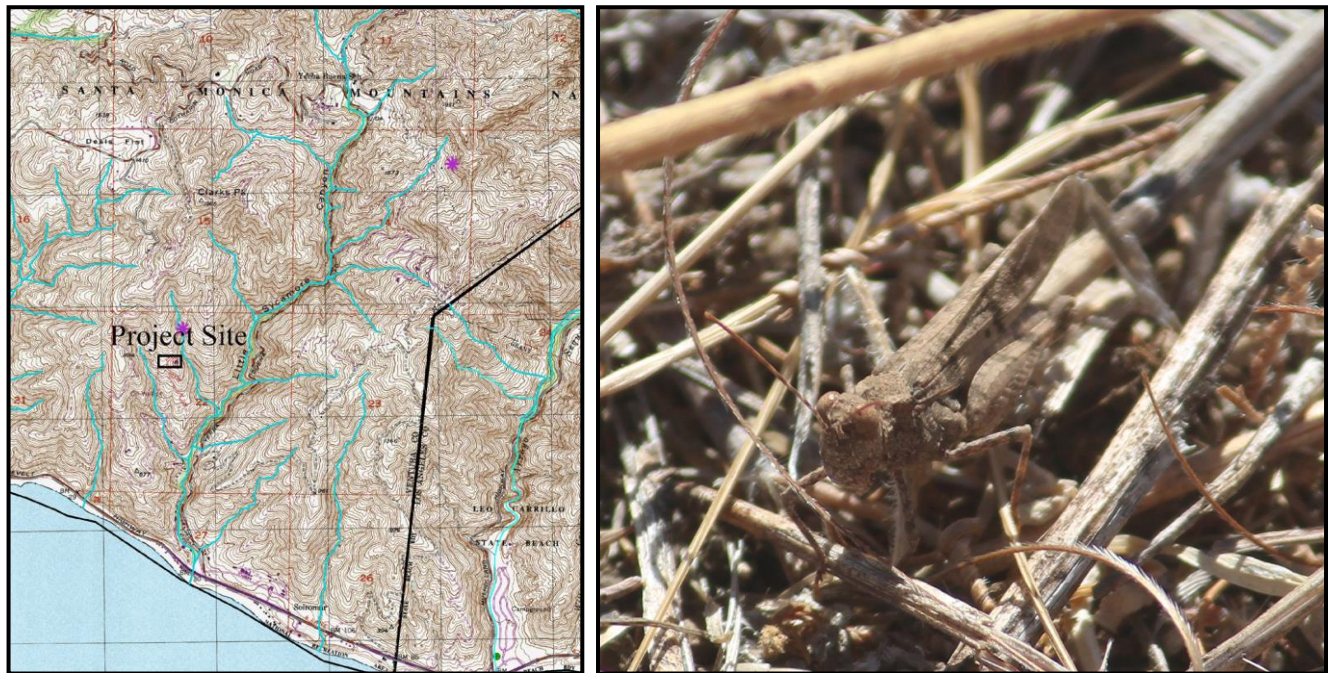
potential to occur onsite. Four (4) of the 57 special-status wildlife species are *likely* to occur onsite based on habitat requirements present onsite, including *Aimophila ruficeps canescens* (Southern California Rufous-crowned Sparrow), *Phrynosoma blainvillii* (Coast Horned Lizard), *Selasphorus sasin* (Allen's Hummingbird), and *Trimerotropis occidentaloidea* (Santa Monica Grasshopper).

Occurrences of special-status wildlife species occurring in the immediate vicinity of the project site are mapped on Figure 9, Special-status Species Onsite; however, none were found within the survey area.

Southern California Rufous-crowned Sparrow is a small songbird on the CNDDDB's Watch List (WL) with a State Rarity Rank of 3. The nearest known occurrence is at Wood Ranch north of Thousand Oaks and north of US 101 in Calabasas in the Simi Hills (CNDDDB GIS database December 2021). There are no CNDDDB or iNaturalist records for this bird in the Santa Monica Mountains.

Allen's Hummingbird is a small migratory bird on the CNDDDB's WL with a State Rarity Rank of S4, Apparently Secure. The nearest known occurrence of it is in Leo Carrillo State Park approximately 2 miles the south-southeast. It breeds in mesic Coastal Sage Scrub and chaparral habitats along the California coast and ranges from northern California to Mexico.

Santa Monica Grasshopper is a small grayish grasshopper on the IUCN's Endangered list with a State Rarity Rank of S1S2. The CNDDDB (2021) includes four occurrences in the Santa Monica Mountains,



all from the 1970s. DMEC observed the Santa Monica Mountains Grasshopper from the summit of the mountains just northwest of the intersection of Mulholland Highway and State Route 23/Decker Canyon Road in September 2021 and documented by the photo to the left. iNaturalist observations show it as occurring approximately 1,000 feet north of the project site in 2020. It is highly likely this species uses the project site. A map of the known occurrences near the project site is provided below.

Coast or Blainville's Horned Lizard is a lizard on the CNDDDB's Species of Conservation Concern (SCC) with a State Rarity Ranking of S3S4. The nearest known occurrence is on the west side of Deer Creek Canyon approximately 1.5 miles west of the project site as reported on iNaturalist. There are numerous reports of this lizard throughout the Santa Monica Mountains. DMEC observed it on the Beltrami project site in Deal Flat 6,700 feet north-northwest of the Weisberg project site in 2005. Coast Horned Lizard is expected to occur onsite. The map to the right shows the observed/reported occurrences near the project site.



Coast Horned Lizard is expected to occur onsite. The map to the right shows the observed/reported occurrences near the project site.

In addition, *Timema monikensis* (Santa Monica Mountains Walking Stick) and *Helminthoglypta traskii* ssp. *traskii* (Trask Shoulderband Snail) also have potential to occur onsite. These species are listed as a Locally Important Species by the Ventura County Planning Division (VCPD 2012a). *Timema monikensis* has only been found in a very restricted locality along Decker Road at 34.07.172 N and 118.50.441 W, on *Ceanothus*, with additional observations on Sandstone Peak and Liberty Canyon north of US 101. *Helminthoglypta traskii* ssp. *traskii* has only 31 known occurrences throughout its range in California (Magney 2009a) as illustrated in Figure 10, Map of *Helminthoglypta traskii traskii* Occurrences. It is known from six occurrences in the Santa Monica Mountains, two of which are in Ventura County, with the nearest known occurrence 5.57 miles west of the project site.

Table 14, Special-Status and Locally Rare Wildlife Potentially Occurring Onsite, summarizes the CNDDDB reports for the 57 special-status wildlife species tracked for the six quads, and the two locally important species. Table 14 provides each species' scientific and common names, status, habitat requirements, and likelihood of occurrence. In addition to the species listed in Table 14, it should be noted that all raptors, raptor nests (active or inactive), and other active bird nests are protected under Fish and Game Code Section 3503.

**Table 14. Special-status and Locally Rare Wildlife Potentially Occurring Onsite**

Scientific Name	Common Name	Species Status ⁸⁵					Habitat Requirements	Likelihood of Occurrence ⁸⁶
		G-Rank	S-Rank	Federal Listing ⁸⁷	State Listing	CDFW ⁸⁸		
<i>Accipiter cooperi</i>	Cooper's Hawk	G5	S3	-	-	WL	(Nesting) woodland, chiefly of open, interrupted or marginal. An uncommon year-round resident in so. Calif. Prefers woodland habitats but can also be found in virtually any habitat during migration. Typical breeding habitat in so. Calif. consists of riparian and oak woodlands, but also nests in ornamental woodlands provided by parks.	Unlikely
<i>Accipiter striatus</i>	Sharp Shinned Hawk	G5	S4	-	-	WL	(Nesting) forest and forest edge. They require a dense forest ideally with a closed canopy for breeding. They prefer conifer forests but also nest in other trees.	Unlikely
<i>Agelaius tricolor</i>	Tricolored Blackbird	G2G3	S1S2	-	-	SSC	(Nesting colony) Wetlands, marshes, flooded agricultural fields, riparian scrublands and forests. Prefers springs dominated by Giant Creek Nettle	Highly Unlikely
<i>Aimophila ruficeps canescens</i>	Southern Calif. Rufous-crowned Sparrow	G5T2T4	S2S3	-	-	WL	Resident in southern California Coastal Sage Scrub and sparse mixed chaparral. Frequents relatively steep, often rocky hillsides with grass & forb patches. Nearest reported occurrences are in the Simi Hills.	Possible
<i>Ammodramus savannarum</i>	Grasshopper Sparrow	G5	S3	-	-	SSC	(Nesting) short to middle-height, moderately open grasslands with scattered shrubs. Often in the ecotone between grassland and sage scrub. From sea level to 4,900 ft.	Possible
<i>Anniella pulchra pulchra</i>	Silvery Legless Lizard	G3G4T3 T4Q	S3	-	-	SC	Primarily found underground. Occurs in chaparral, pine-oak woodlands, desert scrub, stream terraces, and sand dunes. Moist, warm, loose soil with plant cover is essential. Often found under objects such as logs, rocks, and boards.	Unlikely
<i>Antrozous pallidus</i>	Pallid Bat	G5	S3	-	-	SC	Deserts, grasslands, shrublands, woodlands & forests. Most common in open, dry habitats with rocky areas for roosting. Roosts must protect bats from high temperatures. Very sensitive to disturbance of roosting sites.	Possible
<i>Aquila chrysaetos</i>	Golden Eagle	G5	S3	-	-	FP/WL	(Nesting & wintering) rolling foothills mountain areas, Sage-Juniper Flats, desert. Cliff-walled canyons provide nesting habitat in most parts of range; also, large trees in open areas.	Unlikely

⁸⁵ For general special-status species definitions, refer to Tables 7 through 10 in the Methodology Section above.

⁸⁶ Likelihood of occurrence based on species' habitat requirements and the presence of required habitat in the project site.

Observed = Species was directly observed during DMEC's 2022 surveys;

Detected = Species was detected by sign during DMEC's 2022 surveys;

Likely = Required habitat exists at the project site and/or has been reported onsite or nearby;

Possible = Marginal required habitat exists onsite, and/or required habitat exists in surrounding areas; or

Unlikely = Required habitat does not exist at the project site nor does it exist nearby.

Highly Unlikely = Required habitat does not exist at the project site nor does it exist nearby and the probability of occurrence onsite or use of the onsite habitat highly improbable.

⁸⁷E = Endangered; T = Threatened; C = Candidate, D = Delisted.

⁸⁸SC = A California Department of Fish and Wildlife (CDFW) "Species of Special Concern", WL = CDFW Watch List, FP = CDFW Fully Protected



Scientific Name	Common Name	Species Status ⁸⁵					Habitat Requirements	Likelihood of Occurrence ⁸⁶
		G-Rank	S-Rank	Federal Listing ⁸⁷	State Listing	CDFW ⁸⁸		
<i>Ardea alba</i>	Great Egret	G5	S4	-	-	-	(Nesting Colony) Estuaries, wetlands, agricultural fields, swamps, grasslands.	Highly Unlikely
<i>Aspidoscelis tigris stejnegeri</i>	Coastal Western Whiptail	G5T3T4	S2S3	-	-	-	Found in deserts & semiarid areas with sparse vegetation and open areas. Also found in woodland & riparian areas. Ground may be firm soil, sandy, or rocky.	Possible
<i>Athene cucularia</i>	Burrowing Owl	G4	S2	-	-	SC	Open, dry annual or perennial grasslands, deserts and scrublands characterized by low-growing vegetation. Subterranean nester, dependent upon burrowing mammals, most notably, the California Ground Squirrel.	Unlikely
<i>Baeolophus inornatus</i>	Oak Titmouse	G4	S4	-	-	-	(Nesting) Oak woodland, Oak-Pine woodland, low to mid-elevations.	Possible
<i>Buteo regalis</i>	Ferruginous Hawk	G4	S3S4	-	-	WL	(Wintering) open grasslands, sagebrush flats, desert scrub, low foothills & fringes of Pinyon-Juniper habitats. Mostly eats lagomorphs, ground squirrels, and mice. Population trends may follow lagomorph population cycles.	Unlikely
<i>Charadrius alexandrinus nivosus</i>	Western Snowy Plover	G4T3	S2	T	-	SC	(Nesting) federal listing applies only to pacific coastal pop. Sandy beaches, salt pond levees, & shores of large alkali lakes. Sandy, gravelly, friable soils.	Highly Unlikely
<i>Charadrius montanus</i>	Mountain Plover	G3	S2?	-	-	SSC	(Wintering) Short-grass plains and fields, plowed fields, and sandy deserts.	Highly Unlikely
<i>Cicindela gabbii</i>	Western Tidal-Flat Tiger Beetle	G2G4	S1	-	-	-	Estuaries and mudflats along the coast of southern California.	Highly Unlikely
<i>Cicindela hirticollis gravida</i>	Sandy Beach Tiger Beetle	G5T2	S1	-	-	-	Inhabits areas adjacent to non-brackish water along the coast of California from San Francisco Bay to northern Mexico. Clean, dry, light-colored sand in the upper zone. Subterranean larvae prefer moist sand not affected by wave action.	Highly Unlikely
<i>Cicindela senilis frosti</i>	Senile Tiger Beetle	G4T1	S1	-	-	-	Inhabits marine shoreline, from central California coast south to salt marshes of San Diego, also found at Lake Elsinore. Inhabits dark-colored mud in the lower zone and dried salt pans in upper zone.	Highly Unlikely
<i>Coelus globosus</i>	Globose Dune Beetle	G1	S1	-	-	-	Inhabitant of coastal sand dune habitat, from Bodega Head in Sonoma County south to Ensenada, Mexico. Inhabits foredunes and sand hummocks; it burrows beneath the sand surface and is most common beneath dune vegetation.	Highly Unlikely
<i>Danaus plexippus</i>	Monarch Butterfly	G5	S3	-	-	-	Winter roost sites extend along the coast from northern Mendocino to Baja California, Mexico. Roosts located in wind-protected tree groves (Eucalyptus, Monterey Pine, Cypress), with nectar and water sources nearby.	Unlikely
<i>Elanus leucurus</i>	White-tailed Kite	G5	S3	-	-	FP	(Nesting) Rolling foothills/valley margins w/scattered oaks & river bottomlands or marshes next to deciduous woodland. Open grasslands, meadows, or marshes for foraging close to isolated, dense-topped trees for nesting and perching.	Possible
<i>Emys [Actinemys/ Clemmys] marmorata</i>	Western Pond Turtle	G3G4	S3	-	-	SC	Inhabits permanent or nearly permanent bodies of water in many habitat types; below 6,000 ft elev. Require basking sites such as partially submerged logs, vegetation mats, or open mud banks. Need suitable nesting sites.	Highly Unlikely



Scientific Name	Common Name	Species Status ⁸⁵					Habitat Requirements	Likelihood of Occurrence ⁸⁶
		G-Rank	S-Rank	Federal Listing ⁸⁷	State Listing	CDFW ⁸⁸		
<i>Eremophila alpestris actia</i>	California Horned Lark	G5T3Q	S3	-	-	SC	Coastal regions, chiefly from Sonoma Co. to San Diego Co., also main part of San Joaquin Valley & east to foothills. Short-grass prairie, "bald" hills, mountain meadows, open coastal plains, fallow grain fields, alkali flats.	Unlikely
<i>Eucyclogobius newberryi</i>	Tidewater Goby	G3	S2S3	E	-	SC	Brackish water habitats along the California coast from Agua Hedionda Lagoon, San Diego Co. to the mouth of the Smith River. Found in shallow lagoons and lower stream reaches, they need fairly still but not stagnant water & high oxygen levels.	Highly Unlikely
<i>Eumops perotis californicus</i>	Western Mastiff Bat	G5T4	S3?	-	-	SC	Many open, semi-arid to arid habitats, including conifer & deciduous woodlands, coastal scrub, grasslands, chaparral etc. Roosts in crevices in cliff faces, high buildings, trees & tunnels.	Possible
<i>Euphydryas editha quino</i>	Quino Checkerspot	G5T1T2	S1	E	-	-	Coastal sage scrub, chaparral. The most frequently used larval host plants include <i>Plantago erecta</i> and <i>Castilleja exserta</i> .	Possible
<i>Falco peregrinus anatum</i>	American Peregrine Falcon	G4T4	S3S4	Delisted	Delisted	FP	(Nesting) open landscapes with cliffs, up to 12,000 feet in elevation. Can nest along rivers, coastlines and cities.	Unlikely
<i>Gavia immer</i>	Common Loon	G5	S1	-	-	SSC	(Nesting) coves and islands on lakes.	Highly Unlikely
<i>Gila orcuttii</i>	Arroyo Chub	G2	S2	-	-	SC	Los Angeles Basin south coastal streams. Slow water stream sections with mud or sand bottoms. Feed heavily on aquatic vegetation & associated invertebrates.	Highly Unlikely
<i>Gymnogyps californianus</i>	California Condor	G1	S1	E	E	FP	Scavenge for carrion in habitats ranging from beaches to mountainous forests, meadows, and grasslands. Nest in caves and cliff faces at up to 6,000 feet in elevation.	Unlikely
<i>Helminthoglypta traskii traskii</i>	Trask Shoulderband	G1G2T1	S1	-	-	-	Known from Ventura, Los Angeles, Orange, & San Diego Counties. Also reported from NW Baja California.	Likely
<i>Helminthoglypta willetti</i>	Matilija Shoulderband	G1	-	-	-	-	Terrestrial. A Ventura County Locally Important Species (VCPD 2012a).	Unlikely
<i>Hydroprogne caspia</i>	Caspian Tern	G5	S4	-	-	-	(Nesting colony) breeds in a variety of habitats near water, such as salt marshes and islands.	Highly Unlikely
<i>Icteria virens</i>	Yellow-breasted Chat	G5	S3	-	-	SSC	(Nesting) Dense second-growth, riparian thickets, and brush.	Unlikely
<i>Lasiurus blossevillii</i>	Western Red Bat	G5	S3	-	-	SSC	Roosting habitat includes forests and woodlands from sea level up through mixed conifer forests. Feeds over a wide variety of habitats including grasslands, shrublands, open woodlands and forests, and croplands.	Possible
<i>Lasiurus cinereus</i>	Hoary Bat	G5	S4?	-	-	-	Prefers open habitats or habitats mosaics, with access to trees for cover and opens areas or habitat edges for feeding. Roosts in dense foliage of medium to large trees. Feeds primarily on moths, and requires water.	Unlikely
<i>Microtus californicus stephensi</i>	South Coast Marsh Vole	G5T1T2	S1S2	-	-	SC	Tidal marshes in Los Angeles, Orange and southern Ventura Counties.	Highly Unlikely



Scientific Name	Common Name	Species Status ⁸⁵					Habitat Requirements	Likelihood of Occurrence ⁸⁶
		G-Rank	S-Rank	Federal Listing ⁸⁷	State Listing	CDFW ⁸⁸		
<i>Myotis ciliolabrum</i>	Western Small-footed Myotis	G5	S2S3	-	-	-	Wide range of habitats mostly arid wooded & brushy uplands near water. Seeks cover in caves, buildings, mines & crevices. Prefers open stands in forests and woodlands. Requires drinking water. Feeds on a wide variety of small flying insects.	Possible
<i>Myotis yumanensis</i>	Yuma Myotis	G5	S4?	-	-	-	Optimal habitats are open forests and woodlands with sources of water over which to feed. Distribution is closely tied to bodies of water. Maternity colonies in caves, mines, buildings or crevices.	Unlikely
<i>Neotoma lepida intermedia</i>	San Diego Desert Woodrat	G5T3?	S3?	-	-	SC	Coastal scrub of southern California from San Diego County to San Luis Obispo County. Moderate to dense canopies preferred. They are particularly abundant in rock outcrops and rocky cliffs & slopes.	Likely (next observed nearby)
<i>Oncorhynchus mykiss irideus</i>	Southern Steelhead (Southern California ESU)	G5T2Q	S2	E	-	SC	Federal listing refers to pops from Santa Maria River south to southern extent of range (San Mateo Creek in San Diego Co.). Southern Steelhead likely have greater physiological tolerances to warmer water & more variable conditions.	Highly Unlikely
<i>Panoquina errans</i>	Wandering (Saltmarsh) Skipper	G4G5	S1	-	-	-	Southern California coastal salt marshes. Requires moist Saltgrass for larval development.	Highly Unlikely
<i>Passerculus sandwichensis beldingi</i>	Belding's Savannah Sparrow	G5T3	S3	-	E	-	Inhabits coastal salt marshes, from Santa Barbara south through San Diego County. Nests in Salicornia on and about margins of tidal flats.	Highly Unlikely
<i>Pelecanus occidentalis californicus</i>	California Brown Pelican	G4T3	S1S2	D	D	FP	(Nesting colony) colonial nester on coastal islands just outside the surf line. Nests on coastal islands of small to moderate size, which afford immunity from attack by ground-dwelling predators.	Highly Unlikely
<i>Phrynosoma blainvillii</i>	Coast Horned Lizard	G4G5	S3S4	-	-	SC	Inhabits Coastal Sage Scrub and chaparral in arid and semi-arid climate conditions. Prefers friable, rocky, or shallow sandy soils. Observed in the vicinity of Deals Flat at the Beltrami property (2005).	Likely
<i>Picoides nuttallii</i>	Nuttall's Woodpecker	G4G5	S4S5	-	-	-	(Nesting) found primarily in oak woodlands and in riparian woods; rarely in conifers.	Unlikely
<i>Polioptila californica californica</i>	Coastal California Gnatcatcher	G3T2	S2	T	-	SC	Obligate, permanent resident of Coastal Sage Scrub below 2,500 ft in southern California. Low, Coastal Sage Scrub in arid washes, on mesas & slopes. Not all areas classified as Coastal Sage Scrub are occupied.	Possible
<i>Rallus longirostris levipes</i>	Light-footed Clapper Rail	G5T1T2	S1	E	E	-	Found in salt marshes traversed by tidal sloughs, where Cordgrass and Pickleweed are the dominant vegetation. Require dense growth of either Pickleweed or Cordgrass for nesting or escape cover; feeds on mollusks and crustaceans.	Highly Unlikely
<i>Riparia riparia</i>	Bank Swallow	G5	S2S3	-	T	-	(Nesting) colonial nester; nests primarily in riparian and other lowland habitats west of the desert. Requires vertical banks with fine-textured/sandy soils near streams, rivers, lakes, ocean to dig nesting hole.	Highly Unlikely
<i>Selasphorus sasin</i>	Allen's Hummingbird	G5	S4	-	-	-	(Nesting) breeds in moist coastal areas, scrub, chaparral, and forests.	Likely
<i>Setophaga petechia</i>	Sonoran Yellow Warbler	G5T2T3	S2	-	-	SSC	(Nesting) riparian forest; willows and cottonwoods.	Unlikely



Scientific Name	Common Name	Species Status ⁸⁵					Habitat Requirements	Likelihood of Occurrence ⁸⁶
		G-Rank	S-Rank	Federal Listing ⁸⁷	State Listing	CDFW ⁸⁸		
<i>Sorex ornatus salicornicus</i>	Southern California Saltmarsh Shrew	G5T1?	S1	-	-	SC	Coastal marshes in Los Angeles, Orange & Ventura Counties. Requires dense vegetation and woody debris for cover.	Unlikely
<i>Sternula antillarum browni</i>	California Least Tern	G4 T2T3 Q	S2S3	E	E	FP	(Nesting colony) nests along the coast from San Francisco Bay south to northern Baja California. Colonial breeder on bare or sparsely vegetated, flat substrates: sand beaches, alkali flats, landfills, or paved areas.	Highly Unlikely
<i>Taxidea taxus</i>	American Badger	G5	S4	-	-	SC	Most abundant in drier open stages of most shrub, forest, and herbaceous habitats, with friable soils. Need sufficient food, friable soils & open, uncultivated ground. Prey on burrowing rodents. Dig burrows.	Possible
<i>Thamnophis hammondi</i>	Two-striped Garter Snake	G3	S2	-	-	SC	Coastal California from vicinity of Salinas to northwest Baja California. From sea to about 7,000 ft elevation. Highly aquatic, found in or near permanent fresh water. Along streams with rocky beds and riparian growth.	Unlikely
<i>Timema monikensis</i>	Santa Monica Mountains Walking Stick	-	-	-	-	-	Coastal Sage Scrub, Chaparral. Santa Monica Mountains. Ventura County Locally Important (VCPD 2012a)	Possible
<i>Trimerotropis occidentaloidea</i>	Santa Monica Grasshopper	G1G2	S1S2	-	-	-	Known only from the Santa Monica Mountains. Found on bare hillsides and along dirt trails in chaparral. Nearest known occurrence is 6.25 miles NE observed by DMEC on 19 September 2021, observed N of site (iNaturalist).	Likely
<i>Tryonia imitator</i>	Mimic Tryonia (California Brackishwater Snail)	G2G3	S2S3	-	-	-	Inhabits coastal lagoons, estuaries and salt marshes, from Sonoma County south to San Diego County. Found only in permanently submerged areas in a variety of sediment types; able to withstand a wide range of salinities.	Highly Unlikely
<i>Vireo bellii pusillus</i>	Least Bell's Vireo	G5T2	S2	E	E	-	(Nesting) spring resident of southern California in low riparian in vicinity of water or in dry river bottoms; below 2000 ft. Nests placed along margins of bushes or on twigs projecting into pathway (willow, Baccharis, mesquite).	Highly Unlikely

Figure 9. Special-status Species Onsite



Special-status Species Legend

- | | | |
|-----------------|-------------------------|-------------------------------|
| Survey Area | Weisberg House | <i>Calochortus catalinae</i> |
| Parcels | Grading Limits | <i>Calochortus plummerae</i> |
| Weisberg Parcel | 100-foot Fuel Mod. Zone | <i>Dichondra occidentalis</i> |

Map created 26 June 2022
David Magney Environmental Consulting
P.O. Box 1539, Cedar Ridge, CA 95924
530/273-1799 - www.magney.org
Sources: Ventura County Assessor's Office, DMEC
Projection: NAD 1983, CA State Plane, Zone V (feet)
Base Map: 2002 Aerial Photograph

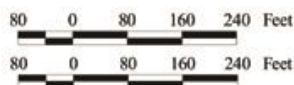
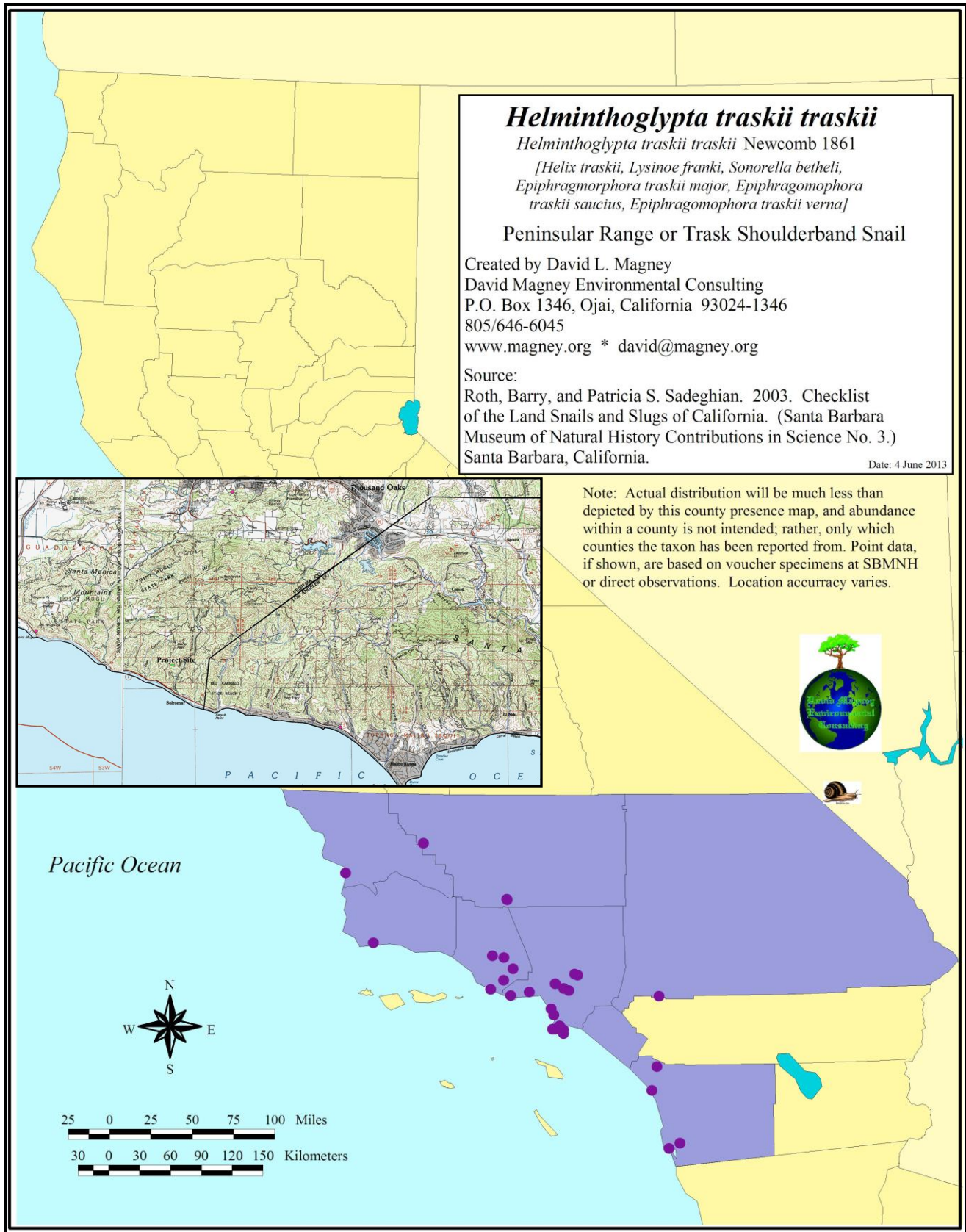


Figure 10. Map of *Helminthoglypta traskii traskii* Occurrences





Sensitive Habitats

Table 15, CNDDDB Special-Status Habitats Potentially Occurring Onsite, summarizes the CNDDDB search for sensitive habitat types reported for the six quads surrounding and including the project site. Table 15 provides the habitat’s name, status, and whether it was observed onsite. There were no sensitive habitats observed on the project site.

Table 15. CNDDDB Sensitive Habitats Potentially Occurring Onsite

CNDDDB Sensitive Habitats (Holland 1986, CDFW 2013)	G Rank ⁸⁹	S Rank	Fed	CA	Presence Onsite ⁹⁰
Southern Coast Live Oak Riparian Forest	G4	S4	-	-	Not Observed
Southern Coastal Salt Marsh	G2	S2.1	-	-	Not Observed
Southern Riparian Forest	G4	S4	-	-	Not Observed
Southern Sycamore Alder Riparian Woodland	G4	S4	-	-	Not Observed
Valley Needlegrass Grassland	G3	S3.1	-	-	Not Observed
Valley Oak Woodland	G3	S2.1	-	-	Not Observed

WILDLIFE MOVEMENT AND CONNECTIVITY

Wildlife movement or connectivity features, or evidence thereof, were not found within the survey area(s).

Wildlife corridors link together areas of suitable wildlife habitat that are otherwise separated by rugged terrain, changes in vegetation, or human disturbance. The fragmentation of open space areas by urbanization creates isolated “islands” of wildlife habitat. Some wildlife species, especially the larger and more wide-ranging mammals, will not likely persist over time in fragmented or isolated habitat areas because they prohibit the infusion of new individuals and genetic information. Corridors mitigate the effects of fragmentation by allowing animals to move between remaining habitats; providing escape routes from fire, predators, and human disturbances; and serving as travel routes for individual animals as they move in their home ranges in search of food, water, mates, and other resources.

Wildlife movement activities usually fall into one of three movement categories: dispersal (e.g. juvenile animals from natal areas or individuals extending range distributions), seasonal migration, and movements related to home range activities (e.g. foraging for food or water, defending territories, or searching for mates, breeding areas, or cover).

⁸⁹ See Tables 7 through 10 above for descriptions of rank and status categories. Federal (Fed or F) and State (CA or S) status listings: E = Endangered; T = Threatened; R = Rare; C = Candidate; SC = Species of Concern.

⁹⁰ Observed [P] = Habitat present onsite [Present]; Not Observed = Habitat not present onsite though some constituents of the habitat may be present as noted; [CH] = Project footprint is within a Critical Habitat unit.

South Coast Wildlands (SCW) works to maintain and restore connections between isolated wildland areas in the South Coast through their program called the "Missing Linkages Project"⁹¹. One such isolated wildland area of concern is the Santa Monica Mountains. Although the Santa Monica Mountains are protected in part through state and federal ownership (Point Mugu State Park and the Santa Monica Mountains National Recreation Area [SMMNRA], respectively), this high-quality habitat area is severely isolated from other wildland areas in Southern California. Specifically, SCW has drafted a report that analyzes the potential linkage between the isolated Santa Monica Mountains and Simi Hills, and the much larger areas of contiguous habitat in the Sierra Madre Mountains to the north. (Penrod et al. 2006.)

SCW's report (Penrod et al. 2006) identifies multiple areas of existing and potential landscape linkage between the Santa Monica Mountains and the Sierra Madre Mountains. Using a "least cost union" methodology to determine which landscape linkages should be the focus of conservation efforts, they have identified one main corridor near the Ventura-Los Angeles County line, and one smaller "side branch" that connects the larger corridor with the western side of the Santa Monica Mountains through the Tierra Rejada Valley/Simi Hills to the Santa Susana Mountains to the north.

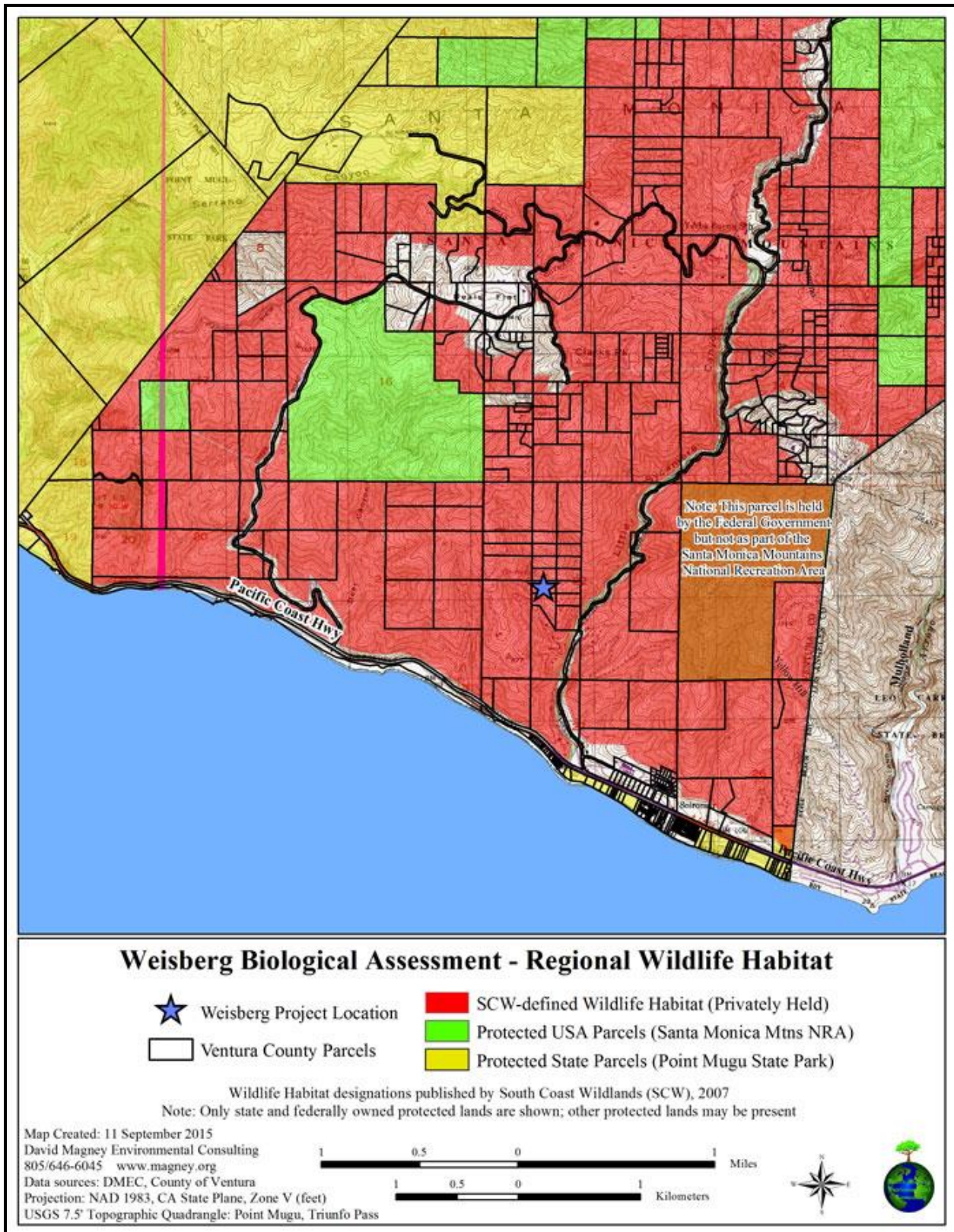
Figure 11, Regional Wildlife Habitat, illustrates the wildlife habitat (non-core), which is privately held, and protected Federal and State land in relation to the location of the project site. The wildlife habitats illustrated on Figure 11 are based primarily on research conducted by the South Coast Wildlands Project (Penrod et al. 2006).

Based on maps provided by CDFW's BIOS MAPS (available at: <http://imaps.dfg.ca.gov>) and Figure 11, the project site, as well as other adjacent residences and undeveloped parcels, are not mapped as any particular wildlife movement category. The Weisberg property exists within "island" of non-wildlife habitat and unprotected land; however, the project site is surrounded by what is mapped as wildlife habitat (non-core and privately held). Protected land exists to the north and west (Point Mugu State Park) of the parcel. No local wildlife travel routes were observed onsite during the spring 2022 surveys other than existing roads. The vegetation is fairly open as a result of the Woolsey Fire.

Development of the Weisberg property may temporarily have direct impacts on wildlife movement or migration at or near the project site due to noise, lighting, dust, poison, and human presence (refer to Section 4 for measures to minimize these impacts). The temporary direct impacts are considered less than significant when the measures outlined in Section 4 are implemented to minimize these temporary impacts. Permanent and cumulative impacts to wildlife movement resulting from loss of native natural vegetation and species-specific wildlife habitat are considered less than significant, since the project site is not mapped as any particular wildlife movement category.

⁹¹ Report is available at http://www.scwildlands.org/reports/SCML_SantaMonica_SierraMadre.pdf.

Figure 11. Regional Wildlife Habitat



SECTION 4. RECOMMENDED IMPACT ASSESSMENT AND MITIGATION

The proposed development of the project site will result in impacts to biological resources. The total direct impacts from these activities are summarized in Table 16, Existing Habitats and Land Cover and Expected Impacts.

SUFFICIENCY OF BIOLOGICAL DATA

No additional information is needed to make CEQA findings and develop feasible mitigation measures. The winter and springtime surveys provided the field data necessary to conduct the impact assessment.

IMPACTS AND MITIGATION

DMEC has determined that the planned construction activities will result in impacts to natural vegetation, primarily as a result of clearing and grading associated with the house pad and required 100-foot-wide fuel modification zone around the proposed house, and widening of the existing access road. The direct and indirect impacts to biological resources are identified below. They are listed by species, species group, or habitat followed by general and specific mitigation measures that, if implemented, are expected to fully mitigate the impacts to the biological resources.

A. Endangered, Threatened, or Rare Animal or Plant Species, or Their Habitats

Project: PS-M; Cumulative: PS-M

Definition of Significance for Special-status Plant Species

Significant project impacts for special-status (sensitive) habitats are defined using the following criterion:

The impact is significant if the impact on special-status (sensitive) habitats by construction activities (including grading, building, and fuel modification) affects greater than 10% of the total habitat existing on the project site. That is, if 10% or more of the special-status habitat is impacted by the proposed project, the impact would be considered significant and mitigation would be required, if feasible.



Summary of Impacts to Special-status Plant Species

Table 16. Existing Habitats and Land Cover and Expected Project Impacts

Existing Habitats and Land Cover Observed	Total Onsite Acres	Onsite ESHA Acres	Onsite Impact Acres	Onsite ESHA Impact Acres	Offsite ESHA Impact Acres	Total Impact Acres
<i>Adenostoma fasciculatum</i> Shrubland Alliance (AF)	0.223	0.223	0.0	0.0	0.0	0.0
<i>Artemisia californica</i> - <i>Salvia</i> Shrubland Alliance (AC)	11.935	11.935	1.021 ⁹²	1.021	0.0	1.021
<i>Heteromeles arbutifolia</i> Shrubland Alliance (HA)	0.215	0.215	0.0	0.0	0.0	0.0
<i>Malacothamnus fasciculatus</i> Shrubland Alliance (MF)	0.795	0.795	0.269 ⁹³	0.269	0.0	0.269
<i>Malosma laurina</i> Shrubland Alliance (ML)	7.080	7.080	0.547 ⁹⁴	0.547	0.0	0.547
<i>Opuntia oricola</i> Shrubland Alliance (OO)	0.205	0.205	0.0	0.0	0.0	0.0
Ornamental Landscaping (OL)	0.100	0.100	0.0	0.0	0.0	0.0
Ruderal (R – 1,2, & 3)	1.558	0.0	0.076	0.0	0.0	0.076
Road	2.977	0.0	N/A	N/A	N/A	0.0
Acres Total	25.088	20.453	1.913	1.837	0.0	1.913

The natural vegetation impacted by the proposed development is illustrated in Figure 12, Project Impacts to Natural Vegetation. A total of 1.228 acres will be disturbed by the fuel modification zone, water tanks, and pipe trenching, grading, as well as ungraded areas to be cleared or mostly thinned for fire hazard mitigation.

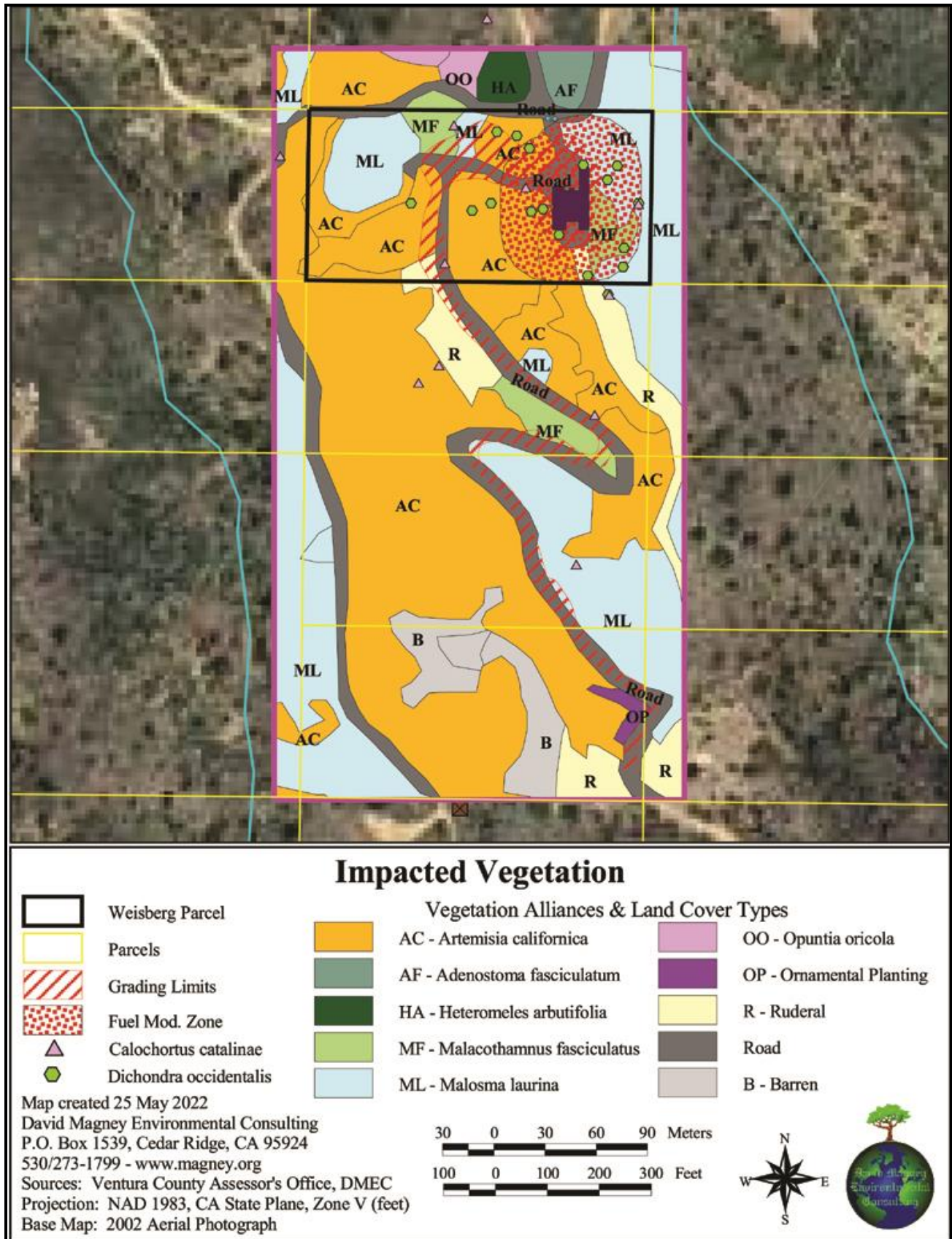
For impact assessment purposes, only the natural vegetation that qualifies as ESHA that will be directly impacted is considered a significant impact and require mitigation, 1.837 acres.

⁹² A total of 1.048 acres of existing *Artemisia californica* Shrubland Alliance will be impacted; however, 0.027 acre of that occurs along the old Jeep trail and is deducted from the impact total accordingly.

⁹³ A total of 0.272 acre of existing *Malacothamnus fasciculatus* Shrubland Alliance will be impacted; however, 0.003 acre of that occurs along the old Jeep trail and is deducted from the impact total accordingly.

⁹⁴ A total of 0.549 acre of existing *Malosma laurina* Shrubland Alliance will be impacted; however, 0.002 acre of that occurs along the old Jeep trail and is deducted from the impact total accordingly.

Figure 12. Project Impacts to Natural Vegetation



IMPACT 1. LOSS OF SPECIAL-STATUS PLANT SPECIES ONSITE

Three special-status plant species were found in the proposed construction footprint or fuel modification zone during the spring 2022 surveys. Individuals of *Calochortus catalinae*, *C. plummerae*, and *Dichondra occidentalis* were found to occur scattered throughout the parcel and neighboring parcels (see Figures 9 and 12), each observation mapped is part of three relatively large populations (one population for each species) that occupy this area, using the methods defined by the CNDDDB (distinction populations are generally separated by unoccupied habitat of ¼ mile). The construction of the proposed house, pool, landscaping, and widening of the existing access road would remove several individuals of each species and reduce the total area of each population.

Significance Finding – Project Impacts: Potentially Significant but Mitigable. If the estimated direct loss of any special-status plant species by construction activities is greater than the significance threshold; mitigation would be required.

Significance Finding – Cumulative Impacts: Potentially Significant but Mitigable. Any direct loss of special-status plant species would contribute to the cumulative loss of special-status plant species in Ventura County and statewide.

Avoidance and Minimization Measures: Mitigation Measure 1 (MM1) and Mitigation Measure 2 (MM2) would sufficiently mitigate for any impacts to special-status plant species onsite to a less-than-significant level.

MITIGATION MEASURE 1: CONDUCT PRE-CONSTRUCTION SURVEYS FOR SPECIAL-STATUS PLANT SPECIES ONSITE AND AVOID OR RELOCATE THESE SPECIES IF FOUND IN THE CONSTRUCTION ZONE OR FUEL MODIFICATION ZONE

Impact & Mitigation Goal: No special-status plant species were found in the proposed construction footprint or fuel modification zone during the spring 2022 surveys. As the location or presence of all special-status plant species with the potential to occur onsite is not known, pre-construction surveys shall be conducted onsite prior to development (ground disturbance). If any special-status plant species are located onsite that are not addressed in this Biological Assessment, impacts on any of the special-status species will be avoided or relocated.

Mitigation Action: Prior to site disturbance activities associated with the proposed project, supplemental pre-construction field surveys for special-status plant species shall be conducted to clearly determine and to mark off the exact locations and numbers of plants onsite in the development footprint as well as those to be preserved. A qualified botanist familiar with the flora of the Santa Monica Mountains shall conduct the surveys. Surveys should be conducted two weeks prior to construction to flag locations of special-status plants within and immediately adjacent to the project site.

If possible, translocation of the rare plants should occur onsite or if no suitable location is available, then an offsite location could be used. A suitable translocation site on the parcel would need to be identified and a detailed mitigation plan specific to that impacted species would need to be prepared by a qualified restoration botanist. Note: a suitable translocation site on the western portion of the parcel based on the presence of at least one *Calochortus plummerae* observed and similar site conditions as the impact site. The proposed translocation site is depicted generally on Figure 13,

Proposed Special-status Plant Species Mitigation Site. Seed and bulb collecting and salvage are recommended for those species, with replanting elsewhere onsite as mitigation. Seed collection should be conducted at the next appropriate season by a qualified botanist. Mitigation areas, rare plant populations, and remaining sensitive habitats should be avoided to the maximum extent possible, and should be protected onsite from future development or disturbance.

Salvaged seeds and bulbs of the two *Calochortus* species will be transferred to an entity such as the Santa Barbara Botanic Garden to germinate and grow to maturity to increase the number of individual plants, which will then be planted at the mitigation site designated on Figure 13.

The basic mitigation strategy for each rare plant species includes:

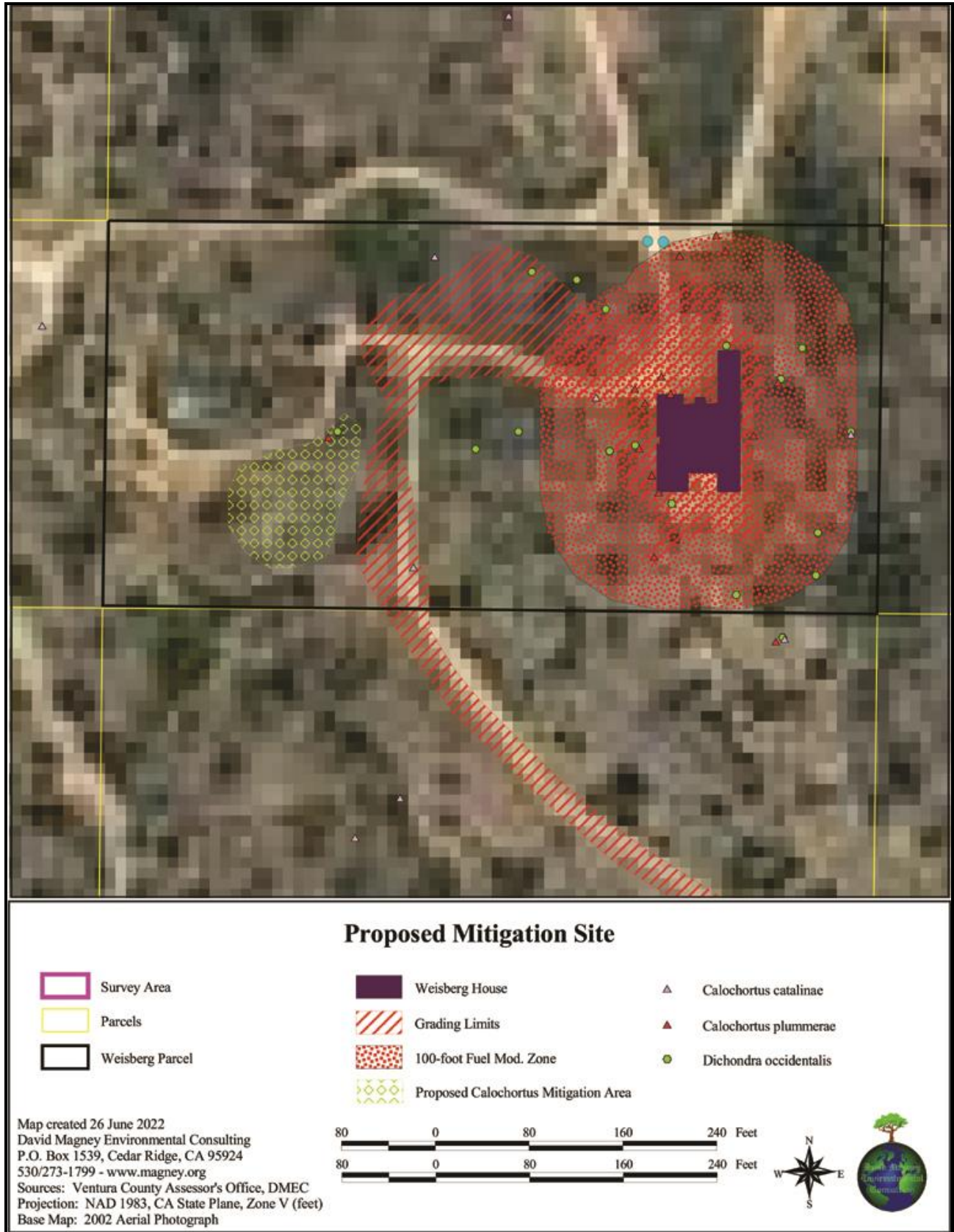
- Protect in perpetuity all avoided rare plant species onsite;
- Collect seeds or propagules from onsite plants to replace impacted plants onsite; and
- Salvage existing plants to be impacted, and translocate them to suitable planting area(s) onsite.

Monitoring & Timing: Pre-construction surveys completed two weeks prior to any disturbance and impacts to any special-status plant species are minimized. The mitigation plantings shall be maintained and monitored for a period of five (5) years after initial planting, with annual reports submitted to the County. Seeding may require several seed sowing events to establish viable reproducing populations at the mitigation site. The applicant shall demonstrate to the Planning Division that a contract has been secured with a qualified botanist to implement and monitor this required mitigation prior to issuance of a building permit. A monitoring report, which describes the progress of the plantings toward meeting the success criteria, shall be submitted to the Planning Division by the end of each of the 5 years of required monitoring.

Standard of Success: DMEC recommends that the number of individuals meet a 5:1 ratio initially, with a minimum survival rate of 1:1. This is the minimum number necessary to establish and maintain a viable population on the mitigation site.

Mapped Information: The location of the translocated plants shall be mapped as a part of the 5-year monitoring plan.

Figure 13. Proposed Special-status Plant Species Mitigation Site



MITIGATION MEASURE 2: FENCE AND PROTECT SPECIAL-STATUS PLANT SPECIES ONSITE WITHIN FUEL MODIFICATION ZONES

Impact & Mitigation Goal: To avoid direct losses of any special-status plant species occurring within the expected fuel modification zones of the proposed building, as illustrated in Figure 9.

Mitigation Action: Fence off special-status plant occurrences occurring within the fuel modification zones for the proposed development to the maximum extent possible by installing temporary fencing around the construction zone(s). Preclude fuel modification actions detrimental to the continued existence of special-status plant species onsite. Flag off individual plants that are to be avoided existing outside of construction area fencing. Place signs on the construction area fencing that sensitive biological resources occur outside the construction zone area that prohibit entry by any equipment beyond the construction area(s).

Monitoring and Timing: Monitoring of implementation and success of transplanting shall commence within three (3) months of permit issuance and continue for five (5) years or as long as needed to determine that the plantings are healthy and will grow to maturity.

The applicant shall demonstrate to the Planning Division that a contract has been secured with a Qualified Botanist to implement and monitor this required mitigation prior to issuance of a zoning clearance for construction. A monitoring report, which describes the results of the monitoring, shall be submitted to the Planning Division by the end of each of the 5 years of required monitoring.

Standard of Success: Protected species are present each year during the appropriately timed monitoring as evidence of survival.

Mapped Information: None at this time.

Summary of Impacts to Special-status Wildlife Species

Definition of Significance for Special-status Wildlife Species

DMEC defines significant project impacts for special-status wildlife species using the following criteria:

1. Direct project impacts related to construction or vegetation clearing that could negatively impact special-status wildlife species.
2. Loss of and disturbance to breeding and nesting birds during construction.
3. Night lighting that could negatively affect wildlife activities and wildlife vigor if exposed to bright artificial lighting from streetlights or outdoor lighting at residences represents a potentially significant impact to wildlife sensitive to such lighting.

IMPACT 2. LOSS OF SPECIAL-STATUS WILDLIFE SPECIES ONSITE

One special-status species was found nearby, *Neotoma lepida intermedia* (San Diego Desert Woodrat), which was detected via a nest in 2015. The location of this nest relative to the project site is shown on Figure 9, Map of Special-status Species, located in the drainage that runs north-south at the southern edge of the survey area. This area is not within the construction footprint or fuel



modification zone, and will not be impacted by any construction activities. While unlikely, San Diego Desert Woodrats may construct nests in the construction area or fuel modification zone; therefore, pre-construction surveys for this and species are recommended as out lined in Mitigation Measure 3 (MM3). Table 14, Special-status Wildlife and Locally Rare Wildlife Potentially Occurring Onsite, shows four (4) special-status wildlife species determined to have a high or moderate likelihood of occurrence on the Weisberg property.

Significance Finding – Project Impacts: Potentially Significant but Mitigable. If the estimated direct loss of any special-status wildlife species by construction activities is greater than the significance threshold; mitigation would be required.

Significance Finding – Cumulative Impacts: Potentially Significant but Mitigable. Any direct loss of special-status wildlife species would contribute to the cumulative loss of special-status wildlife species in Ventura County and statewide.

Avoidance and Minimization Measures: Mitigation Measure 3 (MM3) would sufficiently mitigate for any impacts to special-status wildlife species onsite to a less-than-significant level.

MITIGATION MEASURE 3: CONDUCT PRE-CONSTRUCTION SURVEYS FOR SPECIAL-STATUS WILDLIFE SPECIES ONSITE AND AVOID OR RELOCATE THESE SPECIES IF FOUND IN THE CONSTRUCTION ZONE OR FUEL MODIFICATION ZONE

Impact & Mitigation Goal: One special-status species was found nearby, *Neotoma lepida intermedia* (San Diego Desert Woodrat), which was detected via a nest during the 2015 surveys for a project at 10735 Yerba Santa Road (DMEC 2016). Since the Woolsey Fire of 2018 burned all woodrat nests and none have recolonized the project site yet, special locations for other nests are unknown at this time; however, they could recolonize the site at any time. As the location or presence of all special-status wildlife species with the potential to occur onsite is not known, pre-construction surveys shall be conducted onsite prior to development (ground disturbance). If any special-status wildlife species are located onsite that are not addressed in this Biological Assessment, impacts on any of the special-status species will be avoided or relocated.

Mitigation Action: Prior to grading or site-clearing activities, a qualified biologist shall survey the construction areas of the site to determine if wildlife species are foraging, frequenting, or nesting on or adjacent to the construction areas. If any wildlife species are observed foraging, frequenting, denning, or nesting during construction activities, the wildlife biologist shall allow the wildlife species to escape or shall relocate the wildlife species to a preserved area with similar required habitat. Active bird nests must be avoided until after the nest is not actively used (generally after August 31st).

Monitoring & Timing: Pre-construction surveys completed two weeks and immediately prior to any disturbance would ensure that impacts to any special-status wildlife species are minimized. Special-status wildlife species found within the construction zone shall be captured and relocated. If possible, relocation should occur onsite, or if no suitable location is available, then an offsite location could be used. A suitable relocation site on or off the parcel would need to be identified and a detailed mitigation plan specific to that impacted species would need to be prepared by a qualified wildlife biologist.

Standard of Success: Avoidance of impacts to individual wildlife species.

Mapped Information: None.

IMPACT 3. LOSS OF AND DISTURBANCE TO BREEDING AND NESTING BIRDS DURING CONSTRUCTION

The potential for temporary harm to, or permanent loss of, observed and expected **breeding birds** within the project area exists, especially with use of heavy equipment during construction. For example, birds (migratory or nesting birds) may be harmed or lost due to vegetation clearing with the use of heavy equipment or brush clearing. Take (killing, disturbance, harassing, etc.) of active bird nests is prohibited by California Fish and Game Code Section 3503, and the Migratory Bird Treaty Act protects migratory birds.

Significance Finding – Project Impacts: Potentially Significant but Mitigable. Mitigation Measure 4 (Protect Bird Nests) will reduce project impacts to less-than-significant levels.

Significance Finding – Cumulative Impacts: Potentially Significant but Mitigable. Mitigation Measure 4 (Protect Bird Nests) will reduce cumulative impacts to less-than-significant levels.

Avoidance and Minimization Measures: Mitigation Measure 4 (Protect Bird Nests), described below, includes avoidance measures.

MITIGATION MEASURE 4: PROTECT BIRD NESTS

Impact & Mitigation Goal: Avoid the potential loss of protected native birds and their nests.

Mitigation Action: Avoid violating the Migratory Bird Treaty Act or California Fish and Game Code §3503.

Supplemental Surveys. A qualified biologist shall survey the construction site prior to nesting season to identify any nests of birds that would be directly or indirectly affected by the construction activities. If nests were found prior to nesting season within 300 feet of the construction footprint, including the driveway/access road, then an additional survey two weeks prior to initiation of site disturbance would be required to further identify any nests that would be directly or indirectly affected by the construction activities. Bird nesting typically occurs from February through August. Some bird species nest outside this period.

Active Nests. To protect any active nest sites, the following restrictions on construction are required between February and August (or until nests are no longer active as determined by a qualified biologist). Clearing limits shall be established a minimum of 300 feet in any direction from any occupied nest (or as otherwise deemed appropriate by the monitoring biologist). Access and land surveying shall not be allowed within 100 feet of any occupied nest (or as otherwise deemed appropriate by the monitoring wildlife biologist). Onsite nests shall be avoided until vacated. Any encroachment into the 300/100-foot-buffer area around the known nest shall only be allowed if it is determined by a qualified wildlife biologist that the proposed activity would not disturb the nest occupants. Construction during the non-nesting season shall occur at the sites only if a qualified wildlife biologist has determined that fledglings have left the nest. Occupied nests adjacent to the construction site(s) may need to be avoided for short durations to ensure nesting success. Any nest permanently vacated for the season need not be protected.

Monitoring & Timing: Survey of site prior to nesting season to identify any nests of birds that would be directly or indirectly affected by the construction activities and possibly a pre-construction survey of the construction site two weeks prior to initiation of site disturbance.

Standard of Success: Avoidance of nesting birds and implementing avoidance measures.

Mapped Information: None

IMPACT 4. EFFECT OF ARTIFICIAL LIGHTING ON WILDLIFE

Lighting of the developed residence and landscaped area of the impact site could inadvertently affect the behavior patterns of nocturnal and crepuscular (active at dawn and dusk) wildlife. Of greatest concern is the effect on small ground-dwelling animals that use the darkness to hide from predators, and on owls that are specialized night foragers. Night lighting could inhibit wildlife from using the habitat adjacent to lighted areas.

Night lighting could negatively affect wildlife activities and wildlife vigor if exposed to bright artificial lighting. While limited to the areas a short distance from the light source, and depending on the intensity of the outdoor lighting, such nuisance spillover lighting represents a potentially significant impact to wildlife sensitive to such lighting.

Significance Finding for Artificial Lighting Negatively Affecting Wildlife – Project Impacts: Potentially Significant but Mitigable. Implementation of Mitigation Measure 5 (MM5: Hooded Outdoor Lighting) would mitigate potential negative effects of artificial lighting on the health and persistence of wildlife populations.

Significance Finding for Artificial Lighting Negatively Affecting Wildlife – Cumulative Impacts: Potentially Significant but Mitigable. Implementation of Mitigation Measure 5 (MM5: Hooded Outdoor Lighting) would mitigate potential negative effects of artificial lighting on the health and persistence of wildlife populations.

Avoidance and Minimization Measures: The use of hooded lighting for any artificial lighting installed in the impact area will reduce the potential significant impact on wildlife populations to less-than-significant levels.

MITIGATION MEASURE 5: HOODED OUTDOOR LIGHTING

Impact & Mitigation Goal: Minimize impacts to wildlife using habitat adjacent to landscape area.

Mitigation Action: Require all outdoor lighting in the impact area to be hooded to direct away from, or prevent light from entering, open space areas of the project site. Light intensity should be set as low as possible while meeting the primary objective of the outdoor lighting. Exterior night lighting should not exceed 800 lumens in intensity.

Monitoring and Timing: The applicant shall submit to the Planning Division plans that show the location, type, and intensity of lighting to be installed prior to the issuance of a zoning clearance for construction. Prior to final sign-off by Building and Safety for occupancy of the new structures, installed lighting shall be inspected for compliance with this required mitigation.

Standard of Success: Impacts to wildlife minimized.

Mapped Information: None

B. Wetland Habitats

Project: N; Cumulative: N

There are no wetlands within 300 feet of the project site; therefore, neither wetlands nor wetland buffer area are impacted by the project.

Significance Finding – Project Impacts: None.

Significance Finding – Cumulative Impacts: None.

C. Coastal Habitats

Project: PS-M; Cumulative: PS-M

IMPACT 5. DISTURBANCE OF COASTAL SAGE SCRUB HABITAT

The project will result in direct disturbance of Coastal Sage Scrub. Because the Weisberg property is part of a large, contiguous block of relatively undisturbed habitat, it is within an Environmentally Sensitive Habitat Area (ESHA). The 100-foot fuel modification zone, water tank, water well, and pipe trenching will result in disturbance of various Coastal Sage Scrub habitats (See Figure 12, Project Impacts to Natural Vegetation). This disturbance will be temporary, and for the most part will not involve any grading or paving that would permanently remove this habitat. The area immediately surrounding the construction pad has been cleared as a fuel break in the past, and native shrubs of the Coastal Sage Scrub community have re-colonized naturally. However, the fuel break will need to be continually maintained and cleared, which will negatively impact this sensitive habitat and the associated species.

Significance Finding – Project Impacts: Potentially Significant but Mitigable. The direct disturbance of Coastal Sage Scrub (ESHA) by vegetation clearing activities would result in disturbance of ESHA vegetation onsite; therefore, the impact is considered significant and mitigation is required as discussed in Mitigation Measure 6 (MM6: Protect Coastal Sage Scrub on the project site) and Mitigation 7 (MM7: Restore Disturbed Areas on the Project Site). The combination of these mitigation measures should be sufficient to mitigate for project impacts to Coastal Sage Scrub.

Significance Finding – Cumulative Impacts: Potentially Significant but Mitigable. The direct loss of Coastal Sage Scrub habitats would contribute to the cumulative loss of Coastal Sage Scrub and Chaparral (ESHA) in Ventura County and statewide. Therefore, the cumulative impact is considered significant. Mitigation Measure 8 (MM8: Fund Restoration/Preservation Projects in the Santa Monica Mountains Region) details options for mitigating the cumulative effects of this project by funding restoration or preservation of nearby, similar habitats. This mitigation measure will sufficiently mitigate for cumulative impacts to Coastal Sage Scrub as part of this project.

Avoidance and Minimization Measures: A detailed mitigation plan should be developed to minimize impacts and to ensure successful mitigation for impacts to sensitive habitats as discussed in Mitigation Measure 6 (MM6), Mitigation Measure 7 (MM7) and Mitigation Measure 8 (MM8).

MITIGATION MEASURE 6: PROTECT COASTAL SAGE SCRUB ON THE PROJECT SITE

Impact & Mitigation Goal: Eliminate further impacts to Coastal Sage Scrub on the project site.

Mitigation Action: No Coastal Sage Scrub will be removed or disturbed other than the areas disturbed by the installation of the water tank, water well, pipe trenching, landscaping, and fuel

modification zone. All Coastal Sage Scrub not disturbed by project activities will be protected from future development and disturbance. Areas of Coastal Sage Scrub to be protected shall be placed under a deed restriction recorded with the Ventura County Assessor's Office or other appropriate agency.

Monitoring and Timing: If any additional Coastal Sage Scrub is removed or disturbed after implementation of the project, further mitigation such as restoration of Coastal Sage Scrub may be required.

Standard of Success: Impacts to Coastal Sage Scrub are minimized. No Coastal Sage Scrub is impacted beyond that which will be disturbed due to implementation of this project.

Mapped Information: All plant communities not within the construction footprint as shown in Figure 12, Project Impacts to Natural Vegetation, are Coastal Sage Scrub. These areas of the property will all be protected from any future development or disturbance. A surveyor's map and metes and bounds description shall be created to determine the bounds of the deed restricted area and submitted to the appropriate county agency.

MITIGATION MEASURE 7: FUND RESTORATION/PRESERVATION PROJECTS IN THE SANTA MONICA MOUNTAINS REGION

Impact & Mitigation Goal: Offset cumulative impacts to Coastal Sage Scrub by funding restoration or preservation projects in the Santa Monica Mountains region.

Mitigation Action: The applicant shall permanently protect Coastal Sage Scrub habitat ESHA on land located outside the Project area within the Santa Monica Mountains. The Permittee shall protect the ESHA: (1) through the direct acquisition and dedication (donation) to a conservation organization; or (2) by a funding contribution to a conservation organization to accomplish this objective (if available). For the purposes of this mitigation measure, the conservation organization must meet all of the following criteria:

- (a) It must be a public conservation agency, or a private non-profit organization chartered under the US Code, Title 26, Part 501(c)3, whose primary purpose is the preservation and protection of land in its natural, scenic, historical, recreational and/or open space condition.
- (b) If it is a private non-profit organization, then it must be either a statewide, national or international organization, or a local community-based organization with a membership of at least 500 individuals and/or businesses.
- (c) It must have owned and/or managed natural resource/open space property, at least 50 acres in area, for at least one year. In lieu of meeting this requirement, a Conservation Organization may provide a financial surety to ensure the stewardship of the Conservation Parcel for a period of five years.
- (d) It must have the institutional and economic ability to maintain the property.

Compensatory mitigation sites shall be protected in perpetuity through a conservation easement (if off-site).

Purchasing privately property in fee that contains similar habitats as those impacted and transferring ownership to a trust or land conservancy is also another viable option. Purchase of credits from a mitigation bank or acquiring vacant property may sufficiently mitigate for cumulative impacts to Coastal Sage Scrub.

Monitoring and Timing: Prior to issuance of a Zoning Clearance for Construction the applicant shall submit an ESHA Protection Plan to the Planning Division for Review and approval. Prior to occupancy, the conservation easement, lease, deed, license, or other mechanism that grants the conservation organization the authority to protect and maintain the ESHA shall be recorded.

Standard of Success: Compensatory preservation of Coastal Sage Scrub habitat within the Santa Monica Mountains to at least a 2:1 ratio.

Mapped Information: None.

D. Wildlife Movement and Connectivity (migration corridors) Project: LS, Cumulative: LS

IMPACT 6. DISRUPTION OF WILDLIFE MOVEMENT AND CONNECTIVITY

The project site is not mapped by South Coast Wildlands (Penrod et al. 2006) as any particular movement category. Permanent and cumulative impacts to wildlife movement resulting from loss of native natural vegetation and species-specific wildlife habitat are considered less than significant since the project site is not mapped as any particular wildlife movement category. Although the impact to wildlife movement is considered less than significant, the following mitigation measures will be required to reduce impacts to wildlife movement to the minimum extent possible:

Significance Finding for Weisberg Property as a Wildlife Corridor – Project Impacts: Less-Than-Significant. DMEC finds that project site is not mapped as any particular movement category nor does it serve that function; rather, it is core habitat. There are no project significant impacts to wildlife movement.

Significance Finding for Weisberg Property as a Wildlife Corridor – Cumulative Impacts: Less-Than-Significant. DMEC finds that project site is not mapped as any particular movement category nor does it serve that function; rather, it is core habitat. There are no project significant impacts to wildlife movement.

Avoidance and Minimization Measures: Mitigation Measure 9 (MM9) describes measures that will ensure that wildlife is not harmed during construction, including avoiding contact with wildlife, avoiding removing native vegetation to the maximum extent possible, minimizing effects of nighttime noise, and minimizing the use of chemicals.

MITIGATION MEASURE 8: RESTRICT CONSTRUCTION ACTIVITIES

Impact & Mitigation Goal: The minimization of impacts from construction activities upon wildlife movement in the project area.

Mitigation Action: DMEC recommends that during all phases of construction the following actions be taken:

- Avoid removing natural vegetation to the maximum extent possible within the project area;
- Avoid contact with, or aggravating, any wildlife that may be encountered;
- Reduce noise levels during the night hours between 10:00 P.M. and 5:00 A.M.;
- Reduce or eliminate night lighting; and

- Restrict the use of chemicals or poisons around construction areas and completed project. All such materials onsite shall be stored in locked cabinets or structures.

Monitoring and Timing: Because these impacts are considered to be less than significant, monitoring is not required, however, DMEC recommends that these actions be taken during all phases of construction on the project site.

Standard of Success: Minimizing impacts from construction activities upon wildlife movement in the project area.

Mapped Information: None

E. Locally Important Species/Communities

Project: PS-M; Cumulative: PS-M

The construction of the residence, water tank, and water well, as well as required fuel modification zone, is expected to impact 1.837 acres of Coastal Sage Scrub, an Environmentally Sensitive Habitat Area (ESHA). It is also possible that there are locally important species within the fuel modification zone that DMEC did not observe during the 2022 surveys.

Significance Finding – Project Impacts: Potentially Significant but Mitigable. Mitigation Measure 6 (MM6) and Mitigation Measure 7 (MM7) should be implemented to protect remaining Coastal Sage Scrub and to mitigate for areas of Coastal Sage Scrub that will be disturbed. If locally important species are found within the construction area and or fuel modification zone during the spring survey, mitigation may be required as described in Mitigation Measure 1 (MM1) and Mitigation Measure 2 (MM2).

Significance Finding – Cumulative Impacts: Potentially Significant but Mitigable. Any loss of locally important species would contribute to the cumulative loss of locally important species in Ventura County and statewide. Mitigation Measure 8 (MM8) would offset this impact.



Avoidance and Minimization Measures: Mitigation Measure 1 (MM1) and Mitigation Measure 2 (MM2) will be implemented for *Calochortus catalinae*, *C. plummerae*, and *Dichondra occidentalis* occurrences within the grading areas. A detailed mitigation plan shall be developed to minimize impacts and to ensure successful mitigation for impacts to sensitive habitats as discussed in Mitigation Measure 6 (MM6), Mitigation Measure 7 (MM7) and Mitigation Measure 8 (MM8).

SECTION 5. PHOTOGRAPHS

Figure 14. Site Photo Locations



Location		
SA1		
Map Key		
P1		
Direction		
South		
Description		
<p>View of the construction pad where the project is proposed, from the northeastern part of the parcel. Photo taken during the 18 April 2022 survey. The truck is located in the turnaround circle area just N of where the house is proposed.</p>		
Location		
SA1		
Map Key		
P2		
Direction		
South		
Description		
<p>View southward from the central part of the parcel on the west side of the hill where the proposed house would be constructed. The access road is located to the right and downslope. Photo taken during the 18 April 2022 survey.</p>		

Location	
SA1	
Map Key	
P3	
Direction	
ENE	
Description	<p>View of Coastal Cactus Scrub on the parcel immediately north of the project parcel. View east-northeast, taken on 19 April 2022.</p>
Location	
SA1	
Map Key	
P4	
Direction	
North	
Description	<p>View of southwest-facing slope of existing access road with Ruderal vegetation growing on the berms and with <i>Malosma laurina</i> Shrubland Alliance and <i>Artemisia californica</i> Shrubland Alliance on the slope above. This photo was taken on 19 April 2022 from the parcel south of the project parcel.</p>

Location	
SA1	
Map Key	
P5	
Direction	
North	
Description	
View of the house pad as seen from near the location of the proposed pool. The old Jeep road that passes through this site can be seen climbing the hill on the parcel to the north.	
Location	
SA1	
Map Key	
P6	
Direction	
Northeast	
Description	
View facing north at the driveway area on the northwest corner of the house pad area. The existing water well is indicated by the white stand pipe just beyond the cleared area. The tall thin white pole beyond is the northern property line.	

SECTION 6. GLOSSARY

ABBREVIATIONS AND ACRONYMS USED

CEQA = California Environmental Quality Act

ISBA = Initial Study Biological Assessment

WIS = Wetland Indicator Status

Corps = U.S. Army Corps of Engineers

CDFW = California Department of Fish and Wildlife (formerly California Department of Fish and Game)

CNDDDB = California Natural Diversity Database

CNPS = California Native Plant Society

USFWS =

ac = acres

ha = hectares

m = meters

mi = miles

sq = square

T = Threatened

E = Endangered

R = Rare

D = Delisted

LIS = Locally Important Species

LR = Locally Rare Plant – 1-5 extant populations in Ventura County

LU = Locally Uncommon Plant – 6-10 extant populations in Ventura County

DEFINITIONS OF TECHNICAL TERMS USED

Special-status Species = includes all plant and wildlife species that are considered endangered, threatened, rare, locally important, and/or sensitive by one or more resource or conservation organization.

SECTION 7. ACKNOWLEDGEMENTS

This report was written by David Magney. Graphics were created by Mr. Magney and Victoria Peters. The field survey was conducted by Mr. Magney. Photographs were taken by Mr. Magney.

Project site plans and descriptions of project components were provided by Mr. Weisberg.

Chris Nelson & Associates, Inc., developed and provided the grading plans.

The landscaping plans were developed by ZAA Studio.

Robin Murray of Rincon Consultants provided suggestions on appropriate mitigation for impacts to *Calochortus* species and assisted with locating *C. plummerae* plants onsite during the June 2022 survey.

SECTION 9. CITATIONS

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PERSONAL COMMUNICATIONS

- Knudsen, Kerry, Curator of Lichen Herbarium, University of California, Riverside, kerry.knudsen@ucr.edu, email communications 18 September 2015 with David Magney regarding identifications of several lichen species found onsite.
- Rebman, Jon, Ph.D., Curator of Botany, San Diego Natural History Museum, jrebman@sdnhm.org, email communication on 28 September 2015 with David Magney regarding identification of *Opuntia microdasys* ssp. *rufida* found on parcel owned by Mr. Weisberg to the south.



Roberts, Fred, Jr., Botanist, expert on *Calochortus* species, antshrike@cox.net, Facebook communications on 17 & 23 June 2022 with David Magney regarding identification of *Calochortus plummerae* and *C. weedii* var. *vestitus*.

David Magney Environmental Consulting

P.O. Box 1539, Cedar Ridge, California 95924-1539 * E-mail: david@magney.org
530/273-1799 Voice * 805/701-2132 Cell

16 March 2023

Michael Weisberg
10715 Yerba Buena Road
Malibu, CA 90265

Subject: Clarification regarding impacted vegetation requiring mitigation (APN 700-0-60-100)

Dear Michael:

Per our conversation with Jennifer Trunk of Ventura County Planning regarding the total area of your project site requiring mitigation for proposed and past impacts to sensitive natural vegetation on APN 700-0-60-100, Table 1 of the ISBA on page 5 estimates the total area to be impacted is approximately 2.998 acres, less 0.203 acre for the original (pre-1974) disturbance by the Jeep Trail, equaling 2.785 acres.

An area on the western portion of the project parcel was previously disturbed without benefit of a grading permit prior to your purchase of the property, most of which has since naturally revegetated. Approximately 0.25 acre of this area appears to have not naturally recolonized. I proposed, and the county agreed, that I or another qualified biologist will monitor the progress of natural revegetation of this area, which will be considered onsite mitigation and an additional 0.25 acre of offsite mitigation.

The 2.785 acres to be impacted by the proposed house and facilities, including required fuel modification plan, will be mitigated offsite in a manner still to be determined at a 2:1 ratio, for a total of 5.57 acres, plus the additional 0.25 acre for a combined total area of mitigation will equal 5.84 acres.

Table 16, page 60, of the ISBA shows a total ESHA impact of 1.837 acres, with the remaining area impacted not considered ESHA (at 0.076 acre).

Please let me know if you require anything else on this issue.

Sincerely,



David L. Magney
Certified Consulting Botanist #0001

David Magney Environmental Consulting

P.O. Box 1539, Cedar Ridge, California 95924-1539 * E-mail: david@magney.org
530/273-1799 Voice * 805/701-2132 Cell

Subject: House Site Alternatives Considerations (APN 700-0-060-100)

In May 2022, Michael Weisberg retained David Magney Environmental Consulting and specifically me David Magney, approved biologist with Ventura County for biological assessment of APN: 700-0-060-100. From my initial meeting with Mr. Weisberg and with information from his geologist it was understood that the western portion of the parcel was in a landslide area and not suitable for a future home site, as determined by mid 1990's geological examination. Any disturbance in this western section from the mid 1990's had already restored naturally. Our evaluation of historical aerial imagery dating back to May 1975 identified a Jeep trail that ran along the eastern portion of the parcel and had ESHA disturbance of approximately 0.203 acre of that area. With the combination of the already disturbed ESHA and the fact that the landside made the western portion unsuitable for the house, it was ultimately determined that the only feasible location for the home site would have to be on the eastern portion of the parcel. This was the least damaging to ESHA as well as the only suitable location and no further site analysis was warranted.

Feel free to contact me if you need further information.

Sincerely,



David L. Magney
Certified Consulting Botanist #0001

David Magney Environmental Consulting

P.O. Box 1539, Cedar Ridge, California 95924-1539 * E-mail: david@magney.org
 530/273-1799 Voice * 805/701-2132 Cell
 www.magney.org

4 October 2023

Michael Weisberg
 17015 Yerba Buena Road
 Malibu, CA 90265

Subject: Addendum to Weisberg ISBA dated 3 August 2022 for 107xx Yerba Buena Road (APN 700-0-060-100)

Dear Michael,

This addendum to the Initial Study Biological Assessment dated 3 August 2022 corrects minor errors in the acres of impacted Environmentally Sensitive Habitat Area (ESHA) on the proposed project site. Table 16 below replaces Table 16 in the ISBA.

Table 16. Existing Habitats and Land Cover and Expected Project Impacts

Existing Habitats and Land Cover Observed	Total Onsite Acres	Onsite ESHA Acres	Onsite Impact Acres	Onsite ESHA Impact Acres	Offsite ESHA Impact Acres	Total Impact Acres
<i>Adenostoma fasciculatum</i> Shrubland Alliance (AF)	0.223	0.223	0.0	0.0	0.0	0.0
<i>Artemisia californica</i> - <i>Salvia</i> Shrubland Alliance (AC)	11.935	11.935	1.021 ¹	1.021	0.0	1.021
<i>Heteromeles arbutifolia</i> Shrubland Alliance (HA)	0.215	0.215	0.0	0.0	0.0	0.0
<i>Malacothamnus fasciculatus</i> Shrubland Alliance (MF)	0.795	0.795	0.269 ²	0.269	0.0	0.269
<i>Malosma laurina</i> Shrubland Alliance (ML)	7.080	7.080	0.547 ³	0.547	0.0	0.547
<i>Opuntia oricola</i> Shrubland Alliance (OO)	0.205	0.205	0.0	0.0	0.0	0.0
Ornamental Landscaping (OL)	0.100	0.100	0.0	0.0	0.0	0.0
Ruderal (R – 1,2, & 3)	1.558	0.073	0.121	0.042	0.0	0.121
Road	2.977	0.0	N/A	N/A	N/A	0.0
Acreage Totals	25.088	20.526	1.958	1.879	0.0	1.958

¹ A total of 1.048 acres of existing *Artemisia californica* Shrubland Alliance will be impacted; however, 0.027 acre of that occurs along the old Jeep trail and is deducted from the impact total accordingly.

² A total of 0.272 acre of existing *Malacothamnus fasciculatus* Shrubland Alliance will be impacted; however, 0.003 acre of that occurs along the old Jeep trail and is deducted from the impact total accordingly.

³ A total of 0.549 acre of existing *Malosma laurina* Shrubland Alliance will be impacted; however, 0.002 acre of that occurs along the old Jeep trail and is deducted from the impact total accordingly.

Ruderal habitat in the western portion of the 5-acre parcel was incorrectly not considered ESHA; however, since this area was disturbed after enactment of the California Coastal Act without the benefit of a permit, impacts to the original natural vegetation, presumed to be Coastal Sage Scrub/Chaparral, impacts to it will require mitigation after-the-fact.

The additional 0.042 acre of Ruderal Coastal Sage Scrub not previously calculated as ESHA will be mitigated at a 2:1 ratio, with half mitigated onsite and the other half mitigated offsite as part of the offsite preservation parcels that have similar habitats as occurring on the project site.

Approximately 0.02/900 sqft acre of Ruderal habitat associated with the previously proposed second driveway will be restored to CSS/Chaparral habitat with an equal area mitigated on the dedicated offsite parcels. This area was included as impacted ESHA that required mitigation offsite. Now this area will be restored to native habitat and an equal area will be mitigated on the dedicated offsite parcels. Details of how the onsite mitigation will occur will be described in the Rare Plant and Habitat Restoration Mitigation Plan currently under development by my team at Althouse and Meade, Inc.

The figure 4 below is an updated development plan and replaces Figure 4 in the ISBA.

Table 1 of the ISBA on page 5 of the ISBA estimates the total area to be impacted is approximately 2.998 acres, less 0.203 acre for the original (pre-1974) disturbance by the Jeep Trail, equaling 2.785 acres/121,314 sqft. The 2.785 acres to be impacted by the proposed house and facilities, including required fuel modification plan, will be mitigated offsite in a manner at a 2:1 ratio, for a total of 5.57 acres/242,629 sqft, plus the additional 0.25 acre/10,890 sqft for an area on the western portion of the project parcel was previously disturbed without benefit of a grading permit, plus 0.042 acres/1,829 sqft of Ruderal Coastal Sage Scrub non-previously calculated and 0.02 acre/871 sqft for the removal of second driveway which is now updated in Figure 4, Preliminary Grading Plan, for a combined total area of mitigation will equal 5.862 acres, updates Figure 4 in the ISBA.

In summary, 0.312 acre will be mitigated onsite and 5.862 acres will be mitigated offsite to satisfy the required 2:1 mitigation ratio for impacts to ESHA.

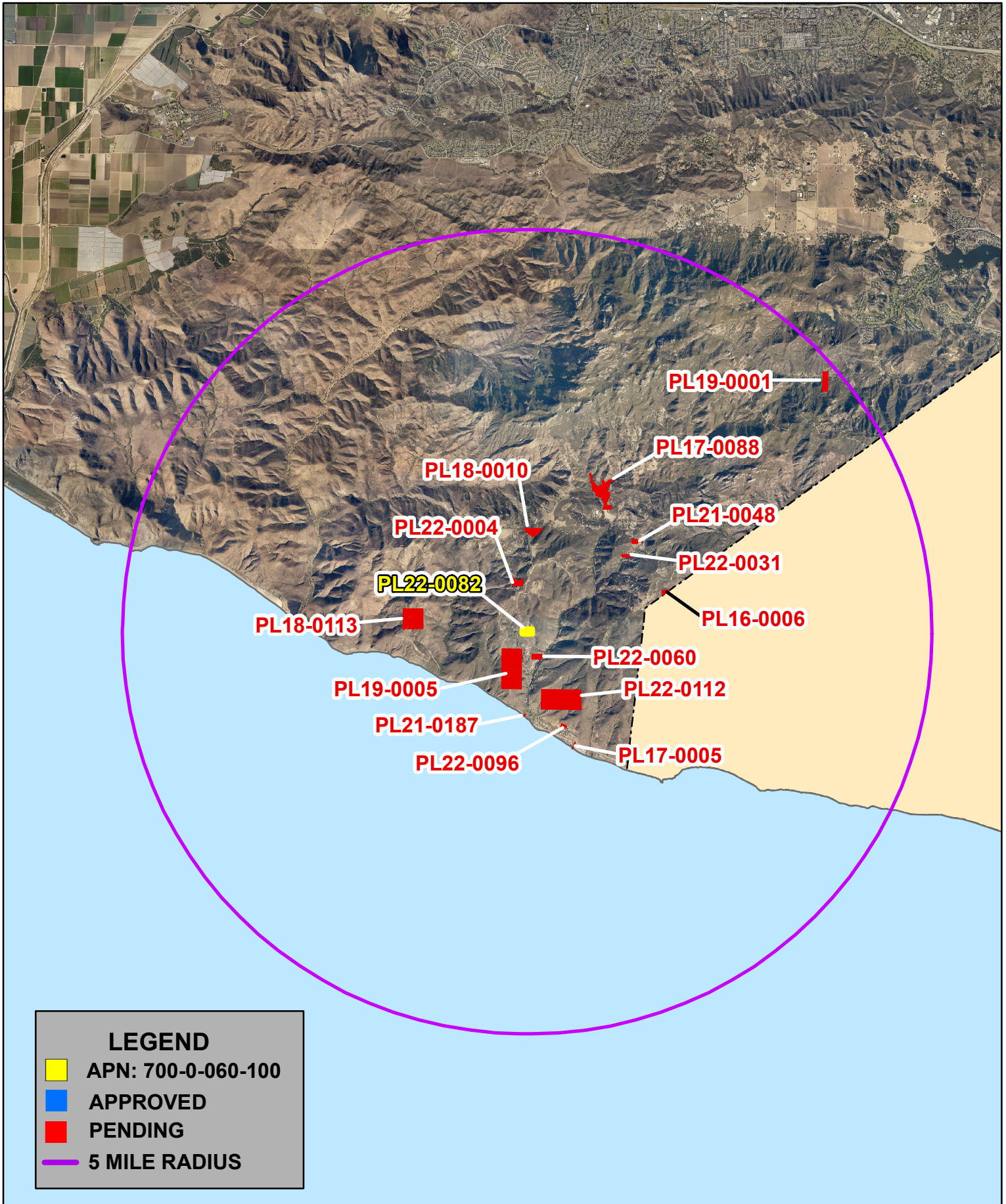
Figure 4. Preliminary Grading Plan



Please let me know if you need anything else.

Respectfully,

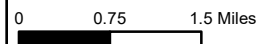
David L. Magney



Ventura County, California
 Resource Management Agency
 GIS Development & Mapping Services
 Map Created on 09-07-2022
 This aerial imagery is under the
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 Source: Vexcel 2020



County of Ventura
 Initial Study/ Mitigated Negative Declaration
 Case No. PL22-0082
 Attachment 4 - Map of Past, Present, and
 Reasonably Foreseeable Future Projects
 Used in the Cumulative Impacts Analysis



Disclaimer: This Map was created by the Ventura County Resource Management Agency, Mapping Services - GIS which is designed and operated solely for the convenience of the County and related public agencies. The County does not warrant the accuracy of this map and no decision involving a risk of economic loss or physical injury should be made in reliance thereon.



RH

PL22-0082 Yerba Buena SFD ROGNOx - Ventura County APCD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

**PL22-0082 Yerba Buena SFD ROGNOx
Ventura County APCD Air District, Summer**

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Single Family Housing	1.00	Dwelling Unit	0.32	4,880.00	3

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.6	Precipitation Freq (Days)	31
Climate Zone	8	Operational Year	2024		
Utility Company	Southern California Edison				
CO2 Intensity (lb/MWhr)	390.98	CH4 Intensity (lb/MWhr)	0.033	N2O Intensity (lb/MWhr)	0.004

1.3 User Entered Comments & Non-Default Data

- Project Characteristics -
- Land Use - per applicant
- Construction Phase - per applicant
- Grading -
- Architectural Coating - per APCD Rule 74.2, Architectural Coatings
- Energy Use - per applicant, solar panels will power home's electric needs

Table Name	Column Name	Default Value	New Value
tblArchitecturalCoating	EF_Nonresidential_Exterior	100.00	50.00
tblArchitecturalCoating	EF_Nonresidential_Interior	100.00	50.00
tblArchitecturalCoating	EF_Residential_Exterior	100.00	50.00
tblArchitecturalCoating	EF_Residential_Interior	75.00	50.00

County of Ventura
 Initial Study/ Mitigated Negative Declaration
 Case No. PL22-0082
 Attachment 5 - CalEEMod ROGNOx Air
 Quality Impact Model for PL22-0082

PL22-0082 Yerba Buena SFD ROGNOx - Ventura County APCD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

tblConstructionPhase	NumDays	10.00	0.00
tblConstructionPhase	NumDays	2.00	30.00
tblConstructionPhase	NumDays	100.00	330.00
tblConstructionPhase	PhaseEndDate	10/14/2022	10/2/2022
tblConstructionPhase	PhaseEndDate	10/19/2022	11/28/2022
tblConstructionPhase	PhaseEndDate	3/8/2023	1/24/2024
tblEnergyUse	NT24E	6,155.97	0.00
tblEnergyUse	T24E	53.28	0.00
tblLandUse	LandUseSquareFeet	1,800.00	4,880.00

2.0 Emissions Summary

PL22-0082 Yerba Buena SFD ROGNOx - Ventura County APCD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	10/3/2022	10/2/2022	5	0	
2	Site Preparation	Site Preparation	10/15/2022	10/17/2022	5	1	
3	Grading	Grading	10/18/2022	11/28/2022	5	30	
4	Building Construction	Building Construction	10/20/2022	1/24/2024	5	330	
5	Paving	Paving	3/9/2023	3/15/2023	5	5	
6	Architectural Coating	Architectural Coating	3/16/2023	3/22/2023	5	5	

Acres of Grading (Site Preparation Phase): 0.5

Acres of Grading (Grading Phase): 22.5

Acres of Paving: 0

Residential Indoor: 9,882; Residential Outdoor: 3,294; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 0 (Architectural Coating – sqft)

OffRoad Equipment

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	1.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	2	6.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37

PL22-0082 Yerba Buena SFD ROGNOx - Ventura County APCD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

Grading	Graders	1	6.00	187	0.41
Grading	Rubber Tired Dozers	1	6.00	247	0.40
Grading	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Building Construction	Cranes	1	4.00	231	0.29
Building Construction	Forklifts	2	6.00	89	0.20
Building Construction	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Paving	Cement and Mortar Mixers	4	6.00	9	0.56
Paving	Pavers	1	7.00	130	0.42
Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

Trips and VMT

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	4	10.00	0.00	0.00	10.80	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	2	5.00	0.00	0.00	10.80	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Grading	3	8.00	0.00	0.00	10.80	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	5	0.00	0.00	0.00	10.80	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Paving	7	18.00	0.00	0.00	10.80	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	0.00	0.00	0.00	10.80	7.30	20.00	LD_Mix	HDT_Mix	HHDT

3.1 Mitigation Measures Construction

PL22-0082 Yerba Buena SFD ROGNOx - Ventura County APCD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	0.0279	0.0295														
Unmitigated	0.0279	0.0295														

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Single Family Housing	9.44	9.54	8.55	25,772	25,772
Total	9.44	9.54	8.55	25,772	25,772

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Single Family Housing	10.80	7.30	7.50	32.90	18.00	49.10	86	11	3

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Single Family Housing	0.548670	0.058343	0.171689	0.130773	0.027316	0.007545	0.011806	0.006161	0.000681	0.000392	0.029028	0.000637	0.006958

PL22-0082 Yerba Buena SFD ROGNOx - Ventura County APCD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

6.2 Area by SubCategory

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.0136															
Consumer Products	0.1044															
Hearth	0.0000	0.0000														
Landscaping	2.4800e-003	9.5000e-004														
Total	0.1205	9.5000e-004														

7.0 Water Detail

7.1 Mitigation Measures Water

PL22-0082 Yerba Buena SFD ROGNOx - Ventura County APCD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied**8.0 Waste Detail**

8.1 Mitigation Measures Waste**9.0 Operational Offroad**

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	-----------	-------------	-------------	-----------

10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	------------	-------------	-------------	-----------

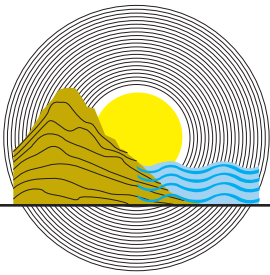
Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
----------------	--------	----------------	-----------------	---------------	-----------

User Defined Equipment

Equipment Type	Number
----------------	--------

11.0 Vegetation



GOLD COAST GEOSERVICES, INC.

Engineering Geologic and Geotechnical Consultants

May 25, 2022

File No. GC22-013278

MICHAEL WEISBERG

10715 Yerba Buena Road

Malibu, CA

SUBJECT: Onsite Wastewater Treatment System Design Report for Proposed Single Family Residence, APN 700-0-060-100, Yerba Buena Road, Malibu, County of Ventura.

Dear Mr. Weisberg:

In accordance with your request, this report presents design criteria for an Onsite Wastewater Treatment System (OWTS) for the proposed single family residence to be constructed on the subject property. It is our understanding that the proposed residence will have a total of 5 bedrooms, and a total of 54 plumbing fixture units. The proposed location of the residence and proposed OWTS layout are shown on the OWTS Plot Plan provided with this report.

SITE CONDITIONS

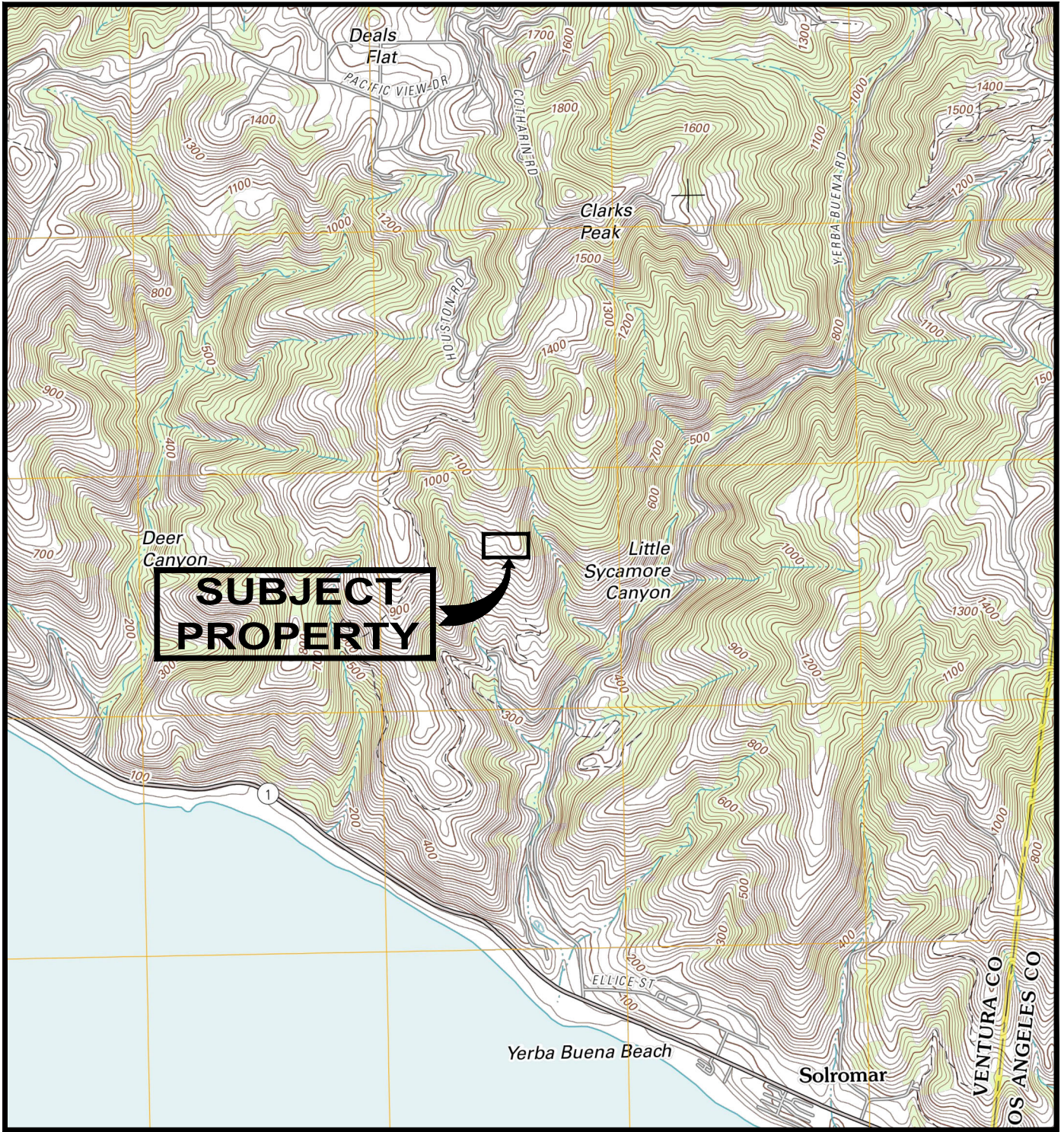
The site is located on the north side of Yerba Buena Road in the west Malibu area of Ventura County (see Site Location Map, Figure 1). The parcel incorporates southerly facing hillside terrain. Seepage pits are proposed for onsite wastewater disposal, due to the lack of suitable site conditions for leach lines (steep slope conditions and shallow bedrock).

The proposed seepage pits and septic tank are to be constructed with adequate setback distance of more than 150 feet from the closest drainage course. A water well is constructed more than 100 feet from the proposed septic tank and more than 150 feet from the proposed seepage pits, in conformance with the Uniform Plumbing Code (UPC) and County of Ventura criteria.

County of Ventura Initial Study/ Mitigated Negative Declaration Case No. PL22-0082 Attachment 6 - Onsite Wastewater Treatment System Design Report (Gold Coast Geoservices, Inc., May 2022) Addendum Letter (July 2022)

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BASE MAP: USGS 7.5' TRIUNFO PASS QUADRANGLE



**GOLD
COAST
GEOSERVICES, INC.**

SITE LOCATION MAP

APN 700-0-060-100, YERBA BUENA ROAD, MALIBU

DATE: 01/21/2022

FILE NO.: GC22-013278

FIGURE 1

FIELD INVESTIGATION

On January 17, 2022, boring B-1 was drilled to a total depth of 30 feet, and logged to determine subsurface geologic conditions and groundwater potential evaluation at the proposed seepage pit location shown on the Plot Plan. The earth materials encountered in exploratory boring B-1 are classified as Topanga Formation, consisting of sandstone interbedded with lesser siltstone and intrusive volcanics. A graphic and descriptive log of boring B-1 is provided herewith. No groundwater or indications of past high groundwater conditions, such as caliche or mottling or excessive moisture, were observed in boring B-1. It is our finding that a minimum of 10 feet will be maintained between the bottom of the proposed seepage pits and the highest elevation of groundwater, either seasonal or permanent.

PERCOLATION TESTING

Prior to percolation testing, boring B-1 was backfilled and sealed with a 12-inch cap of bentonite pellets to establish a total pit depth of 20 feet. On January 18, 2022, test boring B-1 was filled with water to within 5 feet of the ground surface, and allowed to pre-soak for 24 hours. On January 19, 2022, approximately 24 hours after initial filling with water, boring B-1 was found to contain no water. Boring B-1 was then refilled to within 5 feet of the ground surface, and percolation testing was performed in conformance with the “falling head” test method (in conformance with County of Ventura Environmental Health Division requirements). The percolation test results are summarized on the attached “Pit Performance Test Data Worksheet” for boring B-1. The percolation test results indicated a percolation rate of 10.23 gallons per square foot per day (a percolation rate of 5 gallons per square foot per day, the maximum allowable by the Uniform Plumbing Code, was used to determine seepage pit sizing criteria).

ONSITE WASTEWATER TREATMENT SYSTEM DESIGN

The OWTS components are shown on the OWTS Plot Plan with this report. The seepage pits are proposed to be constructed into the underlying Topanga Formation, a “Formation of Concern” per current County of Ventura Environmental Health Division policy. A “secondary” effluent treatment system capable of “de-nitrification” is proposed to be incorporated into the septic system, to meet current County of Ventura EHD ordinance due to the “formation of concern” into which wastewater effluent will be discharged. Bio-Microbics MicroFAST Model 0.9, a tertiary treatment tank system that meets current Ventura County EHD requirements, is proposed to be utilized in the OWTS (see Figure 2).

The treatment tank will discharge liquid effluent into two 5-foot diameter by 20 feet deep seepage pits. The seepage pits will have an effective depth of 15 feet each and shall be provided with a 5-foot thick earth cover above the rock filled portion of the seepage pit. A typical seepage pit detail is provided herewith (see Figure 3).

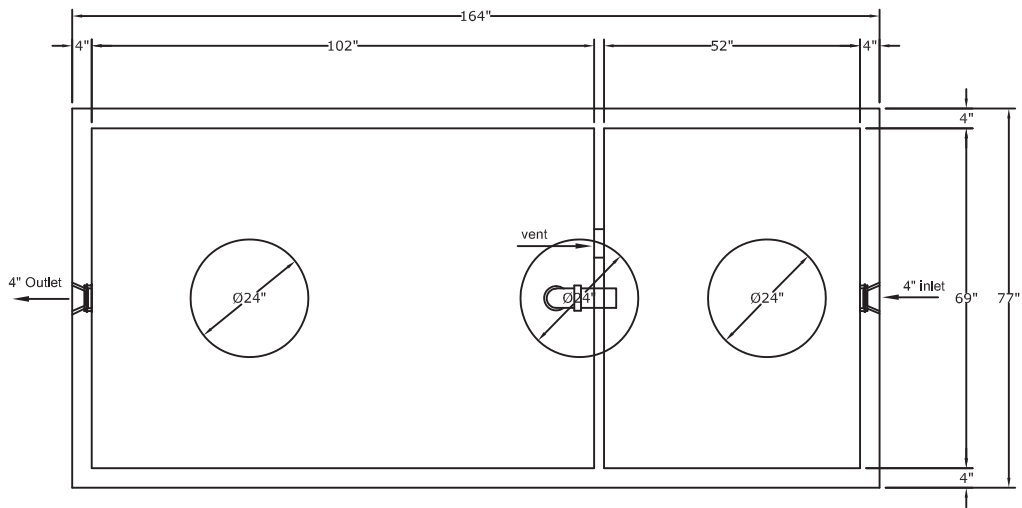
You must provide an expansion area for two “future” seepage pits, for possible future use should the primary seepage pits become inadequate to perform the intended function over time. The recommended locations of the “future” seepage pits are shown on the Plot Plan. The “future” seepage pits need not be constructed until such time as may be necessary.

INSTALLATION OBSERVATIONS

Installation of the septic system shall be observed and approved by the undersigned engineering geologist. Seepage pit construction shall be observed and approved by the engineering geologist. It is the responsibility of the owner or their representative to notify this office for required observations and approvals of the septic system construction work.

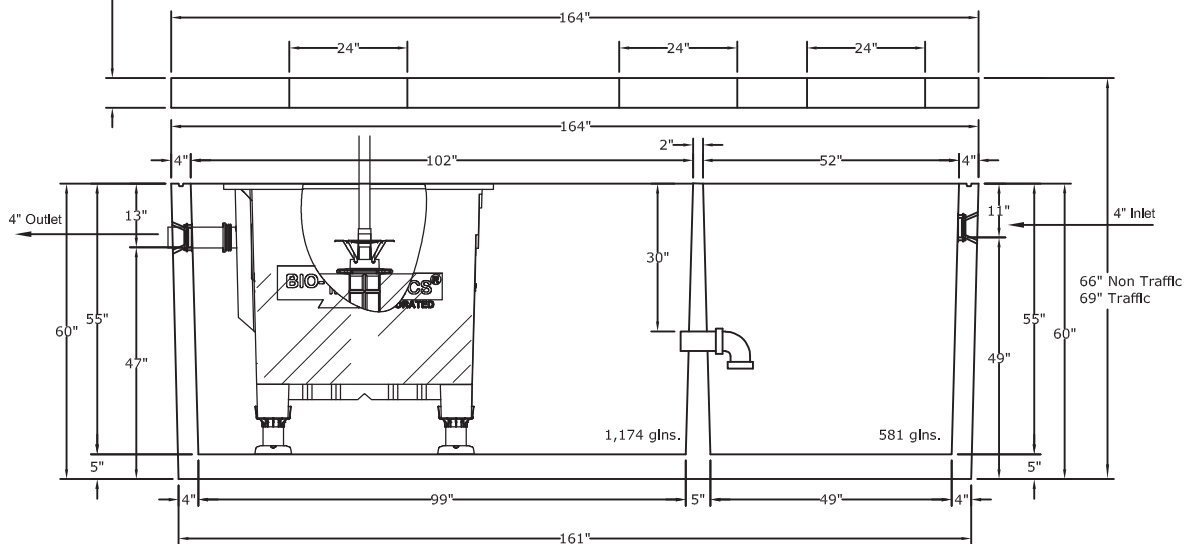
MAINTENANCE REQUIREMENTS

Maintenance of the septic system is vital to ensure a long-lasting, trouble-free system. You must follow the recommendations of the manufacturer, supplier, and installer of the system.



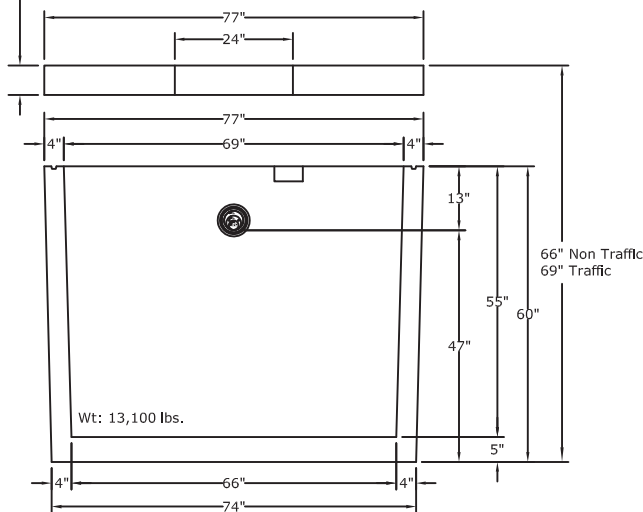
PLAN VIEW

6" Non Traffic Lid (Wt: 9,800 lbs)
9" Traffic Lid (Wt: 12,200 lbs)



LONGITUDINAL SECTION

6" Non Traffic Lid
9" Traffic Lid



OUTLET ELEVATION

SEPTIC TANKS SPECIFICATIONS:

1. Material Specifications:
 - 1.1. Concrete: Portland Cement ASTM C 150 and Federal Specification on Cement, SS-C 1960/3, Type II/V Low Alkali. Minimum Compressive Strength 5,000 at 28 days.
 - 1.2. Reinforcing Bars: ASTM A-706 / A-615, Grade 40 and 60.
2. All dimensions + or -, not to be used for construction purposes unless certified.
3. Standard ground water seal-butyl mastic, cement mortar, epoxy, or polyurethane.
4. Inlet and Outlet fittings installed in tank walls using "Polylok Pipe Seal". Low pressure pipe seals for precast tanks.
5. Tank to be placed on natural / native soil or approved compact fill.

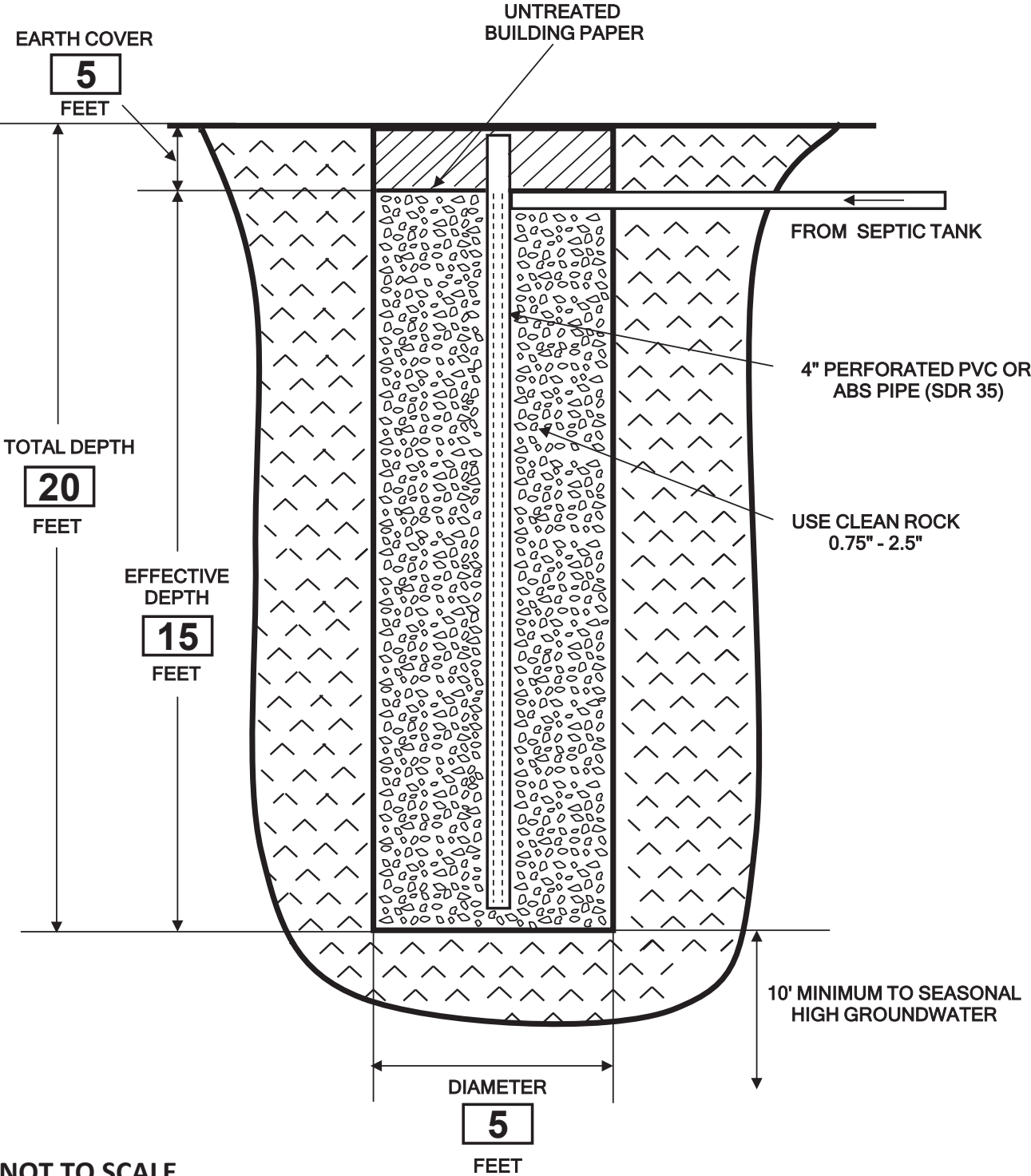


1625 E. DONOVAN RD., STE. C
SANTA MARIA, CA 93454
PH: (805) 928-2855
FAX: (805) 928-2114
www.midstateconcrete.com

2,000 GAL.
0.9 MicroFast TANK

FIGURE 2

CROSS-SECTION OF SEEPAGE PIT



Gold Coast
GeoServices, Inc.

TYPICAL SEEPAGE PIT DETAIL
VENTURA COUNTY

DATE: 05/2022

FIGURE 3

**WEISBERG
YERBA BUENA ROAD**

FILE NO. GC22-013278

REMARKS

Changes to the number of bedrooms or plumbing fixture units may affect the system design provided herein. Any such changes should be reviewed by this office prior to making those changes, to evaluate the septic system design as proposed.

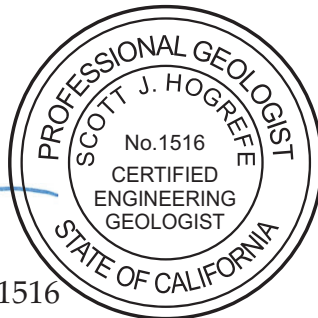
The data and conditions presented herein are generally considered valid for one year. Reports and system designs older than one year shall be updated to assure compliance with current regulations.

Please call this office at (805) 484-5070 If you have any questions regarding this report.

Respectfully submitted,

GOLD COAST GEOSERVICES, INC.


Scott J. Hogrefe, CEG 1516



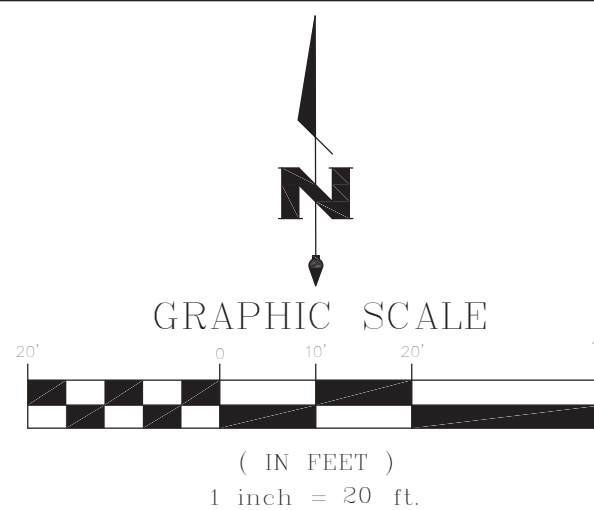
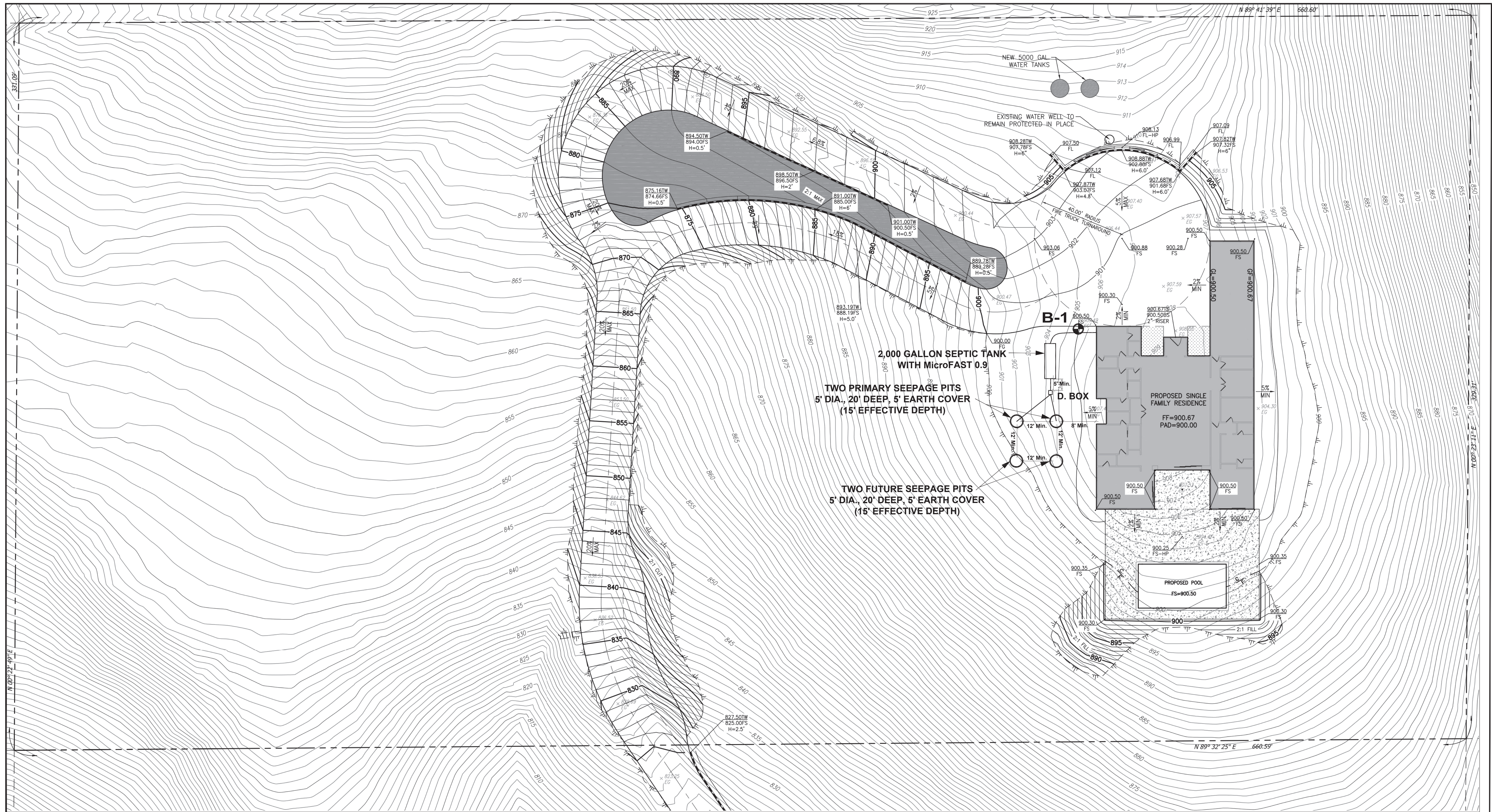
ONSITE WASTEWATER TREATMENT SYSTEM DESIGN

1. Planned usage: Single Family Residence
5 Bedrooms
54 Plumbing Fixture Units
2. Required septic tank capacity: **2,000 gallons**
3. Treatment tank sizing (due to EHD designated “formation of concern”):
5 bedroom equivalents: $1(300) + 4(150) = 900$ gallons/day
Treatment Tank: **Bio-Microbics MicroFAST Model 0.9**
4. Use Absorption Rate of 5 gallons per square foot per day for seepage pit sizing determination.
5. SEEPAGE PIT SIZING CALCULATIONS (5' diameter, 15' effective depth)
Required daily absorption capacity for seepage pits: **2,000 gallons per day (gpd)**
 $5' \times 15' \times \pi \times 5 \text{ gal./sq.ft./day} = 1,177 \text{ gal./day}$
TOTAL FOR 2 PITS = 2,354 gal./day
Provide two 5-foot diameter seepage pits with an earth cover of 5 feet each, and an effective depth of 15 feet. The total depth of the seepage pits will be 20 feet (as measured from the lowest adjacent grade).
6. It is the responsibility of the installation contractor to verify required setbacks prior to construction.

**WEISBERG
YERBA BUENA ROAD**

FILE NO. GC22-013278

**APPENDIX
OWTS PLOT PLAN AND BORING LOG**



GEOLOGIC LEGEND

B-1 APPROXIMATE LOCATION OF EXPLORATORY BORING

PLATE 1		GOLD COAST GEOSERVICES, INC.	
OWTS PLOT PLAN			
APN 700-0-060-100, YERBA BUENA ROAD, MALIBU			
DATE: 05-25-2022	SIZE: D	CLIENT: WEISBERG	REV:
FILE NO: GC22-013278	SCALE: 1" = 20'	DRAWN BY: IM	APPROVED BY: SJH
5251 VERDUGO WAY, SUITE J * CAMARILLO, CA 93012 * (805) 484-5070			

DESCRIPTION OF REVISION	RCE	DATE	APP.	APP. DATE

PREPARED BY:

CHRIS NELSON & ASSOCIATES, INC.
SURVEYORS AND ENGINEERS

APPROVED: COUNTY OF VENTURA

DATE: _____

BY: _____

DEVELOPMENT & INSPECTION SERVICES

**COUNTY OF VENTURA
PUBLIC WORKS AGENCY
DEVELOPMENT & INSPECTION SERVICES**

SPEC. NO. _____

PROJ. NO. _____

**CONCEPTUAL GRADING PLAN
YERBA BUENA PROPERTY
COUNTY OF VENTURA
APN: 700-0-060-100**

SHEET 2
OF 2

DRAWING NO. _____

GOLD COAST GEOSERVICES, INC.

SUB-SURFACE DATA

BORING LOG NO. B-1

PROJECT: APN 700-0-060-100, YERBA BUENA ROAD, MALIBU

FILE NO.: GC22-013278

ELEVATION: See Map

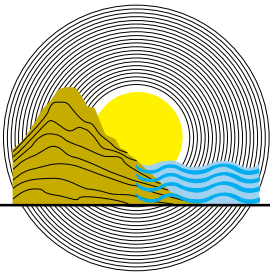
DATE: 1/17/2022

METHOD: 24" Flight Auger

DRILLING CO.: Roy Brothers Drilling, Inc.

SAMPLES		LAB DATA							GRAPHIC LOG	DESCRIPTION AND REMARKS
DEPTH (FT)	BULK	RING	MOISTURE (%)	DRY DENSITY (pcf)	COHESION (psf)	FRICTION ANGLE (deg)	OPTIMUM MOISTURE (%)	MAX. DENSITY (pcf)		
0									0' - 3'	<p>COLLUVIUM / RESIDUAL SOIL - Qc/Rs - (0' - 3') 0' - 3' - Reddish brown gravelly sandy clay, moist.</p>
-	X	X							3' - 8'	<p>CONEJO VOLCANICS - Tcv - (3' - 15') 3' - 8' - Multi colored basalt / andesite, very fractured, high angle fractures, hard to very hard.</p>
5									8' - 15'	<p>8' - 15' - Dark reddish brown to gray basalt, high angle to vertical joints, very hard.</p>
10									15' - 21'	<p>TOPANGA FORMATION - Tt - (15' - 30') 15' - 21' - Grayish brown sandstone, very fractured, tight fractures.</p>
15		X	10.7	110.4	1234	38			19' - 21'	<p>19' - N38W, 55-602SW (b)</p>
20									21' - 30'	<p>21' - 30' - Dark brown to very dark gray siltstone with thinly interbedded light brown sandstone.</p>
25										
30										End at 30' (coring required due to rock hardness)
35										<p>TOTAL DEPTH: 30' GROUNDWATER: NO REFUSAL: YES, at 30' CAVING: NO BACKFILLED: YES</p>
40										

COMMENTS: (b) - strike and dip of bedding



GOLD COAST GEOSERVICES, INC.

Engineering Geologic and Geotechnical Consultants

GEOTECHNICAL REPORT

Proposed Grading for Single-Family Residence, Swimming Pool,
and Access Road Improvements

APN 700-0-060-100

Yerba Buena Road

Malibu, County of Ventura

for:

MICHAEL WEISBERG

April 5, 2022

File No. GC22-013278

County of Ventura Initial Study/ Mitigated Negative Declaration Case No. PL22-0082 Attachment 7 - Geotechnical Report (Gold Coast Geoservices, Inc., April 2022)
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INTRODUCTION

This report presents the findings from an engineering geologic and soils engineering investigation of the property located in the South Coast/Santa Monica Mountains area within southern Ventura County. The purpose of this investigation was to determine the site geologic conditions and the nature, distribution, and engineering properties of the earth materials, with respect to the proposed grading to create a building pad for the development of a single family residence.

SCOPE OF WORK

The scope of work for this investigation included the completion of the following tasks:

- 1) Review of general geologic data pertaining to the site and its vicinity, including the following:
 - a. "Geologic Map of Southern Ventura County, California", California Division of Mines and Geology Preliminary Report 14, 1973.
 - b. California Division of Mines and Geology Open-File Report 76-5-LA, 1975.
 - c. Geologic Map of the Point Mugu/Triunfo Pass Quadrangles, by T. W. Dibblee, Jr., 1990.
 - d. Seismic Hazards Map of the Triunfo Pass Quadrangle, California Geological Survey, 2000.
 - e. Weber, H.A., "Map Showing Landslides of the Central and Western Santa Monica Mountains, Los Angeles and Ventura Counties, California", California Division of Mines and Geology Open-file Report 83-16 LA, 1983.
- 2) Geologic reconnaissance mapping of the site and vicinity, utilizing a topographic survey map and grading plan provided by the project civil engineer, *Chris Nelson and Associates, Inc.*
- 3) Sampling and logging of the earth materials exposed by 6 rotary auger borings to a maximum depth of 30 feet within the proposed building area. Bulk and relatively undisturbed samples of the earth materials encountered in the exploratory excavations were obtained and taken to our laboratory for testing to determine pertinent engineering properties.

- 4) Percolation testing to determine the feasibility and design requirements for seepage pits for on-site wastewater disposal.
- 5) Preparation of 2 Geologic Cross-Sections to show the surface and subsurface geologic conditions determined from this investigation with respect to the proposed grading and site development.
- 6) Engineering geologic and soils engineering analysis of the assembled data with respect to the proposed grading and site development.
- 7) Preparation of this report to present a discussion of our procedures, findings, and recommendations for site preparations, grading, and foundation design.

Geologic data and the approximate locations of the exploratory borings are shown on the Geotechnical Map included with this report in Appendix III. Graphic depiction of the subsurface geologic conditions with respect to the proposed grading and site development is presented on the Geologic Cross-Sections in Appendix III. Descriptions of the earth materials encountered in the exploratory borings are provided on the Boring Logs in Appendix III. Laboratory test results are presented in Appendix I.

PROPOSED DEVELOPMENT

As shown on the grading plan provided by the project civil engineer, *Chris Nelson and Associates, Inc.* (see base map for the Geotechnical Map provided in Appendix III), it is proposed to perform cut and fill grading to create the proposed building pad for the development of a single family residence and swimming pool atop a broad ridge at the easterly side of the 5-acre parcel. A cut embankment is planned at 1.5h:1v slope ratio along the northerly side of the building pad and to create the proposed driveway entrance, with maximum cut slope height of about 10 feet. Compacted earth fill embankments are proposed at 2h:1v slope ratio with maximum slope height of about 10 feet along the southerly side of the building pad, at the southerly side of the proposed pool pad site. No retaining walls are proposed.

An Onsite Wastewater Treatment System (OWTS) is proposed to be constructed, and will consist of a septic tank and seepage pits. Percolation testing was conducted at boring B-1, and adequate percolation rates were determined to verify that seepage pit construction is feasible at the proposed location along the westerly side of the proposed residence.

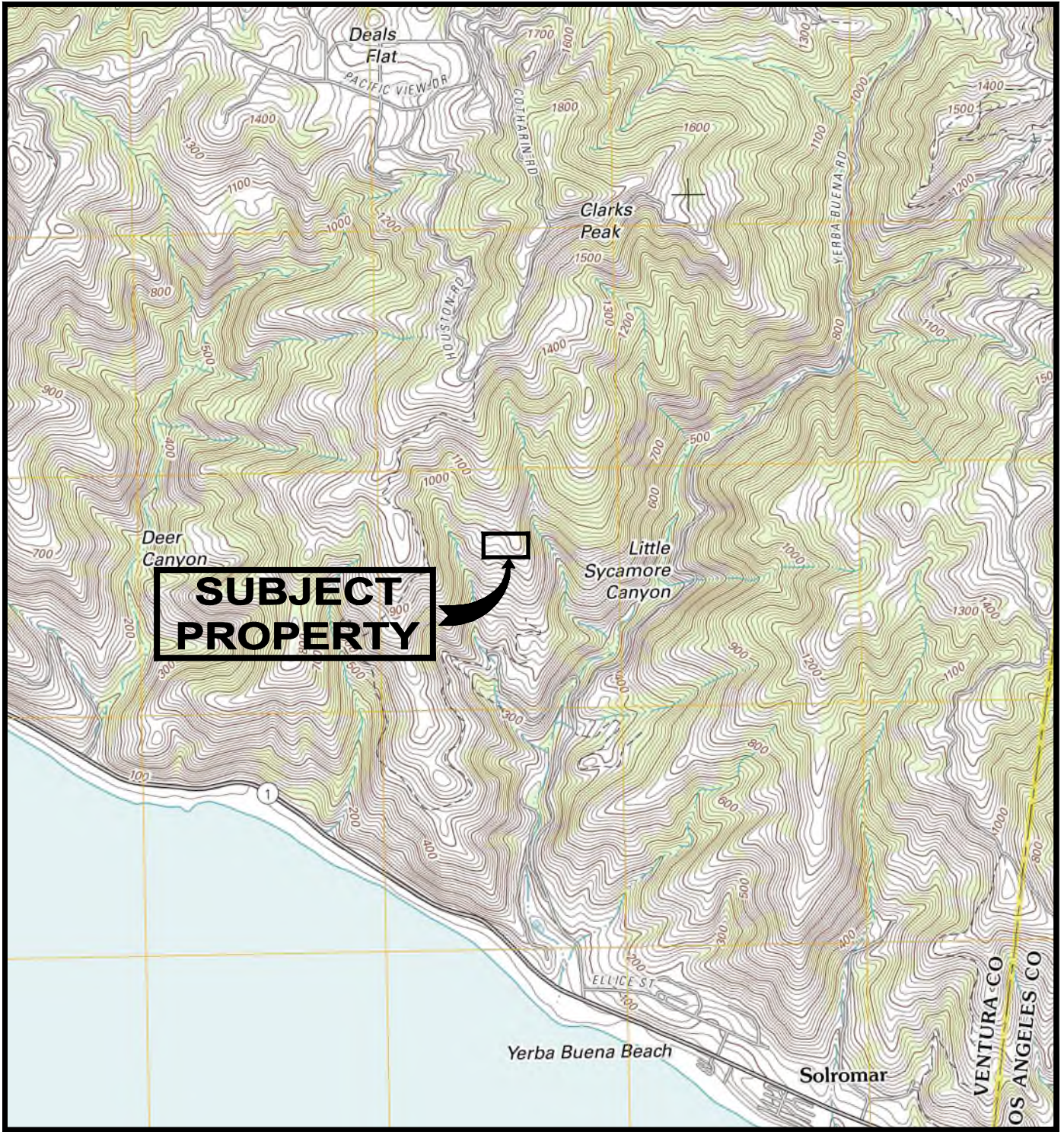
Vehicular access to the site is proposed along the existing unimproved driveway through the site, as shown on the grading plan. As shown on the plan, minor grading is proposed to establish a road bed condition that will meet the requirements of the Ventura County Fire Department and Ventura County Public Works Agency.

FINDINGS

Site Description

The property is located in the South Coast/Santa Monica Mountains area within Ventura County (see Site Location Map, Figure 1). The 5-acre parcel incorporates southerly trending ridge and valley terrain. The proposed building site is located atop a broad, southerly trending ridge at the northeast side of the parcel. A hillside descends at up to 1.5h:1v slope ratio, with slope height of about 200 feet, along the easterly side of the building site to the valley bottom within the confluence of Little Sycamore Canyon (see Geologic Cross-Section A-A'). As also shown on Cross-Section A-A' and Cross-Section B-B', the slope that descends along the westerly and northerly sides of the proposed building site are gentle, not exceeding 3h:1v slope ratio.

Vehicular access to the property is via an existing legal ingress/egress easement from Yerba Buena Road. No grading appears to have been previously performed within the proposed building area. Some light, undocumented grading has been previously performed within the property to establish the existing unimproved access driveway. Cut and fill embankments along the existing access road do not exceed a height of 5 feet. No adverse geologic conditions are exposed in the cut embankments along the existing access road.



BASE MAP: USGS 7.5' TRIUNFO PASS QUADRANGLE



**GOLD
COAST
GEOSERVICES, INC.**

SITE LOCATION MAP

APN 700-0-060-100, YERBA BUENA ROAD, MALIBU

DATE: 01/21/2022

FILE NO.: GC22-013278

FIGURE 1

Drainage

The building site is not located in an area that is subject to concentrated flows or flooding. Site drainage is by topographically controlled sheetflow runoff. No evidence of concentrated flows such as gullies or excessive erosion were observed at or adjacent to the proposed building site.

EARTH MATERIALS

The earth materials encountered during this investigation are classified as native soil (residual soil and slopewash or colluvium); and underlying sedimentary bedrock assigned to the Topanga Formation, with intrusive volcanics. The approximate distribution of the earth materials are shown on the Geotechnical Map. Descriptions of the earth materials are presented on the Boring Logs in Appendix III, and are also summarized as follows:

Native Soil

Native soil includes residual weathering products of the underlying bedrock, and slope wash or sheetflow deposits (colluvium) generated from sheet flow and mass wasting processes. The soil was found to be a maximum of about 4 feet in thickness within the proposed building area. The soil is composed of reddish brown gravelly sandy clay.

Topanga Formation (Tt) and Intrusive Volcanics (db)

The site is underlain by multi-colored dark yellowish brown, reddish gray, and reddish brown sandstone and siltstone. The bedrock is assigned to the middle Miocene age Topanga Formation. Diabasic volcanic rocks were encountered in boring B-1, overlying the Topanga Formation sedimentary bedrock. The bedrock was found to be hard and becomes very hard requiring rock coring at depths exceeding about 10 feet.

Groundwater

No groundwater was encountered to a maximum depth of exploration of 30 feet. The building site is not located in an area of high groundwater levels, however it is noted that temporary transient groundwater can occur due to seasonal rainstorms, and due to excessive irrigation.

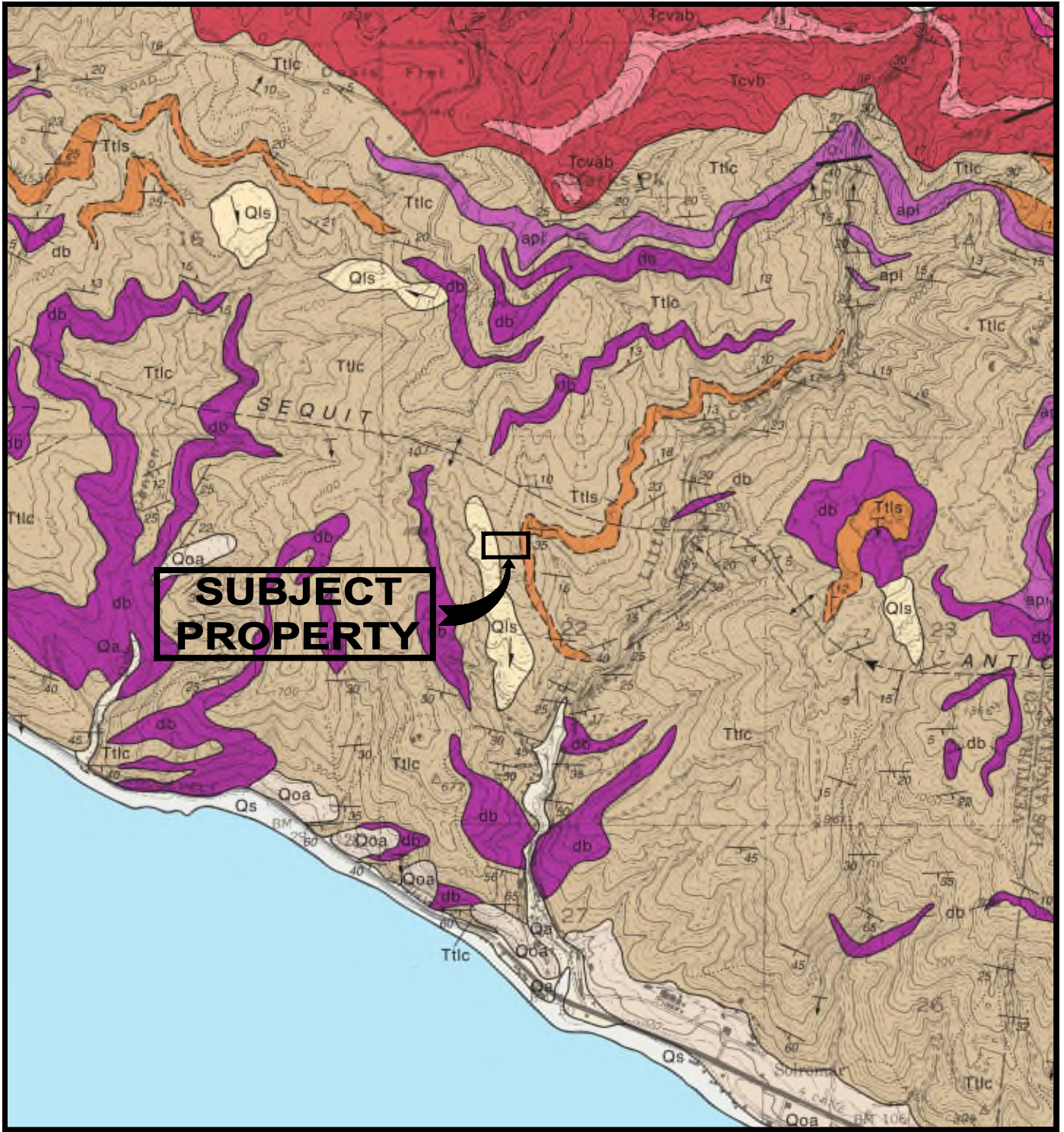
Geologic Structure

The Topanga Formation underlying the South Coast area of the Santa Monica Mountains has been tectonically deformed and intruded by diabasic volcanic rocks, resulting in complex fold and fault structures with predominant east-west trends. The subject site is shown on regional geologic maps to be located on the south limb of the east-west trending Sequit Anticline. Regional geologic mapping shows a predominant south dip across this area of the Santa Monica Mountains. The sedimentary strata underlying the proposed building site dip at low angles varying from about 20-30 degrees to the southwest. The bedrock is complexly jointed, with most jointing and fracture systems developed at high angles. General subsurface geologic structure is shown on Geologic Cross-Sections A-A' and B-B', in Appendix III. The underlying geologic structure is considered to be favorable from an engineering geologic standpoint, with respect to the safety and stability of the slopes adjacent to the proposed building site.

Landslides and Slope Stability Analysis

No landslides were encountered at the proposed building site. Regional geologic maps by the CDMG (1973, 1983) and by Dibblee (1990) show the road leading to the proposed building site traversing the easterly flank of an area that is mapped as within very large, ancient, inactive landslide (see Figure 2). The approximate, inferred limits of the ancient landslide are shown on the Geotechnical Map with this report.

Slope stability analysis was performed for the hillside descending to the east of the proposed building site, as shown on Geologic Cross-Section A-A'. The stability analysis was performed using XSTABL, an integrated slope stability analysis computer program produced by Interactive Software Designs, Inc. The XSTABL program uses the input of the slope profile as defined along the cross-sections drawn for slope stability analysis. Geologic Cross-Section A-A' depicts the highest, steepest slope adjacent to the building site, drawn through the project site and extending to the toe of the large slope area to the east of the building site, and as such the slope along Cross-Section A-A' is the most critical and will yield the lowest factors of safety for this project.



BASE MAP: THOMAS W. DIBBLEE JR., GEOLOGIC MAP OF THE POINT MUGU AND TRIUNFO PASS QUADRANGLES (1990).



**GOLD
COAST
GEOSERVICES, INC.**

**GEOLOGIC SITE
LOCATION MAP**
APN 700-0-060-100, YERBA BUENA ROAD, MALIBU

DATE: 01/21/2022

FILE NO.: GC22-013278

FIGURE 2

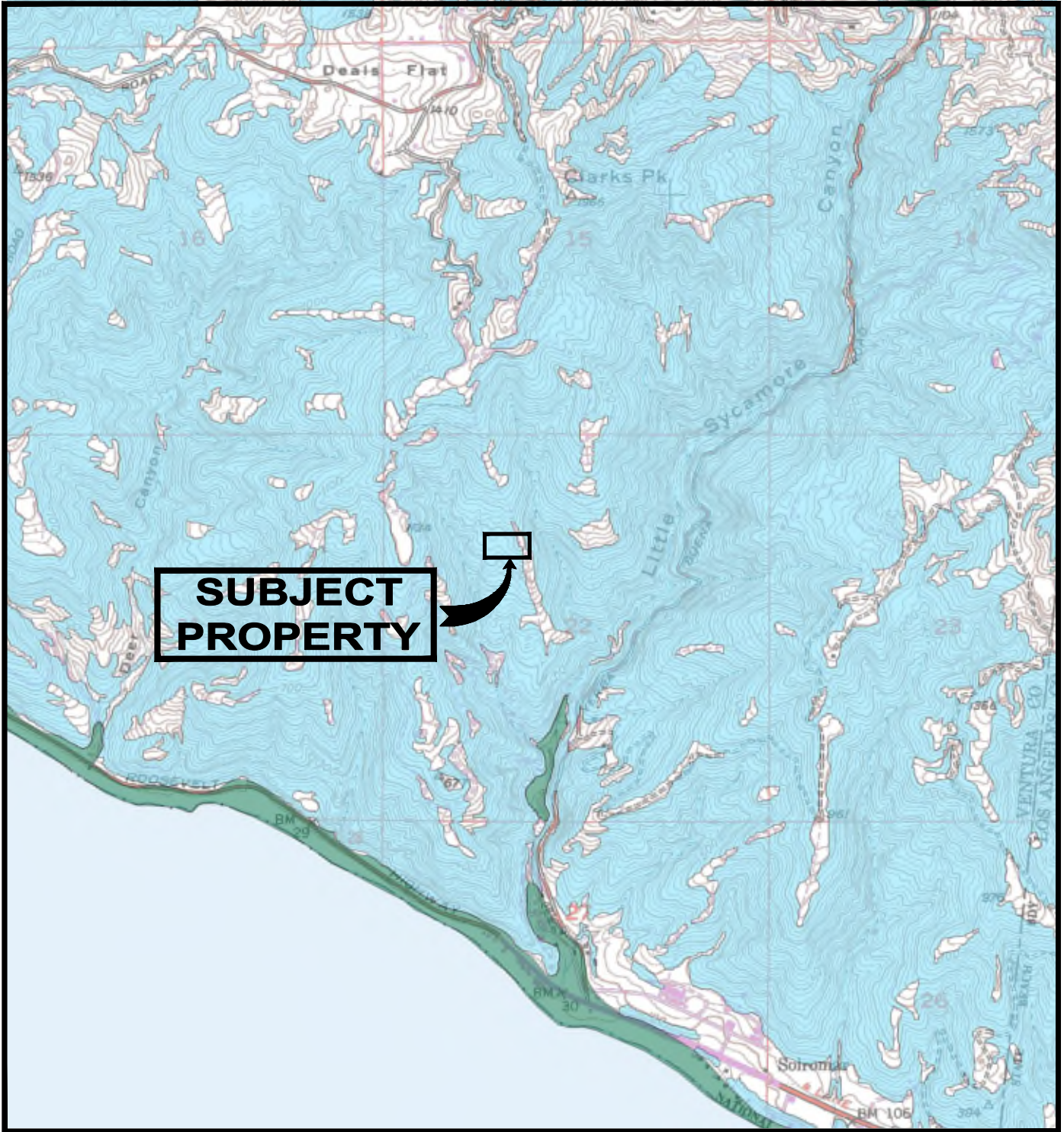
The shear strength parameters used for Topanga Formation bedrock are based on shear strengths of Topanga Formation siltstone / sandstone determined from testing at our laboratory. Based on our review of shear strength data determined for Topanga Formation from other sites in the South Coast area, the shear strength parameters determined from the testing of samples at this site are considered to be reasonable and suitable for the scope and location of the proposed development.

The XSTABL output file (see Appendix II) has a summary of the input file data, and the coordinates of several points on the ten most critical failure surfaces. The slope stability analysis indicates that the slope along cross-section A-A' has adequate static safety factor against deep-seated slope failure, exceeding the minimum accepted static safety factor of 1.5, and exceeding the minimum pseudo-static or seismic safety factor of 1.1.

Faulting and Seismic Hazards

The site is located in the westerly part of the Transverse Ranges Geomorphic Province, characterized by predominantly east-west trending fault systems, mountain ranges, and valleys. The property is not known to be underlain by seismically active or potentially active faults. The property is not situated within a Fault Rupture Special Studies Zone of the State of California. The building site is not located within a "liquefaction hazard" area. The site is situated within an area of potential "seismically-induced-landslide hazard". The slope stability analysis indicates that the slopes have adequate safety factor against seismically-induced landslide. Other ground shaking-induced secondary hazards such as rockfall, sieches, and tsunamis are not potential hazards at the proposed building site. No boulders occur on the slope areas at and adjacent to the proposed building site.

Ground shaking resulting from earthquakes is expected to occur in the future in southern California and along coastal Malibu. Current building codes and the recommendations in this report are intended to minimize structural damage to buildings, however they are not intended to entirely eliminate potential damages that can occur to structures, graded slopes, and natural hillsides due to ground shaking from earthquakes. Earthquake insurance is recommended.



BASE MAP: CGS, 7.5 MINUTE, SEISMIC HAZARD ZONE MAP OF THE TRIUNFO PASS (02/07/2002) QUADRANGLE.



**NORTH
1" = 2000'**

**GOLD
COAST
GEOSERVICES, INC.**

**SITE MAP SHOWING LOCATION OF
PROPERTY WITH RESPECT TO SEISMIC
HAZARDS ZONES
APN 700-0-060-100, YERBA BUENA ROAD, MALIBU**

DATE: 01/21/2022

FILE NO.: GC22-013278

FIGURE 3

CONCLUSIONS AND RECOMMENDATIONS

The findings of this investigation indicate that the property is suitable from engineering geologic and soils engineering standpoints for the proposed grading and development of a single-family residence, swimming pool, and access driveway improvements. The following recommendations are provided for consideration by the design and construction professionals for the planned development. Applicable elements of these recommendations shall be incorporated into the grading plans and building plans.

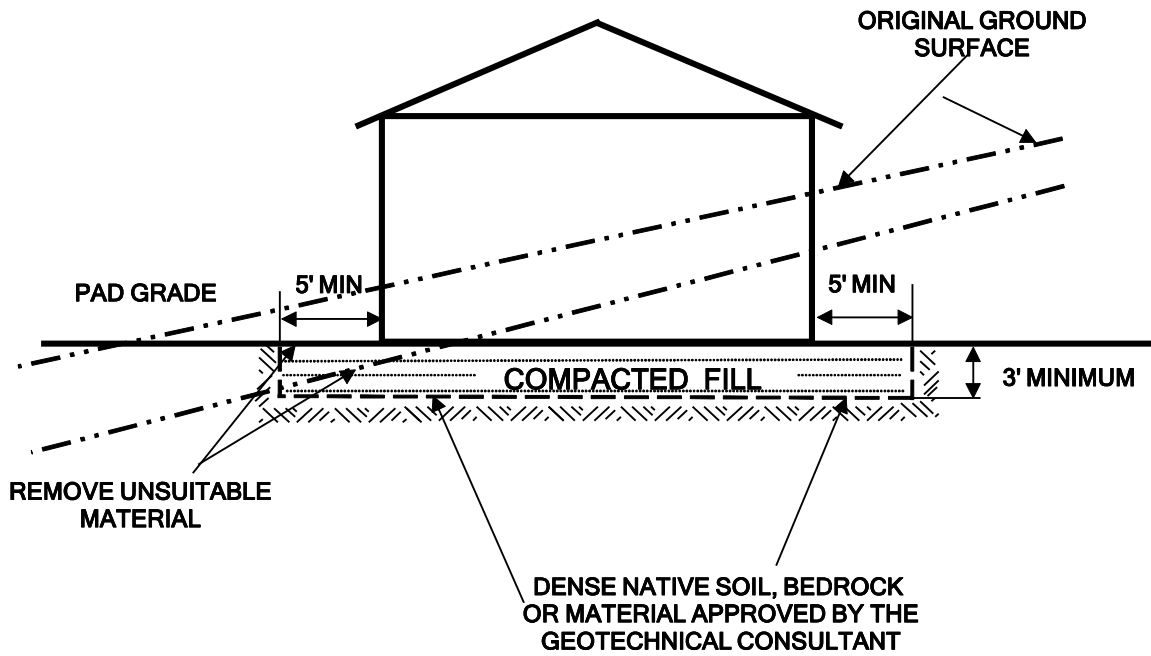
GENERAL GRADING RECOMMENDATIONS

a. SITE PREPARATIONS - BUILDING AREA

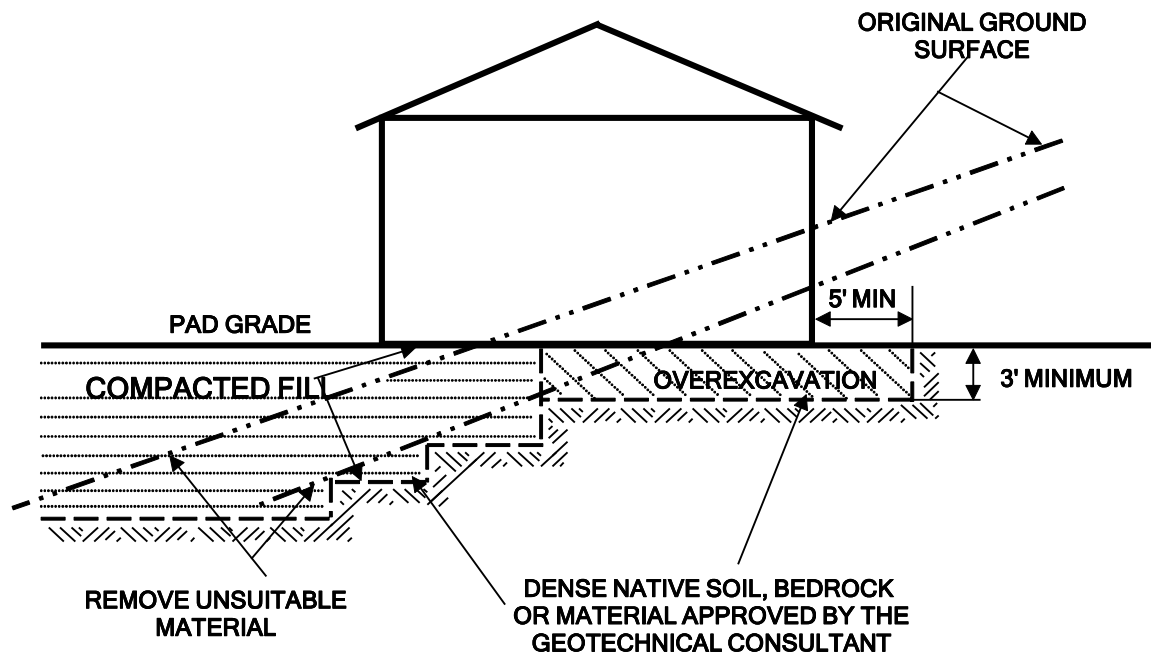
The proposed building area is underlain by a 3-4 foot thick layer of native soil and underlying hard to very hard siltstone/sandstone bedrock with volcanics. The proposed building pad grade is about 5-8 feet below existing grade. The excavations to the proposed pad grade are anticipated to create hard, angular rock material and an irregular and unsuitable building pad condition. In order to establish and suitable building pad condition and to facilitate foundation and utility line construction and landscaping, it is recommended that the proposed building pad and all areas to receive slabs-on-grade be prepared by performing removal and re-compaction earth work to create a suitable building pad condition for construction. A minimum fill thickness of 24 inches is recommended below the proposed foundation construction depth. The area of over-excavation and recompaction should extend a minimum of 5 feet beyond the proposed building area. Compacted fill material within the proposed building area should consist of no more than 50% rock material (at least 50% or more sand or clayey sand). Rock material should not exceed 6 inches in width.

In addition to removal and recompaction for the building area, consideration may be given to over-excavation and recompaction for all areas of proposed landscaping and utility line construction, to a depth of at least 6 inches below the proposed utility line construction depth, to facilitate excavations that would otherwise encounter very hard bedrock.

CUT LOT



TRANSITION (CUT - FILL) LOT



NOT TO SCALE

Gold Coast
GeoServices, Inc.

CUT FILL TRANSITION
DETAIL

DATE: 04/2022

FIGURE 4

b. CUT SLOPES AND EXCAVATIONS

All excavations and cut slopes shall be observed and approved by the engineering geologist as they are made. Cut slopes that will exceed a vertical height of 5 feet should be sloped at 1h:1v slope ratio for the portion of cut exceeding a height of 5 feet. Hard rock conditions are anticipated and shall be taken into consideration by the excavation contractor. Ripping and jackhammering are anticipated for excavations into the underlying hard bedrock.

c. PLACEMENT OF FILL

All areas to receive compacted fill shall be cleared of organic debris and loose soil or unsuitable bedrock material, so that a uniform and dense bedrock surface area is exposed. All fill shall be placed a optimum moisture content in layers approximately 6 to 8 inches in maximum thickness, and compacted to 90% relative compaction.

The existing on-site materials may be utilized for placement as compacted fill provided they are cleansed of debris, organic materials, significant vegetation, or rocks greater than 8 inches in width. Material placed as engineered compacted fill shall be free of deleterious debris, and shall contain no rocks greater than 8 inches in width across the widest point. Any fill material to be placed within 3 feet from any planned utility trench or footing excavation shall contain no rocks greater than 6 inches in width.

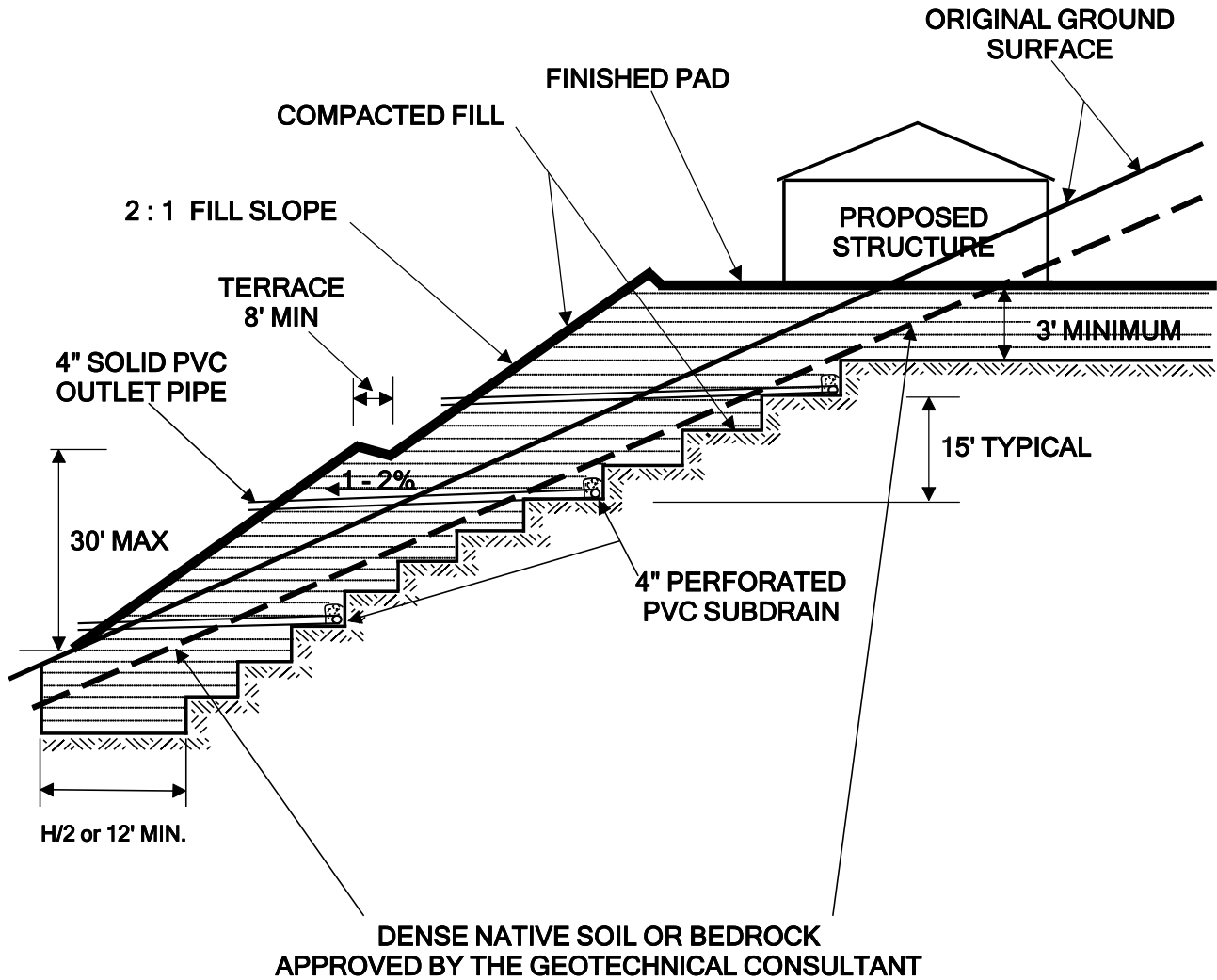
d. FILL SLOPE CONSTRUCTION

An equipment width key shall be established at the toe of the proposed fill slope at the south side of the building pad. The key shall extend a minimum of 12 inches into dense bedrock. As the fill is placed, it shall be benched into dense bedrock as work progresses upslope. Fill slopes shall be planned not to exceed 2h:1v finished slope surface ratio.

e. SITE DRAINAGE

Final site grading shall provide positive drainage away from the footings. All pad and roof drainage shall be transferred away from the building area via non-erosive devices to an

FILL SLOPE DETAIL



TYPICAL BACKDRAIN/SUBDRAIN
 Perforated backdrain shall consist of 4-inch diameter PVC pipe (schedule 40) or approved equivalent surrounded by 3 cu.ft./ft. approved filter material (3/4-inch rock or equivalent) wrapped by approved filter cloth (Mirafi N-series or equivalent)

NOT TO SCALE

Gold Coast
GeoServices, Inc.

**FILL SLOPE
DETAIL**

DATE: 04/2022
FIGURE 5

approved drainage disposal site. Drainage shall not be allowed to pond on the building pad or adjacent to any foundation or wall.

f. EROSION CONTROL

Fill slopes should be planted with deep-rooting, lightweight, low-water-demanding, fire-resistant ground cover. The ground cover should be maintained with a proper irrigation system, but over watering must be avoided. Cut slopes exposing dense bedrock need not be planted for erosion control purposes, unless otherwise required by the project geologist upon observation of the cut slopes as they are made.

FOUNDATION DESIGN

Spread footings, continuous footings, or independent footings may be used to support the proposed structures. Footings may be embedded into compacted fill or into dense Topanga Formation bedrock, not partially into each. Footings should be a minimum of 12 inches in width and embedded a minimum of 18 inches into compacted fill or into dense bedrock. Safe foundation design criteria determined from this investigation are as follows:

EXPANSION INDEX RANGE: Bedrock = 21-50 (low)

Footings

Allowable Bearing Capacity	2,000 PSF
Lateral Resistance	400 PSF/FT
Maximum Lateral Resistance	2,000 PCF
Coefficient of Friction	0.4

Slabs-On-Grade

Thickness	Nominal 4 ins.
Minimum Reinforcement.	#3 bars @ 18 ins., each way, dowel footings to slab
Bedding.	4 ins. of coarse sand or 1/2 inch aggregate

Note: At a minimum, place a moisture vapor barrier / waterproof barrier (min. 10-mil visqueen or Stego Wrap® or equivalent) within bedding layer beneath all slab areas.

NOTES TO FOUNDATION DESIGN

- 1) Independent footings should be at least 24 inches square and 18 inches in depth.
- 2) Allowable bearing pressure may be increased by one-third for short duration loading, such as by wind or seismic forces.

ESTIMATED SETTLEMENT

Total and differential settlement is anticipated to be negligible for foundations supported by compacted fill.

SEISMIC DESIGN PARAMETERS

The following seismic design parameters were determined in accordance with ASCE/SEI 7-22 incorporating USGS Seismic Design Maps. Seismic Design Category D and Seismic Importance Factor $I_e = 1.0$ are applicable to the project as proposed.

Seismic Use Group	Site Classification	Mapped Spectral Accelerations		Adjusted Maximum Accelerations		Design Spectral Accelerations	
		S_s	S_1	SM_s	SM_1	SD_s	SD_1
II	C	1.7	0.53	1.78	0.75	1.19	0.5

POOL SHELL

The pool shell shall be embedded entirely into dense bedrock, or into 90% compacted fill, not partially into each. Standard pool shell design may be used. A subdrain is not required.

SWIMMING POOL DECKING AND WALKWAYS

Subgrade material within areas to receive slabs-on-grade shall consist of 90% compacted fill, approved with testing by the soils engineer. Subgrade preparations for areas to receive slabs-on-grade shall be observed and approved by the soils engineer. Swimming pool decking and walkways slabs should be a minimum of 4 inches thick, and reinforced using

#3 bars at 18 inches on centers. Bedding for slabs should consist of a minimum of 4 inches of coarse sand or 1/2 inch crushed aggregate. A moisture vapor barrier such as 10-mil visqueen or Stego Wrap® or equivalent should be placed within the bedding material beneath slabs.

AREAS TO RECEIVE PAVEMENT

Preliminary structural section design for the paving areas may utilize a structural section consisting of 3 inches of A/C over 4 inches of aggregate base. Areas to receive paving shall be provided with 90% compacted fill subbase. Base material shall be a minimum of 4 inches in thickness and compacted to 95% relative compaction. Areas to receive Portland Cement Concrete Paving (PCCP) may utilize a minimum structural section consisting of 6 inches of PCCP reinforced with #3 bars at 18 inches on centers each way over 4 inches of 95% compacted base material.

ON-SITE WASTEWATER TREATMENT SYSTEM

Public sewage disposal service is unavailable to the property, so that on-site wastewater treatment / disposal system is required. The feasibility of on-site wastewater disposal using seepage pits was evaluated for this investigation, and adequate percolation rates were determined from testing at boring B-1. Geologic conditions are considered to be favorable for seepage pit construction.

PLAN REVIEW

A set of grading plans and building plans should be submitted to this office for review and approval, prior to the initiation of grading or construction, to verify that the geotechnical recommendations have been considered in the plans.

OBSERVATIONS AND TESTING

It is recommended that site preparations and foundation construction work be observed and approved by the soils engineer and engineering geologist. The following minimum observations and testing are recommended.

- 1) Site preparations for placement of fill shall be observed and approved. Compaction tests shall be performed every two vertical feet of fill, or as otherwise necessary to verify the specified minimum compaction for certification of compacted fill.
- 2) Subdrain construction shall be observed and approved, prior to placement of backfill.
- 3) All cut slopes shall be observed and approved by the engineering geologist.
- 4) All foundation excavations shall be approved prior to placing forms, concrete, or any steel reinforcement.

REMARKS

This report is issued with the understanding that it is the responsibility of the owner, or their representative, to assure that the information and recommendations contained herein are called to the attention of the designers and builders for the project.

Please be informed that the conclusions and recommendations provided in this report are based on the surface conditions and findings and observations made at the locations of the exploratory excavations. For the purposes of this report it can only be assumed by us that the subsurface conditions do not deviate significantly in the unexplored areas of the property from those at the exposed locations. If conditions are encountered during construction which are found to be different from those described in this report, we must be notified so that we can consider the need for revisions or modifications to the recommendations in this report.

**WEISBERG
YERBA BUENA ROAD**

FILE NO. GC22-013278

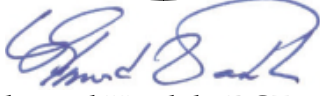

This report has been prepared in accordance with generally accepted engineering practice at this time and location. No other warranty is expressed or implied.

Please call this office at (805) 484-5070 if you have any questions regarding this report. Thank you for the opportunity to be of professional service.

Respectfully submitted,
GOLD COAST GEOSERVICES, INC.



Scott J. Hogrefe, CEG 1516



Edmond Vardeh, RCE 56992

APPENDIX I

LABORATORY TEST RESULTS

Laboratory testing was performed on samples of the earth materials encountered in the exploratory excavations, to determine certain engineering properties for evaluation of slope stability, proposed earthwork, and foundation design. Sampling of bedrock by conventional means was attempted at several locations, but was only possible at one location due to rock hardness. Laboratory testing was performed in accordance with all current ASTM standards. Test procedures and results are as follows.

Maximum Density-Optimum Moisture

Maximum dry density and optimum moisture data were determined for samples of the on-site earth materials using the ASTM D1557 compaction test method. This test procedure uses 25 blows of a 10 pound hammer, falling a height of 18 inches into a 1/30 cubic foot cylinder. The test results are presented below.

Sample Location	Sample Description	Dry Density (lbs/cu.ft.)	Moisture (%)
B-1 @ 2'-5'	sandy clay	117	13

Expansion Index

Expansion index testing was performed on representative samples of the soil encountered within the proposed building area, in conformance with test procedures per ASTM D4829. The results of the expansion index tests are as follows.

Location	Description	Expansion Index
B-1 @ 2'-5'	sandy clay	46

Direct Shear

Samples of the weakest bedrock encountered were obtained and direct shear testing was performed in accordance with the drained shear test method. The samples were cut in 1.0" thick, 2.4" diameter brass rings, and saturated under a normal load to simulate saturated field conditions. The samples were subjected to a maximum constant deformation rate of 0.05 in./minute. Increasing vertical stresses were applied to determine the cohesion and internal angle of internal friction for each sample. The test results are plotted on the attached "Direct Shear" test" graph.

Chemical Testing

Chemical testing was performed on a representative sample of the anticipated foundation bearing material. A corrosion test, which includes testing for sulfate, chloride, resistivity and pH, was performed using Caltrans testing methods CT-643, 417, 422 and 532. The results of the chemical testing are summarized on the following table.

Sample Location	pH	Chloride Content (PPM)	Sulfate Content (%)	Minimum Resistivity (OHM-CM)
B-1 @ 2'-5'	7.55	35	0.0034	2860

The chemical testing results indicate soluble sulfate concentrations are negligible (Uniform Building Code, Tables 19-A-4 and 19-A-5). Type II concrete may be used for slab and foundation elements.

DIRECT SHEAR

PROJECT LOCATION: APN 700-0-060-100, Yerba Buena Road

FILE NO.: GC22-013278

CLASSIFICATION: Sandstone (Topanga Formation)

SAMPLE: B-1 @ 15'

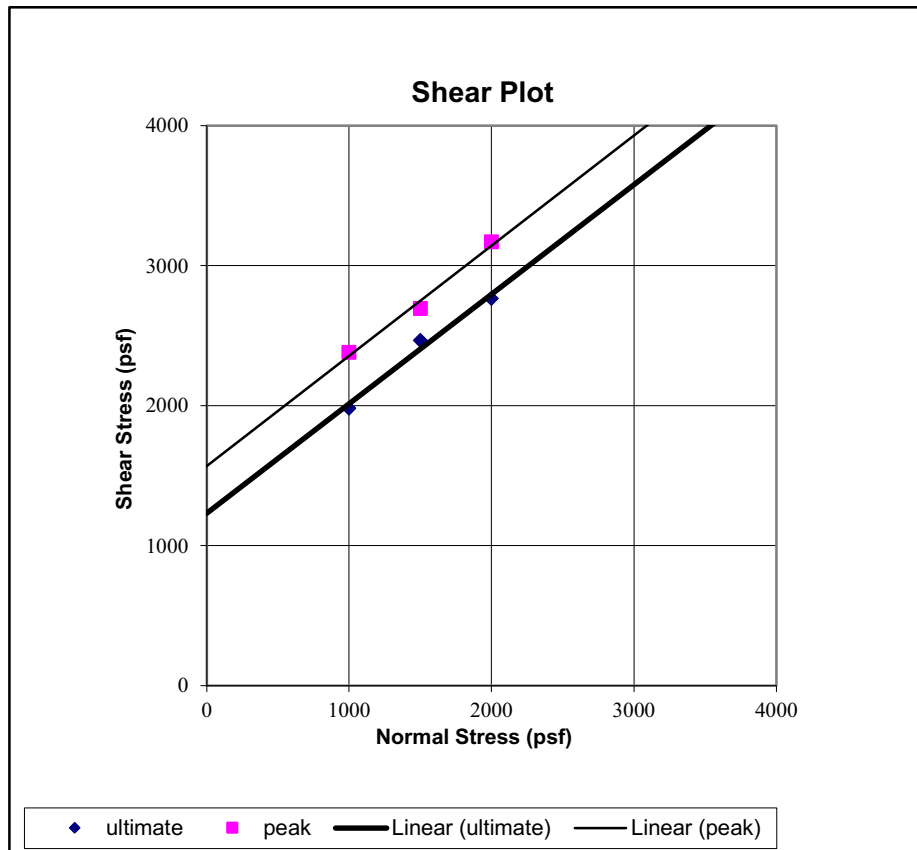
PLOTTED BY: JR

CHECKED BY: SJH

DATE: 2/22/2022

SHEAR DATA			
Ultimate		Peak	
Normal Stress (psf)	Shear Stress (psf)	Normal Stress (psf)	Shear Stress (psf)
1000	1985	1000	2385
1500	2469	1500	2696
2000	2767	2000	3172

UNDISTURBED
 REMOLDED
 REPEATED
 ULTIMATE
 PEAK



SAT. WATER CONTENT 17.9 %
NATURAL WATER CONTENT 10.7 %
DISPLACEMENT RATE 0.005 in/min.
REMOLDED TO _____ %

SAT. UNIT WEIGHT 130.2 pcf.
WET UNIT WEIGHT 122.2 pcf.
DRY UNIT WEIGHT 110.4 pcf.

Direct Shear Results	Ult.	Peak
ANGLE OF INTERNAL FRICTION, ϕ	38.0	38.2
COHESION, c	1234.0	1602.0

deg.
psf.

Shear testing was performed using the SHEARTRACK II SYSTEM by GEOCOMP, Inc.

GOLD COAST GEOSERVICES, INC.

**WEISBERG
YERBA BUENA ROAD**

FILE NO. GC22-013278

**APPENDIX II
SLOPE STABILITY ANALYSIS DATA SHEETS**

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*****
*           X S T A B L           *
*                                     *
*           Slope Stability Analysis *
*           using the               *
*           Method of Slices        *
*                                     *
*           Copyright (C) 1992 - 2002 *
*           Interactive Software Designs, Inc. *
*           Moscow, ID 83843, U.S.A. *
*                                     *
*           All Rights Reserved      *
*                                     *
*           Ver. 5.206                96 - 1912 *
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**Problem Description : APN 700-0-060-100, YERBA BUENA ROAD, MALIBU
 DETERMINE FACTOR OF SAFETY ALONG SECTION A-A, ENTIRE SLOPE,
 CIRCULAR FAILURE, STATIC CONDITION**

 SEGMENT BOUNDARY COORDINATES

12 SURFACE boundary segments

Segment No.	x-left (ft)	y-left (ft)	x-right (ft)	y-right (ft)	Soil Unit Below Segment
1	.0	198.0	46.0	180.0	1
2	46.0	180.0	110.0	170.0	1
3	110.0	170.0	184.0	200.0	1
4	184.0	200.0	230.0	240.0	1
5	230.0	240.0	307.0	300.0	1
6	307.0	300.0	346.0	330.0	1
7	346.0	330.0	416.0	385.0	1
8	416.0	385.0	440.0	395.0	1
9	440.0	395.0	482.0	404.0	1
10	482.0	404.0	556.0	404.0	1
11	556.0	404.0	605.0	400.0	1
12	605.0	400.0	650.0	390.0	1

 ISOTROPIC Soil Parameters

1 Soil unit(s) specified

Soil Unit No.	Unit Weight Moist (pcf)	Unit Weight Sat. (pcf)	Cohesion Intercept (psf)	Friction Angle (deg)	Pore Pressure Parameter Ru	Pore Pressure Constant (psf)	Water Surface No.
1	122.0	130.0	1234.0	38.00	.000	.0	1

A critical failure surface searching method, using a random technique for generating CIRCULAR surfaces has been specified.

500 trial surfaces will be generated and analyzed.

10 Surfaces initiate from each of 50 points equally spaced along the ground surface between x = 50.0 ft and x = 440.0 ft

Each surface terminates between x = 450.0 ft and x = 650.0 ft

Unless further limitations were imposed, the minimum elevation at which a surface extends is y = .0 ft

* * * * * DEFAULT SEGMENT LENGTH SELECTED BY XSTABL * * * * *

22.0 ft line segments define each trial failure surface.

Factors of safety have been calculated by the :

* * * * * SIMPLIFIED BISHOP METHOD * * * * *

The most critical circular failure surface is specified by 19 coordinate points

Point No.	x-surf (ft)	y-surf (ft)
1	169.39	194.08
2	191.26	196.48
3	212.94	200.22
4	234.35	205.28
5	255.40	211.65

6	276.03	219.29
7	296.15	228.19
8	315.69	238.31
9	334.56	249.61
10	352.71	262.05
11	370.06	275.57
12	386.55	290.14
13	402.11	305.69
14	416.69	322.16
15	430.23	339.50
16	442.68	357.64
17	454.00	376.51
18	464.13	396.04
19	466.16	400.60

**** Simplified BISHOP FOS = 1.735 ****

The following is a summary of the TEN most critical surfaces

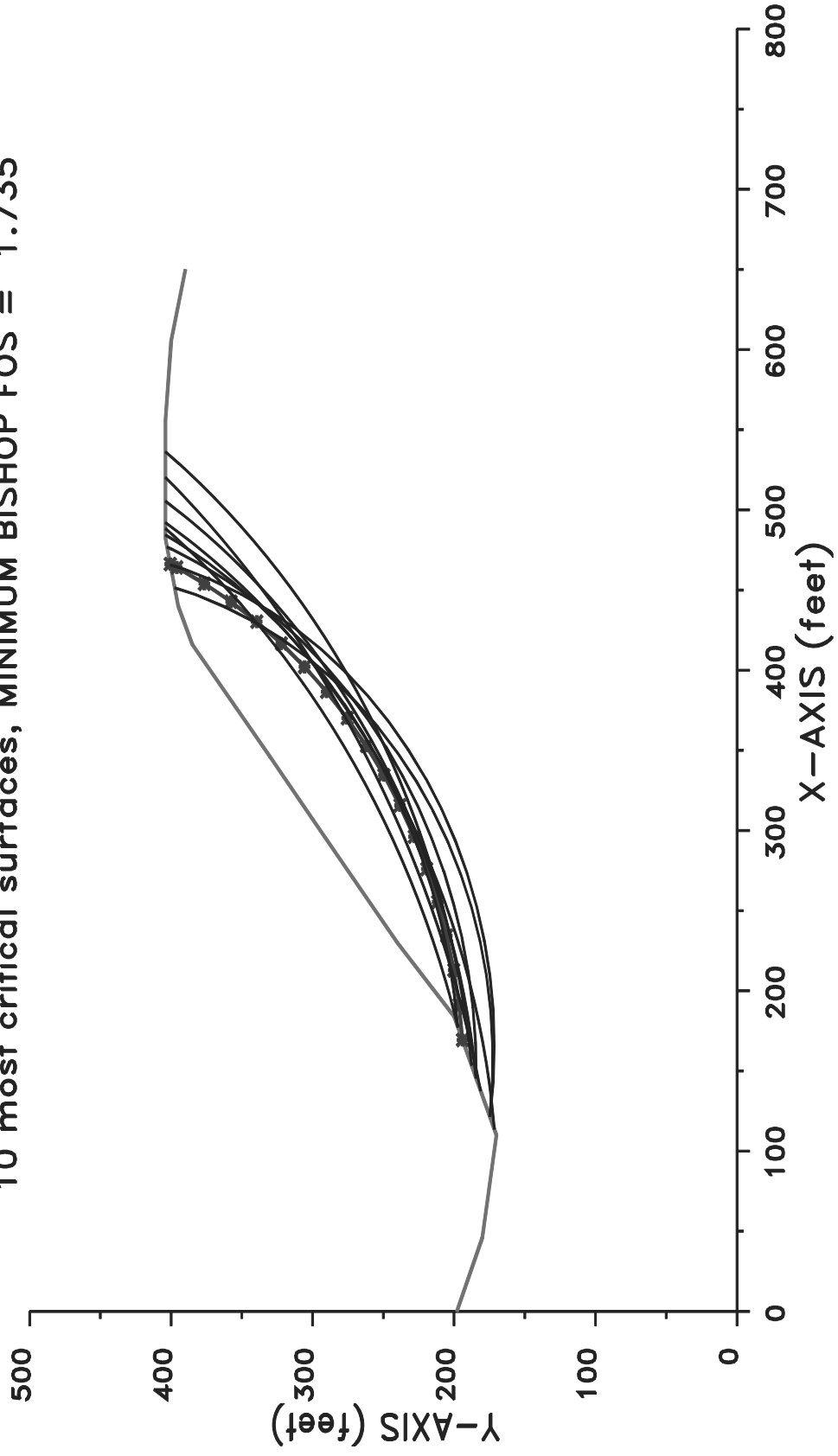
Problem Description : YERBA BUENA, SEC-A, GRSST, CIR, STT

	FOS (BISHOP)	Circle Center x-coord (ft)	Circle Center y-coord (ft)	Radius (ft)	Initial x-coord (ft)	Terminal x-coord (ft)	Resisting Moment (ft-lb)
1.	1.735	141.24	551.21	358.24	169.39	466.16	6.001E+08
2.	1.739	139.71	584.81	389.33	177.35	484.33	7.035E+08
3.	1.755	149.02	539.67	355.29	145.51	476.84	7.462E+08
4.	1.755	63.99	676.61	507.55	113.67	492.07	1.041E+09
5.	1.756	88.99	681.92	500.73	145.51	505.41	1.042E+09
6.	1.767	18.20	774.33	598.58	177.35	488.36	8.700E+08
7.	1.811	157.34	477.55	304.94	121.63	451.40	6.790E+08
8.	1.812	-14.14	881.96	717.02	137.55	520.23	1.411E+09
9.	1.818	89.36	748.12	564.15	153.47	536.27	1.371E+09
10.	1.821	165.61	482.99	311.39	121.63	465.68	7.825E+08

* * * END OF FILE * * *

3278AC1S 3-08-22 3:58

YERBA BUENA, SEC-A, GRSST, CIR, STT
10 most critical surfaces, MINIMUM BISHOP FOS = 1.735



```

*****
*           X S T A B L           *
*                                     *
*           Slope Stability Analysis *
*           using the               *
*           Method of Slices        *
*                                     *
*           Copyright (C) 1992 - 2002 *
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*                                     *
*           Ver. 5.206                96 - 1912 *
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```

**Problem Description : APN 700-0-060-100, YERBA BUENA ROAD, MALIBU
 DETERMINE FACTOR OF SAFETY ALONG SECTION A-A, ENTIRE SLOPE,
 CIRCULAR FAILURE, SEISMIC CONDITION**

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12 SURFACE boundary segments

Segment No.	x-left (ft)	y-left (ft)	x-right (ft)	y-right (ft)	Soil Unit Below Segment
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2	46.0	180.0	110.0	170.0	1
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5	230.0	240.0	307.0	300.0	1
6	307.0	300.0	346.0	330.0	1
7	346.0	330.0	416.0	385.0	1
8	416.0	385.0	440.0	395.0	1
9	440.0	395.0	482.0	404.0	1
10	482.0	404.0	556.0	404.0	1
11	556.0	404.0	605.0	400.0	1
12	605.0	400.0	650.0	390.0	1

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1 Soil unit(s) specified

Soil Unit No.	Unit Weight Moist (pcf)	Unit Weight Sat. (pcf)	Cohesion Intercept (psf)	Friction Angle (deg)	Pore Pressure Parameter Ru	Pore Pressure Constant (psf)	Water Surface No.
1	122.0	130.0	1234.0	38.00	.000	.0	1

A horizontal earthquake loading coefficient of .150 has been assigned

A vertical earthquake loading coefficient of .000 has been assigned

A critical failure surface searching method, using a random technique for generating CIRCULAR surfaces has been specified.

500 trial surfaces will be generated and analyzed.

10 Surfaces initiate from each of 50 points equally spaced along the ground surface between x = 50.0 ft and x = 440.0 ft

Each surface terminates between x = 450.0 ft and x = 650.0 ft

Unless further limitations were imposed, the minimum elevation at which a surface extends is y = .0 ft

* * * * * DEFAULT SEGMENT LENGTH SELECTED BY XSTABL * * * * *

22.0 ft line segments define each trial failure surface.

Factors of safety have been calculated by the :

* * * * * SIMPLIFIED BISHOP METHOD * * * * *

The most critical circular failure surface is specified by 19 coordinate points

Point No.	x-surf (ft)	y-surf (ft)
1	177.35	197.30

2	199.18	200.05
3	220.81	204.02
4	242.19	209.21
5	263.24	215.60
6	283.90	223.16
7	304.10	231.89
8	323.77	241.74
9	342.86	252.68
10	361.29	264.69
11	379.02	277.71
12	395.98	291.72
13	412.13	306.66
14	427.41	322.50
15	441.76	339.16
16	455.16	356.62
17	467.54	374.80
18	478.88	393.65
19	484.33	404.00

**** Simplified BISHOP FOS = 1.351 ****

The following is a summary of the TEN most critical surfaces

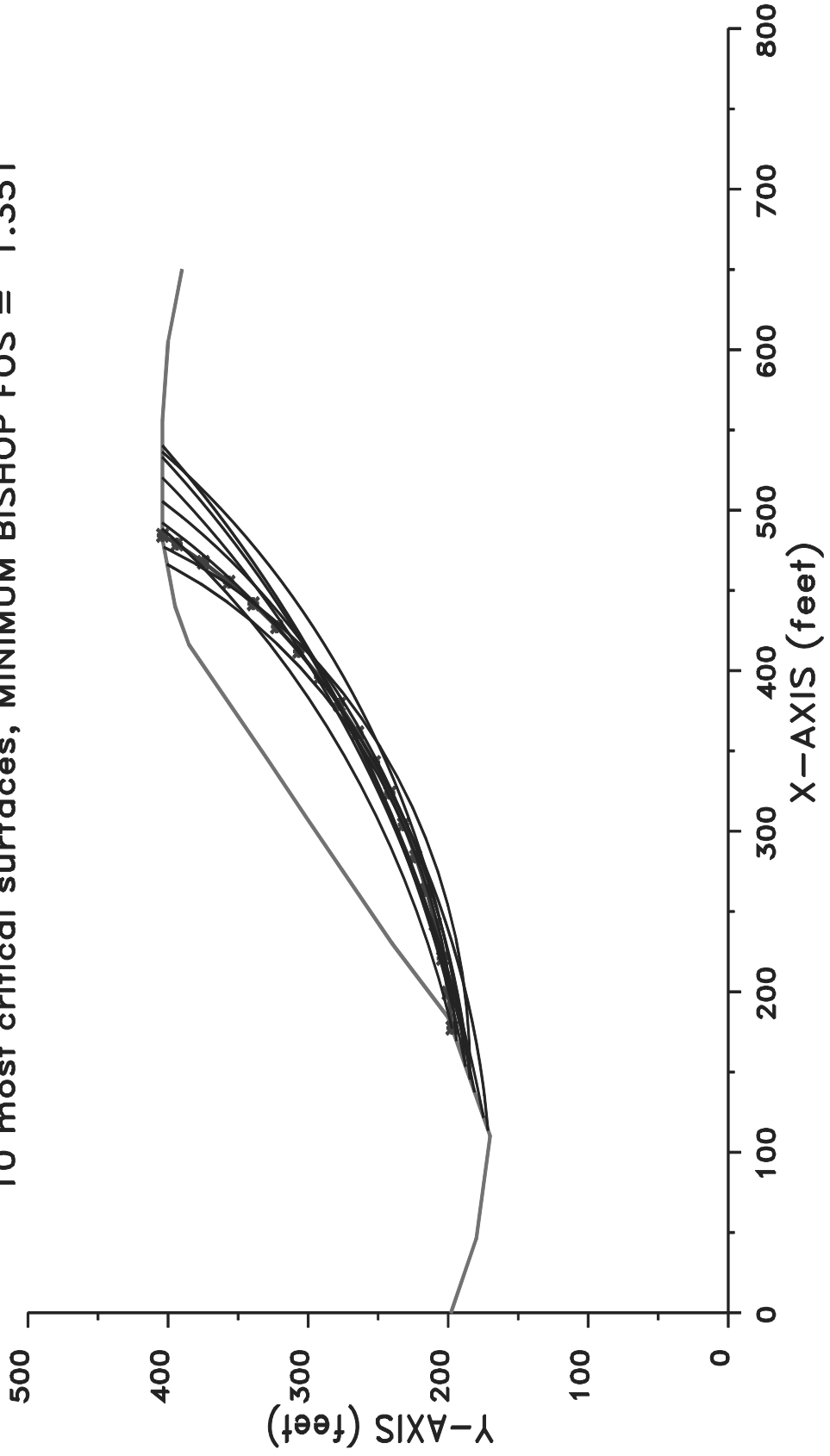
Problem Description : YERBA BUENA, SEC-A, GRSST, CIR, SMC

	FOS (BISHOP)	Circle Center x-coord (ft)	Circle Center y-coord (ft)	Radius (ft)	Initial x-coord (ft)	Terminal x-coord (ft)	Resisting Moment (ft-lb)
1.	1.351	139.71	584.81	389.33	177.35	484.33	6.603E+08
2.	1.352	88.99	681.92	500.73	145.51	505.41	9.780E+08
3.	1.357	141.24	551.21	358.24	169.39	466.16	5.632E+08
4.	1.358	63.99	676.61	507.55	113.67	492.07	9.778E+08
5.	1.366	18.20	774.33	598.58	177.35	488.36	8.152E+08
6.	1.371	149.02	539.67	355.29	145.51	476.84	7.021E+08
7.	1.381	89.36	748.12	564.15	153.47	536.27	1.290E+09
8.	1.383	-14.14	881.96	717.02	137.55	520.23	1.326E+09
9.	1.388	-9.37	914.19	744.59	153.47	532.90	1.441E+09
10.	1.409	-61.65	1005.89	851.14	121.63	540.15	1.770E+09

* * * END OF FILE * * *

3278AC1E 3-08-22 3:56

YERBA BUENA, SEC-A, GRSST, CIR, SMC
10 most critical surfaces, MINIMUM BISHOP FOS = 1.351

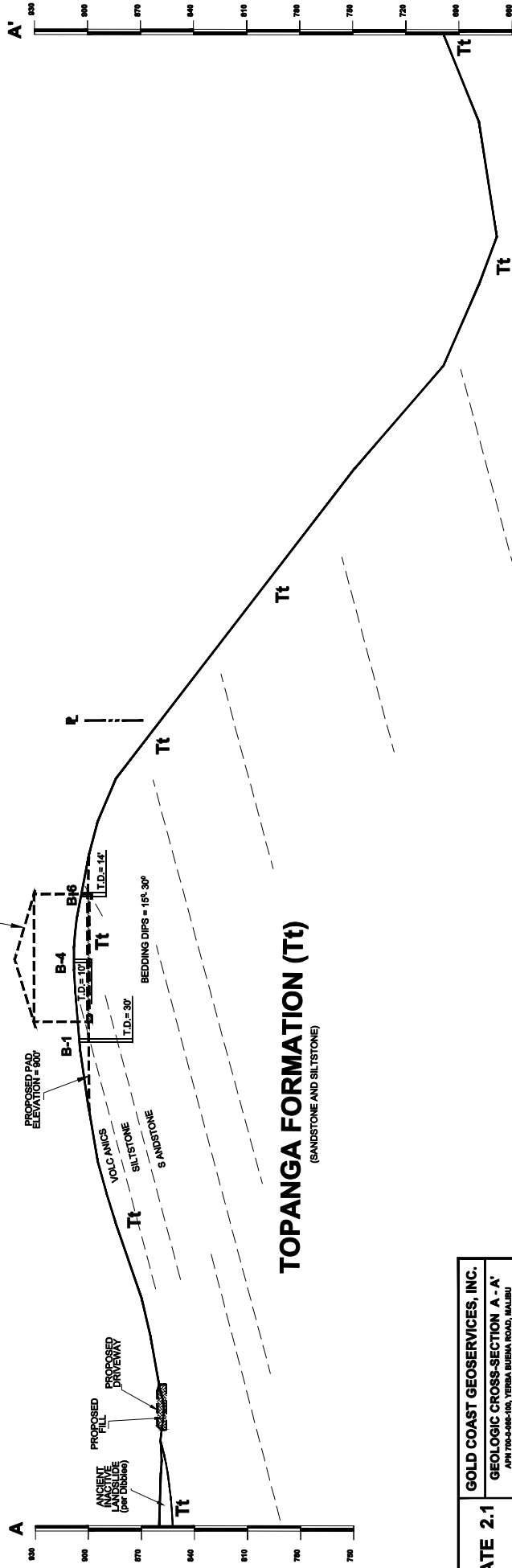


**WEISBERG
YERBA BUENA ROAD**

FILE NO. GC22-013278

APPENDIX III
**GEOTECHNICAL MAP, GEOLOGIC CROSS-SECTIONS,
AND BORING LOGS**

GEOLOGIC CROSS-SECTION A - A'



TOPANGA FORMATION (Tt)
(SANDSTONE AND SILTSTONE)

GOLD COAST GEOSERVICES, INC.			
GEOLOGIC CROSS-SECTION A - A'			
APN 700-008-100, YERBA BUENA ROAD, MALIBU			
DATE: 04-26-2022	SIZE:	CLIENT: MESSERSO	REV:
FILE NO: 0022-010278	SCALE: 1" = 30'	DRAWN BY: JM	APPROVED BY: SJH
881 YERBA BUENA WAY, SUITE 2, CARMELITE, CA 90381 (408) 884-8770			

PLATE 2.1

GEOLOGIC CROSS-SECTION B - B'

S -- N

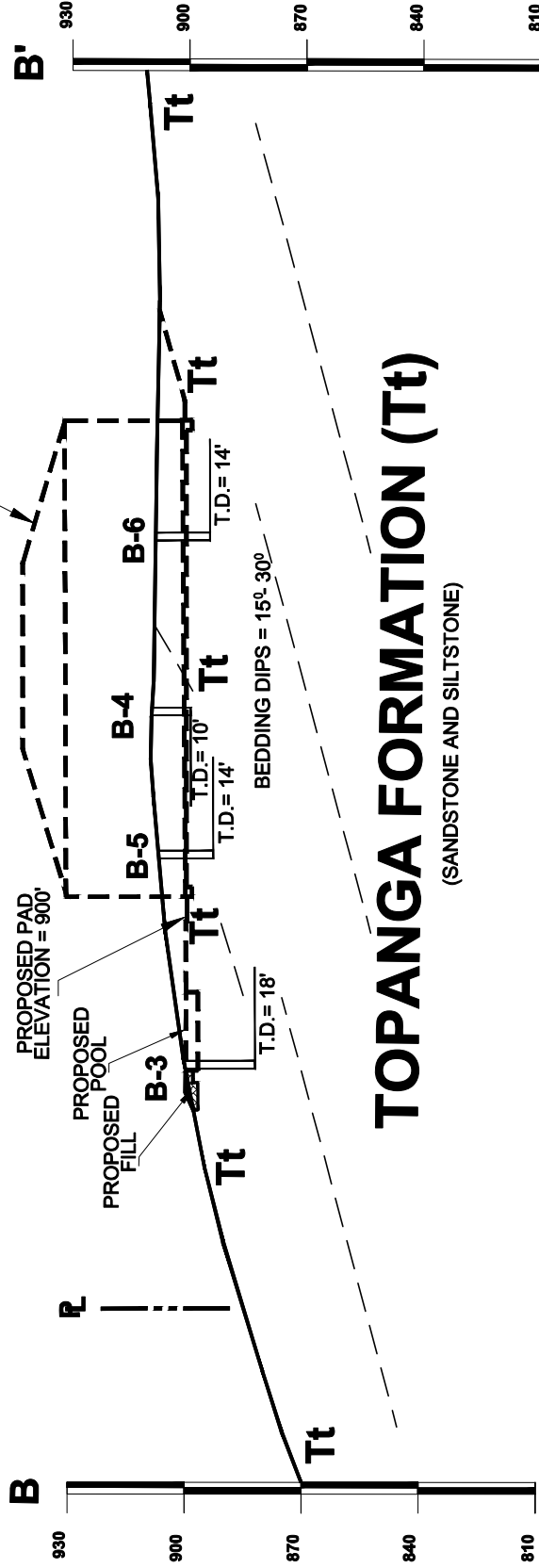
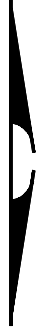


PLATE 2.2		GOLD COAST GEOSERVICES, INC.	
GEOLOGIC CROSS-SECTION B - B' APN 700-0-060-100, YERBA BUENA ROAD, MALIBU		GEOLOGIC CROSS-SECTION B - B' APN 700-0-060-100, YERBA BUENA ROAD, MALIBU	
DATE: 02-28-2022	SIZE: B	CLIENT: WEISBERG	REV:
FILE NO: GC22-013278	SCALE: 1" = 30'	DRAWN BY: IM	APPROVED BY: SJH
5261 VERDUGO WAY, SUITE J * CAMARILLO, CA 93012 * (805) 484-5070			

GOLD COAST GEOSERVICES, INC.

SUB-SURFACE DATA

BORING LOG NO. B-1

PROJECT: APN 700-0-060-100, YERBA BUENA ROAD, MALIBU

FILE NO.: GC22-013278

ELEVATION: See Map

DATE: 1/17/2022

METHOD: 24" Flight Auger

DRILLING CO.: Roy Brothers Drilling, Inc.

SAMPLES		LAB DATA							GRAPHIC LOG	DESCRIPTION AND REMARKS
DEPTH (FT)	BULK	RING	MOISTURE (%)	DRY DENSITY (pcf)	COHESION (psf)	FRICTION ANGLE (deg)	OPTIMUM MOISTURE (%)	MAX. DENSITY (pcf)		
0										COLLUVIUM / RESIDUAL SOIL - Qc/Rs - (0' - 3') 0' - 3' - Reddish brown gravelly sandy clay, moist.
-	X	X								
-										
-										
5										CONEJO VOLCANICS - Tcv - (3' - 15') 3' - 8' - Multi colored basalt / andesite, very fractured, high angle fractures, hard to very hard. 8' - 15' - Dark reddish brown to gray basalt, high angle to vertical joints, very hard.
-										
-										
10										
-										
-										
15		X	10.7	110.4	1234	38				TOPANGA FORMATION - Tt - (15' - 30') 15' - 21' - Grayish brown sandstone, very fractured, tight fractures. 19' - N38W, 55-602SW (b) 21' - 30' - Dark brown to very dark gray siltstone with thinly interbedded light brown sandstone.
-										
-										
20										
-										
-										
25										
-										
-										
30										End at 30' (coring required due to rock hardness)
-										
-										
35										TOTAL DEPTH: 30' GROUNDWATER: NO REFUSAL: YES, at 30' CAVING: NO BACKFILLED: YES
-										
-										
40										

COMMENTS: (b) - strike and dip of bedding

GOLD COAST GEOSERVICES, INC.

SUB-SURFACE DATA

BORING LOG NO. B-2

PROJECT: APN 700-0-060-100, YERBA BUENA ROAD, MALIBU
 ELEVATION: See Map
 METHOD: 24" Flight Auger

FILE NO.: GC22-013278
 DATE: 1/17/2022
 DRILLING CO.: Roy Brothers Drilling, Inc.

SAMPLES			LAB DATA						GRAPHIC LOG	DESCRIPTION AND REMARKS
DEPTH (FT)	BULK	RING	MOISTURE (%)	DRY DENSITY (pcf)	COHESION (psf)	FRICTION ANGLE (deg)	OPTIMUM MOISTURE (%)	MAX. DENSITY (pcf)		
0										COLLUVIUM / RESIDUAL SOIL - Qc/Rs - (0' - 4') 0' - 4' - Reddish brown gravelly sandy clay, moist.
5										TOPANGA FORMATION - Tt - (4' - 10') 4' - 10' - Grayish brown sandstone, very fractured, tight fractures.
10										End at 10' (coring required due to rock hardness)
15										
20										
25										
30										
35										TOTAL DEPTH: 10' GROUNDWATER: NO REFUSAL: YES, at 10' CAVING: NO BACKFILLED: YES
40										

COMMENTS:

GOLD COAST GEOSERVICES, INC.

SUB-SURFACE DATA

BORING LOG NO. B-3

PROJECT: APN 700-0-060-100, YERBA BUENA ROAD, MALIBU
 ELEVATION: See Map
 METHOD: 24" Flight Auger

FILE NO.: GC22-013278
 DATE: 1/17/2022
 DRILLING CO.: Roy Brothers Drilling, Inc.

SAMPLES		LAB DATA							GRAPHIC LOG	DESCRIPTION AND REMARKS
DEPTH (FT)	BULK	RING	MOISTURE (%)	DRY DENSITY (pcf)	COHESION (psf)	FRICTION ANGLE (deg)	OPTIMUM MOISTURE (%)	MAX. DENSITY (pcf)		
0										COLLUVIUM / RESIDUAL SOIL - Qc/Rs - (0' - 3') 0' - 3' - Dark reddish brown sandy clay, moist, stiff.
-										TOPANGA FORMATION - Tt - (3' - 18') 3' - 7' - Dark gray to dark reddish gray siliceous siltstone, very hard. 5' - N64W, 15SW (b)
5										7' - 11' - Dark yellowish brown to grayish brown coarse-grained sandstone, very hard, high angle jointing.
-										11' - 18' - Becomes fractured dark gray siltstone, high angle fractures, very hard.
10										15' - N68W, 50SW (b)
-										End at 18' (coring required due to rock hardness)
15										
-										
20										
-										
25										
-										
30										
-										
35										
-										
40										

TOTAL DEPTH: 18'
 GROUNDWATER: NO
 REFUSAL: YES, at 18'
 CAVING: NO
 BACKFILLED: YES

COMMENTS: (b) - strike and dip of bedding

GOLD COAST GEOSERVICES, INC.

SUB-SURFACE DATA

BORING LOG NO. B-4

PROJECT: APN 700-0-060-100, YERBA BUENA ROAD, MALIBU
 ELEVATION: See Map
 METHOD: 24" Flight Auger

FILE NO.: GC22-013278
 DATE: 1/18/2022
 DRILLING CO.: Roy Brothers Drilling, Inc.

SAMPLES		LAB DATA							GRAPHIC LOG	DESCRIPTION AND REMARKS
DEPTH (FT)	BULK	RING	MOISTURE (%)	DRY DENSITY (pcf)	COHESION (psf)	FRICTION ANGLE (deg)	OPTIMUM MOISTURE (%)	MAX. DENSITY (pcf)		
0										COLLUVIUM / RESIDUAL SOIL - Qc/Rs - (0' - 3') 0' - 3' - Reddish brown gravelly sandy clay, moist.
-										TOPANGA FORMATION - Tt - (3' - 10') 3' - 6' - Very dark siliceous clayey siltstone, thinly bedded.
-										6' - 10' - Dark gray siliceous / clayey siltstone, massive, very hard.
5										
-										
-										
-										
-										
10										End at 10' (coring required due to rock hardness)
-										
-										
15										
-										
-										
-										
20										
-										
-										
25										
-										
-										
30										
-										
-										
35										
-										
-										
40										

TOTAL DEPTH: 10'
 GROUNDWATER: NO
 REFUSAL: YES, at 10'
 CAVING: NO
 BACKFILLED: YES

COMMENTS:

GOLD COAST GEOSERVICES, INC.

SUB-SURFACE DATA

BORING LOG NO. B-5

PROJECT: APN 700-0-060-100, YERBA BUENA ROAD, MALIBU
 ELEVATION: See Map
 METHOD: 24" Flight Auger

FILE NO.: GC22-013278
 DATE: 1/18/2022
 DRILLING CO.: Roy Brothers Drilling, Inc.

SAMPLES		LAB DATA							GRAPHIC LOG	DESCRIPTION AND REMARKS
DEPTH (FT)	BULK	RING	MOISTURE (%)	DRY DENSITY (pcf)	COHESION (psf)	FRICITION ANGLE (deg)	OPTIMUM MOISTURE (%)	MAX. DENSITY (pcf)		
0										COLLUVIUM / RESIDUAL SOIL - Qc/Rs - (0' - 3') 0' - 1' - Red clay, moist, tight. 1' - 3' - Reddish brown sandy clay, gravelly, moist, tight.
-										TOPANGA FORMATION - Tt - (3' - 14') 3' - 5' - Very dark gray siliceous clayey siltstone, thinly bedded. 5' - N40W, 30SW (b) 5' - 6' - Light brown to dark gray sandstone, interbedded with siltstone, fractured, very hard. 6' - 14' - Dark gray siliceous / clayey siltstone, massive, very hard.
5										End at 14' (coring required due to rock hardness)
10										
15										
-										
-										
20										
-										
-										
25										
-										
-										
30										
-										
-										
35									TOTAL DEPTH: 14' GROUNDWATER: NO REFUSAL: YES, at 14' CAVING: NO BACKFILLED: YES	
40										

COMMENTS: (b) - strike and dip of bedding

GOLD COAST GEOSERVICES, INC.

SUB-SURFACE DATA

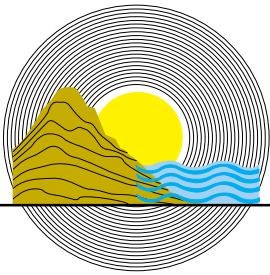
BORING LOG NO. B-6

PROJECT: APN 700-0-060-100, YERBA BUENA ROAD, MALIBU
 ELEVATION: See Map
 METHOD: 24" Flight Auger

FILE NO.: GC22-013278
 DATE: 1/18/2022
 DRILLING CO.: Roy Brothers Drilling, Inc.

SAMPLES		LAB DATA							GRAPHIC LOG	DESCRIPTION AND REMARKS
DEPTH (FT)	BULK	RING	MOISTURE (%)	DRY DENSITY (pcf)	COHESION (psf)	FRICTION ANGLE (deg)	OPTIMUM MOISTURE (%)	MAX. DENSITY (pcf)		
0										COLLUVIUM / RESIDUAL SOIL - Qc/Rs - (0' - 2') 0' - 2' - Dark reddish brown sandy clay, moist, stiff.
-										TOPANGA FORMATION - Tt - (2' - 14') 2' - 6' - Very weathered dark grayish brown clayey siltstone.
5										6' - 12' - Very dark gray siltstone, very fractured.
10										12' - 14' - Very hard siltstone.
-										End at 14' (coring required due to rock hardness)
15										
-										
20										
-										
25										
-										
30										
-										
35										TOTAL DEPTH: 14' GROUNDWATER: NO REFUSAL: YES, at 14' CAVING: NO BACKFILLED: YES
40										

COMMENTS:



GOLD COAST GEOSERVICES, INC.

Engineering Geologic and Geotechnical Consultants

July 18, 2022

File No. GC22-013278

MICHAEL WEISBERG

10715 Yerba Buena Road

Malibu, CA

SUBJECT: Response to County of Ventura Public Works Agency Memorandum for Proposed Single Family Residence, APN 700-0-060-100, Yerba Buena Road, Malibu, County of Ventura.

REF.: Gold Coast GeoServices, Inc., Geotechnical Report, Proposed Grading for Single Family Residence, Swimming Pool, and Access Road Improvements, APN 700-0-060-100, Yerba Buena Road, Malibu, County of Ventura; dated 4/5/22.

Dear Mr. Weisberg:

In accordance with your request, we have prepared the following responses to the comments and request for additional information contained in the Memorandum issued by the Ventura County Public Works Agency, dated July 5, 2022. The Memorandum is attached in reference to the following responses:

ITEM #1. The access road to the site through the existing, legal ingress/egress easement traverses portions of the area that has been previously mapped by others as “landslide”. No evidence of landslide debris or of any recent or historic landslide movement were observed within the area that is traversed by the access road. The slopes along the access road are gentle to moderate, typically not exceeding 3h:1v slope ratio. Road cuts along the access road alignment expose dense to very dense Topanga Formation. No landslide debris is exposed in any road cuts, and the topographic conditions along the access road alignment are uniform and not indicative of having resulted from a landslide.

The geologic map contained with Preliminary Report 14 issued in 1973 by the California Division of Mines and Geology (CDMG, now California Geological Survey or CGS) was the first geologic map that showed a very large, ancient, inactive landslide feature that encompasses approximately 10 parcels of approximately 10 acres or more including the subject site. The landslide area incorporates most of the subject parcel as well as the parcels to the south and north of this site. A subsequent geologic map by the Dibblee Geological Foundation (DGF) shows the same landslide area as mapped by the CDMG.

The landslide area mapped by the CDMG was apparently based entirely upon interpretation of topographic features that were considered to be suggestive of possible landslide origin. The shape of the CDMG mapped landslide area suggests the type of landslide would be classified as a very large debris flow that slid to the south. The length of the landslide feature is approximately 2,800 feet (over 1/2 mile long). Large debris flows occur within unconsolidated surficial materials, not within hard bedrock material such as the Topanga Formation and intrusive volcanic rocks that underlie this area of the Santa Monica Mountains. Debris flows typically result in chaotic and rocky deposits, however no such deposits are present along or adjacent to any areas of the access road alignment.

The designation of the large ancient inactive landslide was not verified by exploratory borings to definitively determine the composition or depth of landslide movement or to actually verify the landslide designation shown on the CDMG map in 1973. It is noted that the landslide designation was first shown with a question mark, indicating the possibility that the landslide designation may be incorrect. Subsequent mapping by Dibblee and on the County of Ventura GIS website show the landslide area as initially mapped, despite the fact that no actual or factual determination of the landslide designation has been made by the CDMG or from subsurface investigation by any geologic consultant.

A field reconnaissance of the entire CDMG mapped landslide area in conjunction with review of stereographic pairs of aerial photographs (dated 11/14/45 and 6/14/71) provided by the County of Ventura Public Works Agency were performed by the undersigned engineering geologist in review of the area mapped as landslide by others. No evidence of active or historic landslides was noted within this site, or within the area of the proposed access road. Exposures of the Topanga Formation are afforded in existing road cuts along the access road.

ITEM #2. Geologic Cross-Section B-B', attached herewith, was extended to the south in the down dip direction. The descending slope area along the southerly side of the proposed building site does not exceed 3h:1v slope ratio. The bedding plane structure is folded or crenulated and is intruded by volcanic rocks, which effectively precludes the potential for bedding plane or translational type slope failure on the slopes that descend to the south in the down dip direction from the proposed building site. As shown on Geologic Cross-Section B-B', attached herewith in Appendix II, no daylighted bedding plane conditions occur on the southerly trending slope areas.

ITEM #3. The proposed seepage pit locations are adequately and safely removed from the landslide area mapped by the CDMG and Dibblee, about 150 feet east from the proposed seepage pit locations. Effluent migration from the seepage pits will occur along high angle fractures and predominantly high angle, southeast dipping bedding planes, so that effluent migration to the mapped landslide area or to the steeper slopes along the westerly side of the site will not occur. The slope area adjacent to the seepage pits does not exceed 3h:1v slope ratio and is underlain by very dense bedrock lacking adverse geologic conditions.



**WEISBERG
YERBA BUENA ROAD**

FILE NO. GC22-013278

REMARKS

Please call this office at (805) 484-5070 if you have any questions regarding any of our responses to the review items listed, or any other geologic or geotechnical engineering aspects of this project.

Respectfully submitted,
GOLD COAST GEOSERVICES, INC.



Scott J. Hogrefe, CEG 1516

**WEISBERG
YERBA BUENA ROAD**

FILE NO. GC22-013278


APPENDIX I
COUNTY OF VENTURA MEMORANDUM



County of Ventura
Public Works Agency
Engineering Services Department
MEMORANDUM

Date: July 5, 2022

To: John Oquendo, Case Planner, RMA Planning Division

From:  Jim O'Tousa, CEG, Land Development Services

Subject: Grading and Geology Review – Land Development Services (1st Review)

Reference: PL22-0082, Weisberg
[Yerba Buena Road, APN 700-0-060-010]

1. Application Materials
2. Gold Coast Geoservices, April 5, 2022, Geotechnical Report, Proposed Grading for Single-Family Residence, Swimming Pool, and Access Road Improvements, APN 700-0-060-100, Yerba Buena Road, Malibu, County of Ventura.

The application is **INCOMPLETE** for Geology and Grading review. The following comments shall be addressed:

Geology:

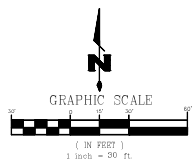
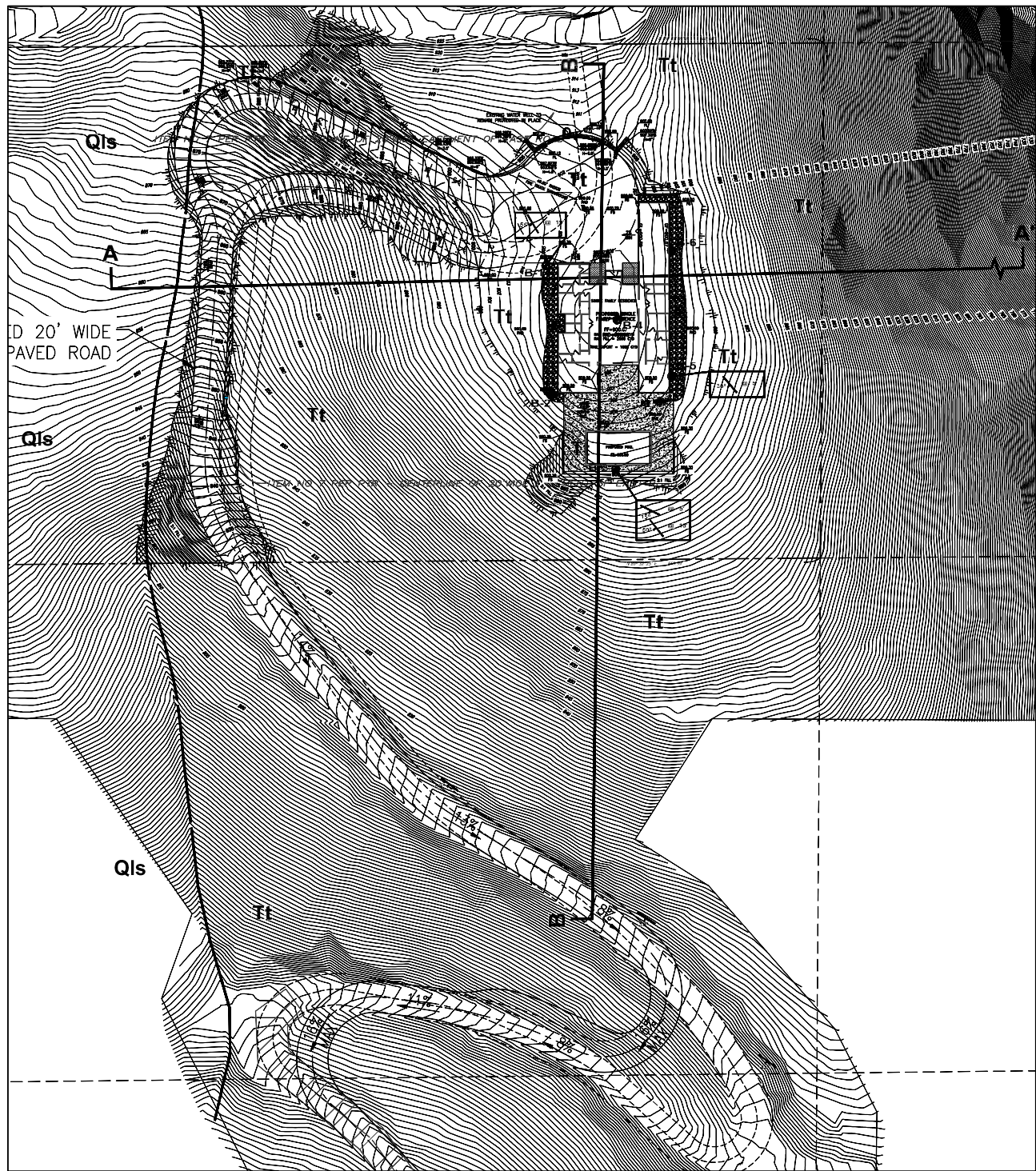
1. The geotechnical report needs to address the access road with respect to all weather conditions and future stability (road fills, road cuts and global) and considering the road crosses mapped landslide(s). Please provide appropriate geologic data and analysis to demonstrate permanent all-weather access to the building site.
2. Please provide cross-sections in the down dip direction and address slope stability utilizing appropriate shear strength parameters and water surface elevations.
3. Demonstrate long term use of the seepage pits will not contribute to landslide movement.
4. Additional comments may be presented upon submittal of above information.

End of Text

**WEISBERG
YERBA BUENA ROAD**

FILE NO. GC22-013278

**APPENDIX II
GEOTECHNICAL AND GEOLOGIC CROSS-SECTION**



GEOLOGIC LEGEND

- Q1s** LANDSLIDE (per DIBBLEE)
- Tt** TOPANGA FORMATION (Siltstone and Sandstone)
- B-1** APPROXIMATE LOCATION OF EXPLORATORY BORING
- STRIKE AND DIP OF BEDDING
- APPROXIMATE LIMITS OF LANDSLIDE (Per DIBBLEE)
- GEOLOGIC CROSS-SECTION

PLATE 1.1		GOLD COAST GEOSERVICES, INC.	
GEOLOGICAL MAP			
APN 700-0-060-100, YERBA BUENA ROAD, MALIBU			
DATE: 07-25-2022	SIZE: D	CLIENT: WEISBERG	REV:
FILE NO: GC22-013278	SCALE: 1" = 30'	DRAWN BY: IM	APPROVED BY: SJH
5251 VERDUGO WAY, SUITE J, CAMARILLO, CA 93012 (805) 464-3070			

GEOLOGIC CROSS-SECTION B - B'

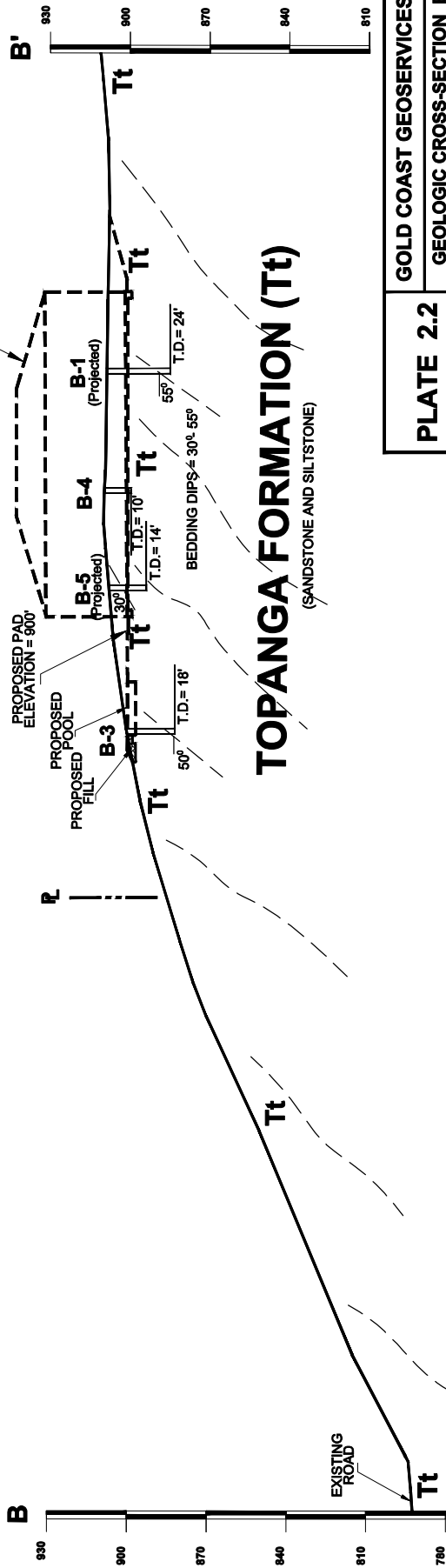
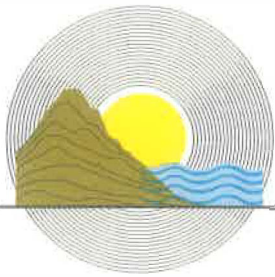


PLATE 2.2		GOLD COAST GEOSERVICES, INC.	
GEOLOGIC CROSS-SECTION B - B'		APN 700-0-060-100, YERBA BUENA ROAD, MALIBU	
DATE: 02-28-2022	SIZE: B	CLIENT: WEISBERG	REV: 07-2022
FILE NO: GC22-013278	SCALE: 1" = 30'	DRAWN BY: IM	APPROVED BY: SJH
5281 VERDEGRO WAY, SUITE J • CAMARILLO, CA 93012 • (805) 464-8070			



GOLD COAST GEOSERVICES, INC.

Engineering Geologic and Geotechnical Consultants

File No. GC22-013278

MICHAEL WEISBERG

SUBJECT: Proposed Single Family Residence and Swimming Pool, APN 700-0-060-100, Yerba Buena Road, Malibu, County of Ventura.

REF.: Gold Coast GeoServices, Inc., Geotechnical Report, Proposed Grading for Single-family Residence, Swimming Pool, and Access Road Improvements. APN 700-0-060-100, Yerba Buena Road, Malibu, County of Ventura; dated 4/5/22.

Dear Mr. Weisberg:

As discussed in the Geotechnical Report dated 4/5/22, and as shown on Geologic Maps published by the State of California that are referenced in the Geotechnical Report, the west side of the subject property is underlain by a large, ancient landslide. The feasibility of development of the landslide area was investigated by the undersigned engineering geologist in or around 1995, at the request of a potential buyer of this property at that time. The work was performed solely within the process of due diligence for the potential buyer, and no report was prepared at the completion of the work, at the request of the buyer. The scope of work of the investigation of the landslide area at the west side of this parcel by the undersigned engineering geologist in 1995 included the following:

1. Review of all published geologic maps by the State of California, and consultation with the staff engineering geologist for the County of Ventura Public Works Agency.
2. Review of historic stereographic aerial photographs that include the subject property.
3. Site reconnaissance to observe and evaluate the site conditions within and adjacent to the entire property.
4. Drilling exploratory borings for downhole geologic logging to evaluate the subsurface geologic conditions within the State mapped landslide area.

5. Slope stability analysis to determine the safety factor against potential reactivation of the landslide.

The 1995 investigation of the landslide concluded with the finding from the geotechnical analysis that it is not feasible to develop the State mapped landslide area of this property for a habitable structure, due to the finding that the area does not possess adequate safety factors regarding slope stability from a geotechnical standpoint. Slope stability analysis is required for hillside development in the "Guidelines for Geotechnical Reports" by the County of Ventura Public Works Agency; and in "Special Publication 117A, Guidelines for Evaluation and Mitigating Seismic Hazards in California" issued by the California Geological Survey in 2008. The landslide area is within a State designated "seismically-induced landslide hazard area", and the landslide area does not possess adequate safety factors against "seismically-induced landslide hazards".

Due to the finding from the landslide investigation in 1995, we advised you upon your purchase of this parcel that it is not feasible to develop a residence within the landside hazard area of this parcel. The area of the building site as now proposed on the easterly side of the parcel is a suitable building site from an engineering geologic standpoint, as indicated in the Geotechnical Report dated 4/5/22. It is noted that slope stability analysis was performed for the slopes in the area of the proposed residence on the east side of the property, and adequate safety factors were determined against seismically-induced landslide hazards for the proposed building area, as discussed in the report dated 4/5/22.

Respectfully submitted,

GOLD COAST GEOSERVICES, INC.



Scott J. Hogrefe, CEG 1516



HYDROLOGY & HYDRAULICS REPORT

APN: 700-00-601-0, Vacant Lot in Malibu, CA

Prepared for:

Michael Weisberg
10715 Yerba Buena Rd.
Malibu, CA 90265
805.444.4294

Prepared by:

Chris Nelson & Associates, Inc.
28118 Agoura Rd. Ste 100
Agoura Hills, CA 91301
818.991.1040

Date Prepared: July 2022



George Mekhael
7.29.22

County of Ventura
Initial Study/ Mitigated Negative
Declaration
Case No. PL22-0082
Attachment 8 - Hydrology &
Hydraulics Report (Chris Nelson &
Associates, Inc., July 2022)

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DRAINAGE REPORT AND HYDROLOGY CALCULATIONS

1. INTRODUCTION

1.0 ADDRESS

Vacant Lot off yerba Buena Rd in Malibu, CA (APN: 700-00-601-0)

1.1 REFERENCE

Hydrology Manual – 2017, Ventura County Watershed Protection District

1.2 PROJECT DESCRIPTION

This report presents the hydrologic and hydraulic analyses for the property which is located ~1,300 feet north of 10715 Yerba Buena Road in the City of Malibu, County of Ventura. The proposed development is a single-family residence. The entire site exists as an undeveloped lot. The site is bounded by undeveloped lots to the north, east, west, and south. 10753 Yerba Buena Road is located to the northwest corner of the site.

1.3 LOCATION MAP

The project site is shown highlighted on the location map below (Fig.1).

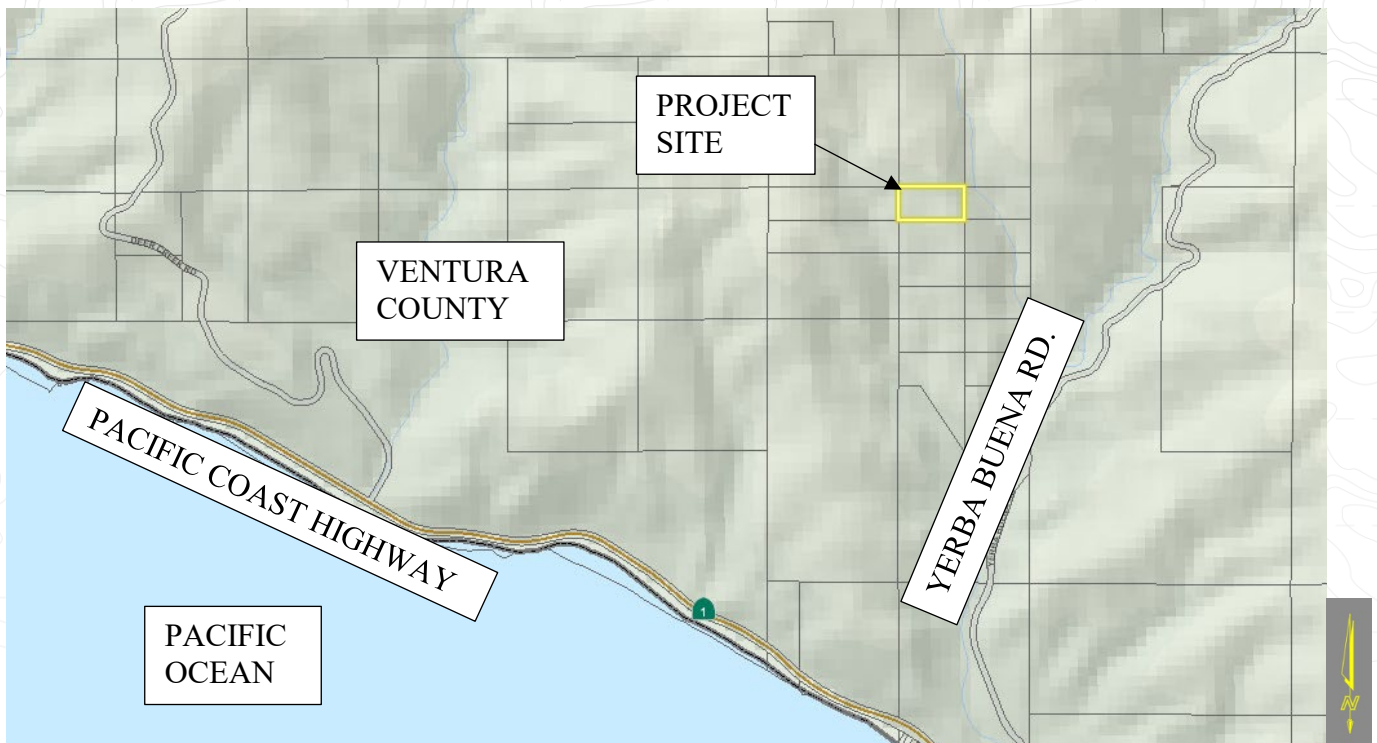


Figure 1. Site Location

2. HYDROLOGY

The purpose of this report is to study the flows for both the pre- and post-development conditions for the 10yr storm frequency with the following design criteria:

- $Q_{10} = C_{10} \times I_{10} \times A$, where
- Q_{10} = 10-year storm flow rate in cubic feet per second (cfs)
- C_{10} = 10-year storm runoff coefficient
- I_{10} = 10-year storm maximum rainfall intensity (in/hr)
- A = Drainage area (ac)

Since, the tributary areas are less than 5 acres (Exhibit E), t_c is considered to be 5 minutes. Also, the site is located within Zone L (Exhibit A). Therefore, rainfall intensity is 4.31 in/hr (Exhibit C).

The soil type (Exhibit B) and percentages of perviousness for the property before and after construction were incorporated in the runoff coefficient curve (Exhibit D). Based on this curve the runoff coefficient, C , is 0.95 for pre-development and 0.95 for post-development calculations.

Using the formula above, we get the following flowrates:

$$Q_{\text{pre-construction}} = 4.31 \times 0.95 \times (0.39 + 0.12) = 2.09 \text{ (cfs)}$$

$$Q_{\text{post-construction}} = 4.31 \times 0.95 \times (0.39 + 0.12) = 2.09 \text{ (cfs)}$$

The difference between pre- and post-development flowrate is $2.09 - 2.09 = 0.00$ (cfs) which signifies absolutely no change in overall site run-off. Because of this, the requirements of Subsection J105.3.5 [3] of County Building Code Appendix J are not applicable to this study. However, Table 4 demonstrates the before and after differences of the Q_2 , Q_{50} , and Q_{100} storm events by using the multiplicative factors determined from the Design Storm Ratios in Exhibit F. All storm drain events have zero changes in before and after flowrates.

Table 1. Comparison of Different Storm Events

Storm Event (yrs)	Q_{10} Factor	Pre-Development Flowrate	Post-Development Flowrate	Before and After Difference
Q_2	0.29	0.61	0.61	0.00
Q_{10}	1.00	2.09	2.09	0.00
Q_{50}	1.56	3.26	3.26	0.00
Q_{100}	1.76	3.68	3.68	0.00

The exhibits in Table 2 are attached at the end of this report.

Table 2. Exhibits

Exhibit	Reference	Criteria	Comment
A	Manual	Rainfall Zone	L
B	Ventura County Watershed Website	Soil Type	1
C	Manual	I_{10}	4.31 in/hr
		Time of Concentration (T_c)	5 min
D	Manual	C_{10} values	See Tables 2 & 3
E	Grading Plan	Drainage Areas	See Tables 2 & 3
F	Manual	Pipe Drainage Capacities	See Table 3
		Q_{10} Factors	See Table 4
G	Soils Report	Site Geology	

3. HYDRAULICS

3.1 CALCULATIONS

The pipe drainage capacities were calculated based on Flow Master Software and are shown in Table All storm drain pipes are SCH 40 PVC with fixed slope of 2% throughout the site. The pipe sizes are 6" diameter and confluence into 8" diameter. The 8" diameter pipe will be connecting the drains at the west side of tributary area A to a riprap apron.

The following tables indicate both the pre-development and post-development conditions, including the results from hydrological analysis.

Table 3. Pre-Development Conditions

Subarea	Area (Acres)	10-year Peak Flowrate (Q_{10})
A	0.39	1.56
B	0.12	0.50

Table 3. Post-Development Conditions

Subarea	Area (Acres)	10-year Peak Flowrate (Q ₁₀)	Pipe Drainage Capacity (cfs)	Comment
A	0.39	1.58	2.02	ok
B	0.12	0.50	0.52	ok

ASPHALT ROAD NOTE

The use of pervious asphalt will be utilized on all roadways and driveways. This, along with soil type 1 conditions, will result in 0% change in runoff before and after construction.

3.2 EROSION CONTROL

There are two riprap stone structures located at the west side of the building and pool (Exhibit E). The riprap pads are 6' long, 3.5' wide, and 9" deep structures. The smallest dimensions of the rocks on the ripraps exceed 6" and the largest dimensions do not exceed 24". There will be a grout bed of at least 2" beneath the first layer of rock and all the voids between the rocks will be filled with grout with a 2" maximum spacing between rocks. The grouted riprap structure is non-erosive and will break up the water flow and discharge it to the existing surface.

3.3 FURTHER CONSIDERATION

According to the Project soils report, almost the entire property and 100% of the disturbed area is underlain by Topanga Formation Bedrock, shown as "Tt" on the site geology map (Exhibit G). This dense bedrock essentially allows for 0% infiltration and thereby equates the existing ground with concrete, roofing, or any other impervious surface.

4. CONCLUSION

The difference between the cumulative pre- and post-development flowrates for 10-year storm event is 0.00 cfs. This result provides substantial proof that the post-development conditions will generally maintain similar drainage patterns to the pre-development drainage conditions.

To perform the hydraulics analysis for this project, two post-construction subareas were considered (Exhibit E). Based on the flowrate formula from the Ventura Hydrology Manual, post development flowrates for each subarea were calculated to be:

$$Q_{10-A} = 1.58 \text{ cfs}$$

$$Q_{10-B} = 0.50 \text{ cfs}$$

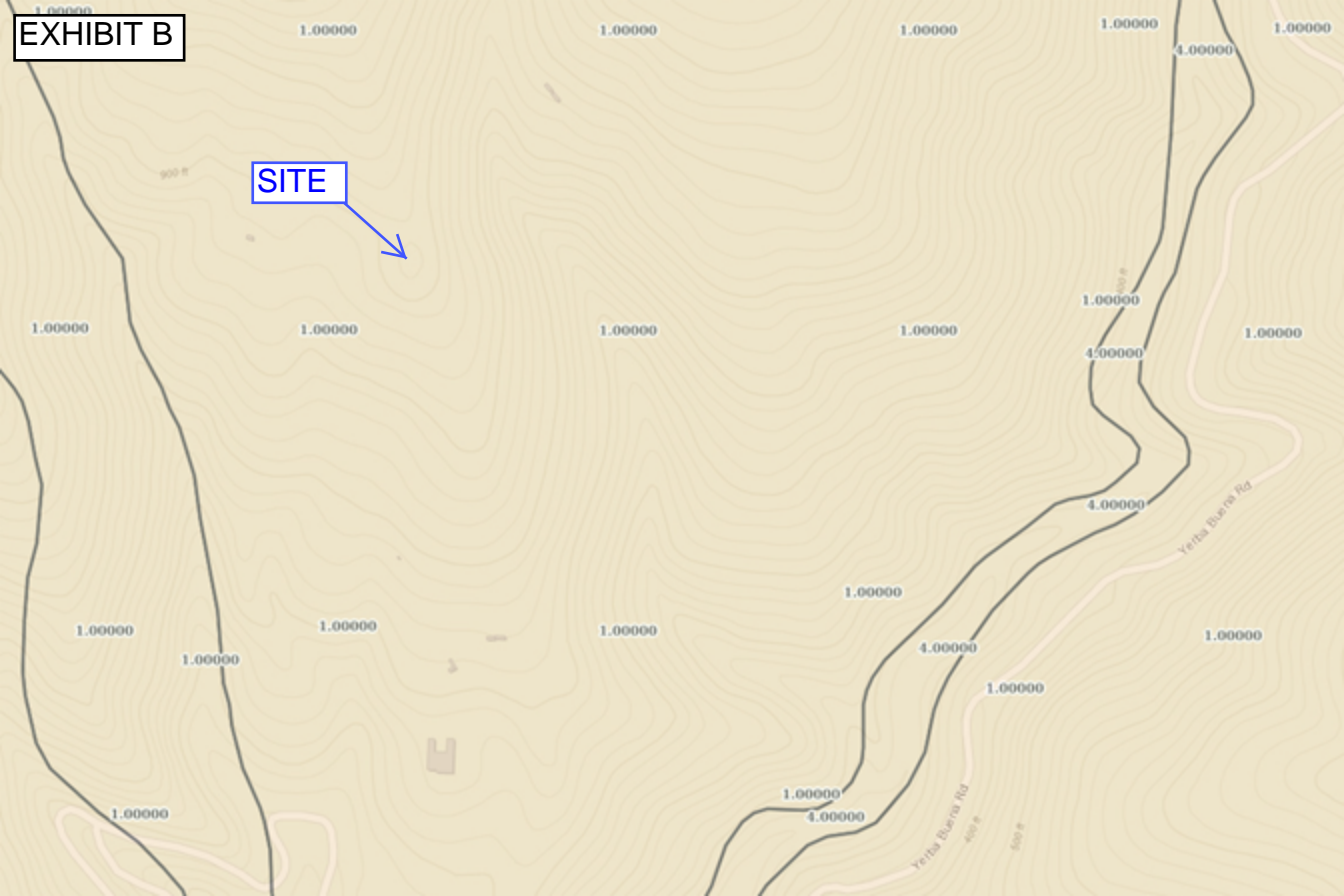
Using Flow Master Software, the pipe capacities for each subarea were found to be:

$$Q_{PIPE-A} = 2.02 \text{ cfs (which is greater than 1.58 cfs)}$$

$$Q_{PIPE-B} = 0.52 \text{ cfs (which is greater than 0.50 cfs)}$$

The pipes on each subarea have the necessary capacity to convey the runoff from a 10-year storm event.

EXHIBIT B



APPENDIX A

EXHIBITS

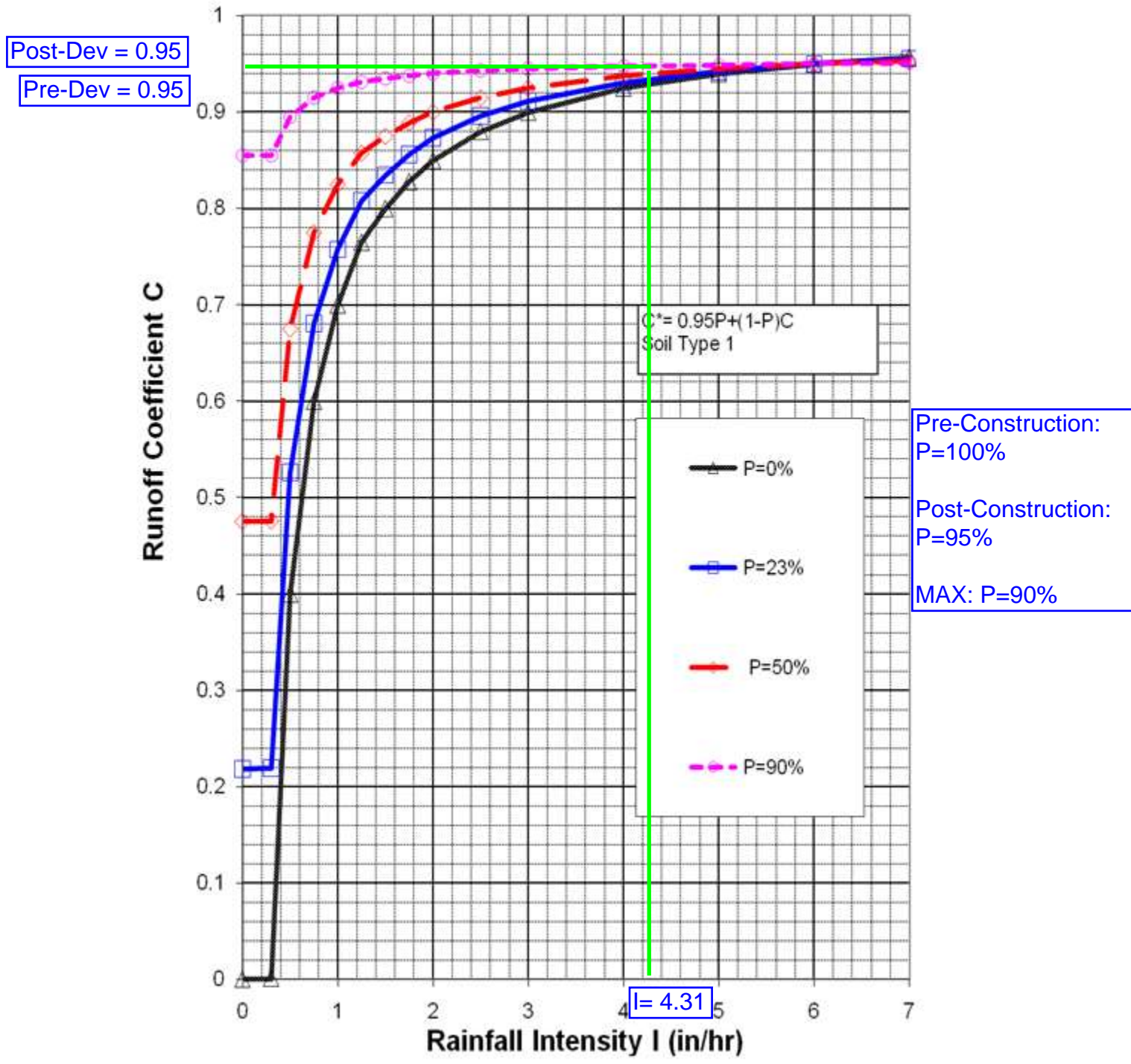
EXHIBIT 3. LEGACY Tc RAINFALL INTENSITIES

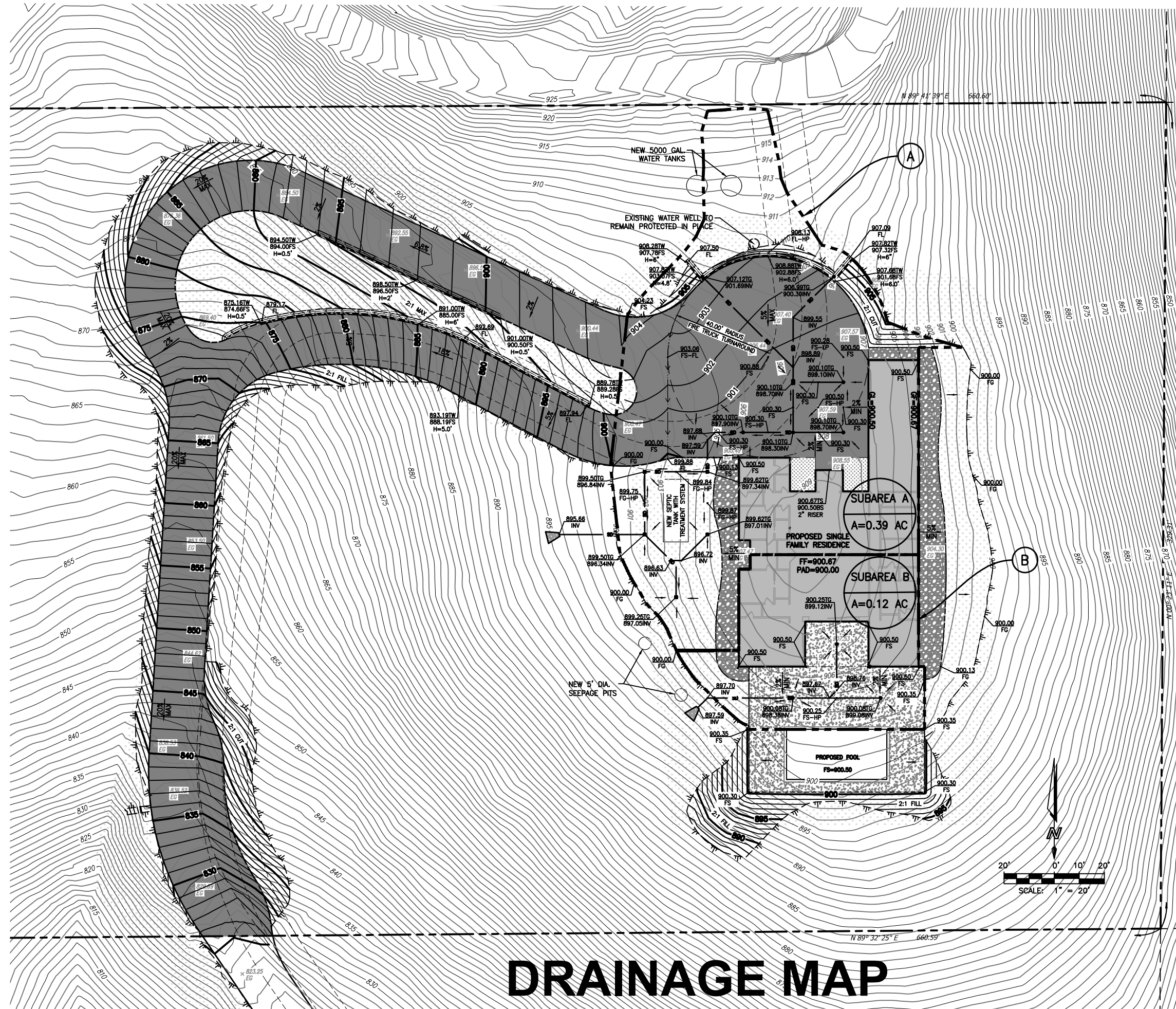
Zone	J	Jp	K	L	J	Jp	K	L	J	Jp	K	L	J	Jp	K	L
Year	10	10	10	10	25	25	25	25	50	50	50	50	100	100	100	100
Cum. Rain (in.)	3.17	4.38	5.53	7.21	3.91	5.28	6.41	8.81	5.0	6.0	8.0	11.0	7.0	6.66	10.6	15.0
Tc (min)	Rainfall Intensity (in/hr)															
5	2.16	2.16	3.72	4.31	2.64	3.34	4.27	4.94	2.94	3.79	4.55	5.58	3.23	4.06	5.10	6.11
6	2.02	2.01	3.40	3.90	2.52	2.94	3.80	4.39	2.80	3.34	4.10	5.05	2.90	3.55	4.59	5.43
7	1.86	1.90	3.09	3.56	2.30	2.65	3.45	3.99	2.55	3.01	3.77	4.63	2.67	3.19	4.23	4.95
8	1.74	1.82	2.86	3.30	2.14	2.58	3.19	3.69	2.36	2.93	3.52	4.28	2.50	2.99	3.95	4.58
9	1.63	1.76	2.68	3.07	1.99	2.44	2.99	3.45	2.21	2.77	3.33	4.00	2.36	2.87	3.74	4.30
10	1.53	1.70	2.52	2.86	1.87	2.29	2.81	3.24	2.08	2.60	3.16	3.76	2.25	2.78	3.57	4.07
11	1.45	1.64	2.40	2.70	1.76	2.17	2.66	3.07	1.95	2.46	3.02	3.56	2.13	2.67	3.39	3.88
12	1.38	1.59	2.29	2.56	1.66	2.07	2.53	2.92	1.85	2.35	2.90	3.39	2.02	2.58	3.23	3.72
13	1.33	1.55	2.20	2.44	1.58	1.98	2.43	2.80	1.76	2.25	2.80	3.25	1.94	2.49	3.10	3.59
14	1.28	1.51	2.12	2.34	1.52	1.90	2.34	2.70	1.68	2.16	2.72	3.13	1.86	2.42	2.99	3.47
15	1.23	1.47	2.04	2.25	1.46	1.84	2.26	2.60	1.62	2.09	2.62	3.02	1.80	2.36	2.89	3.37
16	1.18	1.43	1.98	2.18	1.40	1.78	2.18	2.50	1.56	2.02	2.54	2.92	1.73	2.29	2.79	3.25
17	1.14	1.39	1.92	2.11	1.36	1.73	2.12	2.42	1.50	1.96	2.47	2.83	1.67	2.22	2.70	3.14
18	1.11	1.35	1.86	2.04	1.31	1.68	2.06	2.34	1.45	1.90	2.41	2.75	1.61	2.16	2.62	3.05
19	1.07	1.32	1.82	1.99	1.27	1.63	2.01	2.28	1.41	1.86	2.35	2.68	1.56	2.11	2.55	2.96
20	1.04	1.29	1.77	1.94	1.24	1.60	1.96	2.22	1.37	1.81	2.29	2.62	1.52	2.07	2.49	2.88
21	1.02	1.26	1.73	1.90	1.20	1.55	1.91	2.17	1.33	1.76	2.23	2.55	1.48	2.03	2.43	2.82
22	0.99	1.23	1.68	1.85	1.17	1.51	1.87	2.12	1.30	1.72	2.17	2.49	1.44	1.99	2.36	2.76
23	0.97	1.21	1.65	1.82	1.14	1.48	1.83	2.07	1.27	1.68	2.12	2.44	1.41	1.95	2.31	2.70
24	0.95	1.19	1.62	1.78	1.12	1.44	1.79	2.03	1.24	1.64	2.07	2.39	1.38	1.92	2.26	2.65
25	0.93	1.16	1.58	1.75	1.09	1.41	1.76	1.99	1.21	1.61	2.03	2.34	1.35	1.89	2.22	2.60
26	0.90	1.14	1.56	1.72	1.07	1.39	1.73	1.96	1.18	1.57	1.98	2.29	1.32	1.86	2.17	2.56
27	0.88	1.13	1.53	1.68	1.05	1.36	1.70	1.92	1.16	1.54	1.94	2.25	1.29	1.83	2.13	2.51
28	0.87	1.11	1.50	1.66	1.03	1.34	1.67	1.89	1.14	1.52	1.90	2.21	1.27	1.80	2.09	2.46
29	0.85	1.09	1.48	1.63	1.01	1.31	1.64	1.87	1.12	1.49	1.87	2.17	1.24	1.77	2.05	2.42
30	0.83	1.08	1.46	1.61	0.99	1.29	1.61	1.84	1.10	1.47	1.84	2.13	1.22	1.74	2.02	2.38

APPENDIX A

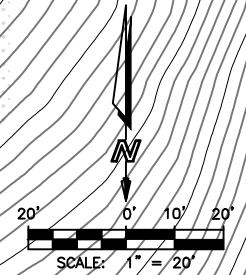
EXHIBITS

EXHIBIT 6A. LEGACY RUNOFF COEFFICIENT CURVE- SOIL 1 (NRCS TYPE D)





DRAINAGE MAP



APPENDIX A

EXHIBITS

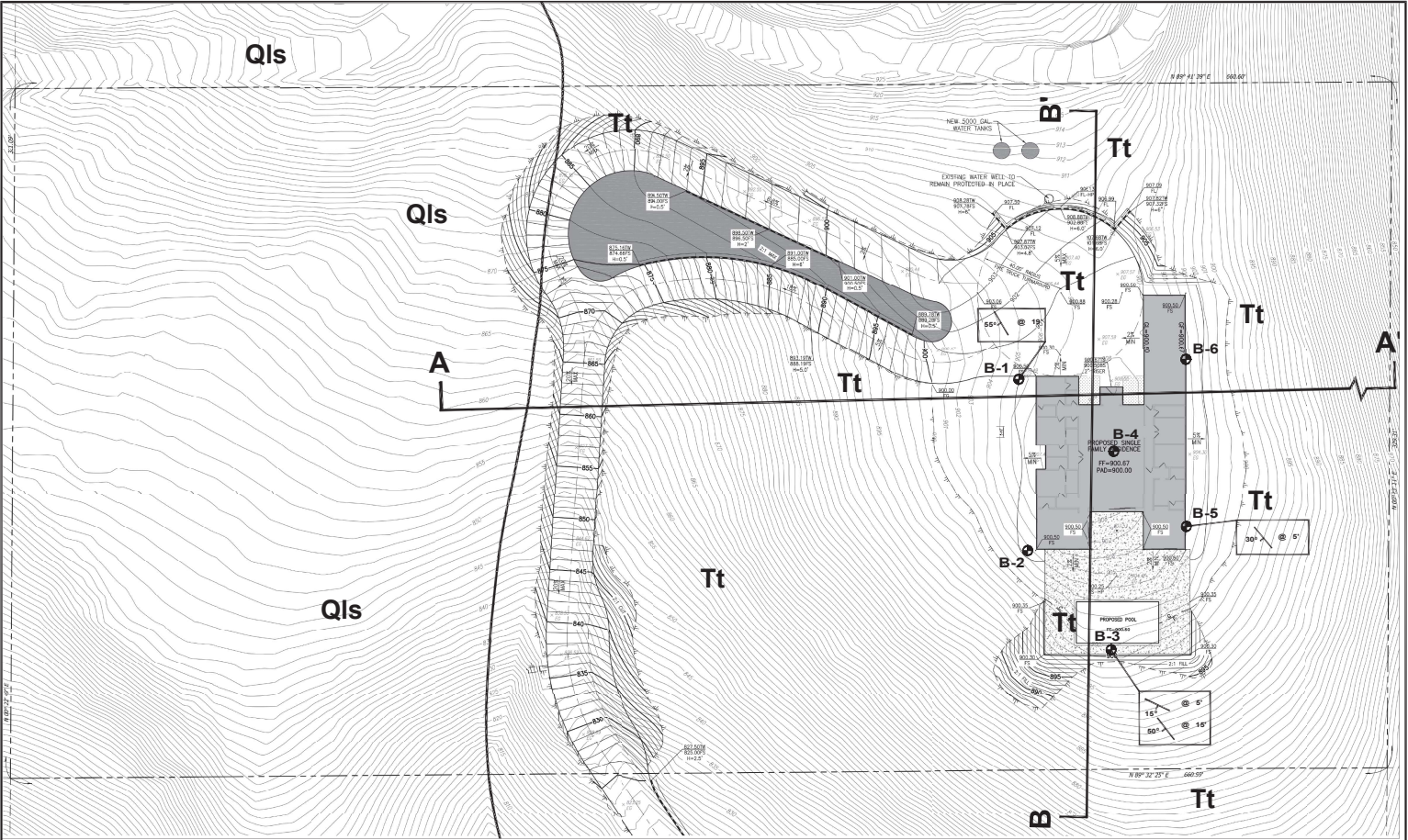
EXHIBIT 21. DESIGN STORM RATIOS

Category (1)	2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	200-yr	500-yr
Precipitation	0.43	0.61	0.73	0.88	1.00	1.11	Not Analyzed	Not Analyzed
Undeveloped- HMS & HSPF, Updated VCRat	0.043	0.144	0.262	0.484	0.711	1.000	1.345	1.952
Developed HMS & HSPF, Updated VCRat	0.166	0.330	0.464	0.660	0.882	1.000	1.191	1.502
Undeveloped- Legacy VCRat (2)	0.043	0.144	0.362	0.484	0.711	1.000	1.345	1.952
Developed Legacy VCRat (2)	0.166	0.330	0.567	0.660	0.882	1.000	1.191	1.502
Q₁₀ Factor	0.29		1.00		1.56	1.76		
Casitas Dam Outflow	0.005	0.030	0.048	0.110	0.143	1.000	1.191	1.448
Coyote Ck below Dam	0.005	0.100	0.200	0.400	0.580	1.000	1.191	1.416
Piru Ck Below Dam	0.031	0.042	0.061	0.136	0.805	1.000	1.183	1.463

Note (1): Ratios cannot be used for watersheds with detention basins or water storage dams affecting more than 10% of the area except for those developed specifically for dam outflow (Casitas and Piru).

Note (2): VCRat ratios provided for reference only as current practice is to run the model using the correct Tc's and rainfall for all storms required for design studies. In rare cases it may be necessary to use the multipliers in VCRat studies such as estimating 10-yr peaks from Soil Type 7 in the J' zone.

Note (3): Calleguas Watershed VCRat models have specific ratios that can be provided on request.



GEOLOGIC LEGEND

- Q1s** LANDSLIDE (per DIBBLEE)
- Tt** TOPANGA FORMATION (Siltstone and Sandstone)
- B-1** APPROXIMATE LOCATION OF EXPLORATORY BORING
- STRIKE AND DIP OF BEDDING
- GEOLOGIC CROSS-SECTION

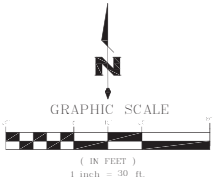


PLATE 1		GOLD COAST GEOSERVICES, INC.	
GEOTECHNICAL MAP			
APN 700-0-060-100, YERBA BUENA ROAD, MALIBU			
DATE: 02-28-2022	SIZE: C	CLIENT: WEISBERG	REV:
FILE NO: GC22-013278	SCALE: 1" = 30'	DRAWN BY: IM	APPROVED BY: SJH
5251 VERDUGO WAY, SUITE 1 • CAMARILLO, CA 93012 • (805) 484-8070			
CONCEPTUAL GRADING PLAN YERBA BUENA PROPERTY COUNTY OF VENTURA APN: 700-0-060-100			SHEET 2 OF 2 DRAWING NO.

DESCRIPTION OF REVISION	RCE	DATE	APP.	APP. DATE

PREPARED BY:

CHRIS NELSON & ASSOCIATES, INC.
 SURVEYORS AND ENGINEERS

APPROVED: COUNTY OF VENTURA
 DATE: _____
 BY: _____
 DEVELOPMENT & INSPECTION SERVICES

COUNTY OF VENTURA
 PUBLIC WORKS AGENCY
 DEVELOPMENT & INSPECTION SERVICES

PL22-0082 Yerba Buena SFD GHG - Ventura County APCD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

**PL22-0082 Yerba Buena SFD GHG
Ventura County APCD Air District, Annual**

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Single Family Housing	1.00	Dwelling Unit	0.32	4,880.00	3

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.6	Precipitation Freq (Days)	31
Climate Zone	8	Operational Year	2024		
Utility Company	Southern California Edison				
CO2 Intensity (lb/MW hr)	390.98	CH4 Intensity (lb/MW hr)	0.033	N2O Intensity (lb/MW hr)	0.004

1.3 User Entered Comments & Non-Default Data

- Project Characteristics -
- Land Use - per applicant
- Construction Phase - per applicant
- Grading -
- Architectural Coating - per APCD Rule 74.2, Architectural Coatings
- Energy Use - per applicant, solar panels will power home's electric needs

Table Name	Column Name	Default Value	New Value
tblArchitecturalCoating	EF_Nonresidential_Exterior	100.00	50.00
tblArchitecturalCoating	EF_Nonresidential_Interior	100.00	50.00
tblArchitecturalCoating	EF_Residential_Exterior	100.00	50.00
tblArchitecturalCoating	EF_Residential_Interior	75.00	50.00

County of Ventura
Initial Study/ Mitigated Negative Declaration
Case No. PL22-0082
Attachment 9 - CalEEMod Greenhouse Gases for Air Quality Impact Model for PL22-0082

PL22-0082 Yerba Buena SFD GHG - Ventura County APCD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

tblConstructionPhase	NumDays	100.00	330.00
tblConstructionPhase	NumDays	10.00	0.00
tblConstructionPhase	NumDays	2.00	30.00
tblConstructionPhase	PhaseEndDate	3/8/2023	1/24/2024
tblConstructionPhase	PhaseEndDate	10/14/2022	10/2/2022
tblConstructionPhase	PhaseEndDate	10/19/2022	11/28/2022
tblEnergyUse	NT24E	6,155.97	0.00
tblEnergyUse	T24E	53.28	0.00
tblLandUse	LandUseSquareFeet	1,800.00	4,880.00

2.0 Emissions Summary

PL22-0082 Yerba Buena SFD GHG - Ventura County APCD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

2.2 Overall Operational

Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area																0.0124
Energy																1.5697
Mobile																8.3754
Waste																0.6186
Water																0.3213
Total																10.8973

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	10/3/2022	10/2/2022	5	0	
2	Site Preparation	Site Preparation	10/15/2022	10/17/2022	5	1	
3	Grading	Grading	10/18/2022	11/28/2022	5	30	

PL22-0082 Yerba Buena SFD GHG - Ventura County APCD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

4	Building Construction	Building Construction	10/20/2022	1/24/2024	5	330
5	Paving	Paving	3/9/2023	3/15/2023	5	5
6	Architectural Coating	Architectural Coating	3/16/2023	3/22/2023	5	5

Acres of Grading (Site Preparation Phase): 0.5

Acres of Grading (Grading Phase): 22.5

Acres of Paving: 0

Residential Indoor: 9,882; Residential Outdoor: 3,294; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 0 (Architectural Coating – sqft)

OffRoad Equipment

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	1.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	2	6.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Grading	Graders	1	6.00	187	0.41
Grading	Rubber Tired Dozers	1	6.00	247	0.40
Grading	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Building Construction	Cranes	1	4.00	231	0.29
Building Construction	Forklifts	2	6.00	89	0.20
Building Construction	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Paving	Cement and Mortar Mixers	4	6.00	9	0.56
Paving	Pavers	1	7.00	130	0.42
Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated																8.3754
Unmitigated																8.3754

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Single Family Housing	9.44	9.54	8.55	25,772	25,772
Total	9.44	9.54	8.55	25,772	25,772

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Single Family Housing	10.80	7.30	7.50	32.90	18.00	49.10	86	11	3

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Single Family Housing	0.548670	0.058343	0.171689	0.130773	0.027316	0.007545	0.011806	0.006161	0.000681	0.000392	0.029028	0.000637	0.006958

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

5.3 Energy by Land Use - Electricity

Unmitigated

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Single Family Housing	1608.84				0.2868
Total					0.2868

Mitigated

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Single Family Housing	1608.84				0.2868
Total					0.2868

6.0 Area Detail

6.1 Mitigation Measures Area

PL22-0082 Yerba Buena SFD GHG - Ventura County APCD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

6.2 Area by SubCategory

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e	
SubCategory	tons/yr										MT/yr						
Architectural Coating																	0.0000
Consumer Products																	0.0000
Hearth																	0.0000
Landscaping																	0.0124
Total																	0.0124

7.0 Water Detail

7.1 Mitigation Measures Water

PL22-0082 Yerba Buena SFD GHG - Ventura County APCD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

	Total CO2	CH4	N2O	CO2e
Category	MT/yr			
Mitigated				0.3213
Unmitigated				0.3213

7.2 Water by Land Use

Unmitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Single Family Housing	0.065154 / 0.0410754				0.3213
Total					0.3213

PL22-0082 Yerba Buena SFD GHG - Ventura County APCD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

7.2 Water by Land Use

Mitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Single Family Housing	0.065154 / 0.0410754				0.3213
Total					0.3213

8.0 Waste Detail

8.1 Mitigation Measures Waste

Category/Year

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated				0.6186
Unmitigated				0.6186

PL22-0082 Yerba Buena SFD GHG - Ventura County APCD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

8.2 Waste by Land Use

Unmitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Single Family Housing	1.23				0.6186
Total					0.6186

Mitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Single Family Housing	1.23				0.6186
Total					0.6186

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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PL22-0082 Yerba Buena SFD GHG - Ventura County APCD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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User Defined Equipment

Equipment Type	Number
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11.0 Vegetation

ATTACHMENT 10 - WORKS CITED

- Alquist-Priolo Earthquake Fault Zoning Act. California Code of Regulations Figure 2.2.3b
- California Invasive Plant Council. 2017. "The California Invasive Plant Inventory Database"
- California Regional Water Quality Control Board, Los Angeles Region. Water Quality Control Plan Los Angeles Region - Basin Plan for the Coastal Watersheds of Los Angeles and Ventura Counties. June 13, 1994.
- California, State of. 2014b. § 65996
- California, State of. 2022a. "California Environmental Quality Act (CEQA)." California Public Resources code, Division 13, §§ 21000 et seq.
- California, State of. 2022b. "Government Code."
- California, State of. 2022c. "Public Resources Code."
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- California, State of. 2022e. "Guidelines for Implementation of the California Environmental Quality Act (CEQA Guidelines)." Title 14, California Code of Regulations, Chapter 3, § 15000 et seq.
- County of Ventura Public Works Agency. 2013b. "Road Standards."
- County of Ventura. 1994. Traffic Impact Mitigation Fee (TIMF) Ordinance No. 4246, Traffic Generation Factor Table.
- County of Ventura. 2001. "Ventura Countywide Siting Element."
- County of Ventura. 2010. "Construction Noise Threshold Criteria and Control Plan."
- County of Ventura. 2011. "Ventura County Initial Study Assessment Guidelines."
- County of Ventura. 2019. "Ventura County 2016 Building Code Ordinance Number 4456."
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- County of Ventura. 2022a. "Resource Management Agency (RMA) Geographic Information System (GIS) Aerial Imagery and Maps."

County of Ventura. 2022b. "Ventura County Coastal Zoning Ordinance."

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<https://msc.fema.gov/portal/search?AddressQuery=41700%20Pacific%20Coast%20Highway%2C%20Ventura#searchresultsanchor> (Accessed October 2022)

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**CONDITIONS OF APPROVAL
AND MITIGATION MONITORING AND REPORTING PROGRAM
FOR WEISBERG RESIDENCE
(COASTAL) PD PERMIT
CASE NO. PL22-0082**

RESOURCE MANAGEMENT AGENCY (RMA)

Planning Division Conditions

1. Project Description

This Coastal Planned Development (PD) Permit is based on and limited to compliance with the project description stated in this condition below, Exhibit 3 (Plans), Exhibit 4 (MND Initial Study Biological Assessment (David Magney Environmental Consultants, August 2022 and amended on *October 4, 2023*); Onsite Wastewater Treatment System Design Report (Gold Coast Geoservices, Inc., May 2022 and Addendum Letter (July 2022)); Geotechnical Report (Gold Coast Geoservices, Inc., April 2022); and Hydrology & Hydraulics Report (Chirs Nelson & Associates, Inc., July 2022)), and conditions of approval set forth below. Together, these conditions and documents describe the "Project." Any deviations from the Project must first be reviewed and approved by the County in order to determine if the Project deviations conform to the Project as approved. Project deviations may require Planning Director approval for changes to the permit or further California Environmental Quality Act (CEQA) environmental review, or both. Any Project deviation that is implemented without requisite County review and approval(s) may constitute a violation of the conditions of this permit and applicable law.

The Project description is as follows:

This Permit is a Coastal Planned Development (PD) Permit to construct a 4,880 square feet (sq. ft.) one-story single-family dwelling with an attached 1,046 sq. ft. four car garage, a 452 sq. ft. covered patio and swimming pool with barbeque area on the northeast portion of the proposed building pad. The roof of the single-family dwelling will contain solar panels, which will provide electricity to the project site, and a 500-gallon propane tank for heating. Access to the site is provided by way of Yerba Buena Road using an existing unimproved 20-foot wide by 1,700-foot-long private driveway that will be upgraded per Ventura County Fire Protection District standards for access. Estimated earthwork includes 4,308 cubic yards cut and 2,835 of cubic yards fill and 1,473 cubic yards of export. Grading will consist of 2:1 cut and fill slopes and a building pad with a 2-5% gradient.

Water service will be provided by an existing permitted private water well (01S20W22F02S). Two proposed 4,995-gallon galvanized steel water tanks will provide water storage for domestic and firefighting purposes. An onsite wastewater treatment system (OWTS) that includes two seepage pits, approximately 5 feet wide by

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Exhibit 5 - Conditions of Approval &
Mitigation Monitoring & Reporting Program

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50 feet deep, a septic tank, and a treatment system tank would be constructed adjacent to and west of the single-family dwelling.

The proposed project will permanently remove approximately 121,314 sq. ft. (2.785 acres) of Environmentally Sensitive Habitat Areas (ESHA) related to the construction of the access road, the home, and the required 100-foot fuel modification zone. Approximately 2,700 sq. ft. of ESHA was cleared without the benefit of a permit 13,590 sq. ft. (0.312 acres) associate with previous development on the western portion of the site and 1,829 sq. ft. (0.042 acres) of ruderal vegetation west of the access road. A total of 3.097 acres of ESHA will require mitigation at a 2:1 ratio (6.19 acres). Restoration of 0.312 acres will occur onsite, the remaining 5.882 acres will be mitigated through the acquisition of offsite parcels to be dedicated to Mountains Recreation and Conservation Authority (MRCA).

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures and landscape areas, and the protection and preservation of resources shall conform to the project description above and all approved County land use hearing exhibits in support of the Project and conditions of approval below.

2. Required Improvements for Coastal PD

Purpose: To ensure the project site conforms to the plans approved at the Planning Director hearing in support of the project.

Requirement: The Permittee shall ensure that all required off-site and on-site improvements for the Project, including structures, paving, private road improvement, and landscaping are completed in conformance with the approved plans stamped as hearing exhibit (Exhibit 3). The Permittee shall prepare and submit all final building and site plans for the County's review and approval in accordance with the approved plans.

Documentation: The Permittee shall obtain Planning Division staff's stamped approval on the project plans and submit them to the County for inclusion in the Project file. The Permittee shall submit additional plans to the Planning Division for review and stamped approval (e.g., tree protection and landscape plans) for inclusion in the Project file, as necessary.

Timing: Prior to the issuance of a Zoning Clearance for construction the Permittee shall submit all final development plans to the Planning Division for review and approval. Unless the Planning Director and/or Public Works Agency Director allow the Permittee to provide financial security and a final executed agreement, approved as to form by the County Counsel, that ensures completion of such improvements, the Permittee shall complete all required improvements prior to occupancy. The Permittee shall maintain the required improvements for the life of the Project.

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Monitoring and Reporting: The County Building Inspector, Public Works Agency Grading Inspector, Fire Marshall, and/or Planning Division staff has the authority to conduct periodic site inspections to ensure the Permittee's ongoing compliance with this condition consistent with the requirements of §8183-5 of the Ventura County Coastal Zoning Ordinance.

3. Site Maintenance

Purpose: To ensure that the Project site is maintained in a neat and orderly manner so as not to create any hazardous conditions or unsightly conditions which are visible from outside of the Project site.

Requirement: The Permittee shall maintain the Project site in a neat and orderly manner, and in compliance with the Project description set forth in Condition No. 1. Only equipment and/or materials which the Planning Director determines to substantially comply with the Project description shall be stored within the Project site during the life of the Project.

Documentation: The Permittee shall maintain the Project site in compliance with Condition No. 1 and the approved plans for the Project.

Timing: The Permittee shall maintain the Project site in a neat and orderly manner and in compliance with Condition No. 1 throughout the life of the Project.

Monitoring and Reporting: The County Building Inspector, Public Works Agency Grading Inspector, Fire Marshall, and/or Planning Division staff has the authority to conduct periodic site inspections to ensure the Permittee's ongoing compliance with this condition consistent with the requirements of §8183-5 of the Ventura County Coastal Zoning Ordinance.

4. Coastal PD Modification

Prior to undertaking any operational or construction-related activity which is not expressly described in these conditions, the Permittee shall first contact the Planning Director to determine if the proposed activity requires a modification of this Coastal PD. The Planning Director may, at the Planning Director's sole discretion, require the Permittee to file a written and/or mapped description of the proposed activity in order to determine if a Coastal PD modification is required. If a Coastal PD modification is required, the modification shall be subject to:

- a. The modification approval standards of the Ventura County Ordinance Code in effect at the time the modification application is acted on by the Planning Director; and
- b. Environmental review, as required pursuant to the California Environmental Quality Act (CEQA; California Public Resources Code, §§ 21000-21178) and

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the State CEQA Guidelines (California Code of Regulations, Title 14, Chapter 3, §§ 15000-15387), as amended from time to time.

5. Construction Activities

Prior to any construction, the Permittee shall obtain a Zoning Clearance for construction from the Planning Division, and a Building Permit from the Building and Safety Division. Prior to any grading, the Permittee shall obtain a Grading Permit from the Public Works Agency.

6. Acceptance of Conditions and Schedule of Enforcement Responses

The Permittee's acceptance of this Coastal PD Permit and/or commencement of construction and/or operations under this Coastal PD Permit shall constitute the Permittee's formal agreement to comply with all conditions of this Coastal PD Permit. Failure to abide by and comply with any condition of this Coastal PD Permit shall constitute grounds for enforcement action provided in the Ventura County Coastal Zoning Ordinance (Article 13) [select appropriate document], which shall include, but is not limited to, the following:

- a. Public reporting of violations to the Planning Commission and/or Board of Supervisors;
- b. Suspension of the permitted land uses (Condition No. 1);
- c. Modification of the Coastal PD Permit conditions listed herein;
- d. Recordation of a "Notice of Noncompliance" on the deed to the subject property;
- e. The imposition of civil administrative penalties; and/or
- f. Revocation of this Coastal PD Permit.

The Permittee is responsible for being aware of and complying with the Coastal PD Permit conditions and all applicable federal, state, and local laws and regulations.

7. Time Limits

- a. Use inauguration:
 - (1) The approval decision for this Coastal PD Permit becomes effective upon the expiration of the 10-day appeal period following the approval decision, or when any appeals of the decision are finally resolved. Once the approval decision becomes effective, the Permittee must obtain a Zoning Clearance for construction in order to initiate the land uses set forth in Condition No. 1.
 - (2) This Coastal PD Permit shall expire and become null and void if the Permittee fails to obtain a Zoning Clearance for construction within one year the Ventura County Coastal Zoning Ordinance (§ 8181-7.7) from the date the approval decision of this Coastal PD becomes effective. The Planning Director may

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grant a one-year extension of time to the Permittee in order to obtain the Zoning Clearance for construction if the Permittee can demonstrate to the satisfaction of the Planning Director that the Permittee has made a diligent effort to implement the Project, and the Permittee has requested the time extension in writing at least 30 days prior to the one year expiration date.

- (3) Prior to the issuance of the Zoning Clearance for construction all fees and charges billed to that date by any County agency, as well as any fines, penalties, and sureties, must be paid in full. After issuance of the Zoning Clearance for construction, any final billed processing fees must be paid within 30 days of the billing date or the County may revoke this Coastal PD Permit.

8. Documentation Verifying Compliance with Other Agencies' Requirements Related to this Coastal PD Permit

Purpose: To ensure compliance with, and notification of, federal, state, and/or local government regulatory agencies that have requirements that pertain to the Project (Condition No. 1, above) that is the subject of this Coastal PD Permit.

Requirement: Upon the request of the Planning Director, the Permittee shall provide the Planning Division with documentation (e.g., copies of permits or agreements from other agencies, which are required pursuant to a condition of this Coastal PD Permit) to verify that the Permittee has obtained or satisfied all applicable federal, state, and local entitlements and conditions that pertain to the Project.

Documentation: The Permittee shall provide this documentation to Planning Division staff in the form that is acceptable to the agency issuing the entitlement or clearance, to be included in the Planning Division Project file.

Timing: The documentation shall be submitted to the Planning Division prior to the issuance of the Zoning Clearance for construction.

Monitoring and Reporting: The Planning Division maintains the documentation provided by the Permittee in the respective Project file. In the event that the federal, state, or local government regulatory agency prepares new documentation due to changes in the Project or the other agency's requirements, the Permittee shall submit the new documentation within 30 days of receipt of the documentation from the other agency.

9. Notice of Coastal PD Permit Requirements and Retention of Coastal PD Permit Conditions On Site

Purpose: To ensure full and proper notice of these Coastal PD Permit conditions affecting the use of the subject property.

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Requirement: Unless otherwise required by the Planning Director, the Permittee shall notify, in writing, the Property Owner(s) of record, contractors, and all other parties and vendors who regularly conduct activities associated with the Project, of the pertinent conditions of this Coastal PD Permit.

Documentation: The Permittee shall maintain a current set of Coastal PD Permit conditions and exhibits at the project site.

Timing: Prior to issuance of a Zoning Clearance for construction and throughout the life of the Project.

Monitoring and Reporting: The Planning Division has the authority to conduct periodic site inspections to ensure ongoing compliance with this condition consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

10. Recorded Notice of Land Use Entitlement

Purpose: The Permittee shall record a “Notice of Land Use Entitlement” form and the conditions of this Coastal PD Permit with the deed for the subject property that notifies the current and future Property Owner(s) of the conditions of this Coastal PD Permit.

Requirement: The Permittee shall sign, have notarized, and record with the Office of the County Recorder, a “Notice of Land Use Entitlement” form furnished by the Planning Division and the conditions of this Coastal PD Permit, with the deed of the property that is subject to this Coastal PD Permit.

Documentation: Recorded “Notice of Land Use Entitlement” form and conditions of this Coastal PD Permit.

Timing: The Permittee shall record the “Notice of Land use Entitlement” form and conditions of this Coastal PD Permit, prior to issuance of a Zoning Clearance for construction.

Monitoring and Reporting: The Permittee shall return a copy of the recorded “Notice of Land Use Entitlement” form and conditions of this Coastal PD Permit to Planning Division staff to be included in the Project file.

11. Financial Responsibility for Compliance Monitoring and Enforcement

- a. **Cost Responsibilities:** The Permittee shall bear the full costs of all County staff time, materials, and County-retained consultants associated with condition compliance review and monitoring, CEQA mitigation monitoring, other permit monitoring programs, and enforcement activities, actions, and processes conducted pursuant to the Ventura County Coastal Zoning Ordinance (§ 8183-5) related to this Coastal PD Permit. Such condition compliance review,

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monitoring and enforcement activities may include (but are not limited to): periodic site inspections; preparation, review, and approval of studies and reports; review of permit conditions and related records; enforcement hearings and processes; drafting and implementing compliance agreements; and attending to the modification, suspension, or revocation of permits. Costs will be billed at the rates set forth in the Planning Division or other applicable County Fee Schedule, and at the contract rates of County-retained consultants, in effect at the time the costs are incurred.

b. Establishment of Revolving Compliance Account:

Within 10 calendar days of the effective date of the final decision approving this Coastal PD Permit, the Permittee shall submit the following deposit and reimbursement agreement to the Planning Director:

- (1) A payment of \$500.00 for deposit into a revolving condition compliance and enforcement account to be used by the Planning Division to cover costs associated with condition compliance review, monitoring, and enforcement activities described in 11.a (above), and any duly-imposed civil administrative penalties regarding this. The Permittee shall replenish such account to the above-stated amount within 10 calendar days after receiving notice of the requirement to do so from the Resource Management Agency.
- (2) An executed reimbursement agreement, in a form provided by the Planning Division, obligating the Permittee to pay all condition compliance review, monitoring, and enforcement costs, and any civil administrative penalties, subject to the Permittee's right to challenge all such charges and penalties prior to payment.

- c. Billing Process: The Permittee shall pay all Planning Division invoices within 30 days of receipt thereof. Failure to timely pay an invoice shall subject the Permittee to late fees and charges set forth in the Planning Division Fee Schedule, and shall be grounds for suspension, modification, or revocation of this Coastal PD Permit. The Permittee shall have the right to challenge any charge or penalty prior to payment.

12. Defense and Indemnification

- a. The Permittee shall defend, at the Permittee's sole expense with legal counsel acceptable to the County, against any and all claims, actions, or proceedings against the County, any other public agency with a governing body consisting of the members of the County Board of Supervisors, or any of their respective board members, officials, employees and agents (collectively, "Indemnified Parties") arising out of or in any way related to the County's issuance, administration, or

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enforcement of this Coastal PD Permit. The County shall promptly notify the Permittee of any such claim, action or proceeding and shall cooperate fully in the defense.

- b. The Permittee shall also indemnify and hold harmless the Indemnified Parties from and against any and all losses, damages, awards, fines, expenses, penalties, judgments, settlements, or liabilities of whatever nature, including but not limited to court costs and attorney fees (collectively, "Liabilities"), arising out of or in any way related to any claim, action or proceeding subject to subpart (a) above, regardless of how a court apportions any such Liabilities as between the Permittee, the County, and/or third parties.
- c. Except with respect to claims, actions, proceedings, and Liabilities resulting from an Indemnified Party's sole active negligence or intentional misconduct, the Permittee shall also indemnify, defend (at Permittee's sole expense with legal counsel acceptable to County), and hold harmless the Indemnified Parties from and against any and all claims, actions, proceedings, and Liabilities arising out of, or in any way related to, the construction, maintenance, land use, or operations conducted pursuant to this Coastal PD Permit, regardless of how a court apportions any such Liabilities as between the Permittee, the County, and/or third parties. The County shall promptly notify the Permittee of any such claim, action, or proceeding and shall cooperate fully in the defense.
- d. Neither the issuance of this Coastal PD Permit, nor compliance with the conditions hereof, shall relieve the Permittee from any responsibility otherwise imposed by law for damage to persons or property; nor shall the issuance of this Coastal PD Permit serve to impose any liability upon the Indemnified Parties for injury or damage to persons or property.

13. Invalidation of Condition(s)

If any of the conditions or limitations of this Coastal PD Permit are held to be invalid in whole or in part by a court of competent jurisdiction, that holding shall not invalidate any of the remaining Coastal PD Permit conditions or limitations. In the event that any condition imposing a fee, exaction, dedication, or other mitigation measure is challenged by the Permittee in an action filed in a court of competent jurisdiction, or threatened to be filed therein, the Permittee shall be required to fully comply with this Coastal PD Permit, including without limitation, by remitting the fee, exaction, dedication, and/or by otherwise performing all mitigation measures being challenged. This Coastal PD Permit shall continue in full force unless, until, and only to the extent invalidated by a final, binding judgment issued in such action.

If a court of competent jurisdiction invalidates any condition in whole or in part, and the invalidation would change the findings and/or the mitigation measures associated with the approval of this Coastal PD Permit, at the discretion of the Planning Director, the

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Planning Director may review the project and impose substitute feasible conditions/mitigation measures to adequately address the subject matter of the invalidated condition. The Planning Director shall make the determination of adequacy. If the Planning Director cannot identify substitute feasible conditions/mitigation measures to replace the invalidated condition and cannot identify overriding considerations for the significant impacts that are not mitigated to a level of insignificance as a result of the invalidation of the condition, then this Coastal PD Permit may be revoked.

14. Consultant Review of Information and Consultant Work

The County and all other County permitting agencies for the Project have the option of referring any and all special studies that these conditions require to an independent and qualified consultant for review and evaluation of issues beyond the expertise or resources of County staff.

Prior to the County engaging any independent consultants or contractors pursuant to the conditions of this Coastal PD Permit, the County shall confer in writing with the Permittee regarding the necessary work to be contracted, as well as the estimated costs of such work. Whenever feasible, the County will use the lowest responsible bidder or proposer. Any decisions made by County staff in reliance on consultant or contractor work may be appealed pursuant to the appeal procedures contained in the Ventura County Zoning Ordinance Code then in effect.

The Permittee may hire private consultants to conduct work required by the County, but only if the consultant and the consultant's proposed scope-of-work are first reviewed and approved by the County. The County retains the right to hire its own consultants to evaluate any work that the Permittee or a contractor of the Permittee undertakes. In accordance with Condition No. 11 above, if the County hires a consultant to review any work undertaken by the Permittee, or hires a consultant to review the work undertaken by a contractor of the Permittee, the hiring of the consultant will be at the Permittee's expense.

15. Relationship of Coastal PD Conditions, Laws, and Other Entitlements

The Permittee shall implement the Project in compliance with all applicable requirements and enactments of federal, state, and local authorities. In the event of conflict between various requirements, the more restrictive requirements shall apply. In the event the Planning Director determines that any Coastal PD Permit condition contained herein is in conflict with any other Coastal PD Permit condition contained herein, when principles of law do not provide to the contrary, the Coastal PD Permit condition most protective of public health and safety and environmental resources shall prevail to the extent feasible.

No condition of this Coastal PD Permit for uses allowed by the Ventura County Ordinance Code shall be interpreted as permitting or requiring any violation of law, lawful rules, or regulations, or orders of an authorized governmental agency. Neither the approval of this Coastal PD Permit, nor compliance with the conditions of this Coastal PD Permit,

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shall relieve the Permittee from any responsibility otherwise imposed by law for damage to persons or property.

16. Contact Person

Purpose: To designate a person responsible for responding to complaints.

Requirement: The Permittee shall designate a contact person(s) to respond to complaints from citizens and the County which are related to the permitted uses of this Coastal PD Permit.

Documentation: The Permittee shall provide the Planning Director with the contact information (e.g., name and/or position title, address, business and cell phone numbers, and email addresses) of the Permittee's field agent who receives all orders, notices, and communications regarding matters of condition and code compliance at the Project site.

Timing: Prior to the issuance of a Zoning Clearance for construction the Permittee shall provide the Planning Division the contact information of the Permittee's field agent(s) for the Project file. If the address or phone number of the Permittee's field agent(s) should change, or the responsibility is assigned to another person, the Permittee shall provide Planning Division staff with the new information in writing within three calendar days of the change in the Permittee's field agent.

Monitoring and Reporting: The Planning Division maintains the contact information provided by the Permittee in the Project file. The Planning Division has the authority to periodically confirm the contact information consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

17. Change of Permittee

Purpose: To ensure that the Planning Division is properly and promptly notified of any change of Permittee.

Requirement: The Permittee shall file, as an initial notice with the Planning Director, the new name(s), address(es), telephone/FAX number(s), and email addresses of the new owner(s), lessee(s), operator(s) of the permitted uses, and the company officer(s). The Permittee shall provide the Planning Director with a final notice once the transfer of ownership and/or operational control has occurred.

Documentation: The initial notice must be submitted with the new Permittee's contact information. The final notice of transfer must include the effective date and time of the transfer and a letter signed by the new Property Owner(s), lessee(s), and/or operator(s) of the permitted uses acknowledging and agreeing to comply with all conditions of this Coastal PD Permit.

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Timing: The Permittee shall provide written notice to the Planning Director 10 calendar days prior to the change of ownership or change of Permittee. The Permittee shall provide the final notice to the Planning Director within 15 calendar days of the effective date of the transfer.

Monitoring and Reporting: The Planning Division maintains notices submitted by the Permittee in the Project file and has the authority to periodically confirm the information consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

18. Paleontological Resources Discovered During Grading

Purpose: In order to mitigate potential impacts to paleontological resources that may be encountered during ground disturbance or construction activities.

Requirement: If any paleontological remains are uncovered during ground disturbance or construction activities, the Permittee shall:

- a. Cease operations and assure the preservation of the area in which the discovery was made;
- b. Notify the Planning Director in writing, within three days of the discovery;
- c. Obtain the services of a paleontological consultant or professional geologist who shall assess the find and provide a report that assesses the resources and sets forth recommendations on the proper disposition of the site;
- d. Obtain the Planning Director's written concurrence with the recommended disposition of the site before resuming development; and
- e. Implement the agreed upon recommendations.

Documentation: The Permittee shall submit the paleontologist's or geologist's reports. Additional documentation may be required to demonstrate that the Permittee has implemented the recommendations set forth in the paleontological report.

Timing: If any paleontological remains are uncovered during ground disturbance or construction activities, the Permittee shall provide the written notification to the Planning Director within three days of the discovery. The Permittee shall submit the paleontological report to the Planning Division immediately upon completion of the report.

Monitoring and Reporting: The Permittee shall provide the paleontological report to the Planning Division to be made part of the Project file. The Permittee shall implement any recommendations made in the paleontological report to the satisfaction of the Planning Director. The paleontologist shall monitor all ground disturbance activities within the

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area in which the discovery was made, in order to ensure the successful implementation of the recommendations made in the paleontological report. The Planning Division has the authority to conduct site inspections to ensure that the Permittee implements the recommendations set forth in the paleontological report, consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

19. Archaeological Resources Discovered During Ground Disturbance

Purpose: In order to mitigate potential impacts to archaeological resources discovered during ground disturbance.

Requirement: The Permittee shall implement the following procedures:

- a. If any archaeological or historical artifacts are uncovered during ground disturbance or construction activities, the Permittee shall:
 - (1) Cease operations and assure the preservation of the area in which the discovery was made;
 - (2) Notify the Planning Director in writing, within three days of the discovery;
 - (3) Obtain the services of a County-approved archaeologist who shall assess the find and provide recommendations on the proper disposition of the site in a written report format;
 - (4) Obtain the Planning Director's written concurrence of the recommended disposition of the site before resuming development; and
 - (5) Implement the agreed upon recommendations.
- b. If any human burial remains are encountered during ground disturbance or construction activities, the Permittee shall:
 - (1) Cease operations and assure the preservation of the area in which the discovery was made;
 - (2) Immediately notify the County Coroner and the Planning Director;
 - (3) Obtain the services of a County-approved archaeologist and, if necessary, Native American Monitor(s), who shall assess the find and provide recommendations on the proper disposition of the site in a written report format;
 - (4) Obtain the Planning Director's written concurrence of the recommended disposition of the site before resuming development on-site; and

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(5) Implement the agreed upon recommendations.

Documentation: If archaeological remains are encountered, the Permittee shall submit a report prepared by a County-approved archaeologist including recommendations for the proper disposition of the site. Additional documentation may be required to demonstrate that the Permittee has implemented any recommendations made by the archaeologist's report.

Timing: If any archaeological remains are uncovered during ground disturbance or construction activities, the Permittee shall provide the written notification to the Planning Director within three days of the discovery. The Permittee shall submit the archaeological report to the Planning Division immediately upon completion of the report.

Monitoring and Reporting: The Permittee shall provide the archaeological report to the Planning Division to be made part of the Project file. The Permittee shall implement any recommendations made in the archaeological report to the satisfaction of the Planning Director. The archaeologist shall monitor all ground disturbance activities within the area in which the discovery was made, in order to ensure the successful implementation of the recommendations made in the archaeological report. The Planning Division has the authority to conduct site inspections to ensure that the Permittee implements the recommendations set forth in the archaeological report, consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

20. Avoidance of Nesting Birds

Purpose: In order to prevent impacts to birds protected under the Migratory Bird Treaty Act, land clearing, and construction activities shall be regulated.

Requirement: The Permittee shall conduct all demolition, tree removal/trimming, vegetation clearing, and grading activities (collectively, "land clearing activities"), and construction in such a way as to avoid nesting native birds. This can be accomplished by implementing one of the following options:

- a. Timing of land clearing or construction: Prohibit land clearing or construction activities during the breeding and nesting season January 1 – September 15, in which case the following surveys are not required; or
- b. Surveys and avoidance of occupied nests: Conduct site-specific surveys prior to land clearing or construction activities during the breeding and nesting season January 1 – September 15 *for Ventura County CZO [select appropriate]* and avoid occupied bird nests. A County-approved biologist shall conduct surveys to identify any occupied (active) bird nests in the area proposed for disturbance. Occupied nests shall be avoided until juvenile birds have vacated the nest.

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The County-approved biologist shall conduct an initial breeding and nesting bird survey 30 days prior to the initiation of land clearing or construction activities. The County-approved biologist shall continue to survey the Project site on a weekly basis, with the last survey completed no more than 3 days prior to the initiation of land clearing activities. The nesting bird survey must cover the development footprint and 300 feet from the development footprint. If occupied (active) nests are found, land clearing activities within a setback area surrounding the nest shall be postponed or halted. Land clearing activities may commence in the setback area when the nest is vacated (juveniles have fledged) provided that there is no evidence of a second attempt at nesting, as determined by the County-approved biologist. Land clearing activities can also occur outside of the setback areas. Pursuant to the recommendations of the California Department of Fish and Wildlife, the required setback is 300 feet for most birds and 500 feet for raptors. This setback can be increased or decreased based on the recommendation of the County-approved biologist and approval from the Planning Division.

Documentation: The Permittee shall provide to the Planning Division a Survey Report from a County-approved biologist documenting the results of the initial nesting bird survey and a plan for continued surveys and avoidance of nests in accordance with the requirements set forth in this condition (above). Along with the Survey Report, the Permittee shall provide a copy of a signed contract (financial information redacted) with a County-approved biologist responsible for the surveys, monitoring of any occupied nests discovered, and establishment of mandatory setback areas. The Permittee shall submit to the Planning Division a Mitigation Monitoring Report from a County-approved biologist following land clearing activities documenting actions taken to avoid nesting birds and results.

Timing: If land clearing or construction activities will occur between January 1 – September 15, the County-approved biologist shall conduct the nesting bird surveys 30 days prior to initiation of land clearing or construction activities, and weekly thereafter. The last survey for nesting birds shall be conducted no more than 3 days prior to initiation of land clearing or construction activities. The Permittee shall submit the Survey Report documenting the results of the first nesting bird survey and the signed contract to the Planning Division prior to issuance of a zoning clearance for construction. The Permittee shall submit the Mitigation Monitoring Report within 14 days of completion of the land clearing or construction activities.

Monitoring and Reporting: The Planning Division reviews the Survey Report and signed contract for adequacy prior to issuance of a Zoning Clearance for construction. The Planning Division maintains copies of the signed contract, Survey Report, and Mitigation Monitoring Report in the Project file.

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21. Construction Noise

Purpose: In order for this project to comply with the Ventura County General Plan Goals, Policies and Programs Hazards Policy HAZ-9.2 and the County of Ventura Construction Noise Threshold Criteria and Control Plan (Amended 2010).

Requirement: The Permittee shall limit construction activity for site preparation and development to the hours between 7:00 a.m. and 7:00 p.m., Monday through Friday, and from 9:00 a.m. to 7:00 p.m. Saturday, Sunday, and State holidays. Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions.

Documentation: The Permittee shall post a sign stating these restrictions in a conspicuous location on the Project site, in order so that the sign is visible to the general public. The Permittee shall provide photo documentation showing posting of the required signage to the Planning Division, prior to the commencement of grading and construction activities. The sign must provide a telephone number of the site foreman, or other person who controls activities on the jobsite, for use for complaints from the public. The Permittee shall maintain a "Complaint Log," noting the date, time, complainant's name, complaint, and any corrective action taken, in the event that the Permittee receives noise complaints. The Permittee must submit the "Complaint Log" to the Planning Division upon the Planning Director's request.

Timing: The Permittee shall install the sign prior to the issuance of a building permit and throughout all grading and construction activities. The Permittee shall maintain the signage on-site until all grading and construction activities are complete. If the Planning Director requests the Permittee to submit the "Complaint Log" to the Planning Division, the Permittee shall submit the "Complaint Log" within one day of receiving the Planning Director's request.

Monitoring and Reporting: The Planning Division reviews, and maintains in the Project file, the photo documentation of the sign and the "Complaint Log." The Planning Division has the authority to conduct site inspections and take enforcement actions to ensure that the Permittee conducts grading and construction activities in compliance with this condition, consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

22. Scenic Resources: Materials and Colors in the Santa Monica Mountains Overlay Zone

Purpose: In order to ensure that buildings and structures comply with Public Resources Code Section 30240 (b) and 30251 and Ventura County Coastal Zoning Ordinance Sections 8178-2.6.12.3.

Requirement: The Permittee shall utilize natural building materials and colors compatible with surrounding terrain (earth tones and non-reflective paints) on exterior

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surfaces of all structures including, but not limited to, the dwelling, water tanks, walls, and fences. Bird-safe glazing/window shall be utilized that reduce the reflectivity of glass, windows or other similar surfaces to eliminate or significantly reduce bird mortality associated with birds striking the surface. The Planning Director may approve equivalent bird-safe glazing treatments based upon the recommendation of the Planning Staff Biologist or County-contracted qualified biologist.

Documentation: Prior to the issuance of a Zoning Clearance for construction of the single-family residence, the Permittee shall submit a site plan, architectural elevations, specifications for fences and walls and window treatments, material sample/color board, to the Planning Division for review and approval. The Permittee shall provide photos of the constructed single-family dwelling to the Planning Division, or schedule a site inspection with the Planning Division, to verify that the Permittee constructed and painted the single-family dwelling according to the approved plans and materials sample/color board.

Timing: Prior to the issuance of a Zoning Clearance for construction, colors and materials, and bird safe window treatments for structures shall be noted on all building plans and a material sample board with colored rendering of the buildings and structures authorized by this permit shall be submitted for review and approval by the Planning Division. Prior to occupancy, the Permittee shall paint or color treat the buildings, structures, and water tanks, according to the approved plans. The Permittee shall maintain these materials and colors throughout the life of this Coastal PD Permit.

Monitoring and Reporting: The Planning Division maintains copies of the approved plans, materials sample/color board, and photographs in the Project file. Prior to occupancy, the Planning Division has the authority to inspect the site to ensure that the exterior of the structures were treated as approved. The Planning Division has the authority to conduct site inspections to ensure ongoing compliance by the Permittee with this condition consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

23. Landscaping and Screening

Purpose: To comply with the County's landscaping requirements.

Requirement: The Permittee shall retain a landscape architect to prepare a landscape plan that complies with the requirements of this condition and the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO).

Landscaping Objectives: The Permittee must install and maintain landscaping that serves the following functions:

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- a. Ensures compatibility with community character. The Permittee must install landscaping that visually integrates the development with the character of the surrounding community.
- b. Revegetates slopes. The Permittee must revegetate cut slopes in excess of 5 feet and fill slopes in excess of 3 feet.
- c. Restores or reclaims disturbed land. The Permittee must restore or reclaim disturbed land with vegetation.
- d. Compliance with the California Department of Water Resources Model Water Efficient Landscape Ordinance. The Permittee must install landscaping that complies with the requirements of the California Department of Water Resources' Model Water Efficient Landscape Ordinance, which is available on-line at: <https://water.ca.gov/Programs/Water-Use-And-Efficiency/Urban-Water-Use-Efficiency/Model-Water-Efficient-Landscape-Ordinance>.

Landscaping Design: The Permittee shall design the required landscaping such that the landscaping requires minimal amounts of water and uses required water efficiently, in accordance with the water efficiency requirements of the Landscape Design Criteria and the California Department of Water Resources Model Water Efficient Landscape Ordinance, and must achieve the following design objectives:

- a. Protection of Solar Access. The Permittee must design the landscaping to avoid the introduction of vegetation that would now or in the future cast substantial shadow on existing solar collectors or photovoltaic cells or impair the function of a nearby building using passive solar heat collection.
- b. Protection of Existing Vegetation. Existing vegetation, especially trees, must be saved and integrated into landscape design wherever feasible, appropriate, or required by other regulations (e.g., the Tree Protection Ordinance).
- c. Create Viable Growing Environment. The landscape design must address the needs of the plants to ensure their health, long-term viability, and protection.
- d. Species Diversity. The landscape plan must integrate a variety of plant species, heights, colors, and textures, as appropriate given the size of the landscape.
- e. Fire Resistance. Plant material installed in the fuel modification zone must be fire resistant.

Documentation: The Permittee shall submit the draft landscape plan to the Planning Division for review and approval. A California registered landscape architect (or other

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qualified individual as approved by the Planning Director) shall prepare the landscape plan, demonstrating compliance with the requirements set forth in this condition (above), § 8178-8 Water Efficient Landscaping Requirements Coastal Zoning Ordinance. The landscape architect responsible for the work shall stamp the plan. After landscape installation, the Permittee shall submit to Planning Division staff a statement from the project landscape architect that the Permittee installed all landscaping as shown on the approved landscape plan. Prior to installation of the landscaping, the Permittee must obtain the Planning Director's approval of any changes to the landscape plans that affect the character or quantity of the plant material or irrigation system design.

Timing: The Permittee shall submit the landscape plan to the Planning Division for review and approval prior to issuance of a Zoning Clearance for Construction. Landscaping installation and maintenance activities shall occur according to the timing requirements set forth in § 8178-8.9.3 of the Coastal Zoning Ordinance.

Monitoring and Reporting: Landscaping shall be maintained for the life of the permit. Landscaping approval/installation and verification shall occur after the Permittee submits the Certificate of Completion for the landscape installation. County staff shall then conduct an onsite inspection to verify that the landscaping was installed as required by the approved landscape plan as set forth in § 8178-8.9.2(a)(2) or the Coastal Zoning Ordinance. Monitoring activities, and enforcement activities shall occur according to the procedures set forth in § 8178-8.9.3 or the Coastal Zoning Ordinance. The Planning Division maintains the landscape plans and statement by the landscape architect in the Project file.

Condition Nos. 24 through 34 represent the proposed mitigation measures for the Project. An MND was made available for public review from August 18, 2023 to September 18, 2023 and changes were made to the mitigation language following public review. The Permittee is required to adhere to the requirements of these mitigation measures for the life of the permit.

24. Mitigation Measure BIO-1: Pre-Construction Survey, Seed/Bulb Salvage, and Relocation of Special-Status Plants

Purpose: To minimize impacts to special-status plants and to prevent the local population from dropping below self-sustaining levels that may result from the proposed development.

Requirement: The Permittee shall contract with a County-approved qualified biologist to prepare a Rare Plant Mitigation Plan (RPMP). The Permittee shall provide a copy of a signed contract (financial information redacted) with a County-approved biologist responsible for the preparing the RPMP. The RPMP shall describe methods for translocating special-status plants, including topsoil salvage to preserve seed bank and management of salvaged topsoil; seed and bulb collection, storage; nursery propagation and planting; location of receptor site(s); land protection instruments for receptor areas;

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and funding mechanisms. The RPMP shall include, but not be limited to the following components: methods, success criteria, performance standards, maintenance, monitoring, reporting, adaptive management, responsible parties, identification of stakeholders/responsible parties, and contingencies for achieving success. If possible, translocation of the rare plants should occur onsite. If no suitable onsite location is available, then an offsite location could be used. A suitable translocation site on the parcel (or offsite if no onsite area is available) must be identified and approved by the County prior to impacting any special-status plants. Seed and bulb collection shall be conducted at the appropriate season by a qualified botanist. Salvaged seeds and bulbs of Catalina and Plummer's mariposa lily shall be transferred to an entity including, but not limited to, the Santa Barbara Botanic Garden or California Botanic Garden to propagate and amplify to at least three times the quantity of salvaged seeds and bulbs, which will then be planted at the recipient site during the seasonally appropriate window (a specified in the RPMP). The RPMP shall require that monitoring be conducted for ~~five~~ ten years or until the success criteria and performance standards are met, whichever occurs sooner.

Documentation: The following documentation requirements will apply:

All rare plant mitigation areas shall be permanently protected through a conservation easement or deed restriction and subsequently conveyed to a County-approved public agency or conservation organization. If a County-approved public agency or conservation organization cannot be identified that will accept conveyance of a conservation easement, a conservation instrument such as a deed restriction may be used instead to restrict future development of the area. The conservation easement(s), deed restriction(s) and/or other conservation instrument(s) shall be submitted to the Planning Division for review and approval along with the RPMP prior to issuance of a Zoning Clearance for construction.

The Permittee shall submit the conservation easement, deed restriction or other conservation instrument and RPMP to the Planning Division for review and approval. The Permittee shall submit monitoring reports to the Planning Division by December 30th annually for ~~five~~ ten years or until the performance criteria has been met. If success criteria are not met within the five-year monitoring period, contingency measures shall be implemented in accordance with the RPMP, and restoration and monitoring shall continue until success criteria are met.

Each conservation easement, deed restriction or other conservation instrument shall:

- a. Include a copy of this condition of approval, a site-specific mitigation map, and legal description and map(s) of the areas that are subject to the conservation easement, deed restriction or other conservation instrument ("Protected Areas");
- b. Include provisions for the long-term preservation and maintenance of the mitigation areas (i.e., Protected Areas) by describing what maintenance activities are allowed, and by stating that the following are prohibited in the Protected Areas:

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1. Removal, mining, excavation, or disturbance of the soil or surface rocks or decaying material such as fallen trees (unless otherwise approved by the Planning Division);
 2. Dumping, filling, storing, disposal, burying, or stockpiling of any natural or manmade materials;
 3. Erection of buildings or structures of any kind, including, but not limited to, fencing, corrals, advertising signs, antennas, and light poles;
 4. Placement of pavements, concrete, asphalt and similar impervious materials, laying of decomposed granite for pathways, or setting of stones, paving bricks, or timbers;
 5. Operation of off-road vehicles, motorcycles, bicycles, mowers, tractors, or any other types of motorized or non-motorized vehicles or equipment;
 6. Removal or alteration of native trees or plants, through such activities as irrigating, mowing, draining, plowing, tilling or disking, except as necessary for controlled burns or fuel reduction as regulated by the Ventura County Fire Protection District, or for removal of non-native species and native habitat restoration or maintenance under the direction of a qualified biologist and following approval by, and/or coordination with, the Planning Division;
 7. Application of insecticides or herbicides, poisons, or fertilizers;
 8. Grazing or keeping of cattle, sheep, horses or other livestock, or pet animals;
 9. Agricultural activity of any kind including the harvesting of native materials for commercial purposes;
 10. Planting, introduction, or dispersal of non-native plant or animal species;
 11. Hunting or trapping, except live trapping for purposes of scientific study or removal of non-native species;
 12. Manipulating, impounding or altering any natural watercourse, body of water or water circulation and activities or uses detrimental to water quality, including but not limited to degradation or pollution of any surface or sub-surface waters;
 13. Artificial lighting that illuminates or is directed towards mulefat scrub; and
 14. Other activities that damage the existing flora or fauna.
- c. Be recorded with the Office of County Recorder, with a copy of the recorded document provided to the Planning Division, prior to issuance of a Zoning Clearance for construction.

Timing: The Permittee shall (1) record the conservation easement, deed restriction or other conservation instrument; and (2) submit a RPMP, in accordance with the applicable requirements of this condition (above) to the Planning Director for review and approval prior to issuance of a Zoning Clearance for construction. Implementation of the RPMP pursuant to the schedule stated therein shall begin no later than six months after the issuance of a Zoning Clearance for Construction.

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Monitoring and Reporting: The Planning Division maintains a copy of the recorded conservation easement or deed restriction, or conservation instrument, in the Project file. The Planning Division has the authority to inspect the property subject to the conservation easement or deed restriction, or conservation instrument, to ensure that it is maintained as required. If the Planning Division confirms that the restricted area has not been maintained as required, enforcement actions may be enacted in accordance with § 8183-5 of the Ventura County Coastal Zoning Ordinance.

25. Mitigation Measure BIO-2: Protection of Special-Status Plant Species within Fuel Modification Zones

Purpose: To avoid potentially significant impacts to special-status plant species within the fuel modification zone.

Requirement: Ground disturbances and vegetation removal shall be prohibited within a 10-foot setback from the edge of the mariposa lily occurrences within the fuel modification zone. The permittee shall install permanent fencing (as approved by the Planning Division) around special-status plant occurrences within the fuel modification zones for the proposed development. The Permittee shall post a sign stating sensitive biological resources are present within the fenced area and that entry is prohibited. All fuel management shall be conducted in such a way as to avoid impacts to special-status plants to the greatest extent feasible.

Documentation: The Permittee shall identify the locations of special-status species and the limits of protective fencing on the grading plan and on a site plan for Zoning Clearance for Construction.

Timing: Prior to the issuance of a Zoning Clearance for construction, the Permittee shall install protective fencing in accordance with the site plan for Zoning Clearance for Construction approved by the Planning Division.

Monitoring and Reporting: The Planning Division maintains a copy of the authorized Fencing Plan with the Zoning Clearance for Construction in the Project file. The Planning Division has the authority to inspect the property to ensure that the protective fencing is installed and maintained as required. If the Planning Division confirms that the fencing has not been installed or maintained as required, enforcement actions may be enacted in accordance with § 8183-5 of the *Ventura County Coastal Zoning Ordinance*.

26. Mitigation Measure BIO-3: Pre-Construction Surveys and Relocation of Special-Status Wildlife

Purpose: To avoid significant impacts to special-status wildlife that could occur during vegetation clearing and grading.

Requirement: Two weeks prior to the initiation of, and periodically throughout, ground disturbance activities, a County-approved qualified biologist shall conduct surveys for

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special-status wildlife, including coastal whiptail [*Aspidoscelis tigris stejnegeri*], coast horned lizard [*Phrynosoma blainvillii*] and San Diego desert woodrat (*Neotoma lepida intermedia*), to ensure that these species are not harmed. Individuals of these species that are found shall be relocated to suitable undisturbed habitat, outside of the areas directly and indirectly (e.g., noise) affected by ground disturbance activities, as determined by a County-approved biologist. The County-approved biologist, with a CDFW Scientific Collecting Permit, shall conduct surveys and relocation activities according to methods approved by the CDFW.

Additionally, the project biologist(s) shall perform the following duties:

1. Attend a pre-construction meeting with the contractor and other key construction personnel prior to land clearing activities to conduct environmental training to include, but limited to, discussion of the importance of restricting work to designated areas, and identification of and minimizing harm to or harassment of wildlife that could be encountered.
2. Review and/or designate the construction area in the field with the contractor in accordance with the final grading plan.
3. The biologist shall monitor vegetation grubbing and initial grading in order to salvage and relocate wildlife that could be disturbed by this activity.
4. Periodically monitor the construction site to verify silt fencing is intact, trash receptacles are animal and weather-proof, and there is a prohibition of pets on the construction site.
5. Prepare a monitoring report after the land-clearing activities are completed, which describes the biological monitoring activities, including a monitoring log, photos of the site before, during, and after land clearing activities, and a list of special-status species observed.

Documentation: The Permittee shall provide to the Planning Division a signed contract with a County-approved qualified biologist that ensures wildlife surveys, and relocation of wildlife, will be conducted within 14 days prior to any ground disturbance activities. The Permittee shall submit a report to the Planning Division within 14 days of the wildlife surveys, notifying the Planning Division of the results of the surveys and avoidance and relocation activities.

Timing: Prior to the issuance of a Zoning Clearance for construction, the Permittee shall provide the signed contract with the County-approved biologist. Within 14 days of the wildlife surveys and relocation activities, the Permittee shall provide a report describing the results.

Monitoring and Reporting: The Permittee shall confirm with the Planning Division that a County-approved qualified biologist has been contracted to implement the requirements of this condition prior to issuance of a Zoning Clearance for construction. The Planning Division maintains copies of the signed contract and the survey reports in the Project file.

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The Planning Division has the authority to inspect the property during the development phase of the Project to ensure that the survey and wildlife relocation work is conducted as required. If the Planning Division confirms that the required surveys are not conducted as agreed upon or the fencing is not maintained as required, enforcement actions may be enacted in accordance with § 8183-5 of the *Ventura County Coastal Zoning Ordinance*.

27. Mitigation Measure BIO-4: Woodrat Nest Avoidance and Relocation

Purpose: In order to minimize impacts to special-status woodrats, land clearing and construction activities shall be regulated.

Requirement: The Permittee shall conduct all demolition, tree removal/trimming, vegetation clearing, and grading activities (collectively, "land clearing activities"), and construction in such a way as to minimize impacts to woodrats. This can be accomplished by implementing one of the following options:

1. Surveys: Conduct site-specific surveys prior to land clearing or construction activities. A County-approved qualified biologist with a CDFW Scientific Collecting Permit shall survey suitable habitat for special-status woodrats within areas that will be subject to land clearing activities, and within 50 feet of areas, that will be subject to land clearing activities 14 days prior to the initiation of land clearing or construction activities. If the biologist does not find any nests, then no further action is required.
2. Avoidance Measures:
 - a. If the County-approved qualified biologist finds active woodrat nests, the Permittee shall implement a 50-foot radius buffer area around the nests in which land clearing activities will be avoided.
 - b. Wildlife exclusion fencing shall be installed around land clearing activities where middens are detected within 50 feet of the project footprint. Orange snow fencing is not considered a wildlife exclusion fence and is prohibited in areas where middens are found.
3. Relocation of Middens: If the minimum fencing distance cannot be achieved and the middens cannot be protected and/or avoided, the County-approved qualified biologist in consultation with CDFW, will select the location of artificial midden sites. The relocation or disturbance of wood rat midden areas are prohibited during the peak nesting season (November 1 through March 15). Woodrat middens will be relocated according to the following instructions:
 - a. Artificial Midden Ratio: Artificial middens shall be installed at a 2:1 ratio for less than 5 middens impacted. If more than 5 middens are impacted in the population, the qualified biologist shall consult with the Planning Division to determine the appropriate ratio.

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- b. Artificial Midden Location: Midden locations shall include but not be limited to downed woody debris, cactuses, dense understory and overstory cover (ideally 90 percent cover), or other "core element" (e.g., a stump, large log, rock, rock outcrop), and outside of drainage channels. Artificial middens shall be placed in a clustered pattern relative to adjacent natural middens (when present) and no further than 550 feet of the project footprint.
 - c. Dismantling of Natural Middens: The entire midden site, including the aboveground midden and the below ground basement area, will be carefully examined to ensure that no adults or young are present before the midden is dismantled and the basement filled in.
 - d. Trapping: If woodrats are present a trapping effort will be initiated. The trapping will consist of two to three live traps per active midden site being set each evening for 3 days. The traps will be baited with oatmeal, peanut butter, and apple and will contain synthetic batting for use as nesting material. Traps will be checked the following morning within 1 hour following sunrise. Traps containing woodrats will be placed facing the entrance of relocated middens and opened, allowing the woodrats to leave the traps on their own accord. Each release site will be monitored for approximately 1 hour after each woodrat is released to determine the short-term success rate of the artificial middens.
 - e. Dismantling Middens: To provide refuge for woodrats that may be become displaced, piles of sticks/vegetation/slash shall be placed between the midden site to be dismantled and the new artificial midden site, 3 days prior to dismantling. The midden will be dismantled by hand, removing the materials layer by layer. All salvageable midden materials will be relocated and incorporated (as needed) or placed adjacent to the artificial midden.
 - f. Post-Midden Relocation: The qualified biologist will perform a survey to determine if the woodrat has reoccupied the project footprint following the implementation of the midden relocation measures.
4. Woodrat Presence and Activity After Midden Relocation: If newly constructed middens are found inside the project footprint following the commencement of land clearing activities, the trapping effort noted in section 4(d) above) shall be implemented.

Documentation: The Permittee shall provide to the Planning Division a Survey Report from the County-approved qualified biologist that includes a map, physical description of middens (e.g., size, width, and materials), a photo of each of the midden, and a plan for avoidance or relocation of the midden in accordance with the requirements set forth in this mitigation measure. Along with the Survey Report, the Permittee shall provide a copy

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of a signed contract (financial information redacted) with the qualified biologist(s) who will monitor avoidance and relocation efforts. Following the completion of land clearing activities, the Permittee shall submit to the Planning Division a Mitigation Monitoring Report from the qualified biologist(s) that documents the actions implemented to avoid or relocate woodrat nests, a map of the natural and artificial midden locations, trapping and relocation procedures, and the results of the relocation effort.

Timing: The County-approved qualified biologist shall conduct the survey within 30 days prior to the initiation of land clearing activities and follow all relocation timing protocols set forth in this condition (above). The Permittee shall submit the Survey Report and signed contract to the Planning Division, prior to issuance of a Zoning Clearance for construction. The Mitigation Monitoring Report shall be submitted within 14 days of completion of the land clearing activities.

Monitoring and Reporting: The Planning Division reviews for adequacy, and maintains in the Project file, the signed contract, Survey Report, and Mitigation Monitoring Report. If the Planning Division confirms that the required surveys and relocation measures were not implemented in compliance with the requirements of this condition, then enforcement actions may be enacted in accordance with §8183-5 of the Ventura County Coastal Zoning Ordinance.

28. Mitigation Measure BIO-5: Environmentally Sensitive Habitat Areas (ESHA) Construction Exclusion Fencing

Purpose: To reduce the potential indirect effects on adjacent habitat consistent with the Coastal Act and to locally important communities consistent with ESHA Goal 1 Ventura County General Plan Goal Policies and Programs (updated 2022), ground disturbance and vegetation removal in ESHA outside of the construction envelope is prohibited.

Requirement: The Permittee shall install temporary protective fencing (orange snow fencing is not considered wildlife exclusionary fencing) along the edge of the development envelope (including the fuel modification zone). The fencing must consist of durable materials and shall be staked or driven into the ground such that it is not easily moved and will perform its function for the duration of construction activities.

Documentation: The Permittee shall graphically depict and label the ESHA habitat, setback area from ESHA, and required fencing on all grading and site plans. The Permittee shall also provide photo documentation of the fencing installed at the site prior to issuance of a Zoning Clearance for construction.

Timing: The Permittee shall submit the site plan and grading plans with the locations of the fencing to the Planning Division for review and approval prior to Zoning Clearance for construction of the project. The Permittee shall install the fencing prior to any vegetation removal, ground disturbance activities, or construction activities (whichever occurs first). The Permittee shall maintain the fencing in place until the Resource Management

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Agency, Building and Safety Division, issues the Certificate of Occupancy for the single-family dwelling.

Monitoring and Reporting: The Planning Division maintains the grading and site plan with the fencing illustrated provided by the Applicant in the project file. The Applicant shall demonstrate to the satisfaction of the Planning Division that the temporary fencing is installed prior to any vegetation removal, ground disturbance activities, or construction activities (whichever occurs first). The Planning Division has the authority to inspect the site to confirm that the fencing stays in place during the development phase of the project in accordance with the approved plans.

29. Mitigation Measure BIO-6: Invasive Species Seeding and Landscaping

Purpose: To ensure protection of adjacent ESHA from the introduction of invasive species as required under the Local Coastal Program and the Coastal Act.

Requirements: Invasive plant species shall not be included in any erosion control seed mixes and landscaping plans associated with the Project. The California Invasive Plant Inventory Database contains a list of non-natives, invasive plants (California Invasive Plant Council [Updated 2022] or its successor).

Documentation: The Permittee shall submit the erosion control seed mix and a final landscape plan, for review and approval by the Planning Division. The Permittee shall provide photographs demonstrating that the Permittee installed all landscaping and irrigation in accordance with the approved plans.

Timing: Prior to issuance of a Zoning Clearance for construction, the Permittee shall submit the erosion control seed mix and a final landscape plan, for review and approval by the Planning Division. All planting and irrigation shall be installed prior to Certificate of Occupancy of the single-family dwelling.

Monitoring and Reporting: The Permittee shall provide photos of the landscaping to the Planning Division, or schedule a site inspection with the Planning Division, to verify that the Permittee installed landscaping and irrigation according to the approved plans. The Planning Division maintains copies of the approved plans and photographs in the Project file. The Planning Division, Public Works Agency Grading Inspectors, and Building and Safety, have the authority to conduct site inspections to ensure compliance with this condition consistent with the requirements of § 8183-5 of the *Ventura County Coastal Zoning Ordinance*.

30. Mitigation Measure BIO-7 Coastal Area Plan – Permanent Preservation of Environmentally Sensitive Habitat Area (ESHA) in the M Overlay Zone

Purpose: In accordance with Coastal Area Plan Policy 4.4.10 (4)(3) for Environmentally Sensitive Habitats in the South Coast, all ESHA within the Project site must be permanently protected through a County-approved conservation easement, deed

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restriction or other recorded legal instrument that permanently protects the Conservation Land in its natural state.

Requirement: All onsite ESHA shall be permanently protected through a conservation easement or deed restriction and subsequently conveyed (in the form of a conservation easement) to a County-approved public agency or conservation organization. If a County-approved public agency or conservation organization cannot be identified that will accept conveyance of a conservation easement, a conservation instrument such as a deed restriction may be used instead to restrict future development of the area.

The aforementioned deed restriction, conservation easement and/or equivalent legal instrument permanently protecting the off-site and/or on-site land (collectively, "Conservation Instrument"), as applicable, shall each:

- a. Include a copy of this condition of approval, a site-specific ESHA map, and legal description and map(s) of the areas that are subject to the Conservation Instrument ("Protected Areas");
- b. Include provisions for the long-term preservation and maintenance of the Protected Areas by describing what maintenance activities are allowed, and by stating that the following are prohibited in the Protected Areas:
 1. Removal, mining, excavation, or disturbance of the soil or surface rocks or decaying material such as fallen trees;
 2. Dumping, filling, storing, disposal, burying or stockpiling of any natural or manmade materials;
 3. Erection of buildings or structures of any kind, including, but not limited to, fencing, corrals, advertising signs, antennas, and light poles;
 4. Placement of pavements, concrete, asphalt and similar impervious materials, laying of decomposed granite for pathways, or setting of stones, paving bricks, or timbers;
 5. Operation of dune buggies, motorcycles, all-terrain vehicles, bicycles, mowers, tractors, or any other types of motorized or non-motorized vehicles or equipment;
 6. Removal or alteration of native trees or plants, through such activities as irrigating, mowing, draining, plowing, tilling, or disking, except as necessary for controlled burns (for fuel reduction, as regulated by the Ventura County Fire Protection District), removal of non-native species, and native habitat

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- restoration or maintenance (which must be under the direction of a qualified biologist);
7. Application of insecticides or herbicides, poisons, or fertilizers;
 8. Grazing or keeping of cattle, sheep, horses or other livestock, or pet animals;
 9. Agricultural activity of any kind including the harvesting of native materials for commercial purposes;
 10. Planting, introduction, or dispersal of non-native plant or animal species;
 11. Hunting or trapping, except live trapping for purposes of scientific study or removal of non-native species;
 12. Manipulating, impounding or altering any natural watercourse, body of water or water circulation on the ESHA, and activities or uses detrimental to water quality, including but not limited to degradation or pollution of any surface or sub-surface waters;
 13. Light pollution (e.g., lighting that is located outside of, yet directed towards, the ESHA); and
 14. Other activities that damage the existing flora, fauna, or hydrologic conditions of the ESHA.

Documentation: The Permittee shall record with the Conservation Instrument to the subject property: (1) the conditions of this Coastal PD Permit; (2) a site-specific ESHA map; and (3) legal description, with the Office of County Recorder, with a copy of the recorded document provided to the Planning Division.

Timing: Prior to, issuance of a Zoning Clearance for construction, the Permittee shall record (1) the conditions of this Coastal PD and (2) a site-specific ESHA map and legal description of the area to be restricted; and (3) legal description of the subject lot.

Monitoring and Reporting: The Planning Division will review this Project and all future projects on the subject property to ensure compliance with the requirements of this condition. The Planning Division has the authority to inspect the site to confirm on-going compliance with this project condition consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

31. Mitigation Measure BIO-8 Compensatory Mitigation for Loss of ESHA

Purpose: Provide compensatory mitigation for the loss of 0.312 acres of ESHA removed without the benefit of a permit and 2.785 acres of ESHA that will be permanently removed

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by the proposed development (3.097 acres total), and to comply with the applicable provisions of the Ventura County Coastal Zoning Ordinance Section 8178-2.10 (Compensatory Mitigation for ESHA)

Requirement: The Permittee will be required to mitigate 3.097 acres of ESHA at a 2:1 ratio (6.19 acres total). Restoration of 0.312 acres will occur on APN 700-0-060-100 (the project site). The Permittee shall provide for the permanent protection of 5.882 acres of ESHA in the Santa Monica Mountains by acquiring and conveying APNs 694-0-100-160 and 694-0-100-110 (6 acres) to Mountains Recreation and Conservation Authority (MRCA), a qualified conservation organization¹. Such land to be protected is hereinafter referred to as "Conservation Land."

Onsite Restoration

At least 0.312 acres of ESHA shall be restored and permanently protected on-site. The areas selected to be restored on-site (Restoration Areas) shall be located on a southwest portion of the subject property as shown on the Initial Study Biological Assessment (Attachment 3) (David Magney Environmental Consultants, August 2022 and Appended March 2023 and October 2023). The Permittee shall ensure that a County-approved, qualified biologist prepares a Restoration Plan that includes the following:

1. Restoration of vegetation specified in the Initial Study Biological Assessment (Attachment 3) for Coastal Sage Scrub and Chaparral [*Artemisia californica* and *Malosma laurina*]
2. A reference site for each vegetation alliance [*Artemisia californica* and *Malosma laurina*] that is an ecologically intact example of the alliance with minimal disturbance, with the following documented for each reference site:

¹ For the purposes of this mitigation measure, the conservation organization must meet all of the following criteria:

- (a) It must be a public conservation agency, or a private non-profit organization chartered under the US Code, Title 26, Part 501(c)3, whose primary purpose is the preservation and protection of land in its natural, scenic, historical, recreational and/or open space condition.
- (b) If it is a private non-profit organization, then it must be either a statewide, national or international organization, or a local community-based organization with a membership of at least 500 individuals and/or businesses.
- (c) It must have owned and/or managed natural resource/open space property, at least 50 acres in area, for at least one year. In lieu of meeting this requirement, a Conservation Organization may provide a financial surety to ensure the stewardship of the Conservation Parcel for a period of five years.
- (d) It must have the institutional and economic ability to maintain the property.

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- a. Total percent cover by native plant species;
 - b. Species richness; and
 - c. Total percent cover by non-native plant species.
3. A plant palette and methods of salvaging, propagating, and planting. The plant palette shall consist only of plants propagated from locally collected (on the project site or adjacent to the project site) seeds or cuttings.
 4. Methods of soil preparation.
 5. Method and timing of irrigation.
 6. Best Management Practices to avoid impacting the Coastal Sage Scrub and chaparral.
 7. Maintenance and monitoring necessary to ensure that the restored plant communities meet the following success criteria by Year 5 of the maintenance and monitoring program:
 - a. 90 percent of the native plant cover found for the reference site;
 - b. 100 percent of the species richness found for the reference site; and
 - c. Equal or lower percent cover by non-native plant species as that found for the reference site.

The Permittee shall ensure that the Restoration Plan is fully implemented.

Offsite Preservation

The Permittee shall provide for the permanent protection of 5.882 acres of ESHA in the Santa Monica Mountains by acquiring and conveying APNs 694-0-100-160 and 694-0-100-110 (6 acres) to Mountains Recreation and Conservation Authority (MRCA), a qualified conservation organization. The Permittee shall provide for the establishment of an endowment to fund the long-term stewardship of the Conservation Land. The Permittee shall fund this endowment with a principal amount that, when managed and invested prudently with an estimated rate of return like that of other endowments for similar purposes, is reasonably anticipated to cover the annual costs associated with the management, maintenance, monitoring, reporting, and other activities identified in the Conservation Plan (defined below) for the long-term stewardship of the Conservation Land.

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The Permittee also shall make a one-time payment which will provide for the initial stewardship costs of the Conservation Land for up to three years while the endowment begins to accumulate investment earnings. The funds for the initial stewardship costs are distinct from the above-described funds for establishing the endowment. If there are funds remaining at the completion of the initial stewardship period, the funds shall be conveyed to the Permittee.

The acreages of ESHA vegetation alliances impacted by the Permittee's project must closely approximate the acreages of vegetation alliances preserved on the Conservation Land. The selected Conservation Land (APNs 694-0-100-160 and 694-0-100-110) are undeveloped, legal lots, have equivalent or greater overall habitat value than the ESHA that was cleared without a permit, is being removed for development purposes and will comply with the standards of Ventura County Coastal Zoning Ordinance Section 8178-2.10.5(b) related to Environmental Resources, Connectivity, and Preservation and Management. The area selected as the Conservation Land has been reviewed by the Planning Director and MRCA, the party responsible for the long-term stewardship of the Conservation Land, for adequacy.

Documentation:

Onsite Restoration

The Permittee shall submit to the Planning Division a Restoration Plan, prepared by a County-approved qualified biologist, to restore 0.312 acres of ESHA on APN 700-0-060-100. The Permittee shall submit a report with photographs of the restoration area and a description of the restoration work to demonstrate to the Planning Division that implementation of the Restoration Plan has commenced. The Permittee shall provide annual reports prepared by a County-approved qualified biologist on the progress of the restoration area for 5 years (or more, if the success criteria have not been met by Year 5).

Offsite Preservation

The Permittee shall submit to the Planning Division an acquisition and conservation plan addressing the following elements with respect to the Conservation Land and the endowment ("Conservation Plan"):

1. The location, acreage, and habitat types for all land proposed to be permanently protected;
2. Documentation in writing that the off-site mitigation lots used for ESHA preservation are undeveloped, legal lots that are used solely to implement compensatory mitigation.

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3. Documentation in writing that the off-site mitigation lots satisfy the requirements of Ventura County Coastal Zoning Ordinance Section 8178-2.10.5 (b) including the following standards:
 - a. Environmental Resources - All off-site mitigation sites used for ESHA preservation shall contain the following environmental resources:
 - i. At least 90 percent of the lot shall be ecologically functioning ESHA and/or an ESHA wet environment buffer zone; or
 - ii. At least 50 percent of the lot shall be ecologically functioning ESHA and/or ESHA wet environment buffer zone plus one of the following: (1) an identified habitat connectivity corridor; (2) a wet environment, rock outcrops, dunes, or U.S. Fish and Wildlife Service (USFWS)-designated critical habitat ESHA; or (3) a lot is located within an acquisition area designated for conservation through a policy or planning document adopted by a federal, state, or County natural resource agency or a County-approved conservation organization.
 - b. Connectivity – The off-site mitigation sites used for compensatory mitigation shall not be isolated by development or other physical factors that would limit the movement of species to larger protected core ESHA areas. Specifically, the lot must be connected to a protected core ESHA or open space area by an intact native vegetation area that is at least 400 feet wide and less than 500 feet long. Wildlife must be able to move from the subject lot to core ESHA without encountering a major barrier (e.g., high-traffic road without wildlife-safe crossings, large facilities, etc.). An exception to this requirement may be allowed if the lot contains one of the following:
 - i. A sensitive biological resource that can persist in isolation (e.g., narrow endemic species or unique habitats such as vernal pools); or
 - ii. A habitat that functions as a steppingstone for special status species between protected core areas.
4. Provisions for initial and long-term stewardship of the Conservation Land and the estimated annual costs thereof and a description of the uses and maintenance activities that will be allowed within the ESHA.
5. The annual reporting, as defined in the Conservation Plan, shall be conducted by the party responsible for the long-term stewardship of the Conservation Land. Annual reports regarding the condition and stewardship of the Conservation Land shall be made available to the Planning Director, upon request;
6. An executed copy of Mountains Recreation and Conservation Authority adopted Resolution No. 23-37 authorizing the acceptance of the donation of APNs 694-0-100-160 and 694-0-100-110;
7. A description of, and schedule for, the acquisition and/or conveyance (in fee title or by conservation easement) of the Conservation Land to the Mountains Recreation and Conservation Authority to provide for its long-term stewardship. The deed or other instrument that grants, or will grant, Mountains Recreation and

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Conservation Authority the authority to protect and maintain the ESHA shall be recorded with the deed to the property;

8. The proposed amount of the endowment and detailed description of how the amount of the endowment is computed; and,
9. The proposed amount of the initial stewardship costs, detailed description of how it is computed, and the duration of the initial stewardship period.

The Planning Division shall review the Conservation Plan, and if found to be adequate in light of applicable laws and the requirements set forth above, approve the submitted Conservation Plan for the protection of Conservation Lands.

All offsite Conservation Land shall be permanently protected through a conservation easement or deed restriction and subsequently conveyed (in fee title or in the form of a conservation easement) to Mountains Recreation and Conservation Authority. The conservation easement(s), deed restriction(s) and/or other conservation instrument(s) shall be submitted to the Planning Division for review and approval along with the Conservation Plan or HMP. Each conservation easement, deed restriction or other conservation instrument shall:

1. Include a copy of this condition of approval, a site-specific ESHA map, and legal description and map(s) of the areas that are subject to the conservation easement, deed restriction or other conservation instrument (“Protected Areas”);
2. Include provisions for the long-term preservation and maintenance of the Protected Areas by describing what maintenance activities are allowed, and by stating that the following are prohibited in the Protected Areas:
 - a. removal, mining, excavation, or disturbance of the soil or surface rocks or decaying material such as fallen trees;
 - b. dumping, filling, storing, disposal, burying, or stockpiling of any natural or manmade materials;
 - c. erection of buildings or structures of any kind, including, but not limited to, fencing, corrals, advertising signs, antennas, and light poles;
 - d. placement of pavements, concrete, asphalt and similar impervious materials, laying of decomposed granite for pathways, or setting of stones, paving bricks, or timbers;
 - e. operation of dune buggies, motorcycles, all-terrain vehicles, bicycles, mowers, tractors, or any other types of motorized or non-motorized vehicles or equipment;
 - f. removal or alteration of native trees or plants, through such activities as irrigating, mowing, draining, plowing, tilling or disking, except as necessary for controlled burns or fuel reduction as regulated by the Ventura County Fire Protection District, or for removal of non-native species and native habitat restoration or maintenance under the direction of a qualified biologist;
 - g. application of insecticides or herbicides, poisons, or fertilizers;

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- h. grazing or keeping of cattle, sheep, horses or other livestock, or pet animals;
 - i. agricultural activity of any kind including the harvesting of native materials for commercial purposes;
 - j. planting, introduction, or dispersal of non-native plant or animal species;
 - k. hunting or trapping, except live trapping for purposes of scientific study or removal of non-native species;
 - l. manipulating, impounding or altering any natural watercourse, body of water or water circulation and activities or uses detrimental to water quality, including but not limited to degradation or pollution of any surface or sub-surface waters;
 - m. artificial lighting that illuminates or is directed towards ESHA; and
 - n. other activities that damage the existing flora, fauna or hydrologic conditions;
3. Be recorded with the Office of County Recorder, with a copy of the recorded document provided to the Planning Division.

Timing:

Restoration Plan

Prior to issuance of a Zoning Clearance for construction, the Permittee shall provide the Restoration Plan and final site plan to Planning Division staff for review and approval. The Permittee shall record these conditions of approval and provide a copy of the recorded conditions of approval and Restoration Plan to the Planning Division, prior to issuance of a Zoning Clearance for construction. Implementation of the Restoration Plan shall commence prior to issuance of Certificate of Occupancy. The annual reports must be provided to the Planning Division by December 31st of each year during the monitoring period.

Offsite Preservation

The Permittee shall submit a Conservation Plan along with the conservation easement(s), deed restriction(s) or other conservation instrument(s), in accordance with the applicable requirements of this condition above, to the Planning Director for review and approval. Prior to issuance of Zoning Clearance for construction, the final recorded conservation easement and/or other legal instrument required by this condition shall be submitted to the Planning Division.

Monitoring and Reporting:

Restoration Plan

The Planning Division shall review for approval the Restoration Plan and revised site plan prior to issuing a Zoning Clearance for construction. The Planning Division shall review the Permittee's report with photographs of the restoration area and a description of the

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restoration work to confirm that implementation of the Restoration Plan has commenced prior to issuance of a Certificate of Occupancy. The restoration area must be monitored by a County-approved qualified biologist for at least 5 years (or more, if the success criteria have not been met by Year 5). The biologist shall provide an annual report on the status of the restoration area, including results of qualitative monitoring (i.e., photographs taken at permanent photo-points, observations of the health and condition of plantings and wildlife use of the restoration area) and quantitative monitoring (i.e., randomly placed transects to estimate cover and richness), to the Planning Division for the length of the monitoring period. The Permittee shall submit the annual reports to the Planning Division to demonstrate compliance with this condition and the success criteria. The release of the requirement for monitoring the restoration area may occur when the Planning Division determines that the success criteria have been met by Year 5 or later, based on the annual reports and a Planning Division staff site inspection.

Offsite Preservation

The Planning Division maintains a copy of the recorded conservation easement or deed restriction, or conservation instrument, in the Project file. The Planning Division has the authority to inspect the property subject to the conservation easement or deed restriction, or conservation instrument, to ensure that it is maintained as required. If the Planning Division confirms that the restricted area has not been maintained as required, enforcement actions may be enacted in accordance with § 8183-5 of the *Ventura County Coastal Zoning Ordinance*.

32. Mitigation Measure BIO-9: Fuel Modification Plan

Purpose: To mitigate potentially significant impacts to ESHA from fuel modification activities.

Requirement: The Permittee shall use a County-approved qualified biologist or licensed landscape architect to prepare a Fuel Modification Plan for County Planning review and approval that minimizes impacts to ESHA and meets the Ventura County Fire Protection District's requirements to modify fuels surrounding structures. The Fuel Modification Plan shall specify the methods of modifying vegetation surrounding structures that will avoid impacts to ESHA (e.g., use of hand tools to prune vegetation, thinning shrubs rather than clear-cutting, avoiding rare plants, avoiding nesting birds).

Documentation: A Fuel Modification Plan prepared by a County-approved qualified biologist or licensed landscape architect.

Timing: The Permittee shall submit a Fuel Modification Plan prior to issuance of a Zoning Clearance for construction.

Monitoring and Reporting: The Permittee shall submit the Fuel Modification Plan to Planning Division and the Ventura County Fire Protection District for review and approval

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to assure compliance with the requirements of this condition prior to issuance of a Zoning Clearance for construction. The Planning Division maintains copies of the Fuel Modification Plan provided by the Permittee in the Project file.

33. Mitigation Measure BIO-10: Fencing Adjacent to Wildlife Corridors

Purpose: To mitigate potentially significant environmental impacts to wildlife migration corridors from fencing and Coastal Zoning Ordinance Section 8178-2.6.14.

Requirement: The Permittee shall ensure that all new fences or walls are constructed in compliance with the following standards:

- a. Fences, gates, and walls are prohibited in ESHA areas except when used for habitat protection or restoration and when specified by County-approved ESHA Mitigation Plan (Pursuant to CZO Sections 8178-2.6.14.4(a) and 8178-2.6.14.4.
- b. Wildlife-permeable fencing is allowed throughout the approved development envelope. Perimeter fencing of the parcel is prohibited.
- c. New fences and walls shall not result in the isolation of on-site ESHA from off-site ESHA.
- d. Prohibited Materials: Fences, gates and walls shall not be constructed of, or topped with, spikes, barbs, glass, razors, or any similar material.
- e. Wildlife Permeable Fencing shall comply with CZO Section 8178-2.6.14.4

Documentation: The Permittee shall submit fencing plans to the Planning Division for review and approval, which identify all fences to be constructed on the Project site. The fencing plans must identify the fence locations and include schematic elevations detailing the design of, and materials to be used in, the fencing.

Timing: Prior to the issuance of a Zoning Clearance for construction, the Permittee shall submit a site plan which identifies all fences to be constructed on the Project site, to the Planning Division for review and approval. The Permittee shall install the approved fencing, prior to issuance of a Certificate of Occupancy for the principal structure.

Monitoring and Reporting: The Planning Division has the authority to conduct site inspections to ensure that the Permittee installs and maintains the fencing in compliance with this condition, consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

34. Mitigation Measure BIO-11: Wildlife Habitat Outdoor Lighting/Glare Condition

Purpose: To mitigate potentially significant environmental impacts from light and glare to wildlife migration corridors and/or wildlife habitat and to implement Ventura County Coastal Zoning Ordinance Sections 8177-4.1.11 (Outdoor Lighting) and Section 8178-2.6.15 (Outdoor Lighting Standards in ESHA and Buffer Zones) to preserve the natural darkness of the night sky, reduce sky glow, minimize light trespass, improve star viewing, and decrease energy consumption.

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Requirement: All outdoor lighting shall be limited to essential lighting for security lighting at entry gates, principal structures, driveways, or yards, shall be fully shielded, directed downward, and installed and maintained in such a manner to avoid light trespass in excess of 0.1 foot-candles at the vertical plane and the horizontal plane at the edge of the building site to prevent the illumination of surrounding habitat. Outdoor light fixtures shall only be installed outside ESHA and in locations where light trespass into and the direct illumination of ESHA are avoided, except when outdoor lighting is necessary for a resource-dependent use within ESHA that is authorized by Section 8178-2.5. Lighting utilized for private driveway/access road shall be limited to solar light, reflectors or other low lumen options (under 60 lumens) for safe passage. Outdoor light in the ultraviolet spectrum range, uplighting (whether of the building or landscapes or other site improvements), floodlights, lights that blink flash, rotate, fade intermittently or have strobe light illumination are prohibited. Permanent landscape lighting (including string lights) located outside of occupied dining and patio entertainment areas are prohibited. All glass and other materials used on building exteriors and structures must be selected to minimize reflective glare. To minimize light and glare from emanating from the Project site, all light fixtures located on the exterior of structures, as well as all freestanding light standards, must be high cut-off type that divert lighting downward onto the property to avoid the casting of any direct light onto the adjacent habitat.

Site Light Shall Comply with Standards within Ventura County Coastal Zoning Ordinance Section 8177-4.1.11.5 (General Outdoor Lighting Standards) including the following (Except as Exempted in Ventura County Coastal Zoning Ordinance Sections 8177-4.1.11.2 (a), (b)(1), (2) & (4) and (d)):

1. Lighting Color. The correlated color temperature of each outdoor light fixture, except those used for security lighting (see Ventura County Coastal Zoning Ordinance Section 8177-4.1.11.5(h)), shall not exceed 2,700 Kelvin.
2. Maximum Lumens Per Light Fixture. All outdoor lighting shall have a maximum lumen output per light fixture as follows:
 - a. Walkway lighting shall have a maximum output of 100 lumens per light fixture.
 - b. See subsection 5. (Below) for lumen standards regarding security lighting.
 - c. All other lighting shall have a maximum output of 850 lumens.
3. Maximum Height Allowance.
 - a. Lighting fixtures shall be mounted as low as possible for the needed purpose.
 - b. Freestanding light fixtures used to light walkways, or hardscaping shall be located no higher than two feet above ground level.
 - c. In cases where light fixtures are affixed to fences, the top of the fixture shall not be higher than the height of the fence or greater than 6 feet, whichever is less.
 - d. All other freestanding light fixtures shall be no higher than 20 feet above ground level.

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4. **Dark Hours.** Outdoor lighting shall be turned off from 10:00 p.m. until sunrise, or when people are no longer present in exterior areas being illuminated, whichever is the latest. Photocells or photocontrols shall be used to ensure all outdoor lighting is automatically extinguished (or not triggered by motion sensors) when sufficient daylight is available. Automated controls should be fully programmable and supported by battery or similar backup.
5. **Essential Lighting.**
 - a. Outdoor lighting shall utilize the minimum output necessary for the intended purpose and the correlated color temperature shall be 2700 Kelvin or less. All essential and security lighting shall be controlled by a motion detector or timer programmed to turn off no more than five minutes after activation.
 - b. Outdoor light fixtures used for security lighting shall be attached to legally established buildings or entry gate structures and controlled by motion sensors which extinguish no later than five minutes after activation. Security lighting shall not exceed a maximum output of 2,600 lumens per light fixture.

Documentation: The Permittee shall submit two copies of a lighting plan to the Planning Division for review and approval. The Permittee shall include the manufacturer's specifications for each exterior light fixture type (e.g., light standards, bollards, and wall mounted packs) in the lighting plan. The lighting plan must include illumination information within parking areas, pathways and structures proposed throughout the development. The Permittee shall install all exterior lighting in accordance with the approved lighting plan.

Timing: The Permittee shall submit the lighting plan to the Planning Division for review and approval, prior to the issuance of a Zoning Clearance for construction. The Permittee shall maintain the lighting pursuant to the approved lighting plan for the life of the Project.

Monitoring and Reporting: The Planning Division maintains a stamped copy of the approved lighting plan in the Project file. The Permittee shall ensure that the lighting is installed according to the approved lighting plan prior to the issuance of a Certificate of Occupancy. The Building and Safety Inspector and Planning Division staff have the authority to ensure that the lighting plan is installed according to the approved lighting plan. The Planning Division has the authority to conduct site inspections to ensure ongoing compliance with this condition consistent with the requirements of 8183-5 of the Ventura County Coastal Zoning Ordinance.

Environmental Health Division (EHD) Conditions

35. **Certification of Water Quality (Individual System)**

Purpose: To demonstrate the domestic water from any individual water well(s) meets applicable drinking water standards.

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Requirement: Obtain Certification of Water Quality from Ventura County Environmental Health Division (EHD).

Documentation: Permittee shall submit the EHD Certification of Water Quality application, along with review fee, plot plan, water quality testing results which are less than one year old, pump and recovery report, well completion report, and any other required documentation to EHD for review and approval.

Timing: EHD approval of the Certification of Water Quality shall be completed prior to issuance of a building permit.

Monitoring: EHD shall review and approve the Certification of Water Quality application to assure compliance with this condition.

Limitations: (a)An individual water system is limited to 1-4 service connections and may not regularly serve more than 24 individuals daily at least 60 days out of the year. If the number of connections exceeds four, or the number of persons served exceeds 25, a permit to operate a water system from EHD or the State Division of Drinking Water will be required. (b)Due to site conditions, compliance with this condition may be physically impossible or prohibitively expensive. If so, building permits will NOT be issued.

Ongoing Maintenance: It is the owner's responsibility to ensure the ongoing quality for their individual water well. Proper maintenance of the well and surrounding area is recommended, as well as routine monitoring of water quality to ensure the water well continues to provide safe and potable drinking water to residents.

36. New OWTS Installation

Purpose: To demonstrate the feasibility for the installation of an onsite wastewater treatment system (OWTS), also known as a septic system or individual sewage disposal system. To demonstrate compliance with state and local regulations related to the design and installation of an OWTS. Only domestic waste as defined in the Ventura County General Plan and the Ventura County Building Code Ordinance is allowed to be discharged into the on site sewage disposal system.

Requirement: Permittee shall submit a soils/geotechnical report and OWTS system design satisfactory to the Ventura County Environmental Health Division, Liquid Waste Program (EHD) staff. Permittee shall also obtain the approval of EHD staff to install an OWTS on the property. During the ministerial permitting process, the proposed OWTS will be required to meet all current building code, system design, and system installation/construction standards at the time of submittal.

Documentation: Submit soils/geotechnical report, OWTS design, and OWTS application to the EHD for review and approval. Submit all applicable documentation, including permit

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application, site plan, system design, bedroom and fixture unit equivalent worksheet, etc., to EHD for review and approval.

Timing: Prior to the issuance of a building permit pertaining to the project, OWTS design approval and permit to construct the OWTS shall be obtained from EHD.

Monitoring: To assure compliance with this condition, EHD staff shall review and verify all relevant documentation, including but not limited to: geotechnical report, system design calculations, building codes, and historic geological data for the area. Once the OWTS design has been evaluated to the satisfaction of EHD staff, the OWTS plans will be approved and EHD staff shall issue a permit to construct, conduct site inspections, and give final approval of the OWTS.

Ongoing Maintenance: Once the OWTS has been installed and finalized by EHD, it is the owner's responsibility to properly maintain the system to prevent OWTS failure or an unauthorized sewage release, and from creating a public nuisance, health concern, or impact the environment. The septic tank shall be serviced, as needed, by a septic pumper truck registered and permitted by EHD, and all pumping activities shall be reported to EHD. All septage wastes must be disposed of in an approved manner. EHD staff will also receive and respond to any complaints related to OWTS and/or unauthorized sewage releases.

37. CSA 32 for Commercial OWTS or Alternate OWTS

Purpose: To assure protection of groundwater quality and prevent public health hazards from failing onsite wastewater treatment systems (OWTS), also known as septic systems or individual sewage disposal systems.

Requirement: The Permittee shall execute an offer to grant easement agreement to County Service Area 32 (CSA 32), an OWTS monitoring and maintenance district.

Documentation: The Permittee shall submit an application for CSA 32 to the Environmental Health Division (EHD) for review and approval.

Timing: Prior to the issuance of a building permit, or at the time of OWTS certification, the Permittee shall obtain written confirmation from EHD that the condition has been satisfied.

Monitoring and Reporting: EHD shall review and approve the adequacy of the CSA 32 application to assure compliance with this condition.

PUBLIC WORKS AGENCY (PWA)

Development and Inspection Services Conditions

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38. Grading Permit

Purpose: In order to ensure the Permittee performs all grading in compliance with Appendix J of the Ventura County Building Code.

Requirement: The Permittee shall submit a grading plan showing existing and proposed elevations to the Public Works Agency's Land Development Services Division for review and approval. If a grading permit is required, a civil engineer registered in the State of California must prepare and submit the grading plans, geotechnical and hydrology reports as necessary, to Land Development Services Division for review and approval. The Permittee must post sufficient surety in order to ensure proper completion of the proposed grading.

Documentation: If a grading permit is required, all deposits, fees, and materials detailed on Public Works Agency Grading Permit Submittal Checklist, must be submitted to Land Development Services Division for review and approval.

Timing: All applicable documentation, as specified above, must be submitted for review and approval prior to issuance of a Zoning Clearance for development.

Monitoring and Reporting: Public Works Agency staff will review grading plans and reports for compliance with Ventura County codes, ordinances and standards, as well as state and federal laws. Public Works Agency inspectors will monitor the proposed grading to verify that the work is done in compliance with the approved plans and reports.

39. Drainage Plan

Purpose: To ensure runoff is discharged in accordance with Ventura County Building Code, Ventura County Public Works Agency, Watershed Protection District, national and state standards.

Requirement: The Permittee shall submit drainage plans and hydrologic and hydraulic calculations, which are prepared by a civil engineer registered in the State of California, to the Public Works Agency's Land Development Services Division for review and approval.

Documentation: Drainage plans and hydrologic and hydraulic calculations shall address the following: quantities of water, water flow rates, major water courses, drainage areas and patterns, diversions, collection systems, flood hazard areas, sumps, debris basins, detention facilities, and drainage courses and mitigation measures devised to manage the drainage. The hydrologic and hydraulic calculations shall be in compliance with the Ventura County Watershed Protection District's hydrology and design manuals. Detention facilities shall be provided such that proposed developed condition stormwater peak discharge rates do not exceed existing/pre-development conditions. The hydrologic and hydraulic calculations shall demonstrate that structure pads will be protected from flooding based on a 1% annual chance storm.

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Timing: All documentation, as specified above, must be submitted for review and approval by Public Works Agency prior to issuance of a Zoning Clearance for development.

Monitoring and Reporting: Public Works Agency staff will review drainage plans and hydrologic and hydraulic calculations for compliance with state and federal laws, as well as Ventura County codes, ordinances and standards. Public Works Agency inspectors will monitor the construction to verify that the work is done in compliance with the approved plans and reports.

40. Land Development Fee for Flood Control Facilities (AKA: Flood Acreage Fee (FAF))
Purpose: To address the cumulative adverse impacts of runoff from development on Watershed Protection District Facilities as required by Ordinance No. FC 24.

Requirement: The Permittee shall deposit with the PWA – Engineering Services Department a Flood Acreage Fee (FAF) in accordance with Ordinance No FC 24 and subsequent resolutions. The fee will be calculated based on the Permittee’s information. The Permittee may choose to submit additional information to supplement the information currently provided to establish the amount of the fee.

Documentation: The Permittee shall provide a site plan including a calculation of the new impervious surface being created by the project along with impervious surface for existing construction.

Timing: Permittee shall pay the Flood Acreage Fee (FAF) to the Ventura County Public Works Agency prior to obtaining the zoning clearance for development.

Monitoring and Reporting: Public Works Agency staff will prepare a quote of the fee amount and provide a receipt when the fee is paid.

Integrated Waste Management Division (IWMD) Conditions

41. Construction & Demolition Debris Recycling Plan (Form B)
Purpose: Ordinance 4421 requires the Permittee to divert recyclable construction and demolition (C&D) materials generated by the Project (e.g., wood, metal, greenwaste, soil, concrete, asphalt, paper, cardboard, etc.) from local landfills through recycling, reuse, or salvage. Review Ordinance 4421 at:

<http://onestop.vcpbublicworks.org/integrated-waste-management-laws-ordinances>.

Requirement: The Permittee must submit a comprehensive recycling plan (Form B – Recycling Plan) to the Integrated Waste Management (IWMD) for any proposed construction and/or demolition projects that require a building permit.

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Documentation: The Form B – Recycling Plan must ensure a minimum of 65 percent of the recyclable C&D debris generated by the Project will be diverted from the landfill by recycling, reuse, or salvage. A copy of Form B is available at:

<http://onestop.vcpublicworks.org/integrated-waste-management-forms>.

A comprehensive list of permitted recyclers, County franchised haulers, and solid waste & recycling facilities in Ventura County is available at:

<https://www.vcpublicworks.org/wsd/iwmd/construction/#solid-waste-collectors>.

A list of local facilities permitted to recycle soil, wood, and greenwaste is available at:

<https://www.vcpublicworks.org/wsd/iwmd/businessrecycling/#GreenWasteProcessing>

Timing: Upon Building & Safety's issuance of a building permit for the Project, the Permittee must submit a Form B – Recycling Plan to the IWMD for approval.

Monitoring & Reporting: The Permittee is required to keep a copy of their approved Form B – Recycling Plan until Building and Safety Division's issuance of final permit.

42. Construction & Demolition Debris Reporting Form (Form C)

Purpose: Ordinance 4421 requires the Permittee to divert recyclable construction and demolition (C&D) materials generated by their Project (e.g., wood, metal, greenwaste, soil, concrete, paper, cardboard, plastic containers, etc.) from local landfills through recycling, reuse, or salvage. Please review Ordinance 4421 at:

<http://onestop.vcpublicworks.org/integrated-waste-management-laws-ordinances>.

Requirement: The Permittee must submit a Form C – Reporting Form to the IWMD for approval prior to issuance of their final Building and Safety Division permit. Form C is available at:

<http://onestop.vcpublicworks.org/integrated-waste-management-forms>

Documentation: The Permittee must submit original recycling facility receipts and/or documentation of reuse with their Form C – Reporting Form to verify a minimum of 65% of the recyclable C&D debris generated by their Project was diverted from the landfill.

Timing: A completed Form C – Reporting Form, with required recycling facility receipts and/or documentation or reuse, must be submitted to the IWMD for approval prior to Building and Safety Division's issuance of a certificate of occupancy.

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Monitoring & Reporting: The Permittee is required to keep a copy of their approved Form C – Reporting Form until Building and Safety Division’s issuance of final permit.

Transportation Department Conditions

43. Notice of Substandard Access Roads

Purpose: The County requires the applicant/permittee or property owner to record a Notice of Substandard Access Roads (NSSAR) when the project/development is near a substandard road, which may not be improved to the current County Road Standard in the future.

Requirement: The applicant/permittee or the property owner shall provide record notice to successors in interest of the property that the existing road systems in the area are not considered standard; that, although such roads do not create an unreasonable risk of harm when used with due care, in a manner in which it is reasonably foreseeable that they will be used, these roads are of a rural nature with widths, grades, and other road features that would be considered substandard if such roads were being designed or built today, and that the County does not currently and also may not in the future have funds available to improve these roads.

The **NOTICE OF SUBSTANDARD ACCESS ROADS** condition shall include the following:

- A. The property is served by existing public roads and/or private roads in the Yerba Buena Area that do not meet current County Road standards.
- B. The applicant/permittee/owner/subdivider shall acknowledge that Yerba Buena Road, Cotharin Road, Deer Creek Road, and Pacific View Road in the Yerba Buena Area and access roads connected to these roads do not meet current County Road Standards.
- C. The private portions of these public roads and the private roads are neither County-maintained nor currently eligible for any improvements at County expense.
- D. These roads are of rural nature with widths, grades, and other road features that would be considered substandard if such roads were being designed or built to current standards.
- E. These roads are to be used with due care in a manner in which it is reasonably foreseeable that they will be used.
- F. There are no current funding sources available to construct the improvements on the existing public roads in this area.

Documentation: The VCPWA-RT will provide the document for a Notice of Substandard Access Roads to the applicant/permittee. The applicant/permittee shall bring the draft Notice of Substandard Access Roads to the VCPWA-RT counter or contact VCPWA-RT Permits Section by phone at (805) 654-2055 or e-mail at pwa.transpermits@ventura.org for review prior to recordation. The applicant/permittee shall record the Notice of

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Substandard Access Roads with the County Recorder. The applicant/permittee shall provide the VCPWA-RT with a copy of the recorded Notice of Substandard Access Roads.

Timing: This condition shall be met prior to the issuance of the Building Permit and/or Zoning Clearance for Use Inauguration, whichever comes first.

Monitoring: The VCPWA-RT will accept the recorded Notice of Substandard Access Roads from the applicant/permittee in conformance with the project conditions.

Watershed Protection District (WPD) Conditions

Advanced Planning Section

44. County Stormwater Program Section

Purpose: To ensure compliance with the Los Angeles Regional Water Quality Control Board NPDES Municipal Stormwater Permit, No. CAS004002 (Permit), the proposed project will be subject to the construction requirements for surface water quality and storm water runoff, in accordance with Part 4.F., “Development Construction Program”, of the Permit.

Requirement: The construction of the proposed project shall meet requirements contained in Part 4.F., “Development Construction Program”, of the Permit through the inclusion of an effective combination of construction best management practices (BMPs) during all ground disturbing activities. In addition, Part 4.F requires additional inspections to be conducted by the Qualified Stormwater Pollution Prevention Plan (SWPPP) Developer (QSD), Qualified SWPPP Practitioner (QSP), or a Certified Professional in Erosion and Sediment Control (CPESC).

Documentation: The Permittee shall submit a completed and signed a SW-2 form (Best Management Practices for Construction One Acre and Larger) and a SW-HR form (Best Management Practices for Construction at High Risk Sites) to the Public Works Agency - County Stormwater Program (CSP) for review and approval, templates for both SW-2 and SW-HR forms can be found at <https://www.onestoppermits.vcrma.org/departments/stormwater-program>.

Timing: The above listed item shall be submitted to the CSP for review and approval prior to issuance of a zoning clearance for construction.

Monitoring and Reporting: The CSP will review the submitted materials for consistency with the Permit. Grading permit inspectors will conduct inspections during construction to ensure effective installation of the required BMPs and record keeping of the required inspections by the project proponent’s QSD, QSP, or CPESC.

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45. State General Construction Stormwater Permit No. CA000002 Requirements

Purpose: To ensure compliance with all water quality provisions in NPDES General Permit for Storm Water Discharges Associated with Construction and Land Disturbance Activities, No. CAS000002 (CGP).

Requirement: Proper filing of all compliance documents required under the CGP.

Documentation: The Permittee shall prepare and submit the following items to the Public Works Agency - County Stormwater Program (CSP) for review:

- i. A current notice of intent, in accordance with the State Water Resources Control Board requirements under the CGP;
- ii. A current Stormwater Pollution Prevention Plan (SWPPP), in accordance with the State Water Resources Control Board requirements under the CGP; and
- iii. A change of information (COI) form and a copy of the modified SWPPP at any time a transfer of ownership takes place for the entire development or portions of the common plan of development where construction activities are still on-going.

Timing: The above listed items (i and ii) shall be submitted to CSP staff for review prior to issuance of a zoning clearance for construction. In addition, if applicable, a COI form and a copy of the modified SWPPP (iii) shall be submitted anytime during project duration that a transfer of ownership takes place.

Monitoring and Reporting: CSP staff will review the submitted materials for consistency with the CGP. The current and site-specific SWPPP shall be kept on-site for periodic review by the grading permit inspectors.

Groundwater Program Section

46. Abandoned Well

Purpose: To comply with Ventura County Well Ordinance 4468, Section 4819 Destruction of Abandoned Wells and Ventura County General Plan Policies WR-2.2, WR-2.3, WR-4.2, and WR-4.5 to verify that the project shall not significantly impact the quantity or quality of water resources.

Requirement: Pursuant to Ventura County Ordinance 4468, Section 4819, the Permittee shall obtain a well destruction permit from the Ventura County Public Works Agency and destroy State Well Number 01S20W22F04S, upon location of the well, or bring the well to "Active" status (per Section 4812).

Timing: Prior to the issuance of a certificate of occupancy, the Permittee shall obtain a well destruction permit and destroy the wells.

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Monitoring and Reporting: The Ventura County Public Works Agency shall observe destruction and sealing of the well and prepare a well seal inspection report, which shall be provided to the Case Planner and maintained on file by the Ventura County Public Works Agency.

47. Pump & Recovery Test

Purpose: To ensure new development has a permanent water supply in adequate quantity and quality in accordance with the Ventura County General Plan Goals, Policies, and Programs Policies WR-1.1, WR-1.11, WR-4.1, WR-4.5, and Program F.

Requirement: To demonstrate an adequate water supply, the applicant shall complete a Water Well Pump and Recovery Test (well test) of the proposed water supply well (SWN 01S20W22F02S) that meets the criteria and requirements established by the Watershed Protection District's Groundwater Section.

Documentation: A completed Pump and Recovery Test on the County's test form.

Timing: Prior to building permit issuance.

Monitoring and Reporting: A copy of the "Pump & Recovery Test" will be maintained in the case file.

OTHER VENTURA COUNTY AGENCIES

Ventura County Air Pollution Control District (APCD) Conditions

48. Dust During Construction

Purpose: To ensure that fugitive dust and particulate matter that may result from site preparation and construction activities are minimized to the greatest extent feasible.

Requirement: The Permittee shall comply with the provisions of applicable VCAPCD Rules and Regulations, which include but are not limited to, Rule 50 (Opacity), Rule 51 (Nuisance), and Rule 55 (Fugitive Dust).

Documentation: The project applicant shall ensure compliance with the following provisions:

- I. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to prevent excessive amounts of dust;
- II. Pre-grading/excavation activities shall include watering the area to be graded or excavated before commencement of grading or excavation operations. Application of water should penetrate sufficiently to minimize fugitive dust during grading activities;
- III. All trucks shall cover their loads as required by California Vehicle Code §23114.

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- IV. Fugitive dust throughout the construction site shall be controlled by the use of a watering truck or equivalent means (except during and immediately after rainfall). Water shall be applied to all unpaved roads, unpaved parking areas or staging areas, and active portions of the construction site. Environmentally-safe dust control agents may be used in lieu of watering.
- V. Graded and/or excavated inactive areas of the construction site shall be monitored at least weekly for dust stabilization.
- VI. Signs shall be posted onsite limiting traffic to 15 miles per hour or less.
- VII. All clearing, grading, earth moving, or excavation activities shall cease during periods of high winds (i.e., wind speed sufficient to cause fugitive dust to be a nuisance or hazard to adjacent properties). During periods of high winds, all clearing, grading, earth moving, and excavation operations shall be curtailed to the degree necessary to prevent fugitive dust created by onsite activities and operations from being a nuisance or hazard, either offsite or onsite.

Timing: Throughout the construction phases of the project.

Reporting and Monitoring: Dust control is a standard condition on all Grading Permits issued by Public Works Agency and grading inspector shall perform periodic site inspections throughout the grading period. Monitoring and Enforcement of dust-related provisions for grading operation shall also be conducted by APCD staff on a complaint-driven basis.

Ventura County Fire Protection District (VCFPD) Conditions

49. Address Numbers (Single-Family Homes)

Purpose: To ensure proper premise identification to expedite emergency response.

Requirement: The Permittee shall install a minimum of 4 inch (4") address numbers that are a contrasting color to the background and readily visible at night. Brass or gold plated numbers shall not be used. Where structures are setback more than 150 feet (150') from the street, larger numbers will be required so that they are distinguishable from the street. In the event the structure (s) is not visible from the street, the address number(s) shall be posted adjacent to the driveway entrance on an elevated post.

Documentation: A stamped copy of an approved addressing plan or a signed copy of the Ventura County Fire Protection District's Form #126 "Requirements for Construction".

Timing: The Permittee shall install approved address numbers before final occupancy.
Monitoring and Reporting: A copy of the approved addressing plan and/or signed copy of the Ventura County Fire Protection District's Form #126 "Requirements for Construction" shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection to ensure that all structures are addressed according to the approved plans/form.

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50. Vertical Clearance

Purpose: To ensure that adequate fire department access is provided in conformance with current California State Law and Ventura County Fire Protection District Ordinance.

Requirement: The Permittee shall provide a minimum vertical clearance of 13 feet 6 inches (13'6") along all access roads/driveways.

Documentation: A stamped copy of the approved access plan.

Timing: The Permittee shall submit an access plan to the Fire Prevention Bureau for approval before the issuance of building permits. All required access shall be installed before the start of combustible construction.

Monitoring and Reporting: A copy of the approved access plan shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection to ensure that the access is installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the access for the life of the development.

51. Turnarounds

Purpose: To ensure that adequate fire department access is provided in conformance with current California State Law and Ventura County Fire Protection District Ordinance.
Requirement: The Permittee shall provide an approved turnaround area for fire apparatus where dead-end Fire Department access roads / driveways exceed 150 feet. Required turnaround areas shall be designed such:

- a. Does not exceed a 5% cross-slope in any direction.
- b. Located within 150 feet of the end of the access road / driveway
- c. Posted as fire lanes in accordance with Ventura County Fire Protection District Standards.
- d. Kept free of obstructions at all times.

Documentation: A stamped copy of the approved access plan.

Timing: The Permittee shall submit access plans to the Fire Prevention Bureau for approval before issuance of building permits. The plans shall indicate all access road/driveway locations and proposed turnaround location and design. All required turnarounds shall be installed before the start of combustible construction.

Monitoring and Reporting: A copy of the approved access plans shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection ensure that turnaround areas are installed according to the approved plans.

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Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the turnaround areas for the life of the development.

52. Access Road Improvements, Existing Legal Lots for Single Family Dwellings

Purpose: To ensure that adequate fire department access is provided in conformance with current California State Law and Ventura County Fire Protection District Ordinance.

Requirement: The Permittee shall design access road(s)/driveway(s) in accordance with Fire District access standards. On-site access road/driveway serving one (1) lot shall have a minimum width of 12 feet (minimum 15 feet wide in Hazardous Fire Areas and Wildland Urban Interface Areas). Access road/driveways serving two (2)- four (4) lots shall have a minimum paved width of 15 feet plus 2.5 foot graded and compacted (95%) shoulders each side for a total minimum width of 20 feet.

Documentation: A stamped copy of the approved access plan.

Timing: The Permittee shall submit an access plan to the Fire Prevention Bureau for approval before the issuance of building permits. All required access shall be installed before occupancy.

Monitoring and Reporting: A copy of the approved access plan shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection to ensure that the access is installed according to the approved plans prior to start of combustible construction. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the access for the life of the development.

53. Construction Access

Purpose: To ensure that adequate fire department access is provided during construction in conformance with current California State Law and Ventura County Fire Protection District Ordinance.

Requirement: The Permittee shall install all utilities located within the access road(s) and a paved all-weather access road/driveway suitable for use by a 20 ton fire apparatus. The access road (s)/driveway(s) shall be maintained with a minimum 20 foot clear width at all times. [Erase if not applicable: For tract construction, the Permittee shall install all utilities located within the access road(s) and first lift of pavement.]

Documentation: A stamped copy of the construction access plan.

Timing: The Permittee shall submit plans to the Fire Prevention Bureau for approval before the issuance of building permits. All required access installed before start of construction.

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Monitoring and Reporting: A copy of the approved access plan shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct periodic on-site inspections ensure that all required fire department access is maintained during construction. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain all required fire access during construction.

54. Access Road Gates

Purpose: To ensure that adequate fire department access is provided in conformance with current California State Law and Ventura County Fire Protection District Standards.

Requirement: The Permittee shall design and install all gates along required fire access roads/driveways consistent with Fire Protection District Standards.

Documentation: A stamped copy of the approved gate plans.

Timing: The Permittee shall submit gate plans to the Fire Prevention Bureau for approval before the installation of any access gates. The submittal shall include a copy of zoning clearance issued by the Planning Department.

Monitoring and Reporting: A copy of the approved gate plan shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection to ensure that access gates are installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the gates for the life of the development.

55. Alternate / Private Water Supply

Purpose: To ensure that adequate water supply is available for firefighting purposes where no water purveyor service is available or where the water purveyor certifies that the existing water system cannot provide the required fire flow and duration and approves the use of a private water system.

Requirement: The Permittee shall install a private water system (tank and hydrant). Private water systems shall not be supplied from substandard water systems that will impact available fire flow of existing structures. This may require the Permittee to upgrade the existing water purveyor's system to provide the required fire flow.

Documentation: A stamped copy of the approved private water system plans.

Timing: The Permittee shall submit private water system plans to the Fire Prevention Bureau for approval before the issuance of building permits. The private water system shall be installed and operational before the start of construction. Before burying, all underground piping shall be visually inspected by the Fire Prevention Bureau.

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Monitoring and Reporting: A copy of the approved private water system plans shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct on-site inspections to ensure that the private water system is installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the private water system for the life of the development.

56. Fire Sprinklers

Purpose: To comply with current California Codes and Ventura County Fire Protection District Ordinance.

Requirement: The Permittee shall be responsible to have an automatic fire sprinkler system installed in all structures as required by the VCFPD. The fire sprinkler system shall be designed and installed by a properly licensed contractor under California State Law.

Documentation: A stamped copy of the approved fire sprinkler plans.

Timing: The Permittee shall submit fire sprinkler plans to the Fire Prevention Bureau for approval before the installation of the fire sprinkler system.

Monitoring and Reporting: A copy of the approved fire sprinkler plans shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct on-site inspections to ensure that the fire sprinkler system is installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the fire sprinkler system for the life of the development.

57. Hazardous Fire Area

Purpose: To advise the Permittee that the project is located within a Hazardous Fire Area and ensure compliance with California Building and Fire Codes.

Requirement: The Permittee shall construct all structures to meet hazardous fire area building code requirements.

Documentation: A stamped copy of the approved building plans to be retained by the Building Department.

Timing: The Permittee shall submit building plans to the Building Department for approval before the issuance of building permits.

Monitoring and Reporting: The Fire Prevention Bureau shall conduct a final inspection to ensure that the structure is constructed according to the approved hazardous fire area building code requirements. Unless a modification is approved by the Fire Prevention

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Bureau, the Permittee, and their successors in interest, shall maintain the approved construction for the life of the structure.

Notice: For purposes of these conditions and application of Building and Fire Codes, the term "Hazardous Fire Area" includes the following as referenced in the CBC and VCFPD Ordinance: State SRA - Fire Hazard Severity Zone, Local Agency - Very-High Fire Hazard Severity Zone, Local Agency - Wildland-Urban Interface Fire Area (WUI Area), Local Agency - Hazardous Fire Area.

58. Hazard Abatement

Purpose: To ensure compliance with Ventura County Fire Protection District Ordinance.

Requirement: The Permittee shall have all grass or brush adjacent to structure's footprint cleared for a distance of 100 feet or to the property line if less than 100 feet. [Note: Add the following as necessary - All grass and brush shall be removed a distance of 10 feet on each side of all access road(s)/driveway(s) within the project. The Fire District may require the entire parcel to be cleared.] Note: A Notice to Abate Fire Hazard may be recorded against the parcel.

Documentation: A signed copy of the Ventura County Fire Protection District's Form #126 "Requirement for Construction" or the "Notice to Abate" issued under the Fire District's Fire Hazard Reduction Program.

Timing: The Permittee shall remove all grass and brush as outlined by the Ventura County Fire Protection District's Fire Hazard Reduction Program guidelines before the start of construction on any structure.

Monitoring and Reporting: The Fire Prevention Bureau shall conduct on-site inspections to ensure compliance with this condition.

59. Fire Department Clearance

Purpose: To provide the Permittee a list of all applicable fire department requirements for their project.

Requirement: The Permittee shall obtain VCFD Form #126 "Requirements for Construction" for any new structures or additions to existing structures before issuance of building permits.

Documentation: A signed copy of the Ventura County Fire Protection District's Form #126 "Requirements for Construction."

Timing: The Permittee shall submit VCFPD Form #126 Application to the Fire Prevention Bureau for approval before issuance of building permits.

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Monitoring and Reporting: A copy of the completed VCFPD Form #126 shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau will conduct a final on-site inspection of the project to ensure compliance with all conditions and applicable codes / ordinances.

EXHIBIT 6
General Plan Consistency Analysis

The 2040 Ventura County General Plan *Goals, Policies and Programs* (page 1-1) states:

All area plans, specific plans, subdivisions, public works projects, and zoning decisions must be consistent with the direction provided in the County's General Plan.

Furthermore, the Ventura County CZO (Section 8181-3.5.a) states that in order to be approved, a project must be found consistent with the intent and provisions of the County's Certified Local Coastal Program, of which the Coastal Area Plan is a part.

This exhibit provides an evaluation of the consistency of the proposed project with the applicable policies of the General Plan Goals, Policies, and Programs and the Coastal Area Plan.

- 1. General Plan Land Use Policy LU-16.1 Community Character and Quality of Life.** *The County shall encourage discretionary development to be designed to maintain the distinctive character of unincorporated communities, to ensure adequate provision of public facilities and services, and to be compatible with neighboring uses.*

General Plan Land Use Policy LU-16.10 Visual Access for Rural. *Development The County shall encourage discretionary development in rural areas to maintain views of hillsides, beaches, forests, creeks, and other distinctive natural areas through building orientation, height, and bulk.*

General Plan Conservation and Open Space Policy COS-1.6 Discretionary Development on Hillsides and Slopes. *The County shall require discretionary development on hillsides and slopes, which have an average natural slope of 20 percent or greater in the area where the proposed development would occur, to be sited and designed in a manner that will minimize grading, alteration of natural land forms, and vegetation removal to avoid significant impacts to sensitive biological resources to the extent feasible.*

General Plan Conservation and Open Space Policy COS-3.5 Ridgeline and Hilltop Preservation. *The County shall ensure that ridgelines and major hilltops remain undeveloped, and that discretionary development is sited and designed to remain below significant ridgelines, except as required for communication or similar facilities.*

General Plan Conservation and Open Space Policy COS-3.6 Open Space Character. *The County shall require discretionary development outside of Existing Communities be planned and designed to maintain the scenic open space character of the surrounding area, including view corridors from highways. Discretionary development should integrate design, construction, and*

maintenance techniques that minimize the visibility of structures from public viewing locations within scenic vistas.

Coastal Act Section 30250 Location; Existing Developed Area

(a) New residential, commercial, or industrial development, except as otherwise provided in this division, shall be located within, contiguous with, or in close proximity to, existing developed areas able to accommodate it or, where such areas Last Amended: 10-19-2021 (Effective 09-09-22) Land Use Plan 2-2 are not able to accommodate it, in other areas with adequate public services and where it will not have significant adverse effects, either individually or cumulatively, on coastal resources. In addition, land divisions, other than leases for agricultural uses, outside existing developed areas shall be permitted only where 50 percent of the usable parcels in the area have been developed and the created parcels would be no smaller than the average size of surrounding parcels.

Coastal Act Section 30251: *The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect views to and along the ocean and scenic coastal areas, to minimize the alteration of natural landforms, to be visually compatible with the character of the surrounding area and, where feasible, to restore and enhance visual quality in visually degraded areas. New development in highly scenic areas such as those designated in the California Coastline Preservation and Recreation Plan prepared by the Department of Parks and Recreation and by local government shall be subordinate to the character of its setting.*

Coastal Area Plan Policy 4.4.8.2 Locating and Planning New Development. *Consistent with the environmental characteristics and limited-service capacities of the Santa Monica Mountains area, only very low-density development as prescribed by the "Open Space" designation will be allowed in the Santa Monica Mountains. The slope/density formula found in the "Hazards" section will be utilized to determine the minimum lot size of any proposed land division.*

Staff Analysis: The proposed Project consists of grading vacant land and the construction of a new single-family dwelling, garage, and pool. The proposed project site is not in the Scenic Resource Protection (SRP) Overlay Zone; however, the site is within the Santa Monica Mountains Overlay Zone. The Santa Monica Mountains consist of sensitive habitats, such as riparian corridors, native chaparral, and oak woodlands. Planning Division staff conducted a site visit on June 16, 2022 and determined that the proposed project site was not significantly visible from State Route 1 (Pacific Coast Highway), Yerba Buena Road or other public viewing locations. The proposed project will not be visible from the nearest trails that are part of the Point Mugu State Park Trail System, including Big Sycamore Canyon Trail and Yellow Hill Trail. The California Department of Parks

and Recreation's Yellow Hill Trail is approximately 1.17 miles east of the proposed project site, and Big Sycamore Canyon Trail is approximately 2.6 miles west of the proposed project site. In addition, the proposed project site is located greater than 1,000 feet from publicly owned park lands.

The proposed project will maintain a low building profile (height of 17.5 feet) and will be built as a one-story single-family dwelling with a flat roof. The single-family dwelling will be built as a contemporary-modern style residence with open, and minimalist decorative elements. The proposed building and accessory improvements are sited within the general location of the existing private access road and within flatter areas of the lot, with the intent of limiting disturbances to ESHA and avoiding steep areas. In order to ensure that the site blends in with the natural environment of the Santa Monica Mountains, the proposed project will be conditioned to require that the single-family dwelling and water tanks be painted with earth tone colors. The applicant will also be subject to the incorporation of bird safety elements in accordance with Ventura County Coastal Zoning Ordinance (CZO) Section 8178-2.6.12.3. The applicant will ensure that the windows or other similar surfaces utilized for the proposed home are appropriately treated to reduce bird mortality associated with bird strikes (i.e., Ultra-violet patterned glass, fritting, netting, etc.). The applicant will be responsible for incorporation of fire safety compliance measures (such as fire-resistant materials) which are required to comply with the applicable Building and Fire Codes. With the design of the house and incidental structures intended to blend in with the natural environment (Exhibit 5 Condition No. 22), the proposed project would not degrade or significantly impact scenic resources.

Based on the discussion above, the proposed project is consistent with General Plan Land Use Policy LU-16.1, LU-16.10, General Plan Conservation and Open Space Policies COS-1.6, COS-3.5, COS-3.6, Coastal Act Sections 30250 and 30251, and Coastal Area Plan Policy 4.4.8.2.

2. **General Plan Conservation and Open Space Policy COS-4.4 Discretionary Development and Tribal, Cultural, Historical, Paleontological, and Archaeological Resource Preservation** *The County shall require that all discretionary development projects be assessed for potential tribal, cultural, historical, paleontological, and archaeological resources by a qualified professional and shall be designed to protect existing resources. Whenever possible, significant impacts shall be reduced to a less-than-significant level through the application of mitigation and/or extraction of maximum recoverable data. Priority shall be given to measures that avoid resources.*

Coastal Act Section 30244: *Where development would adversely impact archaeological or paleontological resources as identified by the State Historic Preservation Officer, reasonable mitigation measures shall be required.*

Coastal Area Plan Archaeological Resource Policy 4.1.1.1: *Discretionary development shall be reviewed to identify potential locations for sensitive archaeological resources.*

Coastal Area Plan Archaeological Resource Policy 4.1.1.2: *New development shall be sited and designed to avoid adverse impacts to archaeological resources to the maximum extent feasible. If there is no feasible alternative that can eliminate all impacts to archaeological resources, then the alternative that would result in the fewest or least significant impacts to resources shall be selected. Impacts to archaeological resources that cannot be avoided through siting and design alternatives shall be mitigated. When impacts to archaeological resources cannot be avoided, mitigation shall be required and shall be designed in accordance with established federal, state and/or County standards and shall be consistent with the policies and provisions of the LCP.*

Coastal Area Plan Archaeological Resource Policy 4.1.1.6: *Protect and preserve archaeological resources from destruction and avoid impacts to such resources where feasible.*

Coastal Area Plan Paleontology Policy 4.1.2.1: *Discretionary development shall be reviewed to determine the geologic unit(s) to be impacted and paleontological significance of the geologic rock units containing them.*

Coastal Area Plan Paleontology Policy 4.1.2.2: *New development shall be sited and designed to avoid adverse impacts to paleontological resources to the maximum extent feasible. If there is no feasible alternative that can eliminate all impacts to paleontological resources, then the alternative that would result in the fewest or least significant impacts to resources shall be selected. Impacts to paleontological resources that cannot be avoided through siting and design alternatives shall be mitigated. When impacts to paleontological resources cannot be avoided, mitigation shall be required that includes procedures for monitoring grading and handling fossil discoveries that may occur during development.*

Coastal Area Plan Paleontology Policy 4.1.2.3: *Protect and preserve paleontological resources from destruction and avoid impacts to such resources where feasible.*

Staff Analysis: As discussed in Section B, Item 8A (Cultural Resources – Archaeology), of the MND (Exhibit 4), a Phase I Cultural Resources Assessment was prepared by Cogstone, dated February 2022, to investigate the presence of historical and cultural resources on the subject property. The Phase I record search with the South Central Coastal Information Center (SCCIC) and surface survey of the project site did not reveal the presence of archaeological resources. In addition to the Phase I study, the Planning Division staff contacted local Native American representatives in August 2022 pursuant to Public Resource Code

21080.3.1 et seq (AB52) for comment and review. No responses were received regarding the proposed project.

The proposed project is underlain by native soils classified as residual soil and slopewash or colluvium underlying sedimentary bedrock assigned to the Topanga formation with intrusive volcanics, as discussed in the Geotechnical Report from Gold Coast Geoservices, Inc., dated April 5, 2022 and addendum letter, dated July 26, 2022. According to CZO Section 8178-3.2, the Topanga Formation is classified by the Bureau of Land Management as of Moderate Paleontological Resource importance. Area classified Moderate are described as geological units which may contain vertebrate fossils or scientifically significant non-vertebrate fossils, by where occurrences are widely scattered. In such areas, the potential for a project to be sited on or impact a scientifically significant fossil locality is low. Consequently, the proposed Project is below the threshold of significance to require mitigation.

Although the proposed project is unlikely to result in impacts to archaeological and paleontological resources due to the proximity of a recorded resource, future ground disturbance activities will be subject to conditions of approval, to ensure the protection of any subsurface resources that are inadvertently encountered during ground disturbance activities (Exhibit 5, Condition Nos. 18 and 19).

Based on the discussion above, the proposed project is consistent with General Plan Conservation and Open Space Policy COS-4.4, Coastal Act Section 30244, Coastal Area Plan South Coast Archaeology Policies 4.1.11, 4.1.1.2 and 4.1.1.3, and Coastal Area Plan South Coast Paleontology Policies 4.1.2.1, 4.1.2.2 and 4.1.2.6.

- 3. General Plan Conservation and Open Space Policy COS-1.1, Protection of Sensitive Biological Resources.** *The County shall ensure that discretionary development that could potentially impact sensitive biological resources be evaluated by a qualified biologist to assess impacts and, if necessary, develop mitigation measures that fully account for the impacted resource. When feasible, mitigation measures should adhere to the following priority: avoid impacts, minimize impacts, and compensate for impacts. If the impacts cannot be reduced to a less than significant level, findings of overriding considerations must be made by the decision-making body.*

General Plan Conservation and Open Space Policy COS-1.4, Consideration of Impacts to Wildlife Movement. *When considering proposed discretionary development, County decision-makers shall consider the development's potential project-specific and cumulative impacts on the movement of wildlife at a range of spatial scales including local scales (e.g., hundreds of feet) and regional scales (e.g., tens of miles).*

General Plan Conservation and Open Space Policy COS-1.9, Agency Consultation Regarding Biological Resources. *The County shall consult with the California Department of Fish and Wildlife, the Regional Water Quality Control Board, the U.S. Fish and Wildlife Service, National Audubon Society, California Native Plant Society, National Park Service for development in the Santa Monica Mountains or Oak Park Area, and other resource management agencies, as applicable during the review of discretionary development applications to ensure that impacts to biological resources, including rare, threatened, or endangered species, are avoided or minimized.*

Coastal Act Section 30231: *"The biological productivity and the quality of coastal waters, streams, wetlands, estuaries, and lakes appropriate to maintain optimum populations of marine organisms and for the protection of human health shall be maintained and, where feasible, restored through, among other means, minimizing adverse effects of waste water discharges and entrainment, controlling runoff, preventing depletion of ground water supplies and substantial interference of ground water flow, encouraging waste water reclamation, maintaining natural vegetation buffer areas that protect riparian habitats, and minimizing alteration of natural streams."*

Coastal Act Section 30240:

- a) *Environmentally sensitive habitat areas shall be protected against any significant disruption of habitat values, and only uses dependent on such resources shall be allowed within such areas.*
- b) *Development in areas adjacent to environmentally sensitive habitat areas and parks and recreation areas shall be sited and designed to prevent impacts which would significantly degrade such areas and shall be compatible with the continuance of such habitat areas.*

Coastal Area Plan Policy 4.1.3-2.1.1, Environmentally Sensitive Habitat Areas (ESHA). *ESHA shall be protected against any significant disruption of habitat values, and only uses dependent upon those resources shall be allowed within those areas, except as specifically allowed in ESHA Policy 4.1(b) and Policy 4.2 below. In those cases, adverse impacts on ESHA shall be avoided, to the maximum extent feasible, and unavoidable impacts shall be minimized and mitigated.*

Coastal Area Plan Policy 4.1.3-2.1.2, Development Adjacent to ESHA. *Development in areas adjacent to ESHA shall be sited and designed to prevent impacts which would significantly degrade ESHA and shall be compatible with the continuance of the habitat.*

Coastal Area Plan Policy 4.1.3-2.2.1, Environmental Review. *Within the coastal zone, the environmental review process for proposed development shall be conducted as follows:*

- a. *To accurately identify ESHA and assess the impacts of proposed development on ESHA, each application for development that may result in the degradation or destruction of ESHA shall include a site-specific environmental assessment that includes: (1) a site-specific biological resource map (see ESHA Policy 3.2), including a wet environment delineation (if applicable), and an analysis of all potentially adverse impacts (on-site, off-site) on those biological resources; and (2) a least environmentally damaging alternatives analysis (see ESHA Policy 5.1). Requirements for the site-specific environmental assessment and least environmentally damaging alternatives analysis are set forth in the Coastal Zoning Ordinance.*
- b. *Any area defined as ESHA, or mapped as ESHA or buffer zone on site-specific maps, shall be accorded all protections provided for such areas in the LCP; and*
- c. *When applicable, applicants for a coastal development permit shall consult with responsible federal/state natural resource agencies to ensure that potential impacts to ESHA under their jurisdiction are avoided or minimized in a manner consistent with federal/state law. Also, in the Santa Monica Mountains (M) overlay zone, new coastal development permit applications shall be provided to federal/state natural resource agencies and conservation organizations that operate in the area for review and comment.*

Coastal Area Plan Policy 4.1.3-2.3.2, Site-Specific ESHA Maps. *Site-specific ESHA maps shall be used to accurately identify and map the impacts of proposed new development on ESHA. To accurately identify and assess such impacts, each coastal development permit application that has the potential to result in adverse impacts to ESHA shall include a site-specific map that delineates the location of all ESHA and buffer zones. Site-specific ESHA maps shall be based on site-specific biological surveys and maps. All areas that meet the definition of ESHA shall be mapped as ESHA, and the extent of ESHA on site-specific biological resource maps shall be based on ESHA determinations made in accordance with ESHA Policy 3.1 [Definition of ESHA].*

Coastal Area Plan Policy 4.1.3-2.4.1. *Allowable uses in ESHA or buffer zone shall be limited to the resource-dependent and non-resource-dependent uses identified below. When a new use is allowed in ESHA or buffer zone, the associated development shall be the minimum amount necessary, shall constitute*

the least environmentally damaging alternative, and shall be sited and designed in accordance with the policies and provisions of the LCP:

- a. *Resource-Dependent Use: Only resource dependent uses may be allowed within ESHA or buffer zones. Resource-dependent uses include passive recreation, nature study, and habitat restoration. Also, see the list of resource dependent uses set forth in Section 8178-2.5 of the Coastal Zoning Ordinance. Exceptions to this policy are provided by ESHA Policies 4.1(b), 4.2, and 4.3 below.*
- b. *Non-Resource-Dependent Use: A non-resource dependent use may only be allowed in ESHA or buffer zone when necessary for a new wireless communication facility mandated by federal law¹⁹ or a new public works facility is necessary to protect public health/safety or provide essential public services for legally permitted development. Existing public works facilities may be maintained and repaired in accordance with Coastal Zoning Ordinance provisions in Sec. 8174-6.3.2 – Statutory Exemptions and Categorical Exclusions. Also, see ESHA Policy 5.6 (fuel modification zones), Policy 6.3 (sand removal on a beach); Policy 6.8 (shoreline protection structures), Policy 6.12 (water supply and flood control projects), and Policy 8.1(c) (vector control).*

Coastal Area Plan Policy 4.1.3-2.4.2 Economically Beneficial Use. *Where full adherence to all CAP policies and development standards regarding ESHA or a buffer zone would deprive the property owner of a constitutionally protected economically beneficial use of the applicant's subject property as a whole, the County shall allow the minimum economic use of the property as necessary to avoid an unconstitutional taking of private property without just compensation. Such proposed development may only consist of a new residential use on a "buildable lot" meeting the standards set forth in the CZO, or other principally permitted use within the zone. An applicant who requests approval of development on this basis must provide, as part of the coastal development permit application, substantial evidence sufficient to support the request and to make the additional findings required pursuant to Policy 4.3 (below).*

Coastal Area Plan Policy 4.1.3-2.4.3. *Additional findings are required to approve a coastal development permit to avoid a constitutional taking of property pursuant to Policy 4.2. A coastal development permit that allows a deviation from a policy or standard of the LCP regarding ESHA or a buffer zone to provide an economically beneficial use of the applicant's property as a whole may be approved or conditionally approved only if the County makes the following permit findings:*

- a. *Based on detailed economic, ownership, and land use information provided by the applicant, as well as any other relevant evidence, each project development allowed by the LCP policies and/or standards would not provide an economically beneficial use of the applicant's property as a whole;*

- b. *Application of the LCP policies and/or standards would unreasonably interfere with the applicant's reasonable investment-backed expectations;*
- c. *The proposed development is a new residential use on a "buildable lot" meeting the standards set forth in the CZO, or other principally permitted use within the zone;*
- d. *The use and project design, siting, and size are the minimum necessary to avoid an unconstitutional taking of property without just compensation;*
- e. *The project is the least environmentally damaging feasible alternative and is consistent with all provisions of the certified LCP other than the provision(s) for which the deviation is requested; and*
- f. *The development will not constitute a public nuisance or violate other background principles of property law such as the public trust doctrine.*

Coastal Area Plan Policy 4.1.3-2.5.1, Least Environmentally Damaging Alternative: *Development, including the fuel modification zone, shall be sited and designed to protect ESHA against any significant disruption of habitat values and avoid adverse impacts to the ESHA ecosystem (both on-site and off-site). Where development is permitted in ESHA or buffer zone pursuant to ESHA policies 4.2 and 4.3 – Economically Beneficial Use, such development shall be sited and designed to protect ESHA and avoid adverse impacts to the ESHA ecosystem to the maximum extent feasible. If there is no feasible alternative that avoids all impacts, then the alternative that would result in the fewest or least significant impacts shall be selected. Mitigation shall not be used as a substitute for the selection of the least damaging site-design alternative. During the least damaging alternatives analysis, an applicant shall confirm the width of the proposed fuel modification zone with the Ventura County Fire Protection District. A least damaging alternatives analysis shall include evaluation of the proposed fuel modification zone and maximum allowable expanded zone. A least damaging alternatives analysis is not required for a project that is limited to expanding upon an existing fuel modification zone for existing, legally established development.*

Coastal Area Plan 4.1.3-2.5.2, Allowable Building Site (Economically Beneficial Use): *Where development is permitted in ESHA or buffer zone pursuant to ESHA Policies 4.2 and 4.3 – Economically Beneficial Use, a maximum allowable building site shall be established that constitutes the minimum amount necessary to avoid a taking of private property, in accordance with the following:*

- a. *In the Santa Monica Mountains, the maximum allowable building site is 10,000 square feet, or 25 percent of the legal lot size, whichever is less, but a smaller building site shall be required when adequate land is not available due to public health/safety hazards or the presence of habitats (e.g., wetlands, threatened species habitats) that are specifically protected by federal/state law in addition to the Coastal Act. A larger building site may be approved as an ESHA Preservation Incentive in accordance with ESHA Policy 9.2.*

Coastal Area Plan Policy 4.1.3-2.5.3, Adjacent Development: *Development in areas adjacent to ESHA, in buffer zones, and parklands/protected open space areas acquired by natural resource agencies or conservation organizations for natural resource protection, shall be sited and designed to prevent the degradation of, and be compatible with the continuance of, the adjacent biological resources.*

Coastal Area Plan Policy 4.1.3-2.5.4, Clustered Development: *To minimize the loss or fragmentation of ESHA, proposed development shall be located away from ESHA and steep slopes and clustered near existing permitted development and roadways/services. Also, if a building site is in or adjacent to ESHA or buffer zone, then structures within the building site shall be configured to maximize the use of overlapping fuel modification zones.*

Coastal Area Plan Policy 4.1.3-2.5.5 Access Roads and Driveways: *To minimize adverse impacts to ESHA from road construction, the number of driveways or access roads shall be limited to the minimum necessary, and the following siting and design techniques shall be employed in new development:*

- a. *No more than one driveway shall be permitted for residential development, and secondary access roads are prohibited unless required for fire safety by the Ventura County Fire Protection District;*
- b. *Whenever feasible, utilize existing roads to provide access for development or temporary uses – such as geotechnical testing, outdoor festivals, and outdoor sporting events;*
- c. *Grading cuts and fills shall be minimized by combining access ways and driveways among adjacent properties to a single, shared road wherever possible; and d. When access roads are required, minimize the length, width, and grading necessary for such roads, except when a wider road is required for fire safety by the Ventura County Fire Protection District.*

Coastal Area Plan Policy 4.1.3-2.5.6, Fuel Modification Zones in ESHA or Buffer Zone: *Fuel modification zones are permitted in ESHA or buffer zones to protect legally established structures from identified wildfire hazards. The following regulations are intended to minimize adverse impacts of vegetation management activities to ESHA and buffer zones:*

- a. *All Fuel Modification Zones.*
 1. *Site development techniques and building design measures, such as clustered development, ember resistant building materials, etc. shall be used to minimize the size of fuel modification zones that results in the loss or fragmentation of ESHA or buffer zone.*
 2. *When vegetation removal or thinning conducted for fire safety, vegetation removal and thinning techniques shall be utilized that minimize impacts to native vegetation and water quality to the maximum extent feasible.*

3. *To the maximum extent feasible, development shall be sited and designed to locate all fuel modification zones onsite when the proposed fuel modification zone would impact*
 - (i) *ESHA or buffer zone on an adjacent lot or*
 - (ii) *impact undeveloped open space that is owned or managed by a natural resource agency or conservation organization.*
 4. *No development shall be approved that results in a mandatory fuel modification zone that extends onto federal or state parklands without written authorization from the National Park Service or the California Department of Parks and Recreation, as applicable.*
 5. *Structural storm water retention or protection features shall only be allowed within a mandatory fuel modification zone when there is no feasible alternative for placing them within the building site.*
- b. *Mandatory Fuel Modification Zones. The standard width of the mandatory fuel modification zone around legally established structures within the building site is 100 feet. Under unique site-specific conditions, the Ventura County Fire Protection District may determine that it is necessary to expand the mandatory fuel modification zone of new development to 200 feet if needed to protect life and property from wildland fires. Allowable development outside the building site but within the first 100 feet of the fuel modification zone shall be limited to the following:*
1. *Resource-dependent and non-resource dependent uses pursuant to Coastal Area Plan ESHA Policy 4.1;*
 2. *Drought-tolerant native landscaping (see Coastal Area Plan Section 4.1.8 - Water Efficient Landscaping, Policies 1, 4, 8 and 9);*
 3. *Confined animal facilities that do not require additional fuel modification; and*
 4. *Water wells/septic drainage fields not located in the building site.*

Coastal Area Plan Policy 4.1.3-2.5.8, Steep Slopes and Open Space Requirement:

- a. *To minimize impacts on ESHA, development shall not be permitted in areas of slope over 30 percent gradient, unless there is no other feasible location on the subject lot and the development is allowed pursuant to Biological Resource Policy 4.3- Economically Beneficial Use.*
- b. *All Coastal Development Permits that include the approval of development within ESHA, buffer zones, steep slopes, or adjacent to parklands shall be conditioned to require the remaining ESHA, buffer zones, and slopes over 30 percent gradient located outside of the approved building site and mandatory fuel modification zone are preserved in perpetuity through a conservation*

easement or conservation instrument, according to the policies and standards of the LCP.

Coastal Area Plan Policy 4.1.3.2.5.9, Alteration of Land Forms: *Development shall be sited and designed in a manner that will minimize grading, alteration of natural land forms, and brush/vegetation removal to avoid adverse effects on the ecological function of (and water quality within) wet environments, wetlands, coastal waters, and other ESHA. 5.10 Water Quality and Coastal Waters: Development shall be sited and designed to protect water quality and minimize impacts to wetlands, wet environments, and coastal waters. When appropriate, utilize open space restrictions to protect such areas from adverse impacts associated with the development. 5.11 Bird Mortalities: Bird mortalities resulting from bird collisions with buildings shall be reduced through application of bird-friendly building standards.*

Coastal Area Plan Policy 4.1.3.2.5.10 Water Quality and Coastal Waters. *Development shall be sited and designed to protect water quality and minimize impacts to wetlands, wet environments, and coastal waters. When appropriate, utilize open space restrictions to protect such areas from adverse impacts associated with the development.*

Coastal Area Plan Policy 4.1.3.2.5.17, Habitat Preservation Priority: *When locating development, the preservation of unfragmented or biologically significant patches of habitat shall be prioritized over fragmented areas of habitat.*

Coastal Area Plan Policy 4.1.3.2.5.18, Outdoor Lighting: *Development, outdoor festivals, and outdoor sporting events shall be sited and designed to avoid light encroachment into ESHA, as well as to minimize outdoor lighting in the Santa Monica Mountains to reduce light trespass or spill, glare, skyglow and light pollution and to preserve the night sky.*

Coastal Area Plan Policy 4.1.3.2.5.19 Fencing, Gates and Walls: *Fences, gates and walls are prohibited within ESHA or buffer zones, except when the fence is located within an approved development envelope, or the fence is used for habitat protection or restoration. Fences, gates and walls within the development envelope shall not isolate wildlife from core habitat areas and shall be sited and designed to avoid impacts to the movement of wildlife. 5.20 Noise: Development, outdoor festivals, and outdoor sporting events shall be sited and designed to avoid adverse noise impacts to ESHA.*

Coastal Area Plan Policy 4.1.3.2.6.10. *All development on land adjacent to or within a wetland or wet environment, or within 500 feet of such environments, shall be sited and designed to maintain water quality and prevent degradation of the ecosystem function. The purposes of such development projects shall be limited to those set forth in Section 30233(a) and 30236 of the Coastal Act. Discretionary*

development that would adversely impact a wetland habitat shall be prohibited unless there is no feasible less environmentally damaging alternative and if feasible mitigation measures are provided to minimize adverse environmental effects.

Coastal Area Plan Policy 4.1.3.2.6.19. *Development shall be sited and designed to support biodiversity and to protect and enhance wildlife and plant habitat connectivity corridors as follows:*

- a. Avoid the fragmentation of core habitat areas;*
- b. Avoid the creation of corridor chokepoints and enhance habitat within existing corridor chokepoints;*
- c. Minimize indirect impacts (e.g., lighting, noise, human-wildlife interactions) that alter wildlife behavior; and*
- d. Avoid the placement of new structures or other barriers that disrupt species movements through habitat connectivity corridors.*

Coastal Area Plan Policy 4.1.3.2.7.2. *During bird breeding seasons, nesting and roosting areas shall be protected from disturbance associated with development or outdoor festivals/outdoor sporting events. Also, during bird migration seasons, such disturbance shall be avoided within bird staging/stopover sites.*

Coastal Area Plan Policy 4.1.3.2.10.1. *When development is allowed within ESHA or buffer zone, and adverse impacts to the ESHA ecosystem cannot be avoided through the selection of a least environmentally damaging alternative (see ESHA Policy 5.1), compensatory mitigation is required as follows:*

- a. Mitigation requirements shall account for, and provide proportionate in-kind mitigation for, all adverse impacts to ESHA associated with the proposed development;*
- b. Acceptable types of compensatory mitigation are as follows:*
 - 1. On-site restoration, establishment or enhancement; or*
 - 2. Off-site preservation, restoration, establishment or enhancement of ESHA;*
or
 - 3. Specific types of on/off-site mitigation required for wetlands, wet environments, or other specialized habitats regulated by federal or state natural resource agencies; and*
- c. Compensatory mitigation required for adverse impacts to coastal sage scrub and chaparral may be implemented on or off-site. Priority shall be given to onsite mitigation for adverse impacts to wet environments and oak/native woodland habitats unless off-site restoration, establishment, or enhancement is provided through an available federal/state mitigation bank or in-lieu fee*

program. For all other types of ESHA, preference shall be given to on-site mitigation unless the County determines that off-site mitigation is more protective of the ESHA ecosystem impacted by the project or the off-site mitigation property was prioritized for conservation through a County approved regional conservation plan. In all cases, off-site mitigation may be provided when it is not feasible to fully mitigate impacts on-site due to an insufficient supply of available, suitable areas for on-site restoration, enhancement, or establishment of ESHA.

Coastal Area Plan Policy 4.1.3.2.10.2. *When ESHA is illegally removed or degraded, the impacted area shall be fully restored on-site and compensatory mitigation shall be required, except as follows:*

- a. If restoration or establishment of the impacted area is infeasible due to an insufficient supply of available areas, then an equivalent area of ecologically functioning ESHA shall be restored or established on-site or off-site; and*
- b. If any portion of the impacted area is within the approved development envelope, then any type of acceptable compensatory mitigation (see Policy 10.1(b)) may be used for that portion of the impacted area.*

Coastal Area Plan Policy 4.1.3-2.10.3. *Mitigation measures for impacts to ESHA shall be imposed and implemented that ensure all components of the ESHA ecosystem are protected and mitigated and that increase the potential for the success and long-term sustainability of the ESHA. Also, compensatory mitigation sites shall exhibit characteristics such as habitat connectivity, proximity to the impacted ESHA ecosystem, and the potential to achieve ecologically functioning ESHA.*

Coastal Area Plan Policy 4.1.3.2.10.4. *Mitigation ratios required for compensatory mitigation shall account for the type of habitat impacted; temporal loss of ecosystem function¹; and the uncertainty that replacement habitats will adequately compensate for the habitat value and ecosystem services previously provided by the impacted ESHA or protected biological habitat.*

Staff Analysis: An Initial Study Biological Assessment (ISBA), dated August 2022 amended October 2023, was prepared by David Magney Environmental Consulting to assess the impacts of the proposed Project (Exhibit 4, Attachment 3).

As discussed on Section B, Items 4D (Ecological Communities – ESHA) of the MND, the proposed project will permanently remove approximately 121,314.6 sq. ft. (2.785 acres) of ESHA, related to the construction of the access road, the

¹ Temporal impacts occur to the ecosystem during the period between the ESHA impact and the successful completion of mitigation.

dwelling and garage, and the required 100-foot fuel modification zone. Additionally, 13,590 sq. ft. (0.312 acres) of ESHA was developed without the benefit of a Coastal Development Permit, resulting in a total of 3.097 acres of impacts to ESHA that will require mitigation at a 2:1 ratio (6.194 acres).

Permanent impacts to the following vegetation communities were identified:

- California sagebrush-ashy buckwheat scrub (*Artemisia californica*-*Eriogonum cinereum* Shrubland Association);
- Bush mallow scrub (*Malacothamnus fasciculatus* Shrubland Association);
- Laurel sumac-bush mallow-ashy buckwheat scrub (*Malosma laurina*-*Malacothamnus fasciculatus*- *Eriogonum cinereum* Shrubland Association);
and
- Ruderal vegetation.

Review of the Ventura County Local Coastal Program, Coastal Area Plan Policy 4.1.3-2.5.5, no more than one driveway is permitted for residential development. The proposed project included two driveways. The southerly driveway has been omitted. In accordance with CZO Section 8178-2.10.1(a)(2), unpermitted impacts shall be restored onsite unless the impacted area is within the approved development envelope of the least damaging alternative. Approximately 871 sq. ft. associated with the second driveway remains outside of the development envelope is considered unpermitted and will be restored onsite.

The ISBA Figure 12 (Exhibit 4, Attachment 4) indicates three areas onsite designated ruderal, areas where native vegetation has been disturbed by anthropogenic uses. Two of the areas are within the development envelope and are accounted for in the onsite ESHA impacts. The area west of the access road (approximately 1,829 sq. ft.) was not included in the onsite ESHA impacts, resulting in 1,829 sq. ft. of additional ESHA mitigation to be restored onsite.

Unpermitted ESHA removal associated with the second driveway and ruderal area totals approximately 2,700 sq. ft. (0.062 acres). A total of 13,590 sq. ft. (0.312 acres) of onsite unpermitted ESHA impacts were identified.

Originally, a total of 6.09 acres of compensatory mitigation was required. Taking into account the adjustments noted above, the ESHA impacts associated with the Project are as follows: 3.097 acres of ESHA removed/degraded for the entire project will require mitigation at a 2:1 ratio for a total of 6.19 acres. Restoration of 0.312 acres will occur onsite, the remaining 5.882 acres will be mitigated through the acquisition of offsite parcels to be dedicated to Mountains Recreation and Conservation Authority (MRCA). The ISBA has been amended (Exhibit 4 – Attachment 3).

Restoration of 0.312 acres of ESHA will occur onsite; the remaining 5.882 acres will be mitigated through the acquisition of offsite parcels to be dedicated to Mountains Recreation and Conservation Authority (MRCA) (Mitigation Measure BIO-8, Condition of Approval No. 31). The Applicant will provide for the permanent protection of 5.882 acres of ESHA in the Santa Monica Mountains by acquiring and conveying APNs 694-0-100-160 and 694-0-100-110 (6 acres) referred to herein as Conservation Land (Mitigation Measure BIO-7, Condition of Approval No. 30). Further, the Applicant will be required to preserve in perpetuity (through conservation easement or conservation instrument) all onsite ESHA, buffer zones, and slopes over 30 percent gradient located outside of the approved development envelope (Exhibit 5, Mitigation Measure BIO-7, Condition of Approval No. 30).

The Project is designed to permit development of a single-family dwelling, an economically beneficial use, on an existing legal lot adjacent to a private access road which provides physical and legal access to the site. The Applicant's consulting Geologist determined that the west side of the subject property was not suitable for building due to a large ancient landslide and that adequate safety factors against seismically induced landslide hazards were present within the proposed building area in the eastern portion of the site (Exhibit 4 MND - Attachment 7).

The proposed Project has been designed to use the existing disturbed areas in the eastern portion of the site as documented in the Planning Director Staff Report Section A7 (History) and indicated in the MND (Exhibit 4, Section B 4 (Biological Resources). The dwelling is sited on a flat area on the lot and utilizes an existing access road as the residential driveway. Adjoining lots are undeveloped therefore consolidating fuel modification zones are not available.

On June 8, 2022, the Planning Division notified the Santa Monica Mountains Conservancy, National Park Service, Trust of Public Lands, County of Ventura General Services Agency, California State Coastal Conservancy and California State Parks, and the California Native Plant Society and the National Park Service and requested comments regarding the proposed project. On September 13, 2023, the Planning Division received a comment letter from CDFW. The proposed final MND, the CDFW comment letter, and response to comments are attached as Exhibit 4.

As discussed on Section B, Item 4D (Biological Resources – Habitat Connectivity), of the MND (Exhibit 4), no drainages were surveyed within the development envelope (one drainage was documented on the far southern edge of the Project survey area). There is a tributary to Yerba Buena Creek approximately 300 feet to the east of the project site. The Project plans (Exhibit 3) do not show proposed development encroaching into any ephemeral drainages or modification of areas adjacent to drainages that would impair the functions and values of these

resources. Therefore, development of the proposed project is not expected to cause any hydrological modification that would result in disruptions to wetland or riparian plant communities, isolate or substantially interrupt contiguous habitats, block seed dispersal routes, or increase vulnerability of wetland species to exotic weed invasion or local extirpation (i.e., extinction). In addition, the proposed project will be required to comply with the Ventura Countywide NPDES MS4 Permit No. CAS004002, where the Applicant will be required to include BMPs designed to ensure compliance and implementation of an effective combination of erosion and sediment control for a disturbed site greater than one acre and determined as High Risk to protect surface water quality during construction (Exhibit 5, Condition No. 44).

ESHA located adjacent to the fuel modification zone has the potential to be indirectly impacted by the introduction of invasive species inadvertently transported into the area from anthropogenic activities. Sensitive communities adjacent to the fuel modification zone also have the potential to be indirectly impacted by the introduction and proliferation of invasive plants. To mitigate potentially significant impacts to ESHA and ESHA buffers from landscaping and maintenance with the fuel modification zone, Mitigation Measure BIO-9, requires the Applicant to submit a Fuel Modification Plan for controlling and eradicating any non-native plants within the fuel modification zone (Exhibit 5, Condition No. 32). The Fuel Modification Plan shall specify the plants and seed to be included that are indigenous to the Santa Monica Mountains. The native plants and seeds used in the fuel modification zone shall be reviewed and approved by the Ventura County staff biologist and VCFPD, so as not pose a flammability risk within the fuel modification zone.

As discussed on Section B, Item 4E (Habitat Connectivity) of the MND, the project site is located approximately five miles southeast of the Connectivity Corridor. Project development will not result in removal of habitat within the designated movement corridor. There is open space between the Habitat Connectivity Corridor and the project site, and, therefore, there is unrestricted wildlife movement between the two areas. No physical barriers to connectivity exist for the project site, however, certain types of fencing, which are typically erected for residential development, may create barriers to wildlife movement and habitat connectivity. To avoid future barriers to wildlife movement, Mitigation Measure BIO-10 require the Applicant submit a fencing plan that is in compliance with CZO Section 8178-2.6.14. In addition, development of a single-family dwelling will likely incorporate exterior lighting that could have a significant impact on wildlife movement, if it is excessive or shines into adjacent areas with native vegetation. Mitigation Measure BIO-11 will require a lighting plan to be submitted for review and approval, requiring exterior lighting be in compliance with CZO Section 8178-2.6.15.

With implementation of Mitigation Measure BIO-1 through BIO-11 potential impacts to biological resources would be reduced to less than significant (Exhibit 5, Conditions Nos. 24 through 34).

Based on the discussion above, the proposed project is consistent with General Plan Policies General Plan Conservation and Open Space Policies COS-1.1, COS-1.4, COS-1.9, Coastal Act Sections 30231 and 30240, and Coastal Area Plan Policies 4.1.3-2.1.1, Policy 4.1.3-2.1.1, Policy 4.1.3-2.1.2, Policy 4.1.3-2.2.1, Policy 4.1.3-2.3.2, Policy 4.1.3-2.4.1, Policy 4.1.3-2.4.2, Policy 4.1.3-2.4.3 Policy 4.1.3-2.5.1, Policy 4.1.3-2.5.2, Policy 4.1.3-2.5.3, Policy 4.1.3-2.5.4, Policy 4.1.3-2.5.5, Policy 4.1.3-2.5.6, Policy 4.1.3-2.5.8, Policy 4.1.3-2.5.9, Policy 4.1.3-2.5.10, Policy 4.1.3-2.5.17, Policy 4.1.3-2.5.18, Policy 4.1.3-2.5.19, Policy 4.1.3-2.6.10, Policy 4.1.3-2.6.19, Policy 4.1.3-2.7.2, Policy 4.1.3-2.10.1, Policy 4.1.3-2.10.2, Policy 4.1.3-2.10.3 Policy 4.1.3-2.10.4..

- 4. General Plan Conservation and Open Space Policy COS-1.12, Discretionary Development and Landscaping.** *The County shall require landscaping associated with discretionary development, or subject to the California Water Efficient Landscape Ordinance (WELo), to be water-efficient and include native, pollinator-friendly plants consistent with WELo guidelines, as applicable. The planting of invasive and watch list plants as inventoried by the California Invasive Plant Council shall be prohibited, unless planted as a commercial agricultural crop or grown as commercial nursery stock.*

Coastal Area Plan Policy 4.1.3.5.12 Invasive Plants: To reduce the spread of invasive or invasive watch list plant or animal species, landscaping shall primarily consist of native, drought-tolerant vegetation and be designed in accordance with best management practices developed for reducing the spread of such species. (Also, see Section 4.1.6 - Water Efficient Landscaping, Policies 8 and 10; and Section 4.1.4 - Tree Protection, Non-Native Invasive or Invasive Watch Species Trees, Policies 9 and 10.)

Water Efficient Landscaping Policy 4.1.8.1. *Landscaping shall be sited and designed to protect coastal resources, including environmentally sensitive habitat areas (ESHA), scenic resources, water quality, and water supply.*

Water Efficient Landscaping Policy 4.1.8.2. *Landscaping shall be used to screen views of utilities, trash enclosures, large blank walls or building facades, and parking areas as seen from public viewing areas. Screening shall not be used as a substitute for project alternatives such as re-siting or reducing height or bulk of structures.*

Water Efficient Landscaping Policy 4.1.8.4. *Landscaping adjacent to ESHA, designated open space and parkland areas shall preserve, protect and, where feasible, enhance such areas.*

Water Efficient Landscaping Policy 4.1.8.5. *Landscape design shall be compatible with the character of the surrounding rural, urban, and environmental setting. Compatibility shall be established by minimizing landform alterations and by utilizing new vegetation that is similar in type, size and scale to the surrounding environment.*

Water Efficient Landscaping Policy 4.1.8.8. *When a landscape plan is required for a discretionary project, the plant palette shall be limited to native, drought-tolerant vegetation except as follows:*

- *Non-native, non-invasive or non-invasive watch list species vegetation may be used when located within the approved building envelope.*
- *Drought tolerant and fire-resistant non-native plants, as approved by the Ventura County Fire Protection District, may be used in the fuel modification zone, except when the fuel modification zone is within a buffer zone.*
- *When located in areas not conducive to native plant establishment.*

Water Efficient Landscaping Policy 4.1.8.9. *Irrigation for landscaping shall incorporate water conservation measures such as low water usage plumbing fixtures, emitters, micro-spray, and other measures designed to reduce water usage. No permanent irrigation systems are permitted in ESHA or buffer zone, except when within 50 feet of a legally established habitable structure within a mandatory fuel modification zone.*

Water Efficient Landscaping Policy 4.1.8.10. *When a landscape plan is required for a discretionary project, no invasive plant or invasive watch list shall be included in the landscape plan.*

Water Efficient Landscaping Policy 4.1.8.11. *Temporary vegetation, seeding, mulching, or other suitable stabilization methods shall be used to protect soils subject to erosion that were disturbed during grading or development. Any plants or seeds used in these stabilization efforts shall be noninvasive.*

Staff Analysis: In accordance with CZO Section 8178-8.4.1, native, fire-resistant, non-invasive and drought tolerant landscaping shall be used for all landscaped areas. The preliminary landscape plan (Exhibit 3) includes a plant palette that incorporates native plants (a mix of ground cover, shrubs and box tree specimens) providing a visual buffer that blends the proposed structures with the surrounding ESHA while not creating conflicts (i.e., restricting solar access) with adjacent lots. The proposed project is consistent with the applicable policies related to water efficient landscaping and the erosion control seed mix will be restricted from contained invasive plant species (species included on the California Invasive Plant Inventory). The Applicant will be required to submit a final Landscape Plan prior to Zoning Clearance for construction (Exhibit 5, Condition No. 23).

Based on the discussion above, the proposed project is consistent with General Plan Conservation and Open Space Policy COS-1.12, and Coastal Area Plan Policies 4.1.3.5.12, 4.1.8.1, 4.1.8.2, 4.1.8.4, 4.1.8.5, 4.1.8.8, 4.1.8.9, 4.1.8.10, 4.1.8.11.

- 5. General Plan Circulation and Transportation Policy CTM-1.7 Pro Rata Share of Improvements** *The County shall require discretionary development that would generate additional traffic pays its pro rata share of the cost of added vehicle trips and the costs of necessary improvements to the Regional Road Network pursuant to the County's Traffic Impact Mitigation Fee Ordinance.*

General Plan Circulation and Transportation Policy CTM-2.28 Emergency Access *The County shall ensure that all new discretionary projects are fully evaluated for potential impacts to emergency access. Mitigation of these impacts shall be handled on a project-by-project basis to guarantee continued emergency service operations and service levels.*

General Plan Public Facilities, Services and Infrastructure Policy PFS-1.7 Public Facilities, Services, and Infrastructure Availability *The County shall only approve discretionary development in locations where adequate public facilities, services, and infrastructure are available and functional, under physical construction, or will be available prior to occupancy.*

General Plan Public Facilities, Services and Infrastructure Policy PFS-4.2 Onsite Wastewater Treatment Systems *The County may allow the use of onsite wastewater treatment systems that meet the state Water Resources Control Board Onsite Wastewater Treatment System Policy, Ventura County Sewer Policy, Ventura County Building Code, and other applicable County standards and requirements.*

General Plan Public Facilities, Services and Infrastructure Policy PFS-4.4 Groundwater Resource Protection *The County shall encourage wastewater treatment facilities to provide the maximum feasible protection and enhancement of groundwater resources.*

General Plan Public Facilities, Services and Infrastructure Policy PFS-5.3 Solid Waste Capacity *The County shall require evidence that adequate capacity exists within the solid waste system for the processing, recycling, transmission, and disposal of solid waste prior to approving discretionary development.*

General Plan Public Facilities, Services and Infrastructure Policy PFS-6.1 Flood Control and Drainage Facilities Required for Discretionary Development *The County shall require discretionary development to provide flood control and drainage facilities, as deemed necessary by the County Public Works Agency and Watershed Protection District. The County shall also require*

discretionary development to fund improvements to existing flood control facilities necessitated by or required by the development.

General Plan Public Facilities, Services and Infrastructure Policy PFS-12.3 Adequate Water Supply, Access, and Response Times for Firefighting Purposes *The County shall prohibit discretionary development in areas that lack and cannot provide adequate water supplies, access, and response times for firefighting purposes.*

General Plan Public Facilities, Services and Infrastructure Policy PFS-12.4 Consistent Fire Protection Standards for New Development *The County, in coordination with local water agencies and the Fire Protection District, shall require new discretionary development to comply with applicable standards for fire flows and fire protection.*

Coastal Area Plan Policy 4.1.3-2.5.7 Water and On-Site Wastewater Treatment Systems.

- a. *Water Wells - Construction of water wells to support new development or an intensified use of existing development may be permitted only if such well(s) would not individually or cumulatively cause significant adverse impacts on groundwater aquifers, streams, riparian vegetation, or other coastal resources. This policy shall be implemented based on assessments submitted by a qualified professional during the discretionary permitting process. Although water can be imported by truck to serve existing, permitted development during a severe water shortage (i.e., a well runs dry for a residential home), new or intensified development shall not be permitted based on a water supply delivered by truck.*
- b. *On-Site Wastewater Treatment Systems (OWTS) - OWTS shall be sited and designed in a manner that will minimize impacts to ESHA, including wetlands and other wet environments, due to grading, site disturbance, ground saturation, or seepage from leach field(s) or seepage pit(s).*

Staff Analysis: The site is presently undeveloped with the exception of one water well (SWN 01S20W22F02S) and access roads that were constructed on the property. The Applicant will use roof mounted solar (photovoltaic) panels and residential storage batteries for building power and propane for a water heater, heating, and cooking. Public sewer is not available in the area. The property will use a septic tank with treatment system and two 5 feet wide by 20 feet deep seepage pits for wastewater disposal (Attachment 6, Onsite Wastewater Treatment System Design Report for Proposed Single Family Residence, May 2022, Gold Coast Geoservices, Inc. dated May 25, 2022). The septic tank will be located in an area previously disturbed; however, the area is included in 2.795 acres of Environmentally Sensitive Habitat Areas (ESHA) that will be impacted due

to the construction of the access road, the home, and the required 100-foot fuel modification zone, and which will be mitigated at a 2:1 ratio.

Prior to an application for plan check review with the Ventura County Building and Safety Division, the Applicant will be required to submit and have approved groundwater quality analytical testing along with a pump and recovery test to verify the quality of groundwater resources. Based upon review of the California's Groundwater Update 2020 (Bulletin 118, State of California Department of Water Resources, Appendix F, November 2021), the site is within the South Coastal Hydrologic Region but located outside the boundary of a defined groundwater basin/subbasin. Therefore, the site does not overlie and is not a hydrologically and/or hydrogeologically continuous area with an over-drafted basin and there is no evidence of overdraft.

The proposed project will not cause the quality of groundwater to fail to meet the groundwater quality objectives set by the Basin Plan, because the proposed septic and treatment tank and seepage pits are located greater than the minimum indicated setbacks (17 foot and 20 foot setback proposed, 8 foot setback required) from the existing water well and will be constructed to the recommended specifications as required by the Ventura County Building Code. The existing unnamed private road within the legal lot (project site) will be improved to meet the applicable design and safety requirements of the Ventura County Fire Protection District (VCFPD) (Exhibit 5 .Condition of Approval 52) Off-site road improvements include paving the unimproved road beginning at the southern property line of the project site to the existing extent of paved private road located 1,600 feet to the south on parcel 700-0-060-070, and the installation of turnouts per Ventura County Fire Protection Department requirements. Based on this project configuration, the Project adequately provides for utility infrastructure and site access to permit development of the subject property.

The Permittee will also be responsible for the payment of a Land Development Fee related to the installation of impervious surfaces onsite which will be used to address cumulative impact from runoff (Exhibit 5, Condition No. 40).

The site will be adequately served for public safety services (Police and Fire). The nearest fire station is Ventura County Fire Station No. 56 which is 1.5 miles southeast of the proposed project via Yerba Buena Road and State Route 1 (Pacific Coast Highway). The distance from Fire Station 56 to the project site is adequate and the proposed project will not require the construction of a new fire station or additional equipment. The site will be served by patrols from the Ventura County Sheriff's Department – Camarillo Patrol Station located approximately 13 miles away from the proposed project site, at 3701 Las Posas Road in Camarillo. The nearest Los Angeles County Sheriff's Station, Malibu/Lost Hills Sheriff's Station, is located approximately 27 miles south of the proposed project site, at 27050 Agoura Road in Agoura Hills.

Based on the discussion above, the proposed project is consistent with General Plan Circulation and Transportation Policies CTM-1.7, CTM-2.28, General Plan Public Facilities, Services and Infrastructure Policies PFS-1.7, PFS-4.2, PFS-4.4, PFS-5.3, PFS-6.1, PFS-12.3 and PFS-12.4, and Coastal Area Plan Policy 4.1.3-2.5.7.

6. **General Plan Hazards and Safety Policy HAZ-1.1, Fire Prevention Design and Practices.** *The County shall continue to require development to incorporate design measures that enhance fire protection in areas of high fire risk. This shall include but is not limited to incorporation of fire-resistant structural design, use of fire-resistant landscaping, and fuel modification around the perimeter of structures.*

General Plan Hazards and Safety Policy HAZ-1.2, Defensible Space Clear Zones. *The County shall require adherence to defensible space standards, or vegetation “clear zones,” for all existing and new structures in areas that are designated as Hazardous Fire Areas by the Ventura County Fire Protection District and High Fire Hazard Severity Zones by the California Department of Forestry and Fire Protection.*

General Plan Hazards and Safety Policy HAZ-1.4, Development in High Fire Hazard Severity Zones and Hazardous Fire Areas. *The County shall require the recordation of a Notice of Fire Hazard with the County Recorder for all new discretionary entitlements (including subdivisions and land use permits) within areas designated as Hazardous Fire Areas by the Ventura County Fire Department or High Fire Hazard Severity Zones by the California Department of Forestry and Fire Protection (CAL FIRE).*

General Plan Hazards and Safety Policy HAZ-4.3, Structural Design. *The County shall require that all structures designed for human occupancy incorporate engineering measures to reduce the risk of and mitigate against collapse from ground shaking.*

General Plan Hazards and Safety Policy HAZ-4.9, Slope Development. *The County shall require geotechnical reports that demonstrate adequate slope stability and construction methods for building and road construction on slopes greater than 50 percent pursuant to the California Building Code Appendix J Section 108.6.*

General Plan Hazards and Safety Policy HAZ-4.10, Development in Landslide/Debris Flow Hazard Areas. *The County shall not allow development in mapped landslide/debris flow hazard areas unless a geologic and geotechnical engineering investigation is performed and appropriate and sufficient safeguards, based on this investigation, are incorporated into the project design.*

General Plan Hazards and Safety Policy HAZ-10.14, Fugitive Dust Best Management Practices. *The County shall ensure that discretionary development which will generate fugitive dust emissions during construction activities will, to the extent feasible, incorporate appropriate BMPs to reduce emissions to be less than applicable thresholds.*

Coastal Act Section 30253, Minimization of Adverse Impacts

New development shall do all of the following:

- (a) Minimize risks to life and property in areas of high geologic, flood, and fire hazard.*
- (b) Assure stability and structural integrity, and neither create nor contribute significantly to erosion, geologic instability, or destruction of the site or surrounding area or in any way require the construction of protective devices that would substantially alter natural landforms along bluffs and cliffs.*
- (c) Be consistent with requirements imposed by an air pollution control district or the State Air Resources Board as to each particular development.*
- (d) Minimize energy consumption and vehicle miles traveled.*
- (e) Where appropriate, protect special communities and neighborhoods that, because of their unique characteristics, are popular visitor destination points for recreational uses.*

Coastal Area Plan South Coast Hazards Policy 4.4.4.2: *New development shall be suited and designed to minimize risks to life and property in areas of high geologic, flood, and fire hazards.*

Coastal Area Plan South Coast Hazards Policy 4.4.4.3: *All new development will be evaluated for its impacts to, and from, geologic hazards (including seismic safety, landslides, expansive soils, subsidence, etc.), flood hazards, and fire hazards. Feasible mitigation shall be required where necessary.*

Coastal Area Plan South Coast Hazards Policy 4.4.4.4: *The County may require the preparation of a geologic report at the applicant's expense. Such report shall include feasible mitigation measures which will be used in the proposed development.*

Staff Analysis: As discussed in Section B, and Items 10, 11, 12, 14 and 15 of the MND (Exhibit 4), the project site is located in a hillside area of Ventura County. Based on analysis conducted by the California Geological Survey as part of California Seismic Hazards Mapping Act (1991, Public Resources Code Sections 2690 2699.6), portions of the project site are located in a potential seismically induced landslide zone. The Public Works Agency has determined that a sufficient project slope stability factor of safety can be applied to the project. The Geotechnical Report (MND Exhibit 4, Attachment 7) addresses geologic hazards including but not limited to landslides/mudflow hazards

The project site is not located within or adjacent to a Federal Emergency Management Agency (FEMA) 1% annual chance (100 year) Special Flood Hazard Area floodplain, as evidenced in unprinted Flood Rate Insurance Map - Panel Number 06111C1129F (dated January 29, 2021). The nearest floodplain is the located near the Pacific Ocean, which is located approximately one mile south and downslope of the project site. Therefore, the proposed project will not be subject to flood-related risk.

The subject property is located in the Very High Fire Hazard Severity Zone within a State Responsibility Area. Water service to the site will be provided by an existing domestic well identified as State Well Number (SWN) 01S20W22F02S. The proposed dwelling will be equipped with fire alarms and building sprinklers included as part of the standard requirements for new dwellings. Two 5,000-gallon water tanks will provide a reservoir for both domestic and fire-fighting purposes. The Project will be subject to standard conditions of approval related to the installation of access roads and brush clearance (Exhibit 5, Condition Nos. 52, and 58). The nearest fire station is Ventura County Fire Station No. 56 which is 1.5 miles southeast the proposed project via Yerba Buena Road and State Route 1 (Pacific Coast Highway). The proposed scope of work will not impact the severity of fire risk for this area of Ventura County nor will the Project impact emergency response plans for Ventura County. The proposed project will comply with all applicable Federal and State regulations and the requirements of the Ventura County Building Code and Ventura County Fire Code (Exhibit 5, Condition Nos. 49 through 59).

Based on the discussion above, the proposed project is consistent with General Plan Hazards and Safety Policies HAZ-1.1, HAZ-1.2, HAZ-1.4, HAZ-4.3 HAZ-4.9, HAZ-4.10, HAZ-10.14, Coastal Act Section 30253, and Coastal Area Plan South Coast Hazard Policies 4.4.4.2, 4.4.4.3, and 4.4.4.4.

- 7. General Plan Hazards and Safety Policy HAZ-9.1 Limiting Unwanted Noise.**
The County shall prohibit discretionary development which would be impacted by noise or generate project-related noise which cannot be reduced to meet the standards prescribed in Policy Haz-9.2. This policy does not apply to noise generated during the construction phase of a project.

General Plan Hazards and Safety Policy HAZ-9.2 Noise Compatibility Standards. *The County shall review discretionary development for noise compatibility with surrounding uses. The County shall determine noise based on the following standards:*

- 1. New noise sensitive uses proposed to be located near highways, truck routes, heavy industrial activities and other relatively continuous noise sources shall incorporate noise control measures so that indoor noise levels in habitable rooms do not exceed Community Noise Equivalent Level (CNEL) 45 and*

- outdoor noise levels do not exceed CNEL 60 or Leq1H of 65 dB(A) during any hour.*
- 2. New noise sensitive uses proposed to be located near railroads shall incorporate noise control measures so that indoor noise levels in habitable rooms do not exceed Community Noise Equivalent Level (CNEL) 45 and outdoor noise levels do not exceed L10 of 60 dB(A)*
 - 3. New noise sensitive uses proposed to be located near airports:*
 - a. Shall be prohibited if they are in a Community Noise Equivalent Level (CNEL) 65 dB or greater, noise contour; or*
 - b. Shall be permitted in the Community Noise Equivalent Level (CNEL) 60 dB to CNEL 65 dB noise contour area only if means will be taken to ensure interior noise levels of CNEL 45 dB or less.*
 - 4. New noise generators, proposed to be located near any noise sensitive use, shall incorporate noise control measures so that ongoing outdoor noise levels received by the noise sensitive receptor, measured at the exterior wall of the building, does not exceed any of the following standards:*
 - a. Leq1H of 55dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 6:00 a.m. to 7:00 p.m.;*
 - b. Leq1H of 50dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 7:00 p.m. to 10:00 p.m.; and*
 - c. Leq1H of 45dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 10:00 p.m. to 6:00 a.m.*

Construction noise and vibration shall be evaluated and, if necessary, mitigated in accordance with the Construction Noise Threshold Criteria and Control Plan (Advanced Engineering Acoustics, November 2005).

Staff Analysis: As discussed in Section B, Item 21 (Noise and Vibration) of the MND (Exhibit 4), the proposed project is a noise-sensitive use. The proposed project is located approximately one mile north from State Route 1 (Pacific Coast Highway) and is outside of the CNEL 60 dB(A) noise contour, as mapped in the RMA GIS noise contour maps (2023). Additionally, the proposed project will not result in the placement of a noise-sensitive use within an area that is subject to unacceptable noise levels. The residential use of the property is not considered a noise generator that will adversely affect any nearby noise sensitive uses (e.g., existing, surrounding residences).

The proposed project will involve noise-generating construction activities that have the potential to adversely affect surrounding residential uses. Therefore, pursuant to the requirements of the Ventura County Construction Noise Threshold Criteria and Control Plan, the proposed project will be subject to a condition of approval to limit noise-generating activities to the days and times when construction noise is least likely to adversely affect surrounding residential uses (Exhibit 5, Condition No. 21).

Based on the discussion above, the proposed project is consistent with General Plan Hazards and Safety Policies HAZ-9.1 and HAZ-9.2.

- 8. General Plan Water Resources Policy WR-1.2 Watershed Planning** *The County shall consider the location of a discretionary project within a watershed to determine whether or not it could negatively impact a water source. As part of discretionary project review, the County shall also consider local watershed management plans when considering land use development.*

General Plan Water Resources Policy WR-1.11 Adequate Water for Discretionary Development *The County shall require all discretionary development to demonstrate an adequate long-term supply of water.*

General Plan Water Resources Policy WR-1.12 Water Quality Protection for Discretionary Development *The County shall evaluate the potential for discretionary development to cause deposition and discharge of sediment, debris, waste and other pollutants into surface runoff, drainage systems, surface water bodies, and groundwater. The County shall require discretionary development to minimize potential deposition and discharge through point source controls, storm water treatment, runoff reduction measures, best management practices, and low impact development.*

General Plan Water Resources Policy WR-3.2 Water Use Efficiency for Discretionary Development *The County shall require the use of water conservation techniques for discretionary development, as appropriate. Such techniques include low-flow plumbing fixtures in new construction that meet or exceed the California Plumbing Code, use of graywater or reclaimed water for landscaping, retention of stormwater runoff for direct use and/or groundwater recharge, and landscape water efficiency standards that meet or exceed the standards in the California Model Water Efficiency Landscape Ordinance.*

General Plan Water Resources Policy WR-3.3 Low-Impact Development *The County shall require discretionary development to incorporate low impact development design features and best management practices, including integration of stormwater capture facilities, consistent with County's Stormwater Permit.*

General Plan Water Resources Policy WR-4.8 New Water Wells *The County shall require all new water wells located within Groundwater Sustainability Agency (GSA) boundaries to be compliant with GSAs and adopted Groundwater Sustainability Plans (GSPs).*

Coastal Area Plan Public Works Policy 4.4.7.3: *New development in the Santa Monica Mountains should be self-sufficient with respect to sanitation and water and should not require the extension of growth inducing services. Development*

outside of the established "Existing Community" area shall not directly or indirectly cause the extension of public services (roads, sewers, water, etc.) into an open space area. The County shall make the finding for each individual development requiring sanitary facilities and potable water that said private services will be able to adequately serve the development over its normal lifespan.

Staff Analysis: The proposed project is a residential development which will utilize an existing onsite water well for domestic water. Water to the site will be provided by an active domestic well identified as State Well Number (SWN) 01S20W22F02S.

Based upon review of the California's Groundwater Update 2020 (Bulletin 118, State of California Department of Water Resources, Appendix F, November 2021), the site is within the South Coastal Hydrologic Region but located outside the boundary of a defined groundwater basin/subbasin. Therefore, the site does not overlie and is not a hydrologically and/or hydrogeologically continuous area with an over-drafted basin and there is no evidence of overdraft.

Public sewer service is not available in the area. The property will use a septic tank with treatment system and two 5 feet wide by 20 feet deep seepage pits for wastewater disposal. The Applicant provided a geotechnical report (Onsite Wastewater Treatment System Design Report for Proposed Single Family Residence, Gold Coast Geoservices, Inc. dated May 25, 2022, Exhibit 4 MND Attachment 6). The report stated that the proposed septic and treatment tank and seepage pits are located greater than the minimum indicated setbacks (17 foot and 20-foot setback proposed, 8-foot setback required) from the existing water well and will be constructed to the recommended specifications as required by the Ventura County Building Code. Adequate percolation rates were determined from onsite test borings and percolation tests conducted by Gold Coast for the seepage pit design.

The Applicant will use less than 1.0-AFY of extracted groundwater at full build-out. The installation of ornamental landscaping is subject to provisions in the CZO which requires the use of native, drought-tolerant low water usage plants. With these considerations and other standard requirements for development (Ventura County Building Code), the Project as proposed adequately addresses considerations related to water resources (supply, quality) and sanitation.

Based on the discussion above, the proposed project is consistent with General Plan Water Resources Policies WR-1.2 WR-1.11, WR-1.12, WR-3.2, WR-3.3, WR-4.8 and Coastal Area Plan Public Works Policy 4.4.7.3.

MOUNTAINS RECREATION AND CONSERVATION AUTHORITY

May 3, 2023
Resolution No. 23-37

**RESOLUTION OF THE GOVERNING BOARD OF THE MOUNTAINS RECREATION
AND CONSERVATION AUTHORITY AUTHORIZING THE ACCEPTANCE OF A
DONATION OF APPROXIMATELY 9 ACRES IN WEST FORK ARROYO
SEQUIT (APNs 694-0-100-050, 694-0-100-090, 694-0-100-100, 694-0-100-110,
AND 694-0-100-160), UNINCORPORATED VENTURA COUNTY**

Resolved, That the Governing Board of the Mountains Recreation and Conservation Authority (MRCA) hereby:

1. FINDS that acceptance of a donation of APNs 694-0-100-050, 694-0-100-090, 694-0-100-100, 694-0-100-110, and 694-0-100-160 will provide significant public benefits;
2. FINDS that the proposed action is categorically exempt from the provisions of the California Environmental Quality Act;
3. ADOPTS the staff report and recommendations dated May 3, 2023;
4. AUTHORIZES the acceptance of donation of APNs 694-0-100-050, 694-0-100-090, 694-0-100-100, 694-0-100-110, and 694-0-100-160, contingent upon the donor furnishing a preliminary title report at the MRCA's selected vendor;
5. AUTHORIZES the acceptance of donation of APNs 694-0-100-050, 694-0-100-090, 694-0-100-100, 694-0-100-110, and 694-0-100-160, contingent upon MRCA staff inspection of property;
6. AUTHORIZES acceptance of processing fees;
7. AUTHORIZES any budget amendments as necessary; and
8. AUTHORIZES the Executive Officer or his designee to do any and all acts necessary to carry out this resolution and any recommendations made by the Governing Board.

County of Ventura
Planning Director Hearing
Case No. PL22-0082

Exhibit 7 - Resolution Documenting
Acceptance of APNs 694-0-100-160 and
694-0-100-110 to Mountains Recreation and
Conservation Authority (MRCA) and Deed
Restriction



Chairperson

AYES: Muñoz, Paranick, Hasenauer, Lange

NOS: none

ABSTAIN: none

ABSENT: none

I HEREBY CERTIFY that the foregoing resolution was adopted at a regular meeting of the governing board of the Mountains Recreation and Conservation Authority, duly noticed and held according to law on May 03, 2023.

Date: May 3, 2023



Executive Officer

RECORDING REQUESTED BY: EPN
AND WHEN RECORDED MAIL TO:

Michael Weisberg
10715 Yerba Buena Rd
Malibu, CA 90265

Electronically Recorded in Official Records
County of Ventura

Michelle Ascencion
Ventura County Clerk-Recorder

DOC# 2023000060443

09/11/2023
Titles: 1 Pages: 6
08:00 AM
Total Fees: \$114.00
VARELG

THIS INSTRUMENT FILED FOR RECORD BY FIRST AMERICAN
TITLE CO. OF L.A. AS AN ACCOMMODATION ONLY. IT HAS NOT
BEEN EXAMINED AS TO ITS EXECUTION OR AS TO ITS
EFFECT UPON TITLE

SPACE ABOVE THIS LINE FOR RECORDER'S USE

TITLE(S)

DEED RESTRICTION AND COVENANT FOR CONSERVATION PURPOSES

RECORDING REQUESTED BY AND WHEN RECORDED MAIL TO:

Michael Weisberg
10715 Yerba Buena Rd
Malibu, CA 90265

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**DEED RESTRICTION AND COVENANT
FOR CONSERVATION PURPOSES**

The undersigned hereby certify that we are the owners of the hereinafter legally described real property located in the County of Ventura, State of California:

Legal description is attached hereto as Exhibit A and is incorporated by reference herein.

In consideration of the County of Ventura approving planned development at APN 700-0-060-100, Permit No. PL22-0082, I do hereby covenant and agree to:

restrict said properties according to the terms described in Addendum 1.

Michael Weisberg



By: Michael Weisberg

owner

Title:

Dated this 7 day of Sept, 2023

(Signed and notarized California All-Purpose Acknowledgement must be attached.)

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On September 7th, 2023 before me, Ashley Mouzis

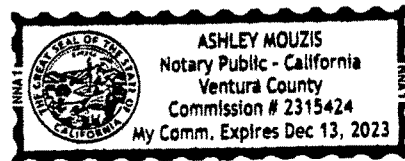
A Notary Public personally appeared Michael Weisberg

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) ~~is/are~~ subscribed to the within instrument and acknowledged to me that ~~he/she/they~~ executed the same in ~~his/her/their~~ authorized capacity(ies), and that by ~~his/her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature 



(Seal)

Exhibit A

All the real property in the County of Ventura, State of California, described as follows:

PARCEL 1: (APN: 694-0-100-050)

THE WEST 165 FEET OF EAST 660 FEET OF NORTH 264 FEET OF SOUTHEAST QUARTER OF SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 20 WEST, SBBM.

PARCEL 2: (APN: 694-0-100-090)

THE WEST 165 FEET OF EAST 330 FEET OF SOUTH 264 FEET OF NORTH 528 FEET OF SOUTHEAST QUARTER OF SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 20 WEST, SBBM.

PARCEL 3: (APN: 694-0-100-100)

THE WEST 165 FEET OF EAST 495 FEET OF SOUTH 264 FEET OF NORTH 528 FEET OF SOUTHEAST QUARTER OF SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 20 WEST, SBBM.

PARCEL 4: (APN: 694-0-100-110)

THE WEST 165 FEET OF EAST 825 FEET OF SOUTH 264 FEET OF NORTH 528 FEET OF SOUTHEAST QUARTER OF SOUTHWEST QUARTER OF SECTION 12 AND THE WEST 165 FEET OF EAST 660 FEET OF SOUTH 264 FEET OF NORTH 528 FEET OF SOUTHEAST QUARTER OF SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 20 WEST, SBBM.

PARCEL 5: (APN: 694-0-100-160)

THE EAST 660 FEET OF SOUTH 264 FEET OF NORTH 792 FEET OF SOUTHEAST QUARTER OF SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 20 WEST, SBBM.

Addendum 1
To Deed Restriction and Covenant for Conservation Purposes of APNs 694-0-100-050,
694-0-100-090, 694-0-100-100, 694-0-100-110, AND 694-0-100-160

UNINCORPORATED VENTURA COUNTY, State of California

The owner of the aforementioned property does hereby covenant to restrict the uses of the subject property deed according to the following terms and conditions:

1. This Deed Restriction and Covenant shall pertain to all portions of the property as described in the legal description attached as Exhibit A (hereinafter "Restricted Use Area").
2. The following uses shall be strictly prohibited within the entirety of the Restricted Use Area:
 - a. Removal, mining, excavation, or disturbance of the soil or surface rocks or decaying material such as fallen trees;
 - b. Dumping, filling, storing, disposal, burying or stockpiling of any natural or manmade materials;
 - c. Erection of buildings or structures of any kind, including, but not limited to, fencing, corrals, advertising signs, antennas, and light poles;
 - d. Placement of pavements, concrete, asphalt and similar impervious materials, laying of decomposed granite for pathways, or setting of stones, paving bricks, or timbers;
 - e. Operation of dunebuggies, motorcycles, all-terrain vehicles, bicycles, mowers, tractors, or any other types of motorized or non-motorized vehicles or equipment;
 - f. Removal or alteration of native trees or plants, through such activities as irrigating, mowing, draining, plowing, tilling or disking, except as necessary for controlled burns (for fuel reduction, as regulated by the Los Angeles County Fire Department), removal of non-native species and native habitat restoration or maintenance (which must be under the direction of a qualified biologist);
 - g. Application of insecticides or herbicides, poisons, or fertilizers;
 - h. Grazing or keeping of cattle, sheep, horses or other livestock, or pet animals;
 - i. Agricultural activity of any kind including the harvesting of native materials for commercial purposes;
 - j. Planting, introduction or dispersal of non-native plant or animal species;
 - k. Hunting or trapping, except live trapping for purposes of scientific study or removal of non-native species;
 - l. Manipulating, impounding or altering any natural watercourse, body of water or water circulation on the ESHA, and activities or uses detrimental to water quality, including but not limited to degradation or pollution of any surface or sub-surface waters;

m. Light pollution (e.g., lighting that is directed towards the Environmentally Sensitive Habitat Area (ESHA)); and

n. Other activities that damage the existing flora, fauna or hydrologic conditions of the ESHA.

3. The following uses shall be permitted in the Restricted Use Area:
 - a. cultivation and irrigation of plants native to the Santa Monica Mountains;
 - b. all the rights accruing from its ownership of the Property, including the right to engage in or permit or invite others to engage in uses of the Property that are not expressly prohibited herein and are not inconsistent with the purposes of this Deed Restriction and Covenant.
4. The purpose of this deed restriction is to permanently protect the ESHA e.g. coastal sage scrub and chaparral habitat as mitigation for impacts related to planned development at APN 700-0-060-100, Permit No. PL22-0082.
5. This Deed Restriction and Covenant shall run with all of the above-described land and shall be binding upon ourselves and future owners, encumbrances, their successors, heirs or assignees and shall continue in effect until released by the authority of the Mountains Recreation and Conservation Authority Governing Board.



Michael Weisberg

Sept 7, 2023

Date