



## **NOTICE OF AVAILABILITY AND INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION**

The County of Ventura Resource Management Agency (RMA) Planning Division, as the designated Lead Agency, has reviewed the following project:

1. **Project Case Number:** Coastal Planned Development Case No. PL22-0082
2. **Applicant:** Michael Weisberg
3. **Location:** Located 1,240 feet northwest of 10715 Yerba Buena Road, Malibu
4. **Assessor's Parcel No:** 700-0-060-100
5. **Parcel Size:** 5 Acres
6. **General Plan Designation:** Open Space
7. **Zoning Designation:** COS-10ac-sdf/M, Coastal Open Space, 10-acre minimum lots size – Slope Density Formula, Santa Monica Mountains Overlay
8. **Responsible and/or Trustee Agencies:** California Department of Fish and Wildlife
9. **Project Description:** The Applicant requests a Coastal Planned Development (PD) Permit to construct a 4,880 square feet (sq. ft.) one-story single-family dwelling with an attached 1,046 sq. ft. four car garage, a 452 sq. ft. covered patio and swimming pool with barbeque area on the northeast portion of the proposed building pad. The roof of the single-family dwelling will contain solar panels, which will provide electricity to the project site, and a 500-gallon propane tank for heating. Access to the site is provided by way of Yerba Buena Road using an existing unimproved 20-foot wide by 1,700-foot-long private driveway that will be upgraded per Ventura County Fire Protection District standards for access. Estimated earthwork includes 4,308 cubic yards cut and 2,835 of cubic yards fill and 1,473 cubic yards of export. Grading will consist of 2:1 cut and fill slopes and a building pad with a 2-5% gradient.

Water service will be provided by an existing permitted private water well (01S20W22F02S). Two proposed 4,995-gallon galvanized steel water tanks will provide water storage for domestic and firefighting purposes. An onsite wastewater treatment system (OWTS) that includes two seepage pits, approximately 5 feet wide by 50 feet deep, a septic tank, and a treatment system tank would be constructed adjacent to and west of the single-family dwelling.

The proposed project will permanently remove approximately 121,750.2 sq. ft. (2.795 acres) of Environmentally Sensitive Habitat Areas (ESHA) related to the construction of the access road, the home, and the required 100-foot fuel modification zone. Additionally, 10,890 sq. ft. (0.25 acres) of ESHA was cleared without the benefit of a permit, for a total of 3.045 acres of ESHA that will require mitigation at a 2:1 ratio (6.09 acres). Restoration of 0.25 acres will occur onsite, the remaining 5.84 acres will be mitigated through the acquisition of offsite parcels to be dedicated to Mountains Recreation and Conservation Authority (MRCA).

In accordance with Section 15070 of the California Code of Regulations, the RMA Planning Division determined that this proposed project may have a significant effect on the environment, however mitigation measures are available that would reduce the impacts to less than significant levels. As such, a Mitigated Negative Declaration has been prepared and the applicant has agreed to implement the mitigation measures.

**List of Potentially Significant Environmental Impacts Identified:**

Ventura County Initial Study Assessment Guidelines Item 4 A. Biological Resources – Species, Item 4 D. Biological Resources – Ecological Communities ESHA, and Item 4 E. Biological Resources – Habitat Connectivity.

The public review period is from August 18, 2023 to September 18, 2023. The Initial Study/Mitigated Negative Declaration is available for public review on-line at [www.ventura.org/rma/planning](http://www.ventura.org/rma/planning) (select “CEQA Environmental Review”) or at the County of Ventura, RMA, Planning Division, 800 South Victoria Avenue, Ventura, California from 8:00 am to 5:00 pm Monday through Friday. The public is encouraged to submit written comments to John Oquendo, no later than 5:00 p.m. on September 18, 2023 to the address listed above. Alternatively, you may e-mail your comments to the case planner at [John.Oquendo@ventura.org](mailto:John.Oquendo@ventura.org).

Following the review period, consideration of the project will be given at a Planning Director public hearing to be held **at a date to be determined**.

  
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Jennifer Trunk, Manager  
Residential Permit Section Manager

August 17, 2023  
Date



# County of Ventura Planning Division

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800 South Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-2488 • <http://www.ventura.org/rma/planning>

## Initial Study for Weisberg Residence (2)

### Section A – Project Description

1. **Project Case Number(s):** Coastal Planned Development Case No. PL22-0082
2. **Name of Applicant:** Michael Weisberg
3. **Project Location and Assessor's Parcel Number:** 700-0-060-100
4. **General Plan Land Use Designation and Zoning Designation of the Project Site:**
  - a. **General Plan Land Use Designation:** Open Space
  - b. **Coastal Area Plan Land Use Designation:** Open Space
  - c. **Zoning Designation:** COS-10ac-sdf/M, Coastal Open Space, 10-acre minimum lots size – Slope Density Formula, Santa Monica Mountains Overlay
5. **Description of the Environmental Setting:** The subject property is undeveloped, 5 acres in size, located in the coastal foothills of the Santa Monica Mountains, approximately 1 mile north of the Pacific Ocean, in the unincorporated community of Malibu, Ventura County (Attachment 1). An existing dirt road, along existing easements, passes through the parcel (Attachment 2). The site ranges in elevation from 825 feet to 940 feet above mean sea level (asl). Little Sycamore Canyon and Yerba Buena Creek are approximately 1,730 feet to the east and Clarks Peak (elevation of 1960 feet asl) to the southeast.

On October 15, 1987, the County of Ventura issued a well permit (01S20W22F02S) for the use of a domestic water well. County records indicate that a domestic well (SWN 01S20W22F04S) possibly existed within the parcel boundaries close to previously existing structures in the western portion of the parcel. The well (SWN 01S20W22F04S) does not exist with the Department of Water Resources (DWR) records. The applicant reported that a well search was performed and no well was located.

According to the Initial Study Biological Assessment (Attachment 3) the project site and surrounding areas are characterized by habitats within the Coastal Sage Scrub vegetation alliances. Little Sycamore Canyon and Yerba Buena Creek contain Southern Coast Live Oak Riparian Forest. Plant communities onsite

include native Coastal Sage Scrub, Chaparral, cleared/graded soils, and Ruderal areas.

Unpermitted grading occurred on the parcel between 1981 and 1989 and disturbed approximately 10,890 square feet (.25 acres) of environmentally sensitive habitat.

Yerba Buena Road is approximately 2,080 feet east of the subject site. Vehicular access to the lot is from Yerba Buena Road along existing paved private roads.

6. **Project Description:** The Applicant requests a Coastal Planned Development (PD) Permit to construct a 4,880 square feet (sq. ft.) one-story single-family dwelling with an attached 1,046 sq. ft. four car garage, a 452 sq. ft. covered patio and swimming pool with barbeque area on the northeast portion of the proposed building pad. The roof of the single-family dwelling will contain solar panels, which will provide electricity to the project site, and a 500-gallon propane tank for heating. Access to the site is provided by way of Yerba Buena Road using an existing unimproved 20-foot wide by 1,700-foot-long private driveway that will be upgraded per Ventura County Fire Protection District standards for access. Estimated earthwork includes 4,308 cubic yards cut and 2,835 of cubic yards fill and 1,473 cubic yards of export. Grading will consist of 2:1 cut and fill slopes and a building pad with a 2-5% gradient.

Water service will be provided by an existing permitted private water well (01S20W22F02S). Two proposed 4,995-gallon galvanized steel water tanks will provide water storage for domestic and firefighting purposes. An onsite wastewater treatment system (OWTS) that includes two seepage pits, approximately 5 feet wide by 50 feet deep, a septic tank, and a treatment system tank would be constructed adjacent to and west of the single-family dwelling.

The proposed project will permanently remove approximately 121,750.2 sq. ft. (2.795 acres) of Environmentally Sensitive Habitat Areas (ESHA) related to the construction of the access road, the home, and the required 100-foot fuel modification zone. Additionally, 10,890 sq. ft. (0.25 acres) of ESHA was cleared without the benefit of a permit, for a total of 3.045 acres of ESHA that will require mitigation at a 2:1 ratio (6.09 acres). Restoration of 0.25 acres will occur onsite, the remaining 5.84 acres will be mitigated through the acquisition of offsite parcels to be dedicated to Mountains Recreation and Conservation Authority (MRCA).

7. **List of Responsible and Trustee Agencies:** California Department of Fish and Wildlife
8. **Methodology for Evaluating Cumulative Impacts:** Pursuant to the CEQA Guidelines [§ 15064 (h) (1)], this Initial Study evaluates the cumulative impacts of the project using the list approach, by considering the incremental effects of the proposed project in connection with the effects of past, current, and probable future projects.

For a full list of the past, current, and probable future projects within the unincorporated area of Ventura County that were included in the analysis, please refer to the List and Map of Ventura County Pending and Approved Projects used in the cumulative impacts analysis, included as Attachment 4. Although all of the projects were considered in the analysis of cumulative impacts, the analysis focused on the following within the unincorporated area of Ventura County, due to their proximity to the project site and potential to contribute to environmental impacts to which the proposed Project may also contribute.

**Table 1 – Unincorporated Ventura County Pending and Recently Approved Projects Within 5-Mile Radius**

Case No.	Status	Description
PL17-0005	Approved	Coastal PD Permit to permit the demolition of an existing 4,500 sq. ft. single-family dwelling, construction of a new 4,783 single-family dwelling, attached two-car garage, and a 502 sq. ft. ADU.
PL17-0088	Pending	Coastal PD Permit for the construction of a new swimming pool and, pool cabana.
PL18-0010	Approved	Coastal PD Permit to authorize the unpermitted clearing of 4,253.92 sq. ft. ESHA removal.
PL18-0113	Pending	Coastal PD Permit to legalize unpermitted vegetation removal and grading.
PL21-0048	Pending	Coastal PD Permit to construct a new 2,128 sq. ft. single-family dwelling and 960 sq. ft. garage, with accessory site improvements (septic system, driveway, site landscaping). Project includes mitigation for ESHA removal.
PL21-0051	Pending	Major Modification to CUP LU10-0069 for the redevelopment of Camp Hess Kramer
PL22-0004	Pending	Coastal PD Permit for after the fact permitting of a 995 sq. ft. accessory dwelling unit and a 690 sq. ft. covered patio at the site of an existing single-family dwelling.
PL22-0005	Approved	Permit Adjustment to authorize the modifications to an existing wireless communications facility with antenna

		replacement, equipment shelter, and access road
PL22-0031	Approved	Site Plan Adjustment for the construction of a swimming pool and a 628 sq. ft. detached garage.
PL22-0060	Approved	Site Plan Adjustment authorizing a new 3,039 sq. ft. two story single-family dwelling and a 668 sq. ft. accessory dwelling unit (ADU), swimming pool and other accessory site improvements.
PL22-0082	Pending	<b>Subject Application</b>
PL22-0096	Approved	Site Plan Adjustment to permit modifications to a single-family dwelling presently under construction. The changes to the approved Coastal PD Permit include the addition of three (3) outdoor showers, the modification of the approved interior, and changes to the approved exterior finish materials.
PL22-0112	Pending	Minor Modification request to construct a new 1,237 sq. ft. garage, an 844 sq. ft. storage building and a completion of an access road at the site of an existing residence.

## Section B – Initial Study Checklist and Discussion of Responses<sup>1</sup>

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>RESOURCES:</b>								
<b>1. Air Quality (VCAPCD)</b>								
<b>Will the proposed project:</b>								
a) Exceed any of the thresholds set forth in the air quality assessment guidelines as adopted and periodically updated by the Ventura County Air Pollution Control District (VCAPCD), or be inconsistent with the Air Quality Management Plan?	N	X	PS-M	PS	N	X	PS-M	PS
b) Be consistent with the applicable General Plan Goals and Policies for Item 1 of the Initial Study Assessment Guidelines?	N	X	PS-M	PS	N	X	PS-M	PS

**RESOURCES:**

**1. Air Quality (VCAPCD) Impact Discussion:**

**1a.** Regional air quality impacts include estimating ozone precursor emissions in the ambient air generated from a specific project, as Ventura County remains in a non-attainment status for the State 1-hour and 8-hour ambient air quality standards for ozone and the Federal 8-hour ambient air quality standard for ozone. Reactive organic compounds (ROC) and nitrogen oxides (NOx) are called ozone precursors because they create ground-level ozone when reacted with sunlight; ground-level ozone is commonly known as smog. The major sources of NOx in Ventura County are motor vehicles and other combustion processes. The major sources of ROC in Ventura County are cleaning and coating operations, petroleum production, and solvent evaporation. Long-term exposure of ground-level ozone can cause shortness of breath, nasal congestion, coughing, eye irritation, sore throat, headache, chest discomfort, breathing pain, throat dryness, wheezing, fatigue, and nausea.

Based on information provided by the applicant, regional air quality impacts will be less than significant for the Thousand Oaks Non-Growth Area, at 0.15 pounds (lbs.)/day ROC and 0.04 lbs./day NOx. Determination was based on information provided by the applicant

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<sup>1</sup> The threshold criteria in this Initial Study are derived from the *Ventura County Initial Study Assessment Guidelines* (April 26, 2011). For additional information on the threshold criteria (e.g., definitions of issues and technical terms, and the methodology for analyzing each impact), please see the *Ventura County Initial Study Assessment Guidelines*.

for one 4,880 ft<sup>2</sup> single family dwelling unit, including their energy being supplied by solar panels on-site. The CalEEMod version 2020.4 air emissions model was used using a single-family dwelling residential land use setting for mobile emissions and trip information from the ITE's Trip Generation Manual, 11th Edition. A copy of the air emission model report is attached (Attachment 5).

**1b.** Local air quality impacts for the review of discretionary projects may involve a qualitative analysis for project-generated emissions of dust, odors, carbon monoxide, and toxics, if applicable, that can affect the health and safety of any nearby sensitive receptors. Sensitive receptors are considered the young, the elderly, and those susceptible to respiratory diseases such as asthma and bronchitis. Sensitive receptors can be found in schools, playgrounds, hospitals, and elderly care facilities. Residential areas can also be considered sensitive receptors, as some residents may reside in their homes for long periods of time. Based on information provided by the applicant, the subject project will generate less than significant local air quality impacts. A brief discussion is noted below.

#### CARBON MONOXIDE (CO)

No CO hotspots are expected to occur as a result of the project. In addition, with over 80% of the CO in urban areas emitted by motor vehicles, and with stricter, cleaner emission standards to the mobile fleet, CO ambient concentrations should remain at or lower than the most recent CO monitoring data available for Ventura County, which showed state attainment in 2004.

#### Air Quality Management Plan (AQMP)

The proposed project must address consistency with the AQMP if estimated operational emissions exceed 2 lbs./day or greater for ROC or NO<sub>x</sub>, as described in the Air Quality Assessment Guidelines (AQAG), Section 4.2. The proposed project's operational emissions do not exceed 2 lbs./day for either ozone precursor, therefore, an AQMP consistency analysis is not required. The project would not conflict or obstruct with implementation of the most recent AQMP adopted (Initial Study Item Checklist C. Air Quality, Item 1) and would have a less than significant impact.

#### ODORS

The project is residential in nature and not expected to generate odorous emissions in such quantities as to be a nuisance to nearby land uses, as defined by APCD Rule 51, Nuisance and the California Health and Safety Code Section 41705.

#### DUST

The project is not expected to generate amounts of dust to exceed the PM ambient state or federal standards. However, construction operations, although temporary, may generate fugitive dust that may pose a public nuisance pursuant to the California Health and Safety Code 41705, or APCD Rule 51, Nuisance and violation of Rule 55, Fugitive Dust. Therefore, APCD recommends adding a condition of approval to ensure the construction is in compliance with APCD Rule 55, Fugitive Dust, and 51, Nuisance.



## Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>2A. Water Resources – Groundwater Quantity (WPD)</b>								
<b>Will the proposed project:</b>								
1) Directly or indirectly decrease, either individually or cumulatively, the net quantity of groundwater in a groundwater basin that is overdrafted or create an overdrafted groundwater basin?		X				X		
2) In groundwater basins that are not overdrafted, or are not in hydrologic continuity with an overdrafted basin, result in net groundwater extraction that will individually or cumulatively cause overdrafted basin(s)?		X				X		
3) In areas where the groundwater basin and/or hydrologic unit condition is not well known or documented and there is evidence of overdraft based upon declining water levels in a well or wells, propose any net increase in groundwater extraction from that groundwater basin and/or hydrologic unit?		X				X		
4) Regardless of items 1-3 above, result in 1.0 acre-feet, or less, of net annual increase in groundwater extraction?		X				X		
5) Be consistent with the applicable General Plan Goals and Policies for Item 2A of the Initial Study Assessment Guidelines?		X				X		

## 2. Water Resources

### A. Groundwater Quantity Impact Discussion:

2A-1. and 2A-2. Based upon review of the California's Groundwater Update 2020 (Bulletin 118, State of California Department of Water Resources, Appendix F, November 2021), the site is within the South Coastal Hydrologic Region but located outside the boundary

of a defined groundwater basin/subbasin. Therefore, the site does not overlie and is not hydrologically and/or hydrogeologically continuous area with an over-drafted basin and there is no evidence of overdraft. Additionally, the proposed Project will not contribute to groundwater overdraft. Project and cumulative impacts are determined to be less than significant.

2A-3. The proposed project is not located in a known or Department of Water Resources (DWR)-designated groundwater basin. Water to the site is reportedly provided by an active domestic well identified as State Well Number (SWN) 01S20W22F02S. County records indicate that a domestic well (SWN 01S20W22F04S) possibly existed within the parcel boundaries close to previously existing structures in the western portion of the parcel. The well (SWN 01S20W22F04S) does not exist with DWR records. The applicant reported that a well search was performed and no well was located. Per Ventura County Ordinance No. 4468 (Well Ordinance) if a well is encountered during site development it will need to be permitted for destruction or brought back to active status. Based upon the provided information, the proposed project is considered to have a less than significant impact to groundwater quantity.

2A-4. The applicant is proposing to construct a 4,880 square foot (SF) one-story single family (five-bedroom equivalent) dwelling, swimming pool and landscaping. The applicant will use less than 1.0-AFY of extracted groundwater at full build-out and that a water well pump and recovery test will be provided prior to construction.

2A-5. The proposed project will be consistent with the applicable General Plan Goals and Policies for Item 2A of the *Ventura County Initial Study Assessment Guidelines* and is considered to have a less than significant impact to groundwater.

### **Mitigation/Residual Impact(s)**

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>2B. Water Resources - Groundwater Quality (WPD)</b>								
<b>Will the proposed project:</b>								
1) Individually or cumulatively degrade the quality of groundwater and cause groundwater to exceed groundwater quality objectives set by the Basin Plan?		X				X		
2) Cause the quality of groundwater to fail to meet the groundwater quality objectives set by the Basin Plan?		X				X		
3) Propose the use of groundwater in any capacity and be located within two miles of the boundary of a former or current test site for rocket engines?		X				X		
4) Be consistent with the applicable General Plan Goals and Policies for Item 2B of the Initial Study Assessment Guidelines?		X				X		

**B. Groundwater Quality Impact Discussion:**

2B-1 and 2B-2. Wastewater service is not available in the area. The property will use a septic tank with treatment system and two 5 feet wide by 20 feet deep seepage pits for wastewater disposal. The minimum horizontal separation from water wells is 100 feet for septic tanks. The minimum horizontal separation from water wells is 150 feet for seepage pits. There are no other known or indicated potential sources of impact within the minimum horizontal separations of the well, as specified in the DWR California Well Standards Bulletin 74-90 as required by Section 4814 of Ventura County Ordinance No. 4468. The applicant provided a geotechnical report (Onsite Wastewater Treatment System Design Report for Proposed Single Family Residence, May 2022, Attachment 6) from Gold Coast Geoservices, Inc. dated May 25, 2022. The report stated that the proposed seepage pits and septic tank will be constructed with the adequate setbacks (17 and 20 feet from the residence per Site Plan). Adequate percolation rates were determined from onsite test borings and percolation tests conducted by Gold Coast for the seepage pit design. The seepage pits are proposed to be constructed into the underlying Topanga Formation, a “Formation of Concern” per the current County of Ventura Environmental Health Division (EHD) policy. A secondary effluent treatment system capable of de-nitrification will be incorporated into the septic system. Prior to an application for Plan Check review with the Ventura County Building and Safety Division,

the applicant shall submit and have approved groundwater quality analytical testing results would be submitted along with a pump and recovery test to verify the quality of groundwater resources. The proposed project will not cause the quality of groundwater to fail to meet the groundwater quality objectives set by the Basin Plan, because the proposed septic and treatment tank and seepage pits are located greater than the minimum indicated setbacks (17 foot and 20 foot setback proposed, 8 foot setback required) from the existing water well and will constructed to the recommended specifications as required by the Ventura County Building Code.

2B-3. The project is not located within two miles of the boundary of a former or current test site for rocket engines.

2B-4. The proposed project will be consistent with the applicable General Plan Goals and Policies for Item 2B of the *Ventura County Initial Study Assessment Guidelines* and is considered less than significant. Mitigation/Residual Impact(s)

**Mitigation/Residual Impact(s)**

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>2C. Water Resources - Surface Water Quantity (WPD)</b>								
<b>Will the proposed project:</b>								
1) Increase surface water consumptive use (demand), either individually or cumulatively, in a fully appropriated stream reach as designated by SWRCB or where unappropriated surface water is unavailable?		X				X		
2) Increase surface water consumptive use (demand) including but not limited to diversion or dewatering downstream reaches, either individually or cumulatively, resulting in an adverse impact to one or more of the beneficial uses listed in the Basin Plan?		X				X		
3) Be consistent with the applicable General Plan Goals and Policies for Item 2C of the Initial Study Assessment Guidelines?		X				X		

**C. Surface Water Quantity Impact Discussion:**

2C-1. And 2C-2. The proposed project does not rely on or propose the use of surface water supplies in a fully appropriated stream reach as designated by SWRCB or where unappropriated surface water is unavailable. Water for the project will be provided by an existing domestic water supply well (SWN 01S20W22L01S) and is considered to have no impact on surface water quantity.

2C-3. The proposed project will be consistent with the applicable General Plan Goals and Policies for Item 2C of the *Ventura County Initial Study Assessment Guidelines* and is considered less than significant to surface water quantity.

**Mitigation/Residual Impact(s)**

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>2D. Water Resources - Surface Water Quality (WPD)</b>								
<b>Will the proposed project:</b>								
1) Individually or cumulatively degrade the quality of surface water causing it to exceed water quality objectives as contained in Chapter 3 of the three Basin Plans?		X				X		
2) Directly or indirectly cause storm water quality to exceed water quality objectives or standards in the applicable MS4 Permit or any other NPDES Permits?		X				X		
3) Be consistent with the applicable General Plan Goals and Policies for Item 2D of the Initial Study Assessment Guidelines?		X				X		

**D. Surface Water Quality Impact Discussion:**

2D-1. Increased new development and urbanization is typically addressed through the Part 4.E., “Planning and Land Development Program” of the Ventura Countywide NPDES Municipal Stormwater Permit No. CAS004002, but the proposed project is not subject to these requirements as the site is not located within the urban unincorporated area. The increased impervious surface area does not have an individual and cumulative potential to exceed the threshold for significance related to the water quality objectives of the Los Angeles Region Basin Plan and is expected to have a less than significant impact on surface water quality objectives. Accordingly, no mitigation is required and standard requirements for surface water quality will apply to the construction and occupancy of the proposed development.

2D-.2 The proposed project is for a Coastal Development Permit to construct a 4,880 sq. ft. single-family home, a 1,046 sq. ft. garage, a 452 sq. ft. covered patio and swimming pool/BBQ area, and a 20-foot-wide by 1,700-foot-wide driveway. The parcel is located along Yerba Buena Road, Malibu (APN 700-0-060-100). Based on the location of the proposed project, the western portion of the site will be revegetated due to illegal grading. There will also be brush removal and thinning of a 100-foot fuel modification zone. It is not within the high-risk area or within the County Urban Unincorporated Area, however, the overall average slope of the site is 23.9%. Based on the project information, there will be approximately 52,707 sq. ft., or 1.21 acres, of disturbed area. In accordance with the Ventura Countywide Municipal Stormwater NPDES Permit CAS004002, “Development Construction Program” Subpart 4.F, the applicant will be required to include Best Management Practices (BMPs) designed to ensure compliance and implementation of an

effective combination of erosion and sediment control measures for a disturbed site area greater than 1 acre (Table 7 in Subpart 4.F, SW-2 and SW-HR). Additionally, the project is subject to coverage under the NPDES General Construction Permit (No. CAS000002). As such, neither the individual project nor the cumulative threshold for significance would be exceeded and the project is expected to have a Less than Significant (LS) impact related to water quality objectives or standards in the applicable MS4 Permit (Ventura Countywide Municipal Stormwater NPDES Permit CAS004002) or any other NPDES Permits.

2D-3. The proposed project is consistent with the applicable General Plan Goals and Policies for the *Ventura County Initial Study Assessment Guidelines* Item 2d.

**Mitigation/Residual Impact(s)**

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>3A. Mineral Resources – Aggregate (PIng.)</b>								
<b>Will the proposed project:</b>								
1) Be located on or immediately adjacent to land zoned Mineral Resource Protection (MRP) overlay zone, or adjacent to a principal access road for a site that is the subject of an existing aggregate Conditional Use Permit (CUP), and have the potential to hamper or preclude extraction of or access to the aggregate resources?	X				X			
2) Have a cumulative impact on aggregate resources if, when considered with other pending and recently approved projects in the area, the project hampers or precludes extraction or access to identified resources?					X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 3A of the Initial Study Assessment Guidelines?	X				X			

### 3. Mineral Resources

#### A. Aggregate Impact Discussion:

3A-1. The proposed project is not located within a MRP Overlay Zone or located adjacent to land classified as MRZ-2. In addition, the subject property is not located adjacent to a principal access road to an existing mining facility. Therefore, the proposed project will not create a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, regarding the extraction of or access to aggregate resources.

3A-3. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies and the Coastal Area Plan for Item 3a of the *Ventura County Initial Study Assessment Guidelines*.

#### Mitigation/Residual Impact(s)

No Mitigation Required.



Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>3B. Mineral Resources – Petroleum (PIng.)</b>								
<b>Will the proposed project:</b>								
1) Be located on or immediately adjacent to any known petroleum resource area, or adjacent to a principal access road for a site that is the subject of an existing petroleum CUP, and have the potential to hamper or preclude access to petroleum resources?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 3B of the Initial Study Assessment Guidelines?	X							

**B. Petroleum Impact Discussion:**

3B-1. The proposed project is not located within or immediately adjacent to any known petroleum resource area, or adjacent to a principal access road for a site that is the subject of an existing petroleum Conditional Use Permit (CUP). Therefore, the proposed project does not have the potential to hamper or preclude access to petroleum resources and would not impact these resources and would not make a cumulatively considerable contribution to a significant cumulative impact related to petroleum resources.

3B-2. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 3b of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>4. Biological Resources</b>								
<b>4A. Species</b>								
<b>Will the proposed project, directly or</b>								
1) Impact one or more plant species by reducing the species' population, reducing the species' habitat, fragmenting its habitat, or restricting its reproductive capacity?			X				X	
2) Impact one or more animal species by reducing the species' population, reducing the species' habitat, fragmenting its habitat, or restricting its reproductive capacity?			X				X	

#### 4. Biological Resources

##### A. Species Impact Discussion:

David Magney Environmental Consulting (DMEC) conducted a search of California Department of Fish and Wildlife (CDFW) California Natural Diversity Database (CNDDB) BIOS Viewer (CDFW 2022) for the Triunfo Pass, California Quadrangle (USGS 7.5-minute Series Topographic Map) and all surrounding quadrangles (Point Mugu, Camarillo, Newbury Park, Thousand Oaks, and Point Dume) to identify previously recorded occurrences of special-status species and sensitive natural communities within the vicinity of the 5-acre project site (also referred to herein as the subject parcel). DMEC also conducted a literature search of California Native Plant Society's Inventory of Rare and Endangered Plants of California (CNPS 2022), the Locally Important Plant and Animal Lists (VCPD 2012a, 2012b), and the Checklist of Ventura County Rare Plants (Magney 2020) to identify previously recorded occurrences of special-status species in the vicinity of the proposed project site. DMEC also referenced biological resource assessments conducted on Weisberg's parcel at 10715 Yerba Buena Road (DMEC 2016), directly south of the subject parcel, and at nearby properties on behalf of Marco Beltrami (DMEC 2005) and Michael Parris (DMEC 2014) for special-status, or locally rare species observed in the vicinity of the Weisberg project site. The results of these queries yielded 55 plants and 52 wildlife species (DMEC 2022).

Biological assessment surveys were conducted at the project site by DMEC on February 18, April 19, and June 16, 2022 (DMEC 2022). The surveys included the subject parcel and fuel modification zone, and adjacent parcels that include the access road. Surveys included areas beyond the subject parcel focused along the access road to document

any sensitive biological resources that may be affected by the proposed paving of the access road.

Three special-status plants were observed on the project site: Catalina mariposa lily (*Calochortus catalinae*, California Rare Plant Rank [CRPR] 4.2), Plummer's mariposa lily (*Calochortus plummerae*, CRPR 4.2), and western dichondra (*Dichondra occidentalis*, CRPR 4.2). They were found scattered across much of the subject parcel. Specifically, Catalina mariposa lilies were found at four locations, Plummer's mariposa lilies were found at 23 locations, and western dichondra were found at 16 locations. Additionally, six occurrences of Catalina mariposa lily were found in the study area but on adjacent parcels; four occurrences of Plummer's mariposa lily were found in the study area on three adjacent parcels to the south and east of the existing access road; and one occurrence of western dichondra was found in the study area on the adjacent parcel immediately south of the Weisberg parcel (DMEC 2022).

No special-status animal species were detected during the project site surveys conducted in February, April, or June 2022. Based on the literature review of special-status species documented in the vicinity of the project site and the habitat suitability (e.g., plant species, vegetation density and disturbance, soils, elevation, on-site and adjacent land uses) four special-status animal species have the potential to occur on the project site (DMEC 2022). These include southern California rufous-crowned sparrow (*Aimophila ruficeps canescens*, Watch List), Allen's hummingbird (*Selasphorus sasin*, Watch List), coast horned lizard (*Phrynosoma blainvillii*, CDFW Species of Special Concern), and Santa Monica grasshopper (*Trimerotropis occidentaloidea*, S1S2).

The survey area is dominated by coastal sage scrub and chaparral natural communities, and also contains ornamental landscaping, unpaved roads, and ruderal and barren areas (DMEC 2022). Grading of the project footprint, vegetation clearance within the 100-foot fuel modification zone, and access road improvements will result in the following permanent impacts to natural vegetation communities:

- California sagebrush-ashy buckwheat scrub (*Artemisia californica-Eriogonum cinereum* Shrubland Association): 1.021 acres;
- Bush mallow scrub (*Malacothamnus fasciculatus* Shrubland Association): 0.269 acre;
- Laurel sumac-bush mallow-ashy buckwheat scrub (*Malosma laurina-Malacothamnus fasciculatus-Eriogonum cinereum* Shrubland Association): 0.547 acre.
- Ruderal: 0.076 acre

**4A-1.** Five of the 16 occurrences of western dichondra are within the proposed grading area within the project site and will be adversely affected, and nine occurrences are within the fuel modification zone. However, fuel modification activities are not likely to adversely affect them due to their low-growing stature (1-2 inches tall). Additionally, DMEC identified five occurrences outside any impact area.

Two of the six Catalina mariposa lily occurrences within the study area are within the fuel modification zone, and one is adjacent to the access road where it will be widened. Six of the 23 occurrences of Plummer's mariposa lily are within the proposed grading area and will be adversely affected, and two occurrences within the fuel modification zone may be affected by fuel modification activities. Construction and fuel modification impacts to Plummer's mariposa lily would reduce the species' population and habitat onsite and restrict its reproductive capacity. These impacts are considered significant. Mitigation Measure BIO-1 involves seasonally timed preconstruction surveys to identify locations of all special-status plants within the development footprint, and the preparation of a Special-Status Plant Relocation Plan. The Special-Status Plant Relocation Plan would be prepared to identify effective means of translocating plants, including topsoil salvage to preserve seed bank and management of salvaged topsoil. The Special-Status Plant Relocation Plan would require approval from the Planning Division. Mitigation Measure BIO-2 involves establishing protective fencing to avoid inadvertent impacts to Catalina and Plummer's mariposa lilies within the fuel modification zone. Implementation of Mitigation Measures BIO-1 and BIO-2 would reduce impacts to a less than significant level.

**4A-2.** No special-status animal species were detected during the project site surveys conducted in February, April, and June 2022. Based on the special-status species potential for occurrence analysis and an evaluation of on-site habitat, four special-status animal species may occur on the project site (DMEC 2022). These include southern California rufous-crowned sparrow (*Aimophila ruficeps canescens*, Watch List), Allen's hummingbird (*Selasphorus sasin*, Watch List), coast horned lizard (*Phrynosoma blainvillii*, CDFW Species of Special Concern), and Santa Monica grasshopper (*Trimerotropis occidentaloidea*, S1S2). If these species occur within the development footprint during construction, construction activities may result in direct mortality. In addition, loss of vegetation and dust generated during construction activities may also indirectly adversely impact these special-status species occurring in natural areas immediately adjacent to the footprint of the building envelope. Direct or indirect impacts to these species are considered significant. Mitigation Measure BIO-3, which requires pre-construction surveys and relocation of terrestrial special-status species (if necessary), and BIO-5 (See Section 4D) which requires installation of temporary fencing around the development envelope during construction, would reduce the impacts to a less than-significant level.

San Diego desert woodrat (*Neotoma lepida intermedia*, CDFW Species of Special Concern), is known to commonly occur in the project area. Because of the proximity of native vegetation adjacent to the development envelope and availability of nest material, there is a potential for woodrats to occur in these areas; and, therefore, they could be impacted by construction activities. Construction noise and dust, as well as increased human presence, may result in nest abandonment, or accidental damage to nests during construction may occur. These impacts are therefore considered significant. Mitigation Measure BIO-4 is proposed to avoid and minimize impacts to woodrats by avoiding active nests (middens) and/or relocation of nests as appropriate.

Suitable nesting habitat for passerines (perching birds) occurs within the areas proposed for construction and, avian species could be adversely affected directly (e.g., nest removal) or indirectly (e.g., nest abandonment from noise and vibrations). To comply with the protection of such birds afforded by the Migratory Bird Treaty Act and California Department of Fish and Game Code, the proposed project will be subject to a condition of approval requiring the Permittee to prohibit land clearing activities during the breeding and nesting season (January 1 - September 15), or retain a County-approved biologist to conduct site specific surveys prior to land clearing activities during the breeding and nesting season (January 1 - September 15) and to submit a Survey Report documenting the results of the initial nesting bird survey and a plan for continued surveys and avoidance of nests. Adherence to this condition of approval will also avoid direct and indirect impacts to special status avian species.

### **Mitigation/Residual Impact(s)**

#### Mitigation Measure BIO-1: Pre-Construction Survey, Seed/Bulb Salvage, and Relocation of Special-Status Plants

**Purpose:** To minimize impacts to special-status plants and to prevent the local population from dropping below self-sustaining levels that may result from the proposed development.

**Requirement:** The Permittee shall contract with a County-approved qualified biologist to prepare a Rare Plant Mitigation Plan (RPMP). The Permittee shall provide a copy of a signed contract (financial information redacted) with a County-approved biologist responsible for the preparing the RPMP. The RPMP shall describe methods for translocating special-status plants, including topsoil salvage to preserve seed bank and management of salvaged topsoil; seed and bulb collection, storage; nursery propagation and planting; location of receptor site(s); land protection instruments for receptor areas; and funding mechanisms. The RPMP shall include, but not be limited to the following components: methods, success criteria, performance standards, maintenance, monitoring, reporting, adaptive management, responsible parties, identification of stakeholders/responsible parties, and contingencies for achieving success. If possible, translocation of the rare plants should occur onsite. If no suitable onsite location is available, then an offsite location could be used. A suitable translocation site on the parcel (or offsite if no onsite area is available) must be identified and approved by the County prior to impacting any special-status plants. Seed and bulb collection shall be conducted at the appropriate season by a qualified botanist. Salvaged seeds and bulbs of Catalina and Plummer's mariposa lily shall be transferred to an entity including, but not limited to, the Santa Barbara Botanic Garden or California Botanic Garden to propagate and amplify to at least three times the quantity of salvaged seeds and bulbs, which will then be planted at the recipient site during the seasonally appropriate window (a specified in the RPMP). The RPMP shall require that monitoring be conducted for five years or until the success criteria and performance standards are met, whichever occurs sooner.

**Documentation:** The following documentation requirements will apply:

All rare plant mitigation areas shall be permanently protected through a conservation easement or deed restriction and subsequently conveyed to a County-approved public agency or conservation organization. If a County-approved public agency or conservation organization cannot be identified that will accept conveyance of a conservation easement, a conservation instrument such as a deed restriction may be used instead to restrict future development of the area. The conservation easement(s), deed restriction(s) and/or other conservation instrument(s) shall be submitted to the Planning Division for review and approval along with the RPMP prior to issuance of a Zoning Clearance for construction.

The Permittee shall submit the conservation easement, deed restriction or other conservation instrument and RPMP to the Planning Division for review and approval. The Permittee shall submit monitoring reports to the Planning Division by December 30th annually for five years or until the performance criteria has been met. If success criteria are not met within the five-year monitoring period, contingency measures shall be implemented in accordance with the RPMP, and restoration and monitoring shall continue until success criteria are met.

Each conservation easement, deed restriction or other conservation instrument shall:

- a. Include a copy of this condition of approval, a site-specific mitigation map, and legal description and map(s) of the areas that are subject to the conservation easement, deed restriction or other conservation instrument (“Protected Areas”);
- b. Include provisions for the long-term preservation and maintenance of the mitigation areas (i.e., Protected Areas) by describing what maintenance activities are allowed, and by stating that the following are prohibited in the Protected Areas:
  1. Removal, mining, excavation, or disturbance of the soil or surface rocks or decaying material such as fallen trees (unless otherwise approved by the Planning Division);
  2. Dumping, filling, storing, disposal, burying, or stockpiling of any natural or manmade materials;
  3. Erection of buildings or structures of any kind, including, but not limited to, fencing, corrals, advertising signs, antennas, and light poles;
  4. Placement of pavements, concrete, asphalt and similar impervious materials, laying of decomposed granite for pathways, or setting of stones, paving bricks, or timbers;
  5. Operation of off-road vehicles, motorcycles, bicycles, mowers, tractors, or any other types of motorized or non-motorized vehicles or equipment;
  6. Removal or alteration of native trees or plants, through such activities as irrigating, mowing, draining, plowing, tilling or disking, except as necessary for controlled burns or fuel reduction as regulated by the Ventura County Fire Protection District, or for removal of non-native species and native habitat restoration or maintenance under the direction of a qualified biologist and following approval by, and/or coordination with, the Planning Division;
  7. Application of insecticides or herbicides, poisons, or fertilizers;
  8. Grazing or keeping of cattle, sheep, horses or other livestock, or pet animals;

9. Agricultural activity of any kind including the harvesting of native materials for commercial purposes;
10. Planting, introduction, or dispersal of non-native plant or animal species;
11. Hunting or trapping, except live trapping for purposes of scientific study or removal of non-native species;
12. Manipulating, impounding or altering any natural watercourse, body of water or water circulation and activities or uses detrimental to water quality, including but not limited to degradation or pollution of any surface or sub-surface waters;
13. Artificial lighting that illuminates or is directed towards mulefat scrub; and
14. Other activities that damage the existing flora or fauna.

- c. Be recorded with the Office of County Recorder, with a copy of the recorded document provided to the Planning Division, prior to issuance of a Zoning Clearance for construction.

**Timing:** The Permittee shall (1) record the conservation easement, deed restriction or other conservation instrument; and (2) submit a RPMP, in accordance with the applicable requirements of this condition (above) to the Planning Director for review and approval prior to issuance of a Zoning Clearance for construction. Implementation of the RPMP pursuant to the schedule stated therein shall begin no later than six months after the issuance of a Zoning Clearance for Construction.

**Monitoring and Reporting:** The Planning Division maintains a copy of the recorded conservation easement or deed restriction, or conservation instrument, in the Project file. The Planning Division has the authority to inspect the property subject to the conservation easement or deed restriction, or conservation instrument, to ensure that it is maintained as required. If the Planning Division confirms that the restricted area has not been maintained as required, enforcement actions may be enacted in accordance with § 8183-5 of the Ventura County Coastal Zoning Ordinance.

Mitigation Measure BIO-2: Protection of Special-Status Plant Species within Fuel Modification Zones

**Purpose:** To avoid potentially significant impacts to special-status plant species within the fuel modification zone.

**Requirement:** Ground disturbances and vegetation removal shall be prohibited within a 10-foot setback from the edge of the mariposa lily occurrences within the fuel modification zone. The permittee shall install permanent fencing (as approved by the Planning Division) around special-status plant occurrences within the fuel modification zones for the proposed development. The Permittee shall post a sign stating sensitive biological resources are present within the fenced area and that entry is prohibited. All fuel management shall be conducted in such a way as to avoid impacts to special-status plants to the greatest extent feasible.

**Documentation:** The Permittee shall identify the locations of special-status species and the limits of protective fencing on the grading plan and on a site plan for Zoning Clearance for Construction.

**Timing:** Prior to the issuance of a Zoning Clearance for construction, the Permittee shall install protective fencing in accordance with the site plan for Zoning Clearance for Construction approved by the Planning Division.

**Monitoring and Reporting:** The Planning Division maintains a copy of the authorized Fencing Plan with the Zoning Clearance for Construction in the Project file. The Planning Division has the authority to inspect the property to ensure that the protective fencing is installed and maintained as required. If the Planning Division confirms that the fencing has not been installed or maintained as required, enforcement actions may be enacted in accordance with § 8183-5 of the Ventura County Coastal Zoning Ordinance.

Mitigation Measure BIO-3: Pre-Construction Surveys and Relocation of Special-Status Wildlife

**Purpose:** To avoid significant impacts to special-status wildlife that could occur during vegetation clearing and grading.

**Requirement:** Two weeks prior to the initiation of, and periodically throughout, ground disturbance activities, a County-approved qualified biologist shall conduct surveys for special-status wildlife, including coastal whiptail [*Aspidoscelis tigris stejnegeri*], coast horned lizard [*Phrynosoma blainvillii*] and San Diego desert woodrat (*Neotoma lepida intermedia*), to ensure that these species are not harmed. Individuals of these species that are found shall be relocated to suitable undisturbed habitat, outside of the areas directly and indirectly (e.g., noise) affected by ground disturbance activities, as determined by a County-approved biologist. The County-approved biologist, with a CDFW Scientific Collecting Permit, shall conduct surveys and relocation activities according to methods approved by the CDFW.

Additionally, the project biologist(s) shall perform the following duties:

1. Attend a pre-construction meeting with the contractor and other key construction personnel prior to land clearing activities to conduct environmental training to include, but limited to, discussion of the importance of restricting work to designated areas, and identification of and minimizing harm to or harassment of wildlife that could be encountered.
2. Review and/or designate the construction area in the field with the contractor in accordance with the final grading plan.
3. The biologist shall monitor vegetation grubbing and initial grading in order to salvage and relocate wildlife that could be disturbed by this activity.



4. Periodically monitor the construction site to verify silt fencing is intact, trash receptacles are animal and weather-proof, and there is a prohibition of pets on the construction site.
5. Prepare a monitoring report after the land-clearing activities are completed, which describes the biological monitoring activities, including a monitoring log, photos of the site before, during, and after land clearing activities, and a list of special-status species observed.

**Documentation:** The Permittee shall provide to the Planning Division a signed contract with a County-approved qualified biologist that ensures wildlife surveys, and relocation of wildlife, will be conducted within 14 days prior to any ground disturbance activities. The Permittee shall submit a report to the Planning Division within 14 days of the wildlife surveys, notifying the Planning Division of the results of the surveys and avoidance and relocation activities.

**Timing:** Prior to the issuance of a Zoning Clearance for construction, the Permittee shall provide the signed contract with the County-approved biologist. Within 14 days of the wildlife surveys and relocation activities, the Permittee shall provide a report describing the results.

**Monitoring and Reporting:** The Permittee shall confirm with the Planning Division that a County-approved qualified biologist has been contracted to implement the requirements of this condition prior to issuance of a Zoning Clearance for construction. The Planning Division maintains copies of the signed contract and the survey reports in the Project file. The Planning Division has the authority to inspect the property during the development phase of the Project to ensure that the survey and wildlife relocation work is conducted as required. If the Planning Division confirms that the required surveys are not conducted as agreed upon or the fencing is not maintained as required, enforcement actions may be enacted in accordance with § 8183-5 of the *Ventura County Coastal Zoning Ordinance*.

#### Mitigation Measure BIO-4: Woodrat Nest Avoidance and Relocation

**Purpose:** In order to minimize impacts to special-status woodrats, land clearing and construction activities shall be regulated.

**Requirement:** The Permittee shall conduct all demolition, tree removal/trimming, vegetation clearing, and grading activities (collectively, "land clearing activities"), and construction in such a way as to minimize impacts to woodrats. This can be accomplished by implementing one of the following options:

1. Surveys: Conduct site-specific surveys prior to land clearing or construction activities. A County-approved qualified biologist with a CDFW Scientific Collecting Permit shall survey suitable habitat for special-status woodrats within areas that will be subject to land clearing activities, and within 50 feet of areas, that will be subject to land clearing

activities 14 days prior to the initiation of land clearing or construction activities. If the biologist does not find any nests, then no further action is required.

2. Avoidance Measures:

- a. If the County-approved qualified biologist finds active woodrat nests, the Permittee shall implement a 50-foot radius buffer area around the nests in which land clearing activities will be avoided.
- b. Wildlife exclusion fencing shall be installed around land clearing activities where middens are detected within 50 feet of the project footprint. Orange snow fencing is not considered a wildlife exclusion fence and is prohibited in areas where middens are found.

3. Relocation of Middens: If the minimum fencing distance cannot be achieved and the middens cannot be protected and/or avoided, the County-approved qualified biologist in consultation with CDFW, will select the location of artificial midden sites. The relocation or disturbance of wood rat midden areas are prohibited during the peak nesting season (November 1 through March 15). Woodrat middens will be relocated according to the following instructions:

- a. Artificial Midden Ratio: Artificial middens shall be installed at a 2:1 ratio for less than 5 middens impacted. If more than 5 middens are impacted in the population, the qualified biologist shall consult with the Planning Division to determine the appropriate ratio.
- b. Artificial Midden Location: Midden locations shall include but not be limited to downed woody debris, cactuses, dense understory and overstory cover (ideally 90 percent cover), or other "core element" (e.g., a stump, large log, rock, rock outcrop), and outside of drainage channels. Artificial middens shall be placed in a clustered pattern relative to adjacent natural middens (when present) and no further than 550 feet of the project footprint.
- c. Dismantling of Natural Middens: The entire midden site, including the aboveground midden and the below ground basement area, will be carefully examined to ensure that no adults or young are present before the midden is dismantled and the basement filled in.
- d. Trapping: If woodrats are present a trapping effort will be initiated. The trapping will consist of two to three live traps per active midden site being set each evening for 3 days. The traps will be baited with oatmeal, peanut butter, and apple and will contain synthetic batting for use as nesting material. Traps will be checked the following morning within 1 hour following sunrise. Traps containing woodrats will be placed facing the entrance of relocated middens and opened, allowing the woodrats to leave the traps on their own accord. Each release site will be monitored for approximately 1 hour after each woodrat is released to determine the short-term success rate of the artificial middens.

- e. Dismantling Middens: To provide refuge for woodrats that may be become displaced, piles of sticks/vegetation/slash shall be placed between the midden site to be dismantled and the new artificial midden site, 3 days prior to dismantling. The midden will be dismantled by hand, removing the materials layer by layer. All salvageable midden materials will be relocated and incorporated (as needed) or placed adjacent to the artificial midden.
  - f. Post-Midden Relocation: The qualified biologist will perform a survey to determine if the woodrat has reoccupied the project footprint following the implementation of the midden relocation measures.
4. Woodrat Presence and Activity After Midden Relocation: If newly constructed middens are found inside the project footprint following the commencement of land clearing activities, the trapping effort noted in section 4(d) above) shall be implemented.

**Documentation:** The Permittee shall provide to the Planning Division a Survey Report from the County-approved qualified biologist that includes a map, physical description of middens (e.g., size, width, and materials), a photo of each of the midden, and a plan for avoidance or relocation of the midden in accordance with the requirements set forth in this mitigation measure. Along with the Survey Report, the Permittee shall provide a copy of a signed contract (financial information redacted) with the qualified biologist(s) who will monitor avoidance and relocation efforts. Following the completion of land clearing activities, the Permittee shall submit to the Planning Division a Mitigation Monitoring Report from the qualified biologist(s) that documents the actions implemented to avoid or relocate woodrat nests, a map of the natural and artificial midden locations, trapping and relocation procedures, and the results of the relocation effort.

**Timing:** The County-approved qualified biologist shall conduct the survey within 30 days prior to the initiation of land clearing activities and follow all relocation timing protocols set forth in this condition (above). The Permittee shall submit the Survey Report and signed contract to the Planning Division, prior to issuance of a Zoning Clearance for construction. The Mitigation Monitoring Report shall be submitted within 14 days of completion of the land clearing activities.

**Monitoring and Reporting:** The Planning Division reviews for adequacy, and maintains in the Project file, the signed contract, Survey Report, and Mitigation Monitoring Report. If the Planning Division confirms that the required surveys and relocation measures were not implemented in compliance with the requirements of this condition, then enforcement actions may be enacted in accordance with §8183-5 of the Ventura County Coastal Zoning Ordinance.

With the implementation of Mitigation Measures BIO-1, BIO-2, BIO-3 and BIO-4, project specific impacts to plants and animal species will be less than significant, and the proposed Project will not make a cumulatively considerable contribution to a significant cumulative impact to plants and animal species.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>4B. Ecological Communities - Sensitive Plant Communities</b>								
<b>Will the proposed project:</b>								
1) Temporarily or permanently remove sensitive plant communities through construction, grading, clearing, or other activities?	X				X			
2) Result in indirect impacts from project operation at levels that will degrade the health of a sensitive plant community?	X				X			

**B. Sensitive Plant Communities Impact Discussion:**

**4B-1 and 4B-2.** The CDFW Natural Communities List rarity rank to habitats and defines Global (G) and State (S) numbers to indicate the overall rarity of a plant community throughout its global and state range. Plant communities are assigned a numeric code between 1 and 5, with 1 being the rarest. Communities with a State Rank of 3 or lower are considered "rare" plant communities. The plant communities impacted by the project and their rarity rankings are as follows:

- California sagebrush-ashy buckwheat scrub (*Artemisia californica-Eriogonum cinereum* Shrubland Association, G5S5);
- Bush mallow scrub (*Malacothamnus fasciculatus* Shrubland Association, G4S4);
- Laurel sumac- bush mallow- ashy buckwheat scrub (*Malosma laurina-Malacothamnus fasciculatus- Eriogonum cinereum* Shrubland Association, G4S4);
- Ruderal (not ranked due to prevalence of non-native species).

Based on the Natural Communities List sensitivity rankings (CDFW 2022), none of the communities impacted by the project are considered sensitive. Because the project would not result in removal or indirect impact to sensitive plant communities, the project would not have a project-specific or cumulative impact.

**Mitigation/Residual Impact(s)**

None

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>4C. Ecological Communities - Waters and Wetlands</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>Will the proposed project:</b>								
1) Cause any of the following activities within waters or wetlands: removal of vegetation; grading; obstruction or diversion of water flow; change in velocity, siltation, volume of flow, or runoff rate; placement of fill; placement of structures; construction of a road crossing; placement of culverts or other underground piping; or any disturbance of the substratum?	X				X			
2) Result in disruptions to wetland or riparian plant communities that will isolate or substantially interrupt contiguous habitats, block seed dispersal routes, or increase vulnerability of wetland species to exotic weed invasion or local extirpation?	X				X			
3) Interfere with ongoing maintenance of hydrological conditions in a water or wetland?	X				X			
4) Provide an adequate buffer for protecting the functions and values of existing waters or wetlands?	X				X			

**C. Ecological Communities – Waters and Wetlands Impact Discussion:**

There are no waters or wetlands within, or in the immediate vicinity of, the project site.

**4C-1.** The project would not result in any of the listed activities established by Ventura County’s Initial Study Assessment Guidelines within waters and/or wetlands as defined by Ventura County’s Initial Study Assessment Guidelines, therefore, the project would not have a project-specific or cumulative impact.

**4C-2.** The project would not result in disruptions to wetland or riparian plant communities; therefore the project would not have a project-specific or cumulative impact.

**4C-3.** The project would not interfere with hydrological conditions in waters and/or wetlands as defined in Ventura County’s Initial Study Assessment Guidelines, therefore the project would not have a project-specific or cumulative impact.

**4C-4.** The project would not interfere with any/existing buffers for waters and/or wetlands, therefore the project would not have a project-specific or cumulative impact.

**Mitigation/Residual Impact(s):**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>4D. Ecological Communities - ESHA (Applies to Coastal Zone Only)</b>								
<b>Will the proposed project:</b>								
1) Temporarily or permanently remove ESHA or disturb ESHA buffers through construction, grading, clearing, or other activities and uses (ESHA buffers are within 100 feet of the boundary of ESHA as defined in Section 8172-1 of the Coastal Zoning Ordinance)?			X				X	
2) Result in indirect impacts from project operation at levels that will degrade the health of an ESHA?			X				X	

**D. Ecological Communities – ESHA (Applies to Coastal Zone Impact Discussion):**

4D-1. The entire project site is located within the Coastal Zone. Based on the biological surveys, the natural vegetation communities potentially impacted by the project site include California sagebrush-ashy buckwheat scrub, bush mallow scrub, and laurel sumac- bush mallow- ashy buckwheat scrub. These vegetation associations are considered types of coastal sage scrub. These habitats and vegetation types are relatively rare in the Santa Monica Mountains and play an important role in the ecosystem of the Coastal Zone. The increasing threats from development and other anthropogenic impacts are also exacerbating the loss of these habitats. The Coastal Area Plan designates important habitat and serves to provide protective measures for the Santa Monica Mountains’ unique coastal resources, including plant and animal species. Therefore, the coastal sage scrub and chaparral communities occurring on the project site are considered ESHA.

Grading and other construction activities associated with the project would occur within 100 feet of ESHA and could result in inadvertent removal of ESHA, or degradation of the edges of native vegetation communities, creating edge effects. These direct and indirect impacts to sensitive plant communities would result in significant impacts; however, with the implementation of Mitigation Measure BIO-5 that requires installation of exclusion fencing between construction activities and ESHA, impacts would be less than significant.

Dust impacts would be reduced by adherence to the Ventura County Air Pollution Control District (VCAPCD) construction dust reduction requirements.

The proposed project will permanently remove approximately 121,750.2 sq. ft. (2.795 acres) of Environmentally Sensitive Habitat Areas (ESHA) related to the construction of the access road, the home, and the required 100-foot fuel modification zone. Additionally, 10,890 sq. ft. (0.25 acres) of ESHA was cleared without the benefit of a permit, for a total of 3.045 acres of ESHA that will require mitigation at a 2:1 ratio (6.09 acres). Restoration of 0.25 acres will occur onsite, the remaining 5.84 acres will be mitigated through the acquisition of offsite parcels to be dedicated to Mountains Recreation and Conservation Authority (MRCA). Restoration of 0.25 acres will occur on APN 700-0-060-100 (the project site). The applicant will provide for the permanent protection of 5.84 acres of ESHA in the Santa Monica Mountains by acquiring and conveying APNs 694-0-100-160 and 694-0-100-110 (6 acres) referred to herein as Conservation Land.

Mitigation Measure BIO-8 includes a combination of onsite restoration and offsite preservation to achieve ESHA compensatory mitigation. The Planning Director and MRCA, the party responsible for the long-term stewardship of the Conservation Land, will review the offsite preservation plan for adequacy. The selected Conservation Land satisfies the requirements of CZO Section 8178-2.10.4(b)(1) including the following location priorities: off-site compensatory mitigation site should be located within the same sub-watershed (defined as U.S. Geological Survey's 12-digit hydrological unit code (HUC or higher, when available)) as the impacted area, off-site compensatory mitigation site should be located in the same biogeographic region (as defined by CZO Section 8172-1) as the impacted area, and/or off-site compensatory mitigation site should be the same watershed as the impacted area. The Planning Director and the party responsible for the long-term stewardship of the Conservation Land, may consider other off-site compensatory mitigation sites as allowed under CZO 8178-2.10.4 (b)(1) (i.e., other sites within Santa Monica - Sierra Madre Linkage, Ventura River Linkage, Santa Clara River Linkage and in the same biogeographic region).

The Applicant will be required to comply with the Ventura County Fire Protection District Fire Hazard Reduction Program (FHRP). Initial compliance with the FHRP will require vegetation be removed, thinned, and sufficiently spaced within a minimum 100-foot fuel modification zone that is designated around combustible structures (and 10 feet from access roads). ESHA adjacent to the fuel modification zone also has the potential to be indirectly impacted by the introduction and proliferation of invasive plants; however, with the implementation of Mitigation Measure BIO-6 and eliminating invasive species in seeding and landscaping, impacts would be mitigated to a less-than-significant level and cumulative

### **Mitigation/Residual Impact(s)**

Mitigation Measure BIO-5: Environmentally Sensitive Habitat Areas (ESHA) Construction Exclusion Fencing

**Purpose:** To reduce the potential indirect effects on adjacent habitat consistent with the Coastal Act and to locally important communities consistent with ESHA Goal 1 Ventura County General Plan Goal Policies and Programs (updated 2022), ground disturbance and vegetation removal in ESHA outside of the construction envelope is prohibited.

**Requirement:** The Permittee shall install temporary protective fencing (orange snow fencing is not considered wildlife exclusionary fencing) along the edge of the development envelope (including the fuel modification zone). The fencing must consist of durable materials and shall be staked or driven into the ground such that it is not easily moved and will perform its function for the duration of construction activities.

**Documentation:** The Permittee shall graphically depict and label the ESHA habitat, setback area from ESHA, and required fencing on all grading and site plans. The Permittee shall also provide photo documentation of the fencing installed at the site prior to issuance of a Zoning Clearance for construction.

**Timing:** The Permittee shall submit the site plan and grading plans with the locations of the fencing to the Planning Division for review and approval prior to Zoning Clearance for construction of the project. The Permittee shall install the fencing prior to any vegetation removal, ground disturbance activities, or construction activities (whichever occurs first). The Permittee shall maintain the fencing in place until the Resource Management Agency, Building and Safety Division, issues the Certificate of Occupancy for the single-family dwelling.

**Monitoring and Reporting:** The Planning Division maintains the grading and site plan with the fencing illustrated provided by the Applicant in the project file. The Applicant shall demonstrate to the satisfaction of the Planning Division that the temporary fencing is installed prior to any vegetation removal, ground disturbance activities, or construction activities (whichever occurs first). The Planning Division has the authority to inspect the site to confirm that the fencing stays in place during the development phase of the project in accordance with the approved plans.

Mitigation Measure BIO-6: Invasive Species Seeding and Landscaping

**Purpose:** To ensure protection of adjacent ESHA from the introduction of invasive species as required under the Local Coastal Program and the Coastal Act.

**Requirements:** Invasive plant species shall not be included in any erosion control seed mixes and landscaping plans associated with the Project. The California Invasive Plant Inventory Database contains a list of non-natives, invasive plants (California Invasive Plant Council [Updated 2022] or its successor).

**Documentation:** The Permittee shall submit the erosion control seed mix and a final landscape plan, for review and approval by the Planning Division. The Permittee shall provide photographs demonstrating that the Permittee installed all landscaping and irrigation in accordance with the approved plans.



**Timing:** Prior to issuance of a Zoning Clearance for construction, the Permittee shall submit the erosion control seed mix and a final landscape plan, for review and approval by the Planning Division. All planting and irrigation shall be installed prior to Certificate of Occupancy of the single-family dwelling.

**Monitoring and Reporting:** The Permittee shall provide photos of the landscaping to the Planning Division, or schedule a site inspection with the Planning Division, to verify that the Permittee installed landscaping and irrigation according to the approved plans. The Planning Division maintains copies of the approved plans and photographs in the Project file. The Planning Division, Public Works Agency Grading Inspectors, and Building and Safety, have the authority to conduct site inspections to ensure compliance with this condition consistent with the requirements of § 8183-5 of the *Ventura County Coastal Zoning Ordinance*.

Mitigation Measure BIO-7 Coastal Area Plan – Permanent Preservation of Environmentally Sensitive Habitat Area (ESHA) in the M Overlay Zone

**Purpose:** In accordance with Coastal Area Plan Policy 4.4.10 (4)(3) for Environmentally Sensitive Habitats in the South Coast, all ESHA within the Project site must be permanently protected through a County-approved conservation easement, deed restriction or other recorded legal instrument that permanently protects the Conservation Land in its natural state.

**Requirement:** All onsite ESHA shall be permanently protected through a conservation easement or deed restriction and subsequently conveyed (in the form of a conservation easement) to a County-approved public agency or conservation organization. If a County-approved public agency or conservation organization cannot be identified that will accept conveyance of a conservation easement, a conservation instrument such as a deed restriction may be used instead to restrict future development of the area.

The aforementioned deed restriction, conservation easement and/or equivalent legal instrument permanently protecting the off-site and/or on-site land (collectively, “Conservation Instrument”), as applicable, shall each:

- a. Include a copy of this condition of approval, a site-specific ESHA map, and legal description and map(s) of the areas that are subject to the Conservation Instrument (“Protected Areas”);
- b. Include provisions for the long-term preservation and maintenance of the Protected Areas by describing what maintenance activities are allowed, and by stating that the following are prohibited in the Protected Areas:
  1. Removal, mining, excavation, or disturbance of the soil or surface rocks or decaying material such as fallen trees;

2. Dumping, filling, storing, disposal, burying or stockpiling of any natural or manmade materials;
3. Erection of buildings or structures of any kind, including, but not limited to, fencing, corrals, advertising signs, antennas, and light poles;
4. Placement of pavements, concrete, asphalt and similar impervious materials, laying of decomposed granite for pathways, or setting of stones, paving bricks, or timbers;
5. Operation of dune buggies, motorcycles, all-terrain vehicles, bicycles, mowers, tractors, or any other types of motorized or non-motorized vehicles or equipment;
6. Removal or alteration of native trees or plants, through such activities as irrigating, mowing, draining, plowing, tilling, or disking, except as necessary for controlled burns (for fuel reduction, as regulated by the Ventura County Fire Protection District), removal of non-native species, and native habitat restoration or maintenance (which must be under the direction of a qualified biologist);
7. Application of insecticides or herbicides, poisons, or fertilizers;
8. Grazing or keeping of cattle, sheep, horses or other livestock, or pet animals;
9. Agricultural activity of any kind including the harvesting of native materials for commercial purposes;
10. Planting, introduction, or dispersal of non-native plant or animal species;
11. Hunting or trapping, except live trapping for purposes of scientific study or removal of non-native species;
12. Manipulating, impounding or altering any natural watercourse, body of water or water circulation on the ESHA, and activities or uses detrimental to water quality, including but not limited to degradation or pollution of any surface or sub-surface waters;
13. Light pollution (e.g., lighting that is located outside of, yet directed towards, the ESHA); and
14. Other activities that damage the existing flora, fauna, or hydrologic conditions of the ESHA.

**Documentation:** The Permittee shall record with the Conservation Instrument to the subject property: (1) the conditions of this Coastal PD Permit; (2) a site-specific ESHA map; and (3) legal description, with the Office of County Recorder, with a copy of the recorded document provided to the Planning Division.

**Timing:** Prior to, issuance of a Zoning Clearance for construction, the Permittee shall record (1) the conditions of this Coastal PD and (2) a site-specific ESHA map and legal description of the area to be restricted; and (3) legal description of the subject lot.

**Monitoring and Reporting:** The Planning Division will review this Project and all future projects on the subject property to ensure compliance with the requirements of this condition. The Planning Division has the authority to inspect the site to confirm on-going compliance with this project condition consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

Mitigation Measure BIO-8 Compensatory Mitigation for Loss of ESHA

**Purpose:** Provide compensatory mitigation for the loss of 0.25 acres of ESHA removed without the benefit of a permit and 2.795 acres of ESHA that will be permanently removed by the proposed development (3.045 acres total), and to comply with the applicable provisions of the Ventura County Coastal Zoning Ordinance Section 8178-2.10 (Compensatory Mitigation for ESHA)

**Requirement:** The Permittee will be required to mitigate 3.045 acres of ESHA at a 2:1 ratio (6.09 acres total). Restoration of 0.25 acres will occur on APN 700-0-060-100 (the project site). The Permittee shall provide for the permanent protection of 5.84 acres of ESHA in the Santa Monica Mountains by acquiring and conveying APNs 694-0-100-160 and 694-0-100-110 (6 acres) to Mountains Recreation and Conservation Authority (MRCA), a qualified conservation organization<sup>2</sup>. Such land to be protected is hereinafter referred to as “Conservation Land.”

Onsite Restoration

At least 0.25 acres of ESHA shall be restored and permanently protected on-site. The areas selected to be restored on-site (Restoration Areas) shall be located on a southwest portion of the subject property as shown on the Initial Study Biological Assessment (Attachment 3) (David Magney Environmental Consultants, August 2022 and Appended March 2023). The Permittee shall ensure that a County-approved, qualified biologist prepares a Restoration Plan that includes the following:

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<sup>2</sup> For the purposes of this mitigation measure, the conservation organization must meet all of the following criteria:

- (a) It must be a public conservation agency, or a private non-profit organization chartered under the US Code, Title 26, Part 501(c)3, whose primary purpose is the preservation and protection of land in its natural, scenic, historical, recreational and/or open space condition.
- (b) If it is a private non-profit organization, then it must be either a statewide, national or international organization, or a local community-based organization with a membership of at least 500 individuals and/or businesses.
- (c) It must have owned and/or managed natural resource/open space property, at least 50 acres in area, for at least one year. In lieu of meeting this requirement, a Conservation Organization may provide a financial surety to ensure the stewardship of the Conservation Parcel for a period of five years.
- (d) It must have the institutional and economic ability to maintain the property.

1. Restoration of vegetation specified in the Initial Study Biological Assessment (Attachment 3) for Coastal Sage Scrub and Chapparal [*Artemisia californica* and *Malosma laurina*]
2. A reference site for each vegetation alliance [*Artemisia californica* and *Malosma laurina*] that is an ecologically intact example of the alliance with minimal disturbance, with the following documented for each reference site:
  - a. Total percent cover by native plant species;
  - b. Species richness; and
  - c. Total percent cover by non-native plant species.
3. A plant palette and methods of salvaging, propagating, and planting. The plant palette shall consist only of plants propagated from locally collected (on the project site or adjacent to the project site) seeds or cuttings.
4. Methods of soil preparation.
5. Method and timing of irrigation.
6. Best Management Practices to avoid impacting the Coastal Sage Scrub and chapparal.
7. Maintenance and monitoring necessary to ensure that the restored plant communities meet the following success criteria by Year 5 of the maintenance and monitoring program:
  - a. 90 percent of the native plant cover found for the reference site;
  - b. 100 percent of the species richness found for the reference site; and
  - c. Equal or lower percent cover by non-native plant species as that found for the reference site.

The Permittee shall ensure that the Restoration Plan is fully implemented.

#### Offsite Preservation

The Permittee shall provide for the permanent protection of 5.84 acres of ESHA in the Santa Monica Mountains by acquiring and conveying APNs 694-0-100-160 and 694-0-100-110 (6 acres) to Mountains Recreation and Conservation Authority (MRCA), a qualified conservation organization. The Permittee shall provide for the establishment of an endowment to fund the long-term stewardship of the Conservation Land. The Permittee shall fund this endowment with a principal amount that, when managed and

invested prudently with an estimated rate of return like that of other endowments for similar purposes, is reasonably anticipated to cover the annual costs associated with the management, maintenance, monitoring, reporting, and other activities identified in the Conservation Plan (defined below) for the long-term stewardship of the Conservation Land.

The Permittee also shall make a one-time payment which will provide for the initial stewardship costs of the Conservation Land for up to three years while the endowment begins to accumulate investment earnings. The funds for the initial stewardship costs are distinct from the above-described funds for establishing the endowment. If there are funds remaining at the completion of the initial stewardship period, the funds shall be conveyed to the Permittee.

The acreages of ESHA vegetation alliances impacted by the Permittee's project must closely approximate the acreages of vegetation alliances preserved on the Conservation Land. The selected Conservation Land (APNs 694-0-100-160 and 694-0-100-110) are undeveloped, legal lots, have equivalent or greater overall habitat value than the ESHA that was cleared without a permit, is being removed for development purposes and will comply with the standards of Ventura County Coastal Zoning Ordinance Section 8178-2.10.5(b) related to Environmental Resources, Connectivity, and Preservation and Management. The area selected as the Conservation Land has been reviewed by the Planning Director and MRCA, the party responsible for the long-term stewardship of the Conservation Land, for adequacy.

## **Documentation:**

### Onsite Restoration

The Permittee shall submit to the Planning Division a Restoration Plan, prepared by a County-approved qualified biologist, to restore 0.25 acres of ESHA on APN 700-0-060-100. The Permittee shall submit a report with photographs of the restoration area and a description of the restoration work to demonstrate to the Planning Division that implementation of the Restoration Plan has commenced. The Permittee shall provide annual reports prepared by a County-approved qualified biologist on the progress of the restoration area for 5 years (or more, if the success criteria have not been met by Year 5).

### Offsite Preservation

The Permittee shall submit to the Planning Division an acquisition and conservation plan addressing the following elements with respect to the Conservation Land and the endowment ("Conservation Plan"):

1. The location, acreage, and habitat types for all land proposed to be permanently protected;

2. Documentation in writing that the off-site mitigation lots used for ESHA preservation are undeveloped, legal lots that are used solely to implement compensatory mitigation.
3. Documentation in writing that the off-site mitigation lots satisfy the requirements of Ventura County Coastal Zoning Ordinance Section 8178-2.10.5 (b) including the following standards:
  - a. Environmental Resources - All off-site mitigation sites used for ESHA preservation shall contain the following environmental resources:
    - i. At least 90 percent of the lot shall be ecologically functioning ESHA and/or an ESHA wet environment buffer zone; or
    - ii. At least 50 percent of the lot shall be ecologically functioning ESHA and/or ESHA wet environment buffer zone plus one of the following: (1) an identified habitat connectivity corridor; (2) a wet environment, rock outcrops, dunes, or U.S. Fish and Wildlife Service (USFWS)-designated critical habitat ESHA; or (3) a lot is located within an acquisition area designated for conservation through a policy or planning document adopted by a federal, state, or County natural resource agency or a County-approved conservation organization.
  - b. Connectivity – The off-site mitigation sites used for compensatory mitigation shall not be isolated by development or other physical factors that would limit the movement of species to larger protected core ESHA areas. Specifically, the lot must be connected to a protected core ESHA or open space area by an intact native vegetation area that is at least 400 feet wide and less than 500 feet long. Wildlife must be able to move from the subject lot to core ESHA without encountering a major barrier (e.g., high-traffic road without wildlife-safe crossings, large facilities, etc.). An exception to this requirement may be allowed if the lot contains one of the following:
    - i. A sensitive biological resource that can persist in isolation (e.g., narrow endemic species or unique habitats such as vernal pools); or
    - ii. A habitat that functions as a steppingstone for special status species between protected core areas.
4. Provisions for initial and long-term stewardship of the Conservation Land and the estimated annual costs thereof and a description of the uses and maintenance activities that will be allowed within the ESHA.
5. The annual reporting, as defined in the Conservation Plan, shall be conducted by the party responsible for the long-term stewardship of the Conservation Land. Annual reports regarding the condition and stewardship of the Conservation Land shall be made available to the Planning Director, upon request;
6. An executed copy of Mountains Recreation and Conservation Authority adopted Resolution No. TBD authorizing the acceptance of the donation of APNs 694-0-100-160 and 694-0-100-110;
7. A description of, and schedule for, the acquisition and/or conveyance (in fee title or by conservation easement) of the Conservation Land to the Mountains Recreation and Conservation Authority to provide for its long-term stewardship.

The deed or other instrument that grants, or will grant, Mountains Recreation and Conservation Authority the authority to protect and maintain the ESHA shall be recorded with the deed to the property;

8. The proposed amount of the endowment and detailed description of how the amount of the endowment is computed; and,
9. The proposed amount of the initial stewardship costs, detailed description of how it is computed, and the duration of the initial stewardship period.

The Planning Division shall review the Conservation Plan, and if found to be adequate in light of applicable laws and the requirements set forth above, approve the submitted Conservation Plan for the protection of Conservation Lands.

All offsite Conservation Land shall be permanently protected through a conservation easement or deed restriction and subsequently conveyed (in fee title or in the form of a conservation easement) to Mountains Recreation and Conservation Authority. The conservation easement(s), deed restriction(s) and/or other conservation instrument(s) shall be submitted to the Planning Division for review and approval along with the Conservation Plan or HMP. Each conservation easement, deed restriction or other conservation instrument shall:

1. Include a copy of this condition of approval, a site-specific ESHA map, and legal description and map(s) of the areas that are subject to the conservation easement, deed restriction or other conservation instrument (“Protected Areas”);
2. Include provisions for the long-term preservation and maintenance of the Protected Areas by describing what maintenance activities are allowed, and by stating that the following are prohibited in the Protected Areas:
  - a. removal, mining, excavation, or disturbance of the soil or surface rocks or decaying material such as fallen trees;
  - b. dumping, filling, storing, disposal, burying, or stockpiling of any natural or manmade materials;
  - c. erection of buildings or structures of any kind, including, but not limited to, fencing, corrals, advertising signs, antennas, and light poles;
  - d. placement of pavements, concrete, asphalt and similar impervious materials, laying of decomposed granite for pathways, or setting of stones, paving bricks, or timbers;
  - e. operation of dune buggies, motorcycles, all-terrain vehicles, bicycles, mowers, tractors, or any other types of motorized or non-motorized vehicles or equipment;
  - f. removal or alteration of native trees or plants, through such activities as irrigating, mowing, draining, plowing, tilling or disking, except as necessary for controlled burns or fuel reduction as regulated by the Ventura County Fire Protection District, or for removal of non-native species and native habitat restoration or maintenance under the direction of a qualified biologist;
  - g. application of insecticides or herbicides, poisons, or fertilizers;
  - h. grazing or keeping of cattle, sheep, horses or other livestock, or pet animals;

- i. agricultural activity of any kind including the harvesting of native materials for commercial purposes;
  - j. planting, introduction, or dispersal of non-native plant or animal species;
  - k. hunting or trapping, except live trapping for purposes of scientific study or removal of non-native species;
  - l. manipulating, impounding or altering any natural watercourse, body of water or water circulation and activities or uses detrimental to water quality, including but not limited to degradation or pollution of any surface or sub-surface waters;
  - m. artificial lighting that illuminates or is directed towards ESHA; and
  - n. other activities that damage the existing flora, fauna or hydrologic conditions;
3. Be recorded with the Office of County Recorder, with a copy of the recorded document provided to the Planning Division.

**Timing:**

Restoration Plan

Prior to issuance of a Zoning Clearance for construction, the Permittee shall provide the Restoration Plan and final site plan to Planning Division staff for review and approval. The Permittee shall record these conditions of approval and provide a copy of the recorded conditions of approval and Restoration Plan to the Planning Division, prior to issuance of a Zoning Clearance for construction. Implementation of the Restoration Plan shall commence prior to issuance of Certificate of Occupancy. The annual reports must be provided to the Planning Division by December 31<sup>st</sup> of each year during the monitoring period.

Offsite Preservation

The Permittee shall submit a Conservation Plan along with the conservation easement(s), deed restriction(s) or other conservation instrument(s), in accordance with the applicable requirements of this condition above, to the Planning Director for review and approval. Prior to issuance of Zoning Clearance for construction, the final recorded conservation easement and/or other legal instrument required by this condition shall be submitted to the Planning Division.

**Monitoring and Reporting:**

Restoration Plan

The Planning Division shall review for approval the Restoration Plan and revised site plan prior to issuing a Zoning Clearance for construction. The Planning Division shall review the Permittee's report with photographs of the restoration area and a description of the restoration work to confirm that implementation of the Restoration Plan has commenced



prior to issuance of a Certificate of Occupancy. The restoration area must be monitored by a County-approved qualified biologist for at least 5 years (or more, if the success criteria have not been met by Year 5). The biologist shall provide an annual report on the status of the restoration area, including results of qualitative monitoring (i.e., photographs taken at permanent photo-points, observations of the health and condition of plantings and wildlife use of the restoration area) and quantitative monitoring (i.e., randomly placed transects to estimate cover and richness), to the Planning Division for the length of the monitoring period. The Permittee shall submit the annual reports to the Planning Division to demonstrate compliance with this condition and the success criteria. The release of the requirement for monitoring the restoration area may occur when the Planning Division determines that the success criteria have been met by Year 5 or later, based on the annual reports and a Planning Division staff site inspection.

### Offsite Preservation

The Planning Division maintains a copy of the recorded conservation easement or deed restriction, or conservation instrument, in the Project file. The Planning Division has the authority to inspect the property subject to the conservation easement or deed restriction, or conservation instrument, to ensure that it is maintained as required. If the Planning Division confirms that the restricted area has not been maintained as required, enforcement actions may be enacted in accordance with § 8183-5 of the *Ventura County Coastal Zoning Ordinance*.

### Mitigation Measure BIO-9: Fuel Modification Plan

**Purpose:** To mitigate potentially significant impacts to ESHA from fuel modification activities.

**Requirement:** The Permittee shall use a County-approved qualified biologist or licensed landscape architect to prepare a Fuel Modification Plan for County Planning review and approval that minimizes impacts to ESHA and meets the Ventura County Fire Protection District's requirements to modify fuels surrounding structures. The Fuel Modification Plan shall specify the methods of modifying vegetation surrounding structures that will avoid impacts to ESHA (e.g., use of hand tools to prune vegetation, thinning shrubs rather than clear-cutting, avoiding rare plants, avoiding nesting birds).

**Documentation:** A Fuel Modification Plan prepared by a County-approved qualified biologist or licensed landscape architect.

**Timing:** The Permittee shall submit a Fuel Modification Plan prior to issuance of a Zoning Clearance for construction.

**Monitoring and Reporting:** The Permittee shall submit the Fuel Modification Plan to Planning Division and the Ventura County Fire Protection District for review and approval to assure compliance with the requirements of this condition prior to issuance of a Zoning Clearance for construction. The Planning Division maintains copies of the Fuel Modification Plan provided by the Permittee in the Project file.

Potential permanent impacts to ESHA and/or ESHA buffers would be adequately mitigated with the implementation of MM-BIO-5 through MM-BIO-9.

Therefore, project-specific impacts would be less than significant and would not result in a cumulatively considerable impact with regard to ESHA and/or ESHA buffers. Residual impacts would be less than significant.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>4E. Habitat Connectivity</b>								
<b>Will the proposed project:</b>								
1) Remove habitat within a wildlife movement corridor?	X				X			
2) Isolate habitat?	X				X			
3) Construct or create barriers that impede fish and/or wildlife movement, migration or long term connectivity or interfere with wildlife access to foraging habitat, breeding habitat, water sources, or other areas necessary for their reproduction?		X				X		
4) Intimidate fish or wildlife via the introduction of noise, light, development or increased human presence?			X				X	

**E. Habitat Connectivity Impact Discussion:**

**4E-1.-4E-4.** Article 2 of Ventura County CZO defines Habitat Connectivity Corridor – An area of contiguous natural habitats of sufficient width to facilitate the movement, migration, foraging, breeding, and dispersal of multiple animal or plant species between two or more core habitat areas. Habitat connectivity corridors facilitate important ecological functions such as seed and wildlife dispersal or pollination. Riparian habitats, streams, canyons, and wooded ridgelines function as habitat connectivity corridors and in some cases, areas of natural vegetation within developed areas may function as a movement corridor for certain species. The proposed project involves the minimal removal of habitat within a wildlife movement corridor, subject to fuel modification requirements and appropriate compensatory offset as required above. Because the project results in minimization of impacts from the removal of habitat within a wildlife

movement corridor, the project would not have a project-specific or cumulative impact on habitat within wildlife movement corridors.

No physical barriers to connectivity exist for the project site; however, certain types of fencing, which are typically erected for residential development, may create barriers to wildlife movement and habitat connectivity. To avoid future barriers to wildlife movement, Mitigation Measure BIO-10 shall be implemented, which will require fencing outside the development footprint to be permeable to wildlife.

In addition, the future occupation of the residence will likely increase levels of noise and human presence above existing levels; however, the increased noise levels are not considered to be significant impacts, as the noise levels are consistent with those typical of a residential development.

No lighting is proposed as part of the project; however, the proposed project will likely incorporate lighting that could have a significant impact on wildlife movement, if it is excessive or shines into adjacent areas with native vegetation. Therefore, Mitigation Measure BIO-11 shall be implemented, which requires the Permittee to submit a lighting plan.

### **Mitigation/Residual Impact(s)**

#### Mitigation Measure BIO-10: Fencing Adjacent to Wildlife Corridors

**Purpose:** To mitigate potentially significant environmental impacts to wildlife migration corridors from fencing.

**Requirement:** The Permittee shall ensure that all new fences or walls, except for those within 100 feet of structures and retaining walls, are permeable to wildlife, and conform to the following standards:

- a. A split-rail, pole, or wire fences must be constructed such that:
  - The top rail or wire is no more than 40 inches above the ground;
  - The top two rails or wires are at least 12 inches apart;
  - The bottom wire or rail is at least 18 inches above the ground;
  - Both the top and bottom wires or rails are smooth (no barbed wire on the top or bottom wires);
  - There are no vertical stays; and
  - The posts are located a minimum of 10 feet apart.
  - Fencing for grazing shall be limited to moveable one or two-strand electric fencing.

**Documentation:** The Permittee shall submit plans to the Planning Division for review and approval, which identify all fences to be constructed on the Project site. These plans must identify the fence locations and include schematic elevations detailing the design of, and materials to be used in, the fencing.

**Timing:** Prior to the issuance of a Zoning Clearance for construction, the Permittee shall submit a site plan which identifies all fences to be constructed on the Project site, to the Planning Division for review and approval. The Permittee shall install the approved fencing, prior to issuance of a Certificate of Occupancy for the principal structure.

**Monitoring and Reporting:** The Planning Division has the authority to conduct site inspections to ensure that the Permittee installs and maintains the fencing in compliance with this condition, consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

Mitigation Measure BIO-11: Wildlife Habitat Outdoor Lighting/Glare Condition

**Purpose:** To mitigate potentially significant environmental impacts from light and glare to wildlife migration corridors and/or wildlife habitat and to implement Ventura County Coastal Zoning Ordinance Sections 8177-4.1.11 (Outdoor Lighting) and Section 8178-2.6.15 (Outdoor Lighting Standards in ESHA and Buffer Zones) to preserve the natural darkness of the night sky, reduce sky glow, minimize light trespass, improve star viewing, and decrease energy consumption.

**Requirement:** All outdoor lighting shall be limited to essential lighting for security lighting at entry gates, principal structures, driveways, or yards, shall be fully shielded, directed downward, and installed and maintained in such a manner to avoid light trespass in excess of 0.1 foot-candles at the vertical plane and the horizontal plane at the edge of the building site to prevent the illumination of surrounding habitat. Outdoor light fixtures shall only be installed outside ESHA and in locations where light trespass into and the direct illumination of ESHA are avoided, except when outdoor lighting is necessary for a resource-dependent use within ESHA that is authorized by Section 8178-2.5. Lighting utilized for private driveway/access road shall be limited to solar light, reflectors or other low lumen options (under 60 lumens) for safe passage. Outdoor light in the ultraviolet spectrum range, uplighting (whether of the building or landscapes or other site improvements), floodlights, lights that blink flash, rotate, fade intermittently or have strobe light illumination are prohibited. Permanent landscape lighting (including string lights) located outside of occupied dining and patio entertainment areas are prohibited. All glass and other materials used on building exteriors and structures must be selected to minimize reflective glare. To minimize light and glare from emanating from the Project site, all light fixtures located on the exterior of structures, as well as all freestanding light standards, must be high cut-off type that divert lighting downward onto the property to avoid the casting of any direct light onto the adjacent habitat.

Site Light Shall Comply with Standards within Ventura County Coastal Zoning Ordinance Section 8177-4.1.11.5 (General Outdoor Lighting Standards) including the following (Except as Exempted in Ventura County Coastal Zoning Ordinance Sections 8177-4.1.11.2 (a), (b)(1), (2) & (4) and (d)):

1. Lighting Color. The correlated color temperature of each outdoor light fixture, except those used for security lighting (see Ventura County Coastal Zoning Ordinance Section 8177-4.1.11.5(h)), shall not exceed 2,700 Kelvin.

2. Maximum Lumens Per Light Fixture. All outdoor lighting shall have a maximum lumen output per light fixture as follows:
  - a. Walkway lighting shall have a maximum output of 100 lumens per light fixture.
  - b. See subsection 5. (Below) for lumen standards regarding security lighting.
  - c. All other lighting shall have a maximum output of 850 lumens.
3. Maximum Height Allowance.
  - a. Lighting fixtures shall be mounted as low as possible for the needed purpose.
  - b. Freestanding light fixtures used to light walkways, or hardscaping shall be located no higher than two feet above ground level.
  - c. In cases where light fixtures are affixed to fences, the top of the fixture shall not be higher than the height of the fence or greater than 6 feet, whichever is less.
  - d. All other freestanding light fixtures shall be no higher than 20 feet above ground level.
4. Dark Hours. Outdoor lighting shall be turned off from 10:00 p.m. until sunrise, or when people are no longer present in exterior areas being illuminated, whichever is the latest. Photocells or photocontrols shall be used to ensure all outdoor lighting is automatically extinguished (or not triggered by motion sensors) when sufficient daylight is available. Automated controls should be fully programmable and supported by battery or similar backup.
5. Essential Lighting.
  - a. Outdoor lighting shall utilize the minimum output necessary for the intended purpose and the correlated color temperature shall be 2700 Kelvin or less. All essential and security lighting shall be controlled by a motion detector or timer programmed to turn off no more than five minutes after activation.
  - b. Outdoor light fixtures used for security lighting shall be attached to legally established buildings or entry gate structures and controlled by motion sensors which extinguish no later than five minutes after activation. Security lighting shall not exceed a maximum output of 2,600 lumens per light fixture.

**Documentation:** The Permittee shall submit two copies of a lighting plan to the Planning Division for review and approval. The Permittee shall include the manufacturer's specifications for each exterior light fixture type (e.g., light standards, bollards, and wall mounted packs) in the lighting plan. The lighting plan must include illumination information within parking areas, pathways and structures proposed throughout the development. The Permittee shall install all exterior lighting in accordance with the approved lighting plan.

**Timing:** The Permittee shall submit the lighting plan to the Planning Division for review and approval, prior to the issuance of a Zoning Clearance for construction. The Permittee shall maintain the lighting pursuant to the approved lighting plan for the life of the Project.

**Monitoring and Reporting:** The Planning Division maintains a stamped copy of the approved lighting plan in the Project file. The Permittee shall ensure that the lighting is installed according to the approved lighting plan prior to the issuance of a Certificate of Occupancy. The Building and Safety Inspector and Planning Division staff have the authority to ensure that the lighting plan is installed according to the approved lighting

plan. The Planning Division has the authority to conduct site inspections to ensure ongoing compliance with this condition consistent with the requirements of 8183-5 of the Ventura County Coastal Zoning Ordinance.

With the implementation of Mitigation Measures BIO-10 and BIO-11, impacts to wildlife movement will be mitigated to a less-than-significant level.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
4F. Will the proposed project be consistent with the applicable General Plan Goals and Policies for Item 4 of the Initial Study Assessment Guidelines?			X				X	

**F. Impact Discussion:**

4F. The proposed project is consistent with the Ventura County General Plan Goals and Policies of the Ventura County Initial Study Assessment Guidelines. The project is consistent with General Plan Biological Resources Policies COS -1.1 (Protection of Sensitive Biological Resources) and COS-1.2 (Consideration of Sensitive Biological Resources) requires discretionary development that could potentially impact biological resources to be evaluated by a qualified biologist to assess impacts, and, if necessary, develop mitigation measures to mitigate any significant impacts to biological resources to less-than-significant. An Initial Study Biological Assessment (ISBA) (DMEC 2022) was prepared for the proposed project. With the implementation of Mitigation Measures BIO-1 through BIO-11 to protect the biological resources identified in the ISBA, the proposed project will be consistent with General Plan Policies COS-1.1 and COS-1.2.

The project site is located within areas that are subject to the Coastal Area Plan. Coastal Area Plan South Coast Santa Monica Mountains Policy 4.4.2.12 requires National Park Service, Coastal Conservancy, the Santa Monica Mountains Conservancy, State Department of Parks and Recreation, County Recreation Services, and Trust for Public Lands be consulted for discretionary entitlement applications that may adversely affect the biological resources. The Planning Division notified and requested comments from the National Parks Service, Santa Monica Mountains Conservancy, California State Coastal Conservancy, California State Parks, the Trust of Public Lands and Ventura County General Services Agency Parks Division regarding the proposed project. To date, no responses have been received.

Additionally, Coastal Area Plan South Coast Santa Monica Mountains Policy 5.8 (b) requires all habitat areas to be permanently maintained in open space through an easement or other appropriate means. The proposed project will be consistent with Coastal Area Plan South Coast Santa Monica Mountains Policy 5.8 (b) with the implementation of Mitigation Measure BIO-8, which will require the Applicant to enhance, restore, establish, and preserve ESHA at a 2:1 mitigation-to-impact ratio (The Permittee

will be required to mitigate 3.045 acres of ESHA at a 2:1 ratio (6.09 acres total). Restoration of 0.25 acres will occur on APN 700-0-060-100 (the project site)). The Permittee shall provide for the permanent protection of 5.84 acres of ESHA in the Santa Monica Mountains by acquiring and conveying APNs 694-0-100-160 and 694-0-100-110 (6 acres) to Mountains Recreation and Conservation Authority (MRCA)) through off-site compensatory mitigation and all onsite ESHA be permanently protected in perpetuity through a conservation easement or deed restriction. As a result, the proposed project is consistent with General Plan Goals and Policies and Coastal Area Plan policies governing biological resources.

**Mitigation/Residual Impact(s)**

With the implementation of Mitigation Measures BIO-1 through BIO-11, residual impacts will be less than significant.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>5A. Agricultural Resources – Soils (Plng.)</b>								
<b>Will the proposed project:</b>								
1) Result in the direct and/or indirect loss of soils designated Prime, Statewide Importance, Unique or Local Importance, beyond the threshold amounts set forth in Section 5a.C of the Initial Study Assessment Guidelines?	X				X			
2) Involve a General Plan amendment that will result in the loss of agricultural soils?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 5A of the Initial Study Assessment Guidelines?	X				X			

**5. Agricultural Resources**

**A. Soils Impact Discussion:**

5A-1. The proposed project site includes soils designated as “Other Land” in the Ventura County Important Farmland Inventory (VCGIS 2022). The proposed project will not result in the removal of classified agricultural soils. Therefore the project will have no project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, related to the loss of agricultural soils designated “Prime,” having “Statewide Importance,” “Unique,” or having “Local Importance.”

5A-2. The proposed project does not include a General Plan amendment that will result in the loss of designated agricultural soils. Therefore, the proposed project will have no impact, and will not make a cumulatively considerable contribution to a significant cumulative impact, related to agricultural soil resources.

5A-3. The proposed project is consistent with the applicable Ventura County General Plan Goals and updated Ventura County General Plan Policies corresponding with Item 5a of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>5B. Agricultural Resources - Land Use Incompatibility (AG.)</b>								
<b>Will the proposed project:</b>								
1) If not defined as Agriculture or Agricultural Operations in the zoning ordinances, be closer than the threshold distances set forth in Section 5b.C of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 5b of the Initial Study Assessment Guidelines?	X				X			

**B. Land Use Incompatibility (Ag. Dept.) Impact Discussion:**

5B-1. The proposed project site is not located on land zoned for agriculture, nor is it directly adjacent to agricultural land in production. In addition, the site is not located within the 300 feet threshold distance set forth in Section 5b.C of the Ventura County Initial Study Assessment Guidelines, to lands that are in agricultural production. Therefore, the proposed project will not have a project-specific impact on agricultural resources, and will not make a cumulatively considerable contribution to a significant cumulative impact related to agricultural resources.

5B-2. The proposed project is consistent with the applicable Ventura County General Plan Goals and updated Ventura County General Plan Policies corresponding with Item 5b of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**



No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>6. Scenic Resources (PIng.)</b>								
<b>Will the proposed project:</b>								
a) Be located within an area that has a scenic resource that is visible from a public viewing location, and physically alter the scenic resource either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable future projects?		X				X		
b) Be located within an area that has a scenic resource that is visible from a public viewing location, and substantially obstruct, degrade, or obscure the scenic vista, either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable future projects?		X				X		
c) Be consistent with the applicable General Plan Goals and Policies for Item 6 of the Initial Study Assessment Guidelines?	X				X			

**6. Scenic Resources Impact Discussion:**

6a. and 6b. The proposed project site does not include any land within the Scenic Resource Protection (SRP) Overlay Zone. However, the site is within the Santa Monica Mountains Overlay Zone. The Santa Monica Mountains consist of sensitive habitats, such as riparian corridors, native chaparral and oak woodlands. The proposed project will not be visible from California State Highway 1 – Pacific Coast Highway or the nearest trails that are part of the Point Mugu State Park Trail System, including Big Sycamore Canyon Trail and Yellow Hill Trail. The California Department of Parks and Recreation’s Yellow Hill Trail is approximately 1.17 miles east of the proposed project site, and Big Sycamore Canyon Trail is approximately 2.6 miles west of the proposed project site. In addition, the proposed project site is located greater than 1,000 feet from publicly owned park lands.

Planning Division staff conducted a site visit on June 16, 2022 and determined that the proposed project site was not significantly visible from public roadways or viewing locations. Further, the proposed project will maintain a low building profile and will be built as a one-story single-family dwelling with a flat roof. The single-family dwelling will be built as a contemporary-modern style residence with open, minimalist decorative elements,

and extensive use of modern or “industrial” mixed materials throughout the home. Mitigation Measure BIO-9 requires the applicant to submit a Fuel Modification Plan that minimizes impacts to ESHA and meets the Ventura County Fire Protection District’s requirements to modify fuels surrounding structures. With the implementation of Mitigation Measures MM BIO-2, MM BIO-9 and MM BIO-8 which will preserve the Environmentally Sensitive Habitat Area (ESHA) onsite and mitigate for lost ESHA, the proposed project will not substantially degrade native vegetation onsite.

PRC § 30240 requires development in areas adjacent to environmentally sensitive habitat areas be designed to prevent impacts which would significantly degrade those areas. Public Resources Code (PRC) § 30251 requires permitted development to be sited and designed to protect views to and along the ocean and scenic coastal areas, to minimize the alteration of natural landforms, to be visually compatible with the character of surrounding areas, and, where feasible, to restore and enhance visual quality in visually degraded areas. In order to ensure that the site blends in with the natural environment of the Santa Monica Mountains, the proposed project will be conditioned to require that the single-family dwelling be painted with earth tone colors. With the design of the house intended to blend in with the natural environment, the proposed project would result in less-than-significant project-specific impacts and would not result in a cumulatively considerable contribution to a significant cumulative impact, related to scenic resources.

Condition of Approval – Scenic Resources: Materials and Colors in the Santa Monica Mountains Overlay Zone

**Purpose:** In order to ensure that buildings and structures comply with Public Resources Code §§ 30240(b) and 30251.

**Requirement:** The Permittee shall utilize natural building materials and colors compatible with surrounding terrain (earth tones and non-reflective paints) on exterior surfaces of all structures, including but not limited to the dwelling, trash area, water tanks, walls, pilasters, and fences.

**Documentation:** A copy of the approved plans denoting the colors and materials. The Permittee shall provide photos of the constructed principal structure/use and landscaping to the Planning Division, or schedule a site inspection with the Planning Division, to verify that the Permittee constructed and painted the principal structure/use and installed landscaping and irrigation according to the approved plans and materials sample/color board.

**Timing:** Prior to the issuance of a Zoning Clearance for construction of the project, the Permittee shall submit the building plans with the colors and materials noted on all structures for review and approval by the Planning Division. Prior to final inspection, the Permittee shall paint the structures according to the approved plans. Prior to Certificate of Occupancy, the Permittee shall provide photographs demonstrating that the Permittee constructed the principal structure or use in compliance with the approved plans and materials sample/color board and all landscaping and irrigation has been installed in

accordance with the approved plans or schedule a site inspection with the Planning Division, to verify that the Permittee constructed and painted the principal structure/use and installed landscaping and irrigation according to the approved plans and materials sample/color board.

**Monitoring and Reporting:** The Planning Division maintains the approved plans in the Project files. Prior to occupancy, the Planning Division has the authority to inspect the site to ensure that the exterior of the structures was treated as approved. The Permittee shall maintain these materials and colors throughout the life of the PD Permit. The Planning Division has the authority to inspect the site to confirm on-going compliance with the approved plans consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

6c. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies and the Ventura County Coastal Area Plan Policies (The South Coast, Santa Monica Mountains Policies 7) for Item 6 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>7. Paleontological Resources</b>								
<b>Will the proposed project:</b>								
a) For the area of the property that is disturbed by or during the construction of the proposed project, result in a direct or indirect impact to areas of paleontological significance?		X				X		
b) Contribute to the progressive loss of exposed rock in Ventura County that can be studied and prospected for fossil remains?	X				X			
c) Be consistent with the applicable General Plan Goals and Policies for Item 7 of the Initial Study Assessment Guidelines?	X				X			

**7. Paleontological Resources Impact Discussion:**

7a. The proposed project site contains native soils classified as residual soil and slopewash or colluvium underlying sedimentary bedrock assigned to the Topanga formation with intrusive volcanics, as discussed in the Geotechnical Report from Gold Coast Geoservices, Inc., dated April 5, 2022 and addendum letter, dated July 26, 2022 (Attachment 7). According to CZO Section 8178-3.2, the Topanga Formation is classified by the Bureau of Land Management as of Moderate Paleontological Resource importance. Area classified Moderate are described as geological units which may contain vertebrate fossils or scientifically significant non-vertebrate fossils, by where occurrences are widely scattered. In such areas, the potential for a project to be sited on or impact a scientifically significant fossil locality is low. Consequently, the proposed Project is below the threshold of significance to require mitigation. Therefore, the proposed project will create a less-than-significant project-specific impact, and will make a less-than-significant cumulatively considerable contribution to a significant cumulative impact, to paleontological resources.

Although the proposed project is unlikely to result in impacts to paleontological resources, future grading activities will be subject to the following condition of approval, to ensure the protection of any subsurface resources that are inadvertently encountered during grading activities.

#### Paleontological Resources Discovered During Grading

**Purpose:** In order to mitigate potential impacts to paleontological resources that may be encountered during ground disturbance or construction activities.

**Requirement:** If any paleontological remains are uncovered during ground disturbance or construction activities, the Permittee shall:

- a. Cease operations and assure the preservation of the area in which the discovery was made;
- b. Notify the Planning Director in writing, within three days of the discovery;
- c. Obtain the services of a paleontological consultant or professional geologist who shall assess the find and provide a report that assesses the resources and sets forth recommendations on the proper disposition of the site;
- d. Obtain the Planning Director's written concurrence with the recommended disposition of the site before resuming development; and
- e. Implement the agreed upon recommendations.

**Documentation:** The Permittee shall submit the paleontologist's or geologist's reports. Additional documentation may be required to demonstrate that the Permittee has implemented the recommendations set forth in the paleontological report.

**Timing:** If any paleontological remains are uncovered during ground disturbance or construction activities, the Permittee shall provide the written notification to the Planning Director within three days of the discovery. The Permittee shall submit the paleontological report to the Planning Division immediately upon completion of the report.

**Monitoring and Reporting:** The Permittee shall provide the paleontological report to the Planning Division to be made part of the Project file. The Permittee shall implement any recommendations made in the paleontological report to the satisfaction of the Planning Director. The paleontologist shall monitor all ground disturbance activities within the area in which the discovery was made, in order to ensure the successful implementation of the recommendations made in the paleontological report. The Planning Division has the authority to conduct site inspections to ensure that the Permittee implements the recommendations set forth in the paleontological report, consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

7b. As described above, the proposed Project overlies a geological area within the Topanga Formation. While the Topanga Formation has the potential for widely scattered fossils, the proposed development activities will not result in the progressive loss of rock suitable for study or fossil retrieval. The project involves grading of the of the area around the proposed building pad and the access road; earthwork quantities estimated in the preliminary grading plan are 4,308 cubic yards (cu. yds.) of cut, 2,835 cu. yds. of fill and 14,473 cu yds. of export. Grading cross section in the Geotechnical Report (Attachment 7) indicate a relatively shallow but wide area of grading necessary to achieve the stabilization and drainage recommendations (approximately 3-5 feet). Based on this information, the proposed Project will not contribute to the progressive loss of exposed rock that can be studied and prospected for fossil remains.

7c. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 7 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>8A. Cultural Resources - Archaeological</b>								
<b>Will the proposed project:</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Demolish or materially alter in an adverse manner those physical characteristics that account for the inclusion of the resource in a local register of historical resources pursuant to Section 5020.1(k) requirements of Section 5024.1(g) of the Public Resources Code?		X				X		
2) Demolish or materially alter in an adverse manner those physical characteristics of an archaeological resource that convey its archaeological significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for the purposes of CEQA?		X				X		
3) Be consistent with the applicable General Plan Goals and Policies for Item 8A of the Initial Study Assessment Guidelines?	X				X			

## 8. Cultural Resources

### A. Archaeological Impact Discussion:

8A-1. The project site is not located within a 0.25-mile radius of recorded prehistoric or historical archaeological sites. The applicant retained an archaeologist to prepare a Phase I Cultural Resources Assessment (Cogstone., February 2022) to evaluate the proposed project's potential to adversely affect archaeological resources. The Phase I record search with the South Central Coastal Information Center and surface survey of the project site did not reveal the presence of archaeological resources. In addition to the Phase I study, the Planning Division staff contacted local Native American representatives in August 2022 pursuant to Public Resource Code 21080.3.1 et seq (AB52) for comment and review. No responses were received regarding the proposed project.

Although the project is unlikely to result in impacts to Archaeological, future grading activities subject to the following conditions of approval to ensure the protection of any subsurface resources that are inadvertently encountered during grading.

**Purpose:** In order to mitigate potential impacts to archaeological resources discovered during ground disturbance.

**Requirement:** The Permittee shall implement the following procedures:

1. If any archaeological or historical artifacts are uncovered during ground disturbance or construction activities, the Permittee shall:

- (1) Cease operations and assure the preservation of the area in which the discovery was made;
- (2) Notify the Planning Director in writing, within three days of the discovery;
- (3) Obtain the services of a County-approved archaeologist who shall assess the find and provide recommendations on the proper disposition of the site in a written report format;
- (4) Obtain the Planning Director's written concurrence of the recommended disposition of the site before resuming development; and
- (5) Implement the agreed upon recommendations.

2. If any human burial remains are encountered during ground disturbance or construction activities, the Permittee shall:

- (1) Cease operations and assure the preservation of the area in which the discovery was made;
- (2) Immediately notify the County Coroner and the Planning Director;
- (3) Obtain the services of a County-approved archaeologist and, if necessary, Native American Monitor(s), who shall assess the find and provide recommendations on the proper disposition of the site in a written report format;
- (4) Obtain the Planning Director's written concurrence of the recommended disposition of the site before resuming development on-site; and
- (5) Implement the agreed upon recommendations.

**Documentation:** If archaeological remains are encountered, the Permittee shall submit a report prepared by a County-approved archaeologist including recommendations for the proper disposition of the site. Additional documentation may be required to demonstrate that the Permittee has implemented any recommendations made by the archaeologist's report.

**Timing:** If any archaeological remains are uncovered during ground disturbance or construction activities, the Permittee shall provide the written notification to the Planning Director within three days of the discovery. The Permittee shall submit the archaeological report to the Planning Division immediately upon completion of the report.

**Monitoring and Reporting:** The Permittee shall provide the archaeological report to the Planning Division to be made part of the Project file. The Permittee shall implement any recommendations made in the archaeological report to the satisfaction of the Planning Director. The archaeologist shall monitor all ground disturbance activities within the area in which the discovery was made, in order to ensure the successful implementation of the recommendations made in the archaeological report. The Planning Division has the authority to conduct site inspections to ensure that the Permittee implements the recommendations set forth in the archaeological report, consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

With the inclusion of Archaeological Resources Condition, the proposed project would not demolish or materially alter in an adverse manner the physical characteristics of an archaeological resource in a local register, pursuant to Section 5020.1(k) requirements of Section 5024.1(g) of the Public Resources Code. Therefore, the proposed project will have a less than significant impact on archaeological resources. Furthermore, the proposed project will not make a cumulatively considerable contribution to a significant cumulative impact related to archaeological resources.

8A-2. As stated in Section 8a-1 of this Initial Study (above), the Phase I record search and surface survey of the project site did not reveal the presence of archaeological resources. The proposed project will not demolish or materially alter in an adverse manner the physical characteristics that justify a resource’s inclusion in the California Register of Historical Resources. With the inclusion of Archaeological Resources Condition 1, the proposed project will have a less than significant impact on archaeological resources. Furthermore, the proposed project will not make a cumulatively considerable contribution to a significant cumulative impact to archaeological resources.

8A-3. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 8a of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>8B. Cultural Resources – Historic (PIng.)</b>								
<b>Will the proposed project:</b>								



Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Demolish or materially alter in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources?	X				X			
2) Demolish or materially alter in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to Section 5020.1(k) of the Public Resources Code or its identification in a historical resources survey meeting the requirements of Section 5024.1(g) of the Public Resources Code?	X				X			
3) Demolish or materially alter in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA?	X				X			
4) Demolish, relocate, or alter an historical resource such that the significance of the historical resource will be impaired [Public Resources Code, Sec. 5020(q)]?	X				X			

**B. Historical Impact Discussion:**

8B-1 – 8B4. The subject property currently does not include any existing development other than two cleared areas and the existing well location. Therefore, the proposed project will have no impact on historical resources. Furthermore, the proposed project will not make a cumulatively considerable contribution to a significant cumulative impact to historical resources.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>9. Coastal Beaches and Sand Dunes</b>								
<b>Will the proposed project:</b>								
a) Cause a direct or indirect adverse physical change to a coastal beach or sand dune, which is inconsistent with any of the coastal beaches and coastal sand dunes policies of the California Coastal Act, corresponding Coastal Act regulations, Ventura County Coastal Area Plan, or the Ventura County General Plan Goals, Policies and Programs?	X				X			
b) When considered together with one or more recently approved, current, and reasonably foreseeable probable future projects, result in a direct or indirect, adverse physical change to a coastal beach or sand dune?					X			
c) Be consistent with the applicable General Plan Goals and Policies for Item 9 of the Initial Study Assessment Guidelines?	X				X			

**9. Coastal Beaches and Sand Dunes Impact Discussion:**

9a and 9b. The proposed project is located within the Coastal Zone/Santa Monica Mountains Overlay Zone of the County of Ventura’s Local Coastal Program. The project site is approximately 0.9 miles north of the Pacific Ocean and ranges in elevation from approximately 825 to 940 feet above mean sea level. The proposed project’s distance from the coast does not have the potential to adversely impact a coastal beach or sand dune. Therefore, the proposed project will not create a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, to coastal beaches or sand dunes.

9c. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 9 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>10. Fault Rupture Hazard (PWA)</b>								
<b>Will the proposed project:</b>								
a) Be at risk with respect to fault rupture in its location within a State of California designated Alquist-Priolo Special Fault Study Zone?	X							
b) Be at risk with respect to fault rupture in its location within a County of Ventura designated Fault Hazard Area?	X							
c) Be consistent with the applicable General Plan Goals and Policies for Item 10 of the Initial Study Assessment Guidelines?	X				X			

**HAZARDS:**

**10. Fault Rupture Impact Discussion:**

Any discussion of potential impacts of fault rupture hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

10a. -10b. There are no known active or potentially active faults extending through the project site, as evidenced by the Earthquake Zones of Required Investigation interactive map published by the California Geological Survey in accordance with the Alquist-Priolo Earthquake Fault Zoning Act. Furthermore, the proposed single-family dwelling is not within 50 feet of a mapped surface trace of an active fault. Therefore, the proposed project will not result in a project-specific impact from a potential fault rupture hazard.

The hazards from fault rupture will affect each project individually, and no cumulative fault rupture impacts will occur as a result of other approved, proposed, or probable projects.

10c. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 9 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>11. Ground Shaking Hazard (PWA)</b>								
<b>Will the proposed project:</b>								
a) Be built in accordance with all applicable requirements of the Ventura County Building Code?		X						
b) Be consistent with the applicable General Plan Goals and Policies for Item 11 of the Initial Study Assessment Guidelines?	X				X			

**11. Ground Shaking Hazard Impact Discussion:**

Any discussion of potential impacts of ground shaking hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

11a. and 11b. The property will be subject to moderate to strong ground shaking from seismic events on local and regional fault systems. The present County of Ventura Building code adopted from the California Building Code, dated 2022, Chapter 16, Section 1613 requires the structures be designed to withstand this ground shaking. These parameters may need to be updated to the building code in effect at the time the application for a building permit is submitted. The requirements of the building code will reduce the effects of ground shaking to less than significant.

The hazards from ground shaking will affect each project individually; and no cumulative ground shaking hazard will occur as a result of other approved, proposed, or probable projects.

Therefore, the project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 11 of the *Ventura County Initial Study Assessment Guidelines*.

The hazards from ground shaking will affect each project individually; and no cumulative ground shaking hazard will occur as a result of other approved, proposed, or probable projects.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>12. Liquefaction Hazards (PWA)</b>								
<b>Will the proposed project:</b>								
a) Expose people or structures to potential adverse effects, including the risk of loss, injury, or death involving liquefaction because it is located within a Seismic Hazards Zone?	X							
b) Be consistent with the applicable General Plan Goals and Policies for Item 12 of the Initial Study Assessment Guidelines?	X				X			

**12. Liquefaction Hazards Impact Discussion:**

Any discussion of potential impacts of liquefaction hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

12a. The project site is not located within a potential liquefaction zone based on the review of the applicable GIS Map (Ventura County GIS 2022). This map is a compilation of the State of California Seismic Hazards Maps for the County of Ventura and is used as the basis for delineating the potential liquefaction hazards within the County. Consequently, liquefaction is not a factor for the proposed project and the site is not within a State of California Seismic Hazards zone for liquefaction. There is no impact from potential hazards from liquefaction.

The hazards from liquefaction will affect each project individually; and no cumulative liquefaction hazard will occur as a result of other approved, proposed, or probable projects.

12b. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 12 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>13. Seiche and Tsunami Hazards (PWA)</b>								
<b>Will the proposed project:</b>								
a) Be located within about 10 to 20 feet of vertical elevation from an enclosed body of water such as a lake or reservoir?								
b) Be located in a mapped area of tsunami hazard as shown on the County General Plan maps?								
c) Be consistent with the applicable General Plan Goals and Policies for Item 13 of the Initial Study Assessment Guidelines?								

**13. Seiche and Tsunami Hazards Impact Discussion:**

Any discussion of potential impacts of seiche and tsunami hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

13a. The site is not located adjacent to a closed or restricted body of water based on aerial imagery review (Ventura County GIS 2022) and is not subject to seiche hazard. There is no hazard from potential seiche and no impact to the proposed project.

The hazards from seiche and tsunami will affect each project individually; and no cumulative seiche and tsunami hazard will occur as a result of other approved, proposed, or probable projects.

13b. The project is not mapped within a tsunami inundation zone based on the Ventura County General Plan, Hazards Appendix, Figure 2.6, dated October 22, 2013. There is no impact from potential hazards from tsunami.

The hazards from seiche and tsunami will affect each project individually; and no cumulative seiche and tsunami hazard will occur as a result of other approved, proposed, or probable projects.

13c. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 13 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>14. Landslide/Mudflow Hazard (PWA)</b>								
<b>Will the proposed project:</b>								
a) Result in a landslide/mudflow hazard, as determined by the Public Works Agency Certified Engineering Geologist, based on the location of the site or project within, or outside of mapped landslides, potential earthquake induced landslide zones, and geomorphology of hillside terrain?		X						
b) Be consistent with the applicable General Plan Goals and Policies for Item 14 of the Initial Study Assessment Guidelines?		X				X		

**14. Landslide/Mudflow Hazard Impact Discussion:**

Any discussion of potential impacts from landslide/mudflow hazards is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

14a. Based on review of available maps, publications and/or field information, the Public Works Agency has determined that the project site is within the area designated for Actual and Potential Mapped Landslide area and Earthquake Induced Landslide area (Ventura County GIS 2022), but that a sufficient project slope stability factor of safety can be applied to the project.

Specifically, the submitted Geotechnical Report (Attachment 7) addresses landslides/mudflow hazards and includes the following grading recommendations:

1. Removal and recompaction of the pad grading area with a minimum fill thickness of 24 inches below the foundation construction depth a minimum of 5 feet beyond the proposed building area, consisting of no more than 50 % rock material (at least 50 % or more sand or clayey sand);
2. For non-building pad areas used for landscaping and utility line construction, consideration may be given to over-excavation and recompaction to facilitate excavations that would otherwise encounter very hard bedrock;
3. An equipment width key shall be established at the toe of the proposed fill slope at the south side of the building pad extending a minimum of 12 inches into dense bedrock;

4. Spread footing, continuous footings, or independent footings may be used to support the proposed structure foundation as slab on grade structures;

All project components and structures would be designed in conformance with the Coastal Zoning Ordinance, the Fire Code, the Building Code, and standard permit conditions of approval.

Based on the above discussion, project-specific impacts resulting from landslides/mudflow hazards due to the project's location within a mapped landslide, and potential earthquake induced landslide zone would be less than significant with the inclusion of the conformance requirements discussed above, and the proposed project would not result in a cumulatively considerable impact.

The hazards from landslides/mudslides will affect each project individually; and no cumulative landslide/mudslide hazard will occur as a result of other approved, proposed, or probable projects.

14b. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 14 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No Mitigation Required

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>15. Expansive Soils Hazards (PWA)</b>								
<b>Will the proposed project:</b>								
a) Expose people or structures to potential adverse effects, including the risk of loss, injury, or death involving soil expansion because it is located within a soils expansive hazard zone or where soils with an expansion index greater than 20 are present?		X						
b) Be consistent with the applicable General Plan Goals and Policies for Item 15 of the Initial Study Assessment Guidelines?		X				X		

**15. Expansive Soils Hazards Impact Discussion:**

The hazards from expansive soils will affect each project individually; and no cumulative expansive soils hazard will occur as a result of other approved, proposed, or probable projects.



15a. The Public Works Agency has reviewed geotechnical reports for the project site, regional data, and soil evaluations prepared by the U.S. Department of Agriculture, Soil Conservation Service to determine whether the project is subject to expansive soil hazards. To evaluate the expansion index of soils in the project area, the geotechnical report referred to the latest edition of the American Society for Testing and Materials (ASTM) D4829-21. The geotechnical report and soil evaluation (Attachment 8) determined that the project site contains near surface soils with an expansion index of 46. According to the ATSM Standards, the identified expansion index has a low expansion potential.

15b. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 15 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>16. Subsidence Hazard (PWA)</b>								
<b>Will the proposed project:</b>								
a) Expose people or structures to potential adverse effects, including the risk of loss, injury, or death involving subsidence because it is located within a subsidence hazard zone?	X							
b) Be consistent with the applicable General Plan Goals and Policies for Item 16 of the Initial Study Assessment Guidelines?	X				X			

**16. Subsidence Hazard Impact Discussion:**

Any discussion of potential impacts from subsidence hazards is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

16a. The subject property is not within one of the identified areas subject to subsidence hazards as depicted in Figure 4.1-1 Subsidence Due to Groundwater Pumping (General Plan EIR, September 2020). In addition, the proposed project does not involve the development of an oil, gas or groundwater withdrawal facility and therefore, the project is considered to have no impact on the hazard of subsidence.

The hazards from subsidence will affect each project individually; and no cumulative subsidence hazard will occur as a result of other approved, proposed, or probable projects.

16b. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 16 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>17a. Hydraulic Hazards – Non-FEMA (PWA)</b>								
<b>Will the proposed project:</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Result in a potential erosion/siltation hazard and flooding hazard pursuant to any of the following documents (individually, collectively, or in combination with one another): <ul style="list-style-type: none"> <li>• 2007 Ventura County Building Code Ordinance No.4369</li> <li>• Ventura County Land Development Manual</li> <li>• Ventura County Subdivision Ordinance</li> <li>• Ventura County Coastal Zoning Ordinance</li> <li>• Ventura County Non-Coastal Zoning Ordinance</li> <li>• Ventura County Standard Land Development Specifications</li> <li>• Ventura County Road Standards</li> <li>• Ventura County Watershed Protection District Hydrology Manual</li> <li>• County of Ventura Stormwater Quality Ordinance, Ordinance No. 4142</li> <li>• Ventura County Hillside Erosion Control Ordinance, Ordinance No. 3539 and Ordinance No. 3683</li> <li>• Ventura County Municipal Storm Water NPDES Permit</li> <li>• State General Construction Permit</li> <li>• State General Industrial Permit</li> <li>• National Pollutant Discharge Elimination System (NPDES)?</li> </ul>	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 17A of the Initial Study Assessment Guidelines?	X				X			

## 17. Hydraulic Hazards

### A. Non-FEMA Hazards Impact Discussion:

17A-1. Based on review of the project Hydrology and Hydraulics Report prepared by Chris Nelson & Associates, Inc., dated July 2022 (Attachment 8), the difference between the cumulative pre- and post-development flowrates for 10-year storm event is 0.00 cubic feet per second (cfs). The post-development conditions will generally maintain similar drainage patterns to the pre-development drainage conditions. Therefore, the project does not result in an increased potential for erosion/siltation hazards or flood hazards.

17A-2. Per the drainage report (Attachment 8) included in the project submittal, the proposed site storm water runoff volumes will not be increased from the existing conditions. Future construction will be completed according to current codes and standards. Therefore, the project is consistent with the applicable General Plan Goals and Policies for Item 17a of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>17b. Hydraulic Hazards – FEMA (WPD)</b>								
<b>Will the proposed project:</b>								
1) Be located outside of the boundaries of a Special Flood Hazard Area and entirely within a FEMA-determined 'X-Unshaded' flood zone (beyond the 0.2% annual chance floodplain: beyond the 500-year floodplain)?	X				X			
2) Be located outside of the boundaries of a Special Flood Hazard Area and entirely within a FEMA-determined 'X-Shaded' flood zone (within the 0.2% annual chance floodplain: within the 500-year floodplain)?	X				X			
3) Be located, in part or in whole, within the boundaries of a Special Flood Hazard Area (1% annual chance floodplain: 100-year), but located entirely outside of the boundaries of the Regulatory Floodway?	X				X			
4) Be located, in part or in whole, within the boundaries of the Regulatory Floodway, as determined using the 'Effective' and latest available DFIRMs provided by FEMA?	X				X			
5) Be consistent with the applicable General Plan Goals and Policies for Item 17B of the Initial Study Assessment Guidelines?	X				X			

**B. FEMA Hazards Impact Discussion:**

17B-1 – 17B-4. The site is not located in or adjacent to a Federal Emergency Management Agency (FEMA) 1% annual chance (100-year); the site is located within an area with an unprinted Flood Rate Insurance Map - Panel Number 06111C1129F (dated January 29, 2021).

The project site is located in a Zone X (No Screen) an area with a minimal flood hazard. The nearest floodplain is the Pacific Ocean which is located approximately 1 mile to the south and down slope of the site. Therefore, a Floodplain Development Permit and a Floodplain Clearance are not required. The proposed project will not result in project-related impacts related to flooding, or contribute to cumulative impacts related to flooding. As such, the proposed project is considered to be less than significant.

17B-5. The project site is not in a FEMA Special Flood Hazard Area (100-year floodplain). The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 17B of the Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>18. Fire Hazards (VCFPD)</b>								
<b>Will the proposed project:</b>								
a) Be located within High Fire Hazard Areas/Fire Hazard Severity Zones or Hazardous Watershed Fire Areas?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 18 of the Initial Study Assessment Guidelines?		X				X		

**18. Fire Hazards Impact Discussion:**

18a. The project is located in a High Fire Hazard Area/Fire Hazard Severity Zone, Very High within a State Responsibility Area. The project will comply with all applicable Federal, State regulations and the requirements of the Ventura County Building Code and the Fire Code. Therefore, the proposed project will not create a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, related to fire hazards.

18b. The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 18 of the Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>19. Aviation Hazards (Airports)</b>								
<b>Will the proposed project:</b>								
a) Comply with the County's Airport Comprehensive Land Use Plan and pre-established federal criteria set forth in Federal Aviation Regulation Part 77 (Obstruction Standards)?	X				X			
b) Will the proposed project result in residential development, a church, a school, or high commercial business located within a sphere of influence of a County airport?	X				X			
c) Be consistent with the applicable General Plan Goals and Policies for Item 19 of the Initial Study Assessment Guidelines?	X				X			

**19. Aviation Hazards Impact Discussion:**

19a. The proposed Project site is not located within the sphere of influence of a County-operated airport. The nearest County airport is the Camarillo Airport, which is located approximately 12 miles to the northwest of the proposed project site. Point Mugu Naval Air Station (Naval Base Ventura County), is approximately 7 miles from the project site. The proposed project will not involve any obstructions to navigable airspace, as all possible future development on-site will be limited to a maximum height of 17.5 feet. Therefore, the proposed project will comply with the County's Airport Comprehensive Land Use Plan and pre-established federal criteria set forth in Federal Aviation Regulation Part 77 (Obstruction Standards). The proposed project will not have a significant project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact related to aviation hazards.

19c. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 19 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>20a. Hazardous Materials/Waste – Materials (EHD/Fire)</b>								
<b>Will the proposed project:</b>								
1) Utilize hazardous materials in compliance with applicable state and local requirements as set forth in Section 20a of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 20a of the Initial Study Assessment Guidelines?	X				X			

## 20. Hazardous Materials/Waste

### A. Hazardous Materials Impact Discussion:

20A-1. The proposed project is a residential development and will not utilize hazardous materials which require permitting or inspection from Ventura County Environmental Health Division/Certified Unified Program Agency but may use hazardous materials typically associated with construction activities. Improper storage, handling, and disposal of these materials may contribute to adverse impacts to the environment. Compliance with applicable state and local regulations will reduce the potential environmental impact. No project specific or cumulative impact related to hazardous materials is expected.

20a-2. The proposed project will be consistent with the General Plan for Item 20a of the *Ventura County Initial Study Assessment Guidelines* through proper handling, storage, and disposal of hazardous materials during construction activities.

### Mitigation/Residual Impact(s)

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>20b. Hazardous Materials/Waste – Waste (EHD)</b>								
<b>Will the proposed project:</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Comply with applicable state and local requirements as set forth in Section 20b of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 20b of the Initial Study Assessment Guidelines?	X				X			

**B. Hazardous Waste Impact Discussion:**

20b-1. The proposed project is a residential planned development and will not generate hazardous wastes which require a Ventura County Environmental Health Division/Certified Unified Program Agency permit. No project specific or cumulative impact related to hazardous waste is expected.

20b-2. The proposed project will not generate hazardous waste and is consistent with the General Plan for Item 20b of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>21. Noise and Vibration</b>								
<b>Will the proposed project:</b>								



Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
a) Either individually or when combined with other recently approved, pending, and probable future projects, produce noise in excess of the standards for noise in the Ventura County General Plan Goals, Policies and Programs (Section 2.16) or the applicable Area Plan?	X				X			
b) Either individually or when combined with other recently approved, pending, and probable future projects, include construction activities involving blasting, pile-driving, vibratory compaction, demolition, and drilling or excavation which exceed the threshold criteria provided in the Transit Noise and Vibration Impact Assessment (Section 12.2)?	X				X			
c) Result in a transit use located within any of the critical distances of the vibration-sensitive uses listed in Table 1 (Initial Study Assessment Guidelines, Section 21)?	X				X			
d) Generate new heavy vehicle (e.g., semi-truck or bus) trips on uneven roadways located within proximity to sensitive uses that have the potential to either individually or when combined with other recently approved, pending, and probable future projects, exceed the threshold criteria of the Transit Use Thresholds for rubber-tire heavy vehicle uses (Initial Study Assessment Guidelines, Section 21-D, Table 1, Item No. 3)?	X				X			
e) Involve blasting, pile-driving, vibratory compaction, demolition, drilling, excavation, or other similar types of vibration-generating activities which have the potential to either individually or when combined with other recently approved, pending, and probable future projects, exceed the threshold criteria provided in the Transit Noise and Vibration Impact Assessment [Hanson, Carl E., David A. Towers, and Lance D. Meister. (May 2006) Section 12.2]?	X				X			

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
f) Be consistent with the applicable General Plan Goals and Policies for Item 21 of the Initial Study Assessment Guidelines?	X				X			

The evaluation of noise and vibration impacts on future residential uses that may be established on the proposed project site is not required pursuant to CEQA and is provided in this Initial Study solely for the purposes of disclosure.

**21.Noise and Vibration Impact Discussion:**

21a. In order to determine whether a project will result in a significant noise impact, the Ventura County Initial Study Assessment Guidelines set forth standards to determine whether the proposed use is a “Noise Sensitive Use” or a “Noise Generator.” Noise sensitive uses are dwellings, schools, hospitals, nursing homes, churches and libraries. The proposed project, consisting of a single-family dwelling unit and accessory structures, is considered a noise sensitive use.

The proposed project is located near State Route 1 (Pacific Coast Highway), but is outside the CNEL 60dB(A) noise contour as mapped in the Resource Management Agency Geographic Information System (RMAGIS) noise contour maps. Therefore, future residential uses on the proposed location will not be subject to noise levels from traffic along State Route 1, which are incompatible with residential uses. In addition, the proposed project site is not located near any railroads or airports (both of which are approximately 12 miles and 10 miles away, respectively). Therefore, the proposed project will not be subject to unacceptable levels of noise from these noise generators.

21b. Although construction is unlikely to generate excessive ground-borne vibration or ground-borne noise levels, the proposed project will be subject to a condition of approval, to ensure that development of the proposed project complies with the requirements of the Ventura County General Plan Goals, Policies and Programs Policy HAZ-9.2 Noise Compatibility Standards. Therefore, the proposed project will not have a project-specific vibratory impact, and will not make a cumulatively considerable contribution to a significant cumulative vibratory impact, related to vibration-generating activities.

21c. The proposed project does not involve the creation of a vibration-generating transit use. Therefore, the proposed project will not have a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, related to the creation of a transit use located within any of the critical distances of the vibration-sensitive uses listed in Table 1 of the *Ventura County Initial Study Assessment Guidelines* (Section 21).

21d. The project site will extend an unnamed access road connecting to Yerba Buena Road. Portions of unnamed access road to the Project site are unpaved. Approximately 1,650 linear feet will be paved prior to the commencement of combustible construction onsite. The proposed project will not involve the use of semi-trucks or buses. The nearest sensitive receptor to the to the project site is located approximately 1,200 feet to the south. Therefore, the proposed project will not have a project-specific vibratory impact and will not make a cumulatively considerable contribution to a significant cumulative vibratory impact, related to the use of rubber-tire heavy vehicle uses.

21e. The temporary construction activities required to develop the project site as described in the Section A6, Project Description, of this Initial Study may include blasting, pile-driving vibratory compaction, demolition, drilling, excavation, or other similar types of vibration-generating activities. Equipment expected to be used includes such heavy machinery as backhoes, compactors, concrete mixers, dozers, graders, loaders, pile drivers, rollers, scrapers, shovels, and trucks. Although the proposed development is unlikely to generate excessive ground-borne vibration or ground-borne noise levels, it will be subject to the following standard condition of approval limiting construction hours. This condition is designed to ensure compliance with *Ventura County General Plan Policy HAZ-9.2 (Noise Compatibility Standards)*. As specified in the standard condition of approval, noise generating activities will be prohibited during nighttime hours, the applicant will be responsible to monitor noise, and a sign will be posted with the applicant's contact information.

#### Condition of Approval – Construction Noise:

**Purpose:** In order for this project to comply with the Ventura County General Plan Goals, Policies and Programs Hazards Policy HAZ-9.2 and the County of Ventura Construction Noise Threshold Criteria and Control Plan (Amended 2010).

**Requirement:** The Permittee shall limit construction activity for site preparation and development to the hours between 7:00 a.m. and 7:00 p.m., Monday through Friday, and from 9:00 a.m. to 7:00 p.m. Saturday, Sunday, and State holidays. Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions.

**Documentation:** The Permittee shall post a sign stating these restrictions in a conspicuous location on the Project site, in order so that the sign is visible to the general public. The Permittee shall provide photo documentation showing posting of the required signage to the Planning Division, prior to the commencement of grading and construction activities. The sign must provide a telephone number of the site foreman, or other person who controls activities on the jobsite, for use for complaints from the public. The Permittee shall maintain a "Complaint Log," noting the date, time, complainant's name, complaint, and any corrective action taken, in the event that the Permittee receives noise complaints. The Permittee must submit the "Complaint Log" to the Planning Division upon the Planning Director's request.

**Timing:** The Permittee shall install the sign prior to the issuance of a building permit and throughout all grading and construction activities. The Permittee shall maintain the signage on-site until all grading and construction activities are complete. If the Planning Director requests the Permittee to submit the “Complaint Log” to the Planning Division, the Permittee shall submit the “Complaint Log” within one day of receiving the Planning Director’s request.

**Monitoring and Reporting:** The Planning Division reviews, and maintains in the Project file, the photo documentation of the sign and the “Complaint Log.” The Planning Division has the authority to conduct site inspections and take enforcement actions to ensure that the Permittee conducts grading and construction activities in compliance with this condition, consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

Because the project will be of a limited duration and construction activities will be limited to certain hours, the proposed project will have a less-than-significant project-specific and cumulative impact related to vibration-generating activities.

21f. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 21 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>22. Daytime Glare</b>								
<b>Will the proposed project:</b>								
a) Create a new source of disability glare or discomfort glare for motorists travelling along any road of the County Regional Road Network?	X				X			
b) Be consistent with the applicable General Plan Goals and Policies for Item 22 of the Initial Study Assessment Guidelines?	X				X			

**22. Daytime Glare Impact Discussion:**

22a. The Ventura County Initial Study Assessment Guidelines describe daytime glare as intense light that is blinding or discomforting to humans. Conditions that create daytime glare are typically caused by the reflection of sunlight from highly reflective surfaces at or above eye level. Daytime glare is caused by the reflective surfaces of buildings, structures, or facilities constructed with materials such as metal or glass. The project site is situated behind a ridge and would not be visible from any road in the County Regional Road Network, and, therefore, does not have the potential to create a new source of disability glare or discomfort glare for motorists. As discussed in Section 6A of this initial study, the Permittee shall utilize natural building materials and colors (earth tones and non-reflective paints) on exterior surfaces of all structures. Additionally, as discussed in Section 4E of this Initial Study, Mitigation Measure BIO-11 requires the Permittee to submit a lighting plan to ensure that new light sources associated with the proposed project would not illuminate areas outside of the project area. Therefore, the proposed project will not have a significant project-specific impact due to the creation of daytime glare and will not make a cumulatively considerable contribution to a significant cumulative impact associated with disability or discomfort glare.

22b. The proposed project is consistent with the updated Ventura County General Plan Goals and Policies) corresponding to the requirements of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>23. Public Health (EHD)</b>								
<b>Will the proposed project:</b>								
a) Result in impacts to public health from environmental factors as set forth in Section 23 of the Initial Study Assessment Guidelines?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 23 of the Initial Study Assessment Guidelines?		X				X		

**23. Public Health Impact Discussion:**

23a. The proposed project has the potential to impact public health due to the use of onsite wastewater disposal systems (OWTS). An OWTS that is undersized, improperly installed, failing, or poorly maintained has the potential to create a public nuisance and/or

contaminate groundwater. Potential impacts can be reduced to less than significant with adherence to state and local OWTS regulations and proper maintenance of tanks and disposal fields. Septic tanks must be pumped by a Ventura County Environmental Health Division permitted pumper truck and septage wastes must be disposed of in an approved manner.

23b. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 23 of the *Ventura County Initial Study Assessment Guidelines*, provided the septic systems are properly installed and maintained so as not to contaminate groundwater or create a public nuisance.

**Mitigation/Residual Impact(s)**

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>24. Greenhouse Gases (VCAPCD)</b>								
<b>Will the proposed project:</b>								
a) Result in environmental impacts from greenhouse gas emissions, either project specifically or cumulatively, as set forth in CEQA Guidelines §§ 15064(h)(3), 15064.4, 15130(b)(1)(B) and -(d), and 15183.5?		X				X		

**24. Greenhouse Gases Impact Discussion:**

24a. Neither APCD nor the County has adopted a threshold of significance applicable to Greenhouse Gas (GHG) emissions from projects subject to the County’s discretionary land use permitting authority. The County has, however, routinely applied a 10,000 metric tons carbon dioxide equivalent per year (MTCO<sub>2</sub>e/Yr) threshold of significance to industrial projects, in accordance with CEQA Guidelines Section 15064.4(a)(2). APCD has concurred with the County’s approach. APCD supports the application of this numeric threshold as stated in the GHG Threshold Report APCD published in 2011 at the request of the APCD Board, which concludes “Unless directed otherwise, District staff will continue to evaluate and develop suitable interim GHG threshold options for Ventura County with preference for GHG threshold consistency with the South Coast AQMD and the SCAG region”. The South Coast AQMD at the same time proposed an interim screening threshold of 3,000 MTCO<sub>2</sub>e/Yr for commercial/residential projects. Industrial projects or facilities are defined as stationary emission sources that have or are required to have an APCD Permit to Operate.

Based on information provided by the applicant, greenhouse gas impacts will be less than significant. The total GHG emissions are approximately 15.37 MT CO<sub>2</sub>e/Yr (operational and construction amortized over 30 years). This is well below the recommended 3,000 MT CO<sub>2</sub>e/Yr interim numerical threshold for residential and commercial projects from the adjacent air district (SCAQMD). Determination was based on information provided by the applicant for one 4,880 ft<sup>2</sup> single family dwelling unit, including their energy being supplied by solar panels on-site. The CalEEMod version 2020.4 air emissions model was used using a single-family dwelling residential land use setting for mobile emissions and trip information from the ITE's Trip Generation Manual, 11th Edition. A copy of the air emission model report is attached (Attachment 9).

**Mitigation/Residual Impact(s)**

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>25. Community Character (PInG.)</b>								
<b>Will the proposed project:</b>								
a) Either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable probable future projects, introduce physical development that is incompatible with existing land uses, architectural form or style, site design/layout, or density/parcel sizes within the community in which the project site is located?	X				X			
b) Be consistent with the applicable General Plan Goals and Policies for Item 25 of the Initial Study Assessment Guidelines?	X				X			

**LAND USE:**

**25. Community Character Impact Discussion:**

25a. The project site is located in the Santa Monica Mountains in the Malibu community. The area surrounding the project site consists primarily of open space and rural residential development. Camp Hess Kramer, a private recreation camp, is located south and west of the project site.

The subject property is 5.0 acres in size and is zoned COS-10ac-sfd/M. The lots surrounding the project site are also zoned COS-10ac-sfd/M and range from approximately five acres to 40 acres in size. The surrounding areas are presently undeveloped and zoned COS-10ac-sfd/M.

The project site is approximately 940 ft. above sea level and is located 1 mile inland from the coast. The project site is currently undeveloped, except for two illegally graded areas, two water wells<sup>3</sup>, and unpaved access roads. Mitigation Measure BIO-8, as discussed in this Initial Study above, will require compensatory mitigation for impacts on ESHA, which will mitigate for the illegally graded areas through the conservation of comparable habitat at the appropriate ratio. Onsite restoration of previously disturbed area outside of the development envelope will occur along with the restriction of ESHA Area already present on the site as part of the Project implementation requirements under Mitigation Measure BIO-MM BIO-7.

The proposed project would result in the construction of a one-story single-family dwelling. The project is required to comply with the standards of the Ventura County Coastal Zoning Ordinance (CZO) Article 5 Development Standards for the COS-10ac-sfd/M zone (e.g., limitations on building coverage and height as well as minimum setback requirements from roadways for buildings and structures) that also apply to development on the surrounding properties. Therefore, the development of one single family dwelling on the proposed lot will be consistent with the size and scale of development despite the undeveloped nature of the surrounding area.

In order to ensure that the site blends in with the natural environment of the Santa Monica Mountains, a condition of approval for scenic resources will be placed on the proposed project, which will require the applicant to utilize natural building materials and colors compatible with surrounding terrain (earth tones and non-reflective paints) on exterior surfaces of all structures. As such, the proposed project will be compatible with the surrounding uses and would not adversely impact surrounding development. Therefore, the proposed project will result in less-than-significant project-specific impacts, and will not make a cumulatively considerable contribution to a significant cumulative impact, related to community character.

Pending projects within the vicinity of the proposed project primarily consist of modification requests for single family dwellings, the construction of accessory buildings, the legalization of unpermitted grading/ESHA removal, new Coastal Planned Development Permits for single family dwellings and second dwelling units, and a major modification request for the rebuild of Camp Hess Kramer. The pending projects in the vicinity of the proposed project will be subject to the same conditions of approval related to colors and materials in order to preserve the natural character of Malibu and the Santa Monica Mountains in keeping to the development standards set forth in the Ventura County Coastal Ordinance (§ 8175-2 et seq.). As such, the proposed project, in conjunction with pending projects in the vicinity of the proposed project will not adversely

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<sup>3</sup> Domestic well (SWN 01S20W22F04S) does not exist with the Department of Water Resources (DWR) records. The applicant reported that a well search was performed and no well was located



affect the community character of Malibu. The proposed project will not make a cumulatively considerable contribution to a significant cumulative community character impact.

25b. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 25 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>26. Housing (PIng.)</b>								
<b>Will the proposed project:</b>								
a) Eliminate three or more dwelling units that are affordable to: <ul style="list-style-type: none"> <li>• moderate-income households that are located within the Coastal Zone; and/or,</li> <li>• lower-income households?</li> </ul>	X				X			
b) Involve construction which has an impact on the demand for additional housing due to potential housing demand created by construction workers?		X				X		
c) Result in 30 or more new full-time-equivalent lower-income employees?	X				X			
d) Be consistent with the applicable General Plan Goals and Policies for Item 26 of the Initial Study Assessment Guidelines?	X				X			

**26. Housing Impact Discussion:**

26a. No dwelling units currently exist on the project site. The proposed project is for the construction of one single family dwelling on the project site and will not eliminate three or more dwelling units. The project, in fact, would result in the development of one new single-family dwelling unit, which will add to the County’s housing stock. Therefore, the proposed project will not have a significant project-specific impact to housing. The

proposed project will not make a cumulatively considerable contribution to a significant cumulative housing impact.

26b. As stated in the Initial Study Assessment Guidelines (Item 26 - 2), any project that involves construction has an impact on the demand for additional housing due to potential housing demand created by construction workers. However, construction worker demand is a less than significant project-specific and cumulative impact because construction work is short-term and there is a sufficient pool of construction workers within Ventura County and the Los Angeles metropolitan regions to implement future construction activities (Ventura County Initial Study Assessment Guidelines, p. 146). Therefore, the proposed project will have a less-than-significant project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, related to the demand for construction worker housing.

26c. The proposed single-family dwelling will not result in 30 or more new full-time-equivalent lower-income employees, as the proposed residential project would not facilitate the development of a new commercial, institutional, industrial, or other employment-generating use on the subject property. Therefore, the proposed project will not create a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, related to the demand for housing for employees associated with commercial or industrial development.

26d. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 26 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27a(1). Transportation &amp; Circulation - Roads and Highways - Level of Service (LOS) (PWA)</b>								
<b>Will the proposed project:</b>								
a) <del>Cause existing roads within the Regional Road Network or Local Road Network that are currently functioning at an acceptable LOS to function below an acceptable LOS?</del> Conflict or be inconsistent with CEQA Guidelines § 15064.3, subdivision (b)?		X				X		

**PUBLIC FACILITIES/SERVICES:**

**27. Transportation/Circulation:**

**A. Roads and Highways**

**(1) Level of Service Impact Discussion:**

27a(1)-a. The project is a Coastal Planned Development Permit to construct a single-family dwelling. The project, as proposed, will generate fewer than 110 additional ADT on the local public roads and the Regional Road Network. In accordance with Ventura County General Plan Policy CTM-1.3 County Level of Service (LOS) Standard and Ventura County Traffic Impact Mitigation Fee (TIMF) Ordinance 4246, the Transportation Department of the Public Works Agency will collect a TIMF fee for the proposed Project. Payment of the TIMF ensures that the Level of Service (LOS) and safety of the existing roads would remain consistent with the Ventura County General Plan. Therefore, adverse traffic impacts relating to Vehicle Miles Traveled (VMT) on County roads will be “Less Than Significant.”

**Mitigation/Residual Impact(s)**

No Mitigation Required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27a(2). Transportation &amp; Circulation - Roads and Highways - Safety and Design of Public Roads (PWA)</b>								
<b>Will the proposed project:</b>								
a) Have an Adverse, Significant Project-Specific or Cumulative Impact to the Safety and Design of Roads or Intersections within the Regional Road Network (RRN) or Local Road Network (LRN)?		X						

**(2) Safety/Design of Public Roads Impact Discussion:**

27a(2)-a. New development projects can affect the Public Road system through access encroachments, improving or widening roads, and/or construction new road sections. Some roads within the unincorporated County do not comply with the Ventura County Road Standards maintained by the Ventura County Public Works Agency (as adopted by the Board of Supervisors). The presence of a substandard road does not indicate that the road is unsafe, nor does it mandate new road improvements.

The Project is a Coastal Planned Development Permit to construct a single-family dwelling. When development occurs, the resulting low volume of traffic will not have the potential to alter the existing level of safety of the County-maintained roads in the Yerba Buena Area or State Route 1. During the construction phase, the Project will result in a temporary maximum 10 trips per day to complete the associated earthwork. Further, the implementation of Ventura County Building Code Appendix J (Section 103.3(5)), the permittee will be subject to additional limits on the truck round trips, truck trips during peak traffic hours, and will be prohibited from creating a safety hazard for ingress or egress routes (i.e., clogging turn pockets, or obstructing line of sight).

To address the concerns about the existing status of the existing roads in the Yerba Buena Area, consideration should be given to disclose to the applicant and any successors in interest of the properties that the existing road systems are not considered standard. Although they do not create a substantial risk of injury, when such roads are used with due care in a manner in which it is reasonably foreseeable that they will be used, they are of a rural nature with widths, grades, and other road features that would be considered substandard if such roads were being designed or built today. The following Condition of Approval will require that the applicant record a Notice of Substandard Access Roads (NSSAR) since the proposed development is adjacent to a substandard road, which may not be improved to the current County Road Standard in the future.

#### Notice of Substandard Access Roads

**Purpose:** The County requires the applicant/permittee or property owner to record a Notice of Substandard Access Roads (NSSAR) when the project/development is near a substandard road, which may not be improved to the current County Road Standard in the future.

**Requirement:** The applicant/permittee or the property owner shall provide record notice to successors in interest of the property that the existing road systems in the area are not considered standard; that, although such roads do not create an unreasonable risk of harm when used with due care, in a manner in which it is reasonably foreseeable that they will be used, these roads are of a rural nature with widths, grades, and other road features that would be considered substandard if such roads were being designed or built today, and that the County does not currently and also may not in the future have funds available to improve these roads.

The **NOTICE OF SUBSTANDARD ACCESS ROADS** condition shall include the following:

- A. The property is served by existing public roads and/or private roads in the Yerba Buena Area that do not meet current County Road standards.
- B. The applicant/permittee/owner/subdivider shall acknowledge that Yerba Buena Road, Cotharin Road, Deer Creek Road, and Pacific View Road in the Yerba

Buena Area and access roads connected to these roads do not meet current County Road Standards.

- C. The private portions of these public roads and the private roads are neither County-maintained nor currently eligible for any improvements at County expense.
- D. These roads are of rural nature with widths, grades, and other road features that would be considered substandard if such roads were being designed or built to current standards.
- E. These roads are to be used with due care in a manner in which it is reasonably foreseeable that they will be used.
- F. There are no current funding sources available to construct the improvements on the existing public roads in this area.

**Documentation:** The VCPWA-RT will provide the document for a Notice of Substandard Access Roads to the applicant/permittee. The applicant/permittee shall bring the draft Notice of Substandard Access Roads to the VCPWA-RT counter or contact VCPWA-RT Permits Section by phone at (805) 654-2055 or e-mail at [pwa.transpermits@ventura.org](mailto:pwa.transpermits@ventura.org), for review prior to recordation. The applicant/permittee shall record the Notice of Substandard Access Roads with the County Recorder. The applicant/permittee shall provide the VCPWA-RT with a copy of the recorded Notice of Substandard Access Roads.

**Timing:** This condition shall be met prior to the issuance of the Building Permit and/or Zoning Clearance for Use Inauguration, whichever comes first.

**Monitoring:** The VCPWA-RT will accept the recorded Notice of Substandard Access Roads from the applicant/permittee in conformance with the project conditions.

With the requirement to record a NSSAR, the proposed project will have a less-than-significant project-specific impact related to safety/design of County roads and will make a less-than-significant cumulatively considerable contribution to a significant cumulative impact related to safety/design of County roads.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27a(3). Transportation & Circulation - Roads & Highways – Safety & Design of Private Access (VCFPD)								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
a) If a private road or private access is proposed, will the design of the private road meet the adopted Private Road Guidelines and access standards of the VCFPD as listed in the Initial Study Assessment Guidelines?	X				X			
b) Will the project be consistent with the applicable General Plan Goals and Policies for Item 27a(3) of the Initial Study Assessment Guidelines?	X				X			

**(3) Safety/Design of Private Access Impact Discussion:**

27a(3)-a. The proposed Project does not involve the construction of new private roads at this time. The Project will utilize existing private roads for the purposes of physical access to the proposed building. The existing unnamed private road will be improved to meet the applicable design and safety requirements of VCFPD. Proposed improvements include paving and grading, the installation of turnouts and an onsite turnaround. The proposed paved access road will be 20 feet wide and approximately 1,650 feet in length. The proposed improvements will connect the site to existing paved private roads which join Yerba Buena Road (the nearest County Maintained Public Road) 1.18 miles to the southeast. With the proposed private access road improvements, the Project substantially meets the design and safety requirements (all weather surface, maximum grade, turnouts, turnaround requirement, distance between access point and the structure) of the Ventura County Fire Apparatus Access Code (VCFPD Ordinance No. 29). With no new private road proposed, a determination of no impact can be made. Therefore, the proposed project will not have a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, related to the safety and design of private access.

27a(3)-b. The proposed project will be consistent with the applicable Ventura County General Plan Goals and Policies for Item 27a(3) of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

Less than significant impacts, no mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27a(4). Transportation &amp; Circulation - Roads &amp; Highways - Tactical Access (VCFPD)</b>								
<b>Will the proposed project:</b>								
a) Involve a road or access, public or private, that complies with VCFPD adopted Private Road Guidelines?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 27a(4) of the Initial Study Assessment Guidelines?		X				X		

**(4) Tactical Access Impact Discussion:**

27a(4)-a. Tactical access relates the organized system of roads/access to and from a project utilized in the event of any emergency or disaster. Projects which involve the use of roads which are impaired for the purposes of emergency access may result in significant impacts. VCFPD is permitted to consider the provision of alternate access design when determining the need for mitigation for projects. While the proposed private access roads serving the project site are existing, the utilization of the road requires the review of alternate access design under VCFPD Standard 501. Under Standard 501 Chapter 3, the fire code official may grant modifications to the Fire Apparatus Access Standard. VCFPD staff has determined that the proposed Project has been designed in conformance with the provisions of the applicable access standards, subject to conformance with all conditions of approval issued for the Project. The conditions of approval applicable to the subject property include requirements for fire suppression improvements on site (water tank and hydrant on site), implementation and maintenance of fuel modification requirements, construction of access road, and installation of fire sprinklers within the dwelling.

27a(4)-b. The proposed project will be consistent with the applicable Ventura County General Plan Goals and Policies for Item 27a(4) of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27b. Transportation &amp; Circulation - Pedestrian/Bicycle Facilities (PWA/PIng.)</b>								
<b>Will the proposed project:</b>								
1) Will the Project have an Adverse, Significant Project-Specific or Cumulative Impact to Pedestrian and Bicycle Facilities within the Regional Road Network (RRN) or Local Road Network (LRN)?	X				X			
2) Generate or attract pedestrian/bicycle traffic volumes meeting requirements for protected highway crossings or pedestrian and bicycle facilities?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 27b of the Initial Study Assessment Guidelines?	X				X			

**B. Pedestrian/Bicycle Facilities Impact Discussion:**

27b-1. 227b-2. The project does not purport to generate additional bicycle and pedestrian traffic on the County of Ventura Regional Road Network and local public roads. There is no pedestrian and/or bicycle crossing on State Highway 1, although bicyclists use the shoulder of State Route 1. Caltrans is planning a future crossing at Neptune’s Net. Furthermore, the County rural road does not require pedestrian facilities (sidewalks) and/or bicycle facilities (bike lanes). Therefore, the proposed project will not have a project-specific adverse impact and will not make a cumulatively considerable contribution to a significant cumulative impact to pedestrian and bicycle facilities/traffic.

27b-3. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 27b of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.



Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27c. Transportation &amp; Circulation - Bus Transit</b>								
<b>Will the proposed project:</b>								
1) Substantially interfere with existing bus transit facilities or routes, or create a substantial increase in demand for additional or new bus transit facilities/services?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27c of the Initial Study Assessment Guidelines?	X				X			

**C. Bus Transit Impact Discussion:**

27c-1. According to the Ventura County Initial Study Assessment Guidelines (p. 173), "A project will normally have a significant impact on bus transit if it would substantially interfere with existing bus transit facilities or routes, or if it would create a substantial increased demand for additional or new bus transit facilities/services." However, only "projects that can be expected to generate more than 100 daily vehicle trips (10 single family housing units or equivalent traffic generation) will be required to evaluate the specific project impacts through either consultation with the appropriate transit service provider or separate analysis performed by the applicant." Projects not generating more than 100 trips can be expected to result in "de minimis" impacts.

The project site is not located near a transit stop, existing bus transit facility, or bus route. Further, the development of one single-family dwelling will not generate more than 100 daily vehicle trips and will not exceed the threshold requiring a transit analysis. Therefore, the proposed project will not have project-specific adverse impacts and will not make a cumulatively considerable contribution to a significant cumulative impact, related to bus transit facilities/services.

27c-2. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 27c of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27d. Transportation &amp; Circulation - Railroads</b>								
<b>Will the proposed project:</b>								
1) Individually or cumulatively, substantially interfere with an existing railroad's facilities or operations?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27d of the Initial Study Assessment Guidelines?	X				X			

**D. Railroads Impact Discussion:**

27d-1. The proposed project site is located 12 miles from the nearest railroad and would not interfere with an existing railroad’s facilities or operations. Therefore, the proposed project will not have a project-specific adverse impact and will not make a cumulatively considerable contribution to a significant cumulative impact, related to existing railroad facilities or operations.

27d-2. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 27d of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27e. Transportation &amp; Circulation – Airports (Airports)</b>								
<b>Will the proposed project:</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Have the potential to generate complaints and concerns regarding interference with airports?	X				X			
2) Be located within the sphere of influence of either County operated airport?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 27e of the Initial Study Assessment Guidelines?	X				X			

**E. Airports Impact Discussion:**

27e-1. -and 27e-2. The proposed project is located approximately 12 miles to the southeast from the nearest airport, Camarillo Airport, and is not located within the sphere of influence of any County-operated airport. Furthermore, future construction of a one-story single-family dwelling will not involve the introduction of substantial lighting, or other features that could interfere with air traffic safety. Potential impacts from glare will be mitigated to a less than significant level by with the implementation of Mitigation Measure BIO-11 which requires a Lighting Plan and a condition of approval which requires the applicant to utilize natural building materials and colors compatible with surrounding terrain (earth tones and non-reflective paints) on exterior surfaces of all structures. Therefore, the proposed project will not have project-specific adverse impacts and will not make a cumulatively considerable contribution to a significant cumulative impact, related to existing airport facilities or operations.

27e-3. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 27e of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27f. Transportation &amp; Circulation - Harbor Facilities (Harbors)</b>								
<b>Will the proposed project:</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Involve construction or an operation that will increase the demand for commercial boat traffic and/or adjacent commercial boat facilities?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27f of the Initial Study Assessment Guidelines?	X				X			

**F. Harbor Facilities Impact Discussion:**

27f-1. The proposed project is located 15 miles from the nearest harbor, Channel Islands Harbor. Additionally, the development of the proposed single-family dwelling would not increase commercial boat traffic at the nearest harbor facilities. Therefore, the proposed project will not have a project-specific adverse impact and will not make a cumulatively considerable contribution to a significant cumulative impact, related to existing harbor facilities or operations.

27f-2. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 27f of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27g. Transportation &amp; Circulation - Pipelines</b>								
<b>Will the proposed project:</b>								
1) Substantially interfere with, or compromise the integrity or affect the operation of, an existing pipeline?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27g of the Initial Study Assessment Guidelines?	X				X			

**G. Pipelines Impact Discussion:**

27g-1. The Ventura County GIS Maps indicate that there are no major or minor pipelines that are located on the subject property. The nearest major pipeline to the project site is located approximately 12.3 miles to the northwest of the project site. Therefore, the proposed project will not result in project-specific impacts and will not make a cumulatively considerable contribution to a significant cumulative impact related to pipelines.

27g-2. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 27g of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>28a. Water Supply – Quality (EHD)</b>								
<b>Will the proposed project:</b>								
1) Comply with applicable state and local requirements as set forth in Section 28a of the Initial Study Assessment Guidelines?		X				X		
2) Be consistent with the applicable General Plan Goals and Policies for Item 28a of the Initial Study Assessment Guidelines?		X				X		

**28. Water Supply**

**A. Water Supply – Quality Impact Discussion:**

28a-1. The proposed project is a residential development which will utilize an existing onsite water well for domestic water. Ground water may contain contaminants harmful to human health. Water quality analysis has not yet been conducted. Water that does not meet primary drinking water standards established by the State for bacteriological and inorganic chemicals shall require treatment to use as a source of domestic water. The water well will require a Certification of Water Quality approval from the Ventura County Environmental Health Division prior to building permit issuance. The proposed project will also utilize an onsite wastewater treatment system (OWTS) for domestic sewage disposal. The use of an OWTS has the potential to contaminate groundwater supplies.

Conformance with the Ventura County Building Code and periodic monitoring/testing of the water well for compliance with drinking water standards will reduce any project-specific and cumulative impacts to a level considered less than significant.

28a-2. Proposed project is consistent with the General Plan for Item 28a of the Initial Study Assessment Guidelines regarding permanent domestic water supply.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>28b. Water Supply – Quantity (WPD)</b>								
<b>Will the proposed project:</b>								
1) Have a permanent supply of water?		X				X		
2) Either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable probable future projects, introduce physical development that will adversely affect the water supply - quantity of the hydrologic unit in which the project site is located?		X				X		
3) Be consistent with the applicable General Plan Goals and Policies for Item 28b of the Initial Study Assessment Guidelines?		X				X		

**B. Water Supply – Quantity Impact Discussion:**

28b-1. Water service to the site will be provided by an existing domestic well identified as State Well Number (SWN) 01S20W22F02S. Any necessary repairs will be completed to attain the needed pumping rate and water quality. The existing well and two 5,000-gallon water tanks will provide a reservoir for both domestic and fire-fighting purposes. County records indicate that a domestic well (SWN 01S20W22F04S) possibly existed within the parcel boundaries close to previously existing structures in the western portion of the parcel. The well (SWN 01S20W22F04S) does not exist with DWR records. The applicant reported that a well search was performed and no well was located. Per Ventura County Ordinance No. 4468 (Well Ordinance) if a well is encountered during site development it will need to be permitted for destruction or brought back to active status.

28b-2. The proposed project will not, either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable probable future projects, introduce physical development that would adversely affect the water supply – quantity.

28b-3. The proposed project will be consistent with the applicable General Plan Goals and Policies for Item 28b of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>28c. Water Supply - Fire Flow Requirements (VCFPD)</b>								
<b>Will the proposed project:</b>								
1) Meet the required fire flow?		X				X		
2) Be consistent with the applicable General Plan Goals and Policies for Item 28c of the Initial Study Assessment Guidelines?		X				X		

**C. Water Supply - Fire Flow Impact Discussion:**

28c-1. The project is not served by a water purveyor; a private water system is proposed. The applicant will be required to provide a water supply onsite and fire hydrants that can provide the required fire flow in accordance with the Ventura County Waterworks Manual and the Ventura County Fire Protection District’s Fire Code. Therefore, the proposed project will not have any project-specific impacts, and will not make a cumulatively considerable contribution to a significant cumulative impact, related to fire flow requirements.

28c-2. The proposed project will be consistent with the applicable General Plan Goals and Policies for Item 28c of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>29a. Waste Treatment &amp; Disposal Facilities - Individual Sewage Disposal Systems (EHD)</b>								
<b>Will the proposed project:</b>								
1) Comply with applicable state and local requirements as set forth in Section 29a of the Initial Study Assessment Guidelines?		X				X		
2) Be consistent with the applicable General Plan Goals and Policies for Item 29a of the Initial Study Assessment Guidelines?		X				X		

## 29. Waste Treatment/Disposal Facilities

### A. Individual Sewage Disposal System Impact Discussion:

29a-1. The proposed project includes a single-family residence which will utilize a new onsite wastewater treatment system (OWTS) for domestic wastewater disposal. A soils/geotechnical report dated May 25, 2022, indicates the site is suitable for an alternative septic system and proposes an OWTS consisting of one 2,000-gallon septic tank with treatment tank and seepage pits. Septic feasibility has been demonstrated. A complete and detailed evaluation of the proposed OWTS shall be conducted by Environmental Health Division (EHD) Liquid Waste Program staff during the plan review and construction permitting process. EHD Liquid Waste Program staff shall review and verify all relevant documentation, including but not limited to: the geotechnical report, system design calculations, compliance with local building codes, and historic geological data for the area. Conformance with the County Building Code Ordinance, state OWTS policy, and EHD guidelines, as well as proper routine maintenance of OWTS, will reduce any project-specific and cumulative impacts to a level considered less than significant.

29a-2. Proposed project will be consistent with the General Plan for Item 29a of the *Ventura County Initial Study Assessment Guidelines* provided the septic systems are properly installed and maintained so as not to contaminate groundwater or create a public nuisance.

### Mitigation/Residual Impact(s)

No mitigation required.



Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>29b. Waste Treatment &amp; Disposal Facilities - Sewage Collection/Treatment Facilities (EHD)</b>								
<b>Will the proposed project:</b>								
1) Comply with applicable state and local requirements as set forth in Section 29b of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 29b of the Initial Study Assessment Guidelines?	X				X			

**B. Sewage Collection/Treatment Facilities Impact Discussion:**

29b-1. The proposed project will utilize an onsite wastewater treatment system and will not require connection to a sewage collection facility. The project will not have any project-specific or cumulative impacts.

29b-2. Proposed project will not require connection to a sewage collection facility and General Plan for Item 29b of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>29c. Waste Treatment &amp; Disposal Facilities - Solid Waste Management (PWA)</b>								
<b>Will the proposed project:</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Have a direct or indirect adverse effect on a landfill such that the project impairs the landfill's disposal capacity in terms of reducing its useful life to less than 15 years?		X				X		
2) Be consistent with the applicable General Plan Goals and Policies for Item 29c of the Initial Study Assessment Guidelines?		X				X		

**C. Solid Waste Management Impact Discussion:**

29c-1. As required by California Public Resources Code (PRC) 41701, Ventura County's Countywide Siting Element (CSE), adopted in June 2001 and updated annually, Ventura County has at least 15 years of disposal capacity available for waste generated by in-County projects. Because the County currently exceeds the minimum disposal capacity required by state PRC, the proposed project will have less than significant project-specific impacts and will not make a cumulatively considerable contribution to significant cumulative impacts, related to Ventura County's solid waste disposal capacity.

29c-2. Ventura County Ordinance 4421 requires all discretionary permit applicants whose proposed project includes construction and/or demolition activities to reuse, salvage, recycle, or compost a minimum of 60% of the solid waste generated by their project. The IWMD's waste diversion program (Form B Recycling Plan/Form C Report) ensures this 60% diversion goal is met prior to final occupancy, consistent with the Ventura County General Plan's Public Facilities, Services, and Infrastructure Goals PFS-5.2 and PFS-5.3. Therefore, the proposed project will have less than significant project-specific impacts and will not make a cumulatively considerable contribution to significant cumulative impacts related to the Ventura County General Plan's goals and policies for Item 29c of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>29d. Waste Treatment &amp; Disposal Facilities - Solid Waste Facilities (EHD)</b>								
<b>Will the proposed project:</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Comply with applicable state and local requirements as set forth in Section 29d of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 29d of the Initial Study Assessment Guidelines?	X				X			

**D. Solid Waste Facilities Impact Discussion:**

29d-1. The proposed project does not involve a solid waste operation or facility. The project will not have any project-specific or cumulative impacts related to a solid waste operation or facility.

29d-2. The proposed project does not involve a solid waste operation or facility and is consistent with the General Plan for Item 29d of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>30. Utilities</b>								
<b>Will the proposed project:</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
a) Individually or cumulatively cause a disruption or re-routing of an existing utility facility?	X				X			
b) Individually or cumulatively increase demand on a utility that results in expansion of an existing utility facility which has the potential for secondary environmental impacts?	X				X			
c) Be consistent with the applicable General Plan Goals and Policies for Item 30 of the Initial Study Assessment Guidelines?	X				X			

### 30. Utilities Impact Discussion:

30a. - 30b. The proposed project site is currently undeveloped and does not include any utility facilities on the subject property. The proposed project would not result in the disruption or re-routing of an existing utility facility. Additionally, the proposed project will be using rooftop solar panels for electricity and propane for gas. The proposed project will use satellite for television and communication connections. As such, the proposed project will not require the expansion of utility facilities to provide services to the proposed project. Therefore, the proposed project will not have project-specific adverse impacts and will not make a cumulatively considerable contribution to a significant cumulative impact, related to existing utility facilities.

30c. The proposed project will be consistent with the applicable Ventura County General Plan Goals and Policies for Item 30 of the *Ventura County Initial Study Assessment Guidelines*.

### Mitigation/Residual Impact(s)

No mitigation required.

Issue (Responsible Department) *	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>31a. Flood Control Facilities/Watercourses - Watershed Protection District (WPD)</b>								
Will the proposed project:								

Issue (Responsible Department) *	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Either directly or indirectly, impact flood control facilities and watercourses by obstructing, impairing, diverting, impeding, or altering the characteristics of the flow of water, resulting in exposing adjacent property and the community to increased risk for flood hazards?		X				X		
2) Be consistent with the applicable General Plan Goals and Policies for Item 31a of the Initial Study Assessment Guidelines?		X				X		

### 31. Flood Control/ Drainage:

#### A. WPD Facilities/Watercourses Impact Discussion:

31a-1. The proposed Project is located approximately 1,840 feet to the west of Little Sycamore Canyon which is the nearest Ventura County Watershed Protection District (WPD) jurisdictional redline channel. No direct drainage connections to the channel are proposed or indicated on any of the applicant's submitted project materials.

It is understood that impacts from increases in impervious area are reduced under the Drainage Plan Condition of Approval imposed by the Engineering Services Department, Development and Inspection Services, by reference to Appendix J of the Ventura County Building Code requiring that runoff from the site will be released at no greater than the undeveloped flow rate and in such a manner as to not cause an adverse impact downstream in velocity or duration.

Any proposed activity in, on, over, under or across Little Sycamore Canyon will require a permit from the Watershed Protection District prior to the issuance of a zoning clearance for construction of the project. Further, in accordance with Ventura County Watershed Protection District Ordinance WP-2 effective October 10, 2013, no person shall impair, divert, impede or alter the characteristics of the flow of water running in or to a District jurisdictional red line channel without first obtaining a written permit from the District.

Given to the distance of the site to Little Sycamore Canyon, District staff determined that the proposed conditions of approval related to drainage plan review adequately addresses any potential impact likely to result from construction and operation of the proposed land use. Therefore, the environmental assessment is less-than-significant on red line channels under the jurisdiction of the Watershed Protection District.

31a-2. The proposed project will be consistent with the applicable Ventura County General Plan Goals and Policies for Item 31a of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>31b. Flood Control Facilities/Watercourses - Other Facilities (PWA)</b>								
<b>Will the proposed project:</b>								
1) Result in the possibility of deposition of sediment and debris materials within existing channels and allied obstruction of flow?	X				X			
2) Impact the capacity of the channel and the potential for overflow during design storm conditions?	X				X			
3) Result in the potential for increased runoff and the effects on Areas of Special Flood Hazard and regulatory channels both on and off site?	X				X			
4) Involve an increase in flow to and from natural and man-made drainage channels and facilities?	X				X			
5) Be consistent with the applicable General Plan Goals and Policies for Item 31b of the Initial Study Assessment Guidelines?	X				X			

**B. Other Facilities/Watercourses Impact Discussion:**

31b-1. through 31b-5. This project will not alter or create an obstruction of flow in the existing drainage as site runoff will maintain the drainage patterns that presently exist. The development will be completed according to current codes and standards that require no increase in sediment discharge or obstruction of flows in existing channels. According to the Hydrology & Hydraulics Report (Chirs Nelson & Associates, Inc., July 2022), the project preserves the existing trend of runoff and drainage patterns for stormwater discharge. The project will not create an obstruction of flow in the existing drainage as

any runoff volume will be similar to the present conditions and directed to the existing drainage areas. The parcel is located outside of an Area of Special Flood Hazard. The development drainage conditions will remain unchanged from existing conditions with no increase in runoff, therefore there is no impact to the flood hazard zone or regulatory channels. Therefore, there will be no increase in flow to and from natural and man-made drainage channels and facilities. The project will be completed according to current codes and standards. Therefore, the project is consistent with the applicable General Plan Goals and Policies for Item 31b of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>32. Law Enforcement/Emergency Services (Sheriff)</b>								
<b>Will the proposed project:</b>								
a) Have the potential to increase demand for law enforcement or emergency services?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 32 of the Initial Study Assessment Guidelines?	X				X			

**32. Law Enforcement/Emergency Services Impact Discussion:**

32a. The proposed Project is a request for a Coastal PD Permit to construct a single-family dwelling, which is one of the categories of projects that have been determined to have the potential to increase demand for law enforcement or emergency services. This change in land use will not require additional personnel, equipment, or facilities of the Ventura County Sheriff’s Department, in order to continue to provide law enforcement/emergency services to the project site. The nearest Ventura County Sheriff’s Station, Camarillo substation, is located approximately 13 miles away from the proposed project site, at 3701 Las Posas Rd, Camarillo, CA 93010. The nearest Los Angeles County Sheriff’s Station, Malibu/Lost Hills Sheriff’s Station, is located approximately 27 miles south of the proposed project site, at 27050 Agoura Road, Agoura Hills, CA 91301. Section 4E of this Initial Study, Mitigation Measure BIO-11 requires the Permittee to submit a Lighting Plan. The lighting plan will ensure that appropriate lighting for safety is in place. The incorporation of security features within the site lighting will reduce the vulnerability of the project to theft, vandalism, disturbances, etc. and demand for law enforcement services. Therefore, the proposed project would have a less-than-significant

project-specific impact and would not make a cumulatively considerable contribution to a significant cumulative impacts to emergency services.

32b. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 32 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>33a. Fire Protection Services - Distance and Response (VCFPD)</b>								
<b>Will the proposed project:</b>								
1) Be located in excess of five miles, measured from the apron of the fire station to the structure or pad of the proposed structure, from a full-time paid fire department?		X				X		
2) Require additional fire stations and personnel, given the estimated response time from the nearest full-time paid fire department to the project site?		X				X		
3) Be consistent with the applicable General Plan Goals and Policies for Item 33a of the Initial Study Assessment Guidelines?		X				X		

**33. Fire Protection District**

**A. Distance/Response Time Impact Discussion:**

33a-1. through 33a-3. A private water system is proposed in accordance with National Fire Protection Association (NFPA) 1142 and Ventura County Fire District Standard 14.5.1. The nearest fire station is Ventura County Fire Station No. 56 which is 1.5 miles from the proposed project via Yerba Buena Road and State Route 1 (Pacific Coast Highway). The distance from Fire Station 56 to the project site is adequate and the proposed project will not require a new fire station or additional equipment. Therefore, the proposed project will not have a significant project-specific impact related to fire protection services. The proposed project will not make a cumulatively considerable contribution to a significant cumulative impact related to fire protection services.



33a-3. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 33A of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>33b. Fire Protection Services – Personnel, Equipment, and Facilities (VCFPD)</b>								
<b>Will the proposed project:</b>								
1) Result in the need for additional personnel?	X				X			
2) Magnitude or the distance from existing facilities indicate that a new facility or additional equipment will be required?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 33b of the Initial Study Assessment Guidelines?	X				X			

**B. Personnel/Equipment/Facilities Impact Discussion:**

33b-1. The proposed project will not result in the need for additional VCFPD personnel. Therefore, the proposed project will not have a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, with regard to the need for fire personnel.

33b-2. As stated in this Initial Study (above), the nearest fire station to the project site is Ventura County Fire Station 56, which is located approximately 1.5 miles to the southeast of the project site on State Route 1 (Pacific Coast Highway). The distance from Fire Station 56 to the project site is adequate. Additionally, the Ventura County Fire Protection District has included a Condition of Approval for the proposed project, which will require the applicant to provide a water supply onsite and fire hydrants that can provide the required fire flow in accordance with the Ventura County Waterworks Manual and the Ventura County Fire Protection District’s Fire Code.

A new fire station or equipment will not be required to serve the proposed project. Therefore, the proposed project would not have a project specific impact or contribute to a cumulatively considerable significant impact to fire personnel, equipment, or facilities.

33b-3. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 33B of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>34a. Education - Schools</b>								
<b>Will the proposed project:</b>								
1) Substantially interfere with the operations of an existing school facility?		X				X		
2) Be consistent with the applicable General Plan Goals and Policies for Item 34a of the Initial Study Assessment Guidelines?	X				X			

**34. Education**

**A. Schools Impact Discussion:**

34a-1. The closest school to the project site is Laguna Vista Elementary School, in the Ocean View School District. Laguna Vista Elementary School is located approximately 16.7 miles northwest of the project site. The proposed project will not interfere with the operations of an existing school facility. Any additional demand created by the proposed project would be mitigated by payment of school fees pursuant to § 65996 of the California Government Code (2014b). The Ocean View School District collects fees, as authorized by Senate Bill 50, which results in complete school facilities mitigation. Therefore, the proposed project will not have a significant project-specific impact to schools. The proposed project will not make a cumulatively considerable contribution to a significant cumulative impact.

34a-2. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 34A of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>34b. Education - Public Libraries (Lib. Agency)</b>								
<b>Will the proposed project:</b>								
1) Substantially interfere with the operations of an existing public library facility?	X							
2) Put additional demands on a public library facility which is currently deemed overcrowded?		X						
3) Limit the ability of individuals to access public library facilities by private vehicle or alternative transportation modes?	X							
4) In combination with other approved projects in its vicinity, cause a public library facility to become overcrowded?						X		
5) Be consistent with the applicable General Plan Goals and Policies for Item 34b of the Initial Study Assessment Guidelines?	X				X			

**B. Libraries Impact Discussion:**

34b-1. through 34b-4. The nearest public library to the project site, the Camarillo Library, is located approximately 14 miles northwest of the project site. The proposed project consists of the construction of a single-family dwelling and represents less than one percent increase in the local population. The proposed project would not restrict the ability of private individuals to access public library facilities by private vehicle or public transportation. The proposed project would have a less than significant impact on overcrowding due to the limited number of additional residents that the proposed project will contribute relative to the existing population serviced by the Camarillo Library. Therefore, the proposed project will not have a significant project-specific impact to public libraries. The proposed project will not make a cumulatively considerable contribution to a significant cumulative public libraries impact.

34b-5. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 34B of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>35. Recreation Facilities (GSA)</b>								
<b>Will the proposed project:</b>								
a) Cause an increase in the demand for recreation, parks, and/or trails and corridors?		X			X			
b) Cause a decrease in recreation, parks, and/or trails or corridors when measured against the following standards: <ul style="list-style-type: none"> <li>• <u>Local Parks/Facilities</u> - 5 acres of developable land (less than 15% slope) per 1,000 population;</li> <li>• <u>Regional Parks/Facilities</u> - 5 acres of developable land per 1,000 population; or,</li> <li>• <u>Regional Trails/Corridors</u> - 2.5 miles per 1,000 population?</li> </ul>	X				X			
c) Impede future development of Recreation Parks/Facilities and/or Regional Trails/Corridors?	x				X			
d) Be consistent with the applicable General Plan Goals and Policies for Item 35 of the Initial Study Assessment Guidelines?	X				X			

**35. Recreation Impact Discussion:**

35a. and 35b. The proposed single-family dwelling may result in an increased demand for recreation, parks, and/or trails and corridors in the local area. However, the potential increase in population in the Santa Monica Mountains as a result of the proposed project is minimal and will not impede the future development of local parks facilities.

Therefore, the proposed project will result in less-than-significant project-specific impacts and will not make a cumulatively considerable contribution to a significant cumulative impact, related to recreational facilities.

35c. The proposed project does not have the potential to impede the development of parks/facilities and/or regional trails/corridors. There are no parks/facilities and/or regional trails/corridors located on, or immediately adjacent to the proposed project site. The closest hiking trails are the California Department of Parks and Recreation’s Yellow Hill Trail, which is approximately 1.2 miles east of the proposed project site, and Big Sycamore Canyon Trail, which is approximately 2.7 miles west of the proposed project site.

35d. The proposed project is consistent with the applicable Ventura County General Plan Goals and Policies for Item 35 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

No Mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>36. Tribal Cultural Resources</b>								
Would the project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
a) Cause a substantially adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is graphically defined in terms of size, scope of the landscape, sacred place, or object with cultural value to a California Native American tribe.		X				X		
b) Listed or eligible for listing in the California Register of Historical Resources, or in the local register of historical resources as defined in Public Resources Code Section 5020.1(k)? or	X				X			
c) A resource determined by the Lead Agency, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1.		X				X		

### 36. Tribal Cultural Resources Impact Discussion:

36a. -36c. On July 1, 2015, California Assembly Bill 52 (AB 52) was enacted, expanding the scope of the California Environmental Quality Act (CEQA) by incorporating a new resource category, tribal cultural resources.

A tribal cultural resource is defined Public Resource Code Section 21074(a) as either of the following:

1. Sites, features, places, cultural landscapes, sacred places, and objects with cultural value to a California Native American tribe that are either of the following:
  1. Included or determined to be eligible for inclusion in the California Register of Historical Resources
  2. Included in a local register of historical resources as defined in subdivision (k) of Section 5020.1.
2. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Section 5024.1. In applying the criteria set forth in subdivision (c) of Section

5024.1 for the purposes of this paragraph, the lead agency shall consider the significance of the resource to a California Native American tribe.

3. A cultural landscape that meets the criteria of subdivision (a) is a tribal cultural resource to the extent that the landscape is geographically defined in terms of the size and scope of the landscape.
4. A historical resource described in Section 21084.1, a unique archeological resource as defined in subdivision (g) of Section 21083.2, or a “nonunique archaeological resource” as defined in subdivision (h) of Section 21083.2 may also be a tribal cultural resource if it conforms with the criteria of subdivision (a).

AB 52 also established a consultation process with all California Native American Tribes identified by the Native American Heritage Commission and non-federally recognized tribes that are traditionally and culturally affiliated with the geographic area of the proposed project. Native American tribes included in the consultation are those that have requested notice of projects proposed in the jurisdiction of the lead agency. The goal of early consultation is to determine whether tribal cultural resources are present at the project site and if so, concur on mitigation or avoidance measures to avoid a significant effect on tribal cultural resources. In accordance with the prescribed procedures, a letter was sent to representatives for the Ventureño-Barbareño on August 18, 2022. No response was received from tribal representatives and no additional consultation will occur.

A Phase I Cultural Resource Assessment was conducted for the project by Cogstone (Holly Duke, February 2022) that included an archaeological and historic setting field survey for the project site. The results of the cultural resource assessment confirm that there are no previously recorded tribal cultural resources located onsite or within ¼ mile of the project site. Additionally, the site does not contain any resources listed or eligible for listing in the California Register of Historic Resources, or in the local Ventura County Register as defined in Public Resources Code Section 5020.1 (k). The pedestrian field survey conducted on February 25, 2022, found that the ground surface throughout the project site has been partially disturbed with the previous construction of the onsite wells and unpermitted grading. No cultural resources were present within the Project area during the pedestrian survey. The cultural resource assessment also indicates that in addition to the lack of evidence of cultural resources, the steep site topography across much of the Project site indicate that the potential for subsurface resources is low. Based on these findings, the proposed project is not expected to impact tribal cultural resources.

Although the potential for discovery of buried tribal cultural resources remains low, the project would be conditioned such that if any archeological resources are uncovered during ground disturbance or construction activities, the Permittee shall:

1. Cease operations and ensure the preservation of the area in which the discovery was made;
2. Notify the Planning Director in writing within three days of the discovery;

3. Obtain the services of a qualified consultant who shall assess the discovery and provide a report that assesses the resources and sets forth recommendations on the proper disposition of the site;
4. Obtain the Planning Director's written concurrence with the recommended disposition of the site before resuming development; and
5. Implement the agreed upon recommendations.

Based on the above discussion, project-specific impacts to tribal cultural resources that are eligible for inclusion in a local or state Register of Historical Resources would be less than significant with the inclusion of the conformance requirements discussed above, and the proposed project would not result in a cumulatively considerable impact.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>37. Energy</b>								
<b>Would the project:</b>								
a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?	X				X			
b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?	X				X			

**37. Energy Impact Discussion:**

37a. The proposed Project, a request to develop a new single-family dwelling, will not result in unnecessary or wasteful energy consumption. Project construction would require the use diesel fuel to operate construction related machinery, vehicles, and generators. The applicant estimates approximately 30 days to complete grading activities associated with the construction of the private access road and the grading of the building pad. The



applicant also estimates construction of the dwelling will take approximately 11 months. All diesel vehicles used during the construction phase are subject to idling limits required by applicable California State laws and APCD Rules and Regulations. Based on these projections and the review of the scope of work, construction activities associated with Project-implementation will not result in any significant or cumulatively considerable consumption of energy.

The applicant has indicated that the home will not require extension of electrical utility services, as the dwelling will utilize solar panels for domestic energy usage. As such, the Project will have no impact to energy resources when the home is occupied.

37b. Because the project would not conflict with or obstruct a state or local plan for renewable energy or energy efficiency, the project would not have a project-specific or cumulative impact on energy use.

**Mitigation/Residual Impact(s)**

No mitigation required.

Issue (Responsible Department) *	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>38. Wildfire</b>								
<b>If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:</b>								

Issue (Responsible Department) *	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
a) Substantially impair an adopted emergency response plan or emergency evacuation plan?		X				X		
b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?		X				X		
c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?		X				X		
d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?		X				X		

**38. Wildfire Impact Discussion:**

38a. – 38d. As stated above, the proposed Project is located in the Very High Fire Hazard Severity Zone within a State Responsibility Area. The Project will be equipped with fire alarms and fire protection improvements (water tank, building sprinklers) included as part of the standard requirements for new dwellings. The Project is also subject to standard conditions of approval related to the construction of a new private water supply and the installation of access roads and brush clearance. The proposed scope of work will not impact the severity of fire risk for this area of Ventura County nor will the Project impact emergency response plans for Ventura County.

In the event of a fire, the Project site is accessible by the Fire Department and emergency services via the existing private access road to the subject property.

All project components and structures would be designed in conformance with Coastal Zoning Ordinance, Fire Code, Building Code, and standard permit conditions or approval. Based on the discussion above, the proposed Project will have a less than significant impact upon Wildfire Hazards.

## Mitigation/Residual Impact(s)

No mitigation required.

**\*Key to the agencies/departments that are responsible for the analysis of the items above:**

Airports - Department Of Airports	AG. - Agricultural Department	VCAPCD - Air Pollution Control District
EHD - Environmental Health Division	VCFPD - Fire Protection District	GSA - General Services Agency
Harbors - Harbor Department	Lib. Agency - Library Services Agency	Plng. - Planning Division
PWA - Public Works Agency	Sheriff - Sheriff's Department	WPD – Watershed Protection District

**\*\*Key to Impact Degree of Effect:**

N – No Impact  
LS – Less than Significant Impact  
PS-M – Potentially Significant but Mitigable Impact  
PS – Potentially Significant Impact

## Section C – Mandatory Findings of Significance

Based on the information contained within Section B:		
	Yes	No
1. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?		X
2. Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals? (A short-term impact on the environment is one that occurs in a relatively brief, definitive period of time while long-term impacts will endure well into the future).		X
3. Does the project have impacts that are individually limited, but cumulatively considerable? “Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effect of other current projects, and the effect of probable future projects. (Several projects may have relatively small individual impacts on two or more resources, but the total of those impacts on the environment is significant.)		X
4. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?		X

### Findings Discussion:

1. As stated above in Section B, the proposed project contains new development that could adversely affect endangered, threatened or rare species, coastal habitat and locally important species/communities that have the potential to occur within the development envelope and throughout the Project site. However, Biological Mitigation Measures BIO-1 through BIO-11, as identified in Item 4 of this Initial Study Checklist, reduce potential impacts resulting from the Project to a less than significant level. Accordingly, the proposed Project does not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce or restrict the range of an endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.
2. As stated in Section B, the proposed project does not have the potential to achieve short-term to the disadvantage of long-term environmental goals.

3. As stated in Section B the proposed Project does not have the potential to create a cumulatively considerable contribution to a significant cumulative impact.
4. No environmental effects have been identified which would cause substantial adverse effects, either directly or indirectly on human beings. As stated in Section B, the proposed project does not involve the use of hazardous materials in a manner that pose any unusual risks since they must be handled in compliance with all applicable regulations. Additionally, the proposed project does not involve operational noise that will interfere with surrounding uses, traffic hazards, adverse impacts to water bodies located on or around the project site and will not generate any hazardous wastes.

## Section D – Determination of Environmental Document

Based on this initial evaluation:

<input type="checkbox"/>	I find the proposed project <b>could not</b> have a significant effect on the environment, and a <b>Negative Declaration</b> should be prepared.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measure(s) described in Section B of the Initial Study will be applied to the project. A <b>Mitigated Negative Declaration</b> should be prepared.
<input type="checkbox"/>	I find the proposed project, individually and/or cumulatively, MAY have a significant effect on the environment and an <b>Environmental Impact Report (EIR)</b> is required.*
<input type="checkbox"/>	I find that the proposed project MAY have a “potentially significant impact” or “potentially significant unless mitigated” impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An <b>Environmental Impact Report</b> is required, but it must analyze only the effects that remain to be addressed.*
<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or Negative Declaration pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, including revisions or mitigation measures that are imposed upon the proposed project, <b>nothing further is required.</b>

  
 \_\_\_\_\_  
 John Oquendo, Case Planner

8/17/2023  
 \_\_\_\_\_  
 Date

### Attachments:

- Attachment 1 – Aerial Location Map
- Attachment 2 – Project Plans
- Attachment 3 – Initial Study Biological Assessment (David Magney Environmental Consultants, August 2022)
- Attachment 4 – Map of Past, Present, and Reasonably Foreseeable Future Projects Used in the Cumulative Impacts Analysis
- Attachment 5 – CalEEMod ROGNOx Air Quality Impact Model for PL22-0082
- Attachment 6 – Onsite Wastewater Treatment System Design Report (Gold Coast Geoservices, Inc., May 2022) Addendum Letter (July 2022)
- Attachment 7 – Geotechnical Report (Gold Coast Geoservices, Inc., April 2022)
- Attachment 8 – Hydrology & Hydraulics Report (Chirs Nelson & Associates, Inc., July 2022)

Attachment 9 – CalEEMod Greenhouse Gases for Air Quality Impact Model for PL22-0082  
Attachment 10 – Works Cited

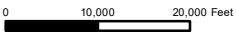


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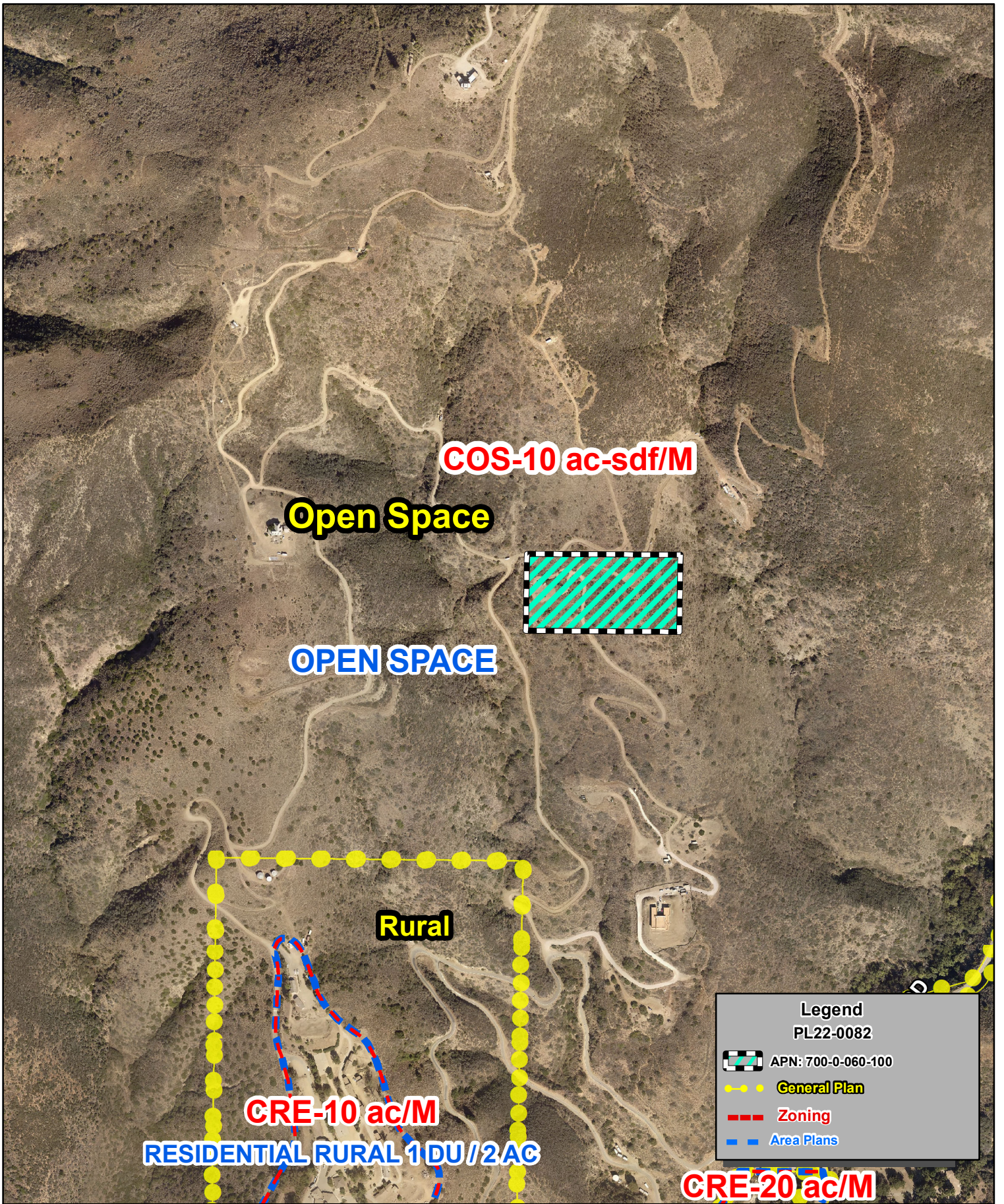
County of Ventura  
 Initial Study/ Mitigated Negative Impact  
 Declaration  
 Case No. PL22-0082  
 Attachment 1 - Location Maps







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**Legend**  
 PL22-0082

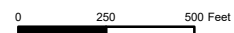
-  APN: 700-0-060-100
-  **General Plan**
-  **Zoning**
-  **Area Plans**



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 Resource Management Agency  
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**County of Ventura  
 Planning Director Hearing  
 PL22-0082  
 General Plan & Zoning Map**



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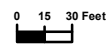
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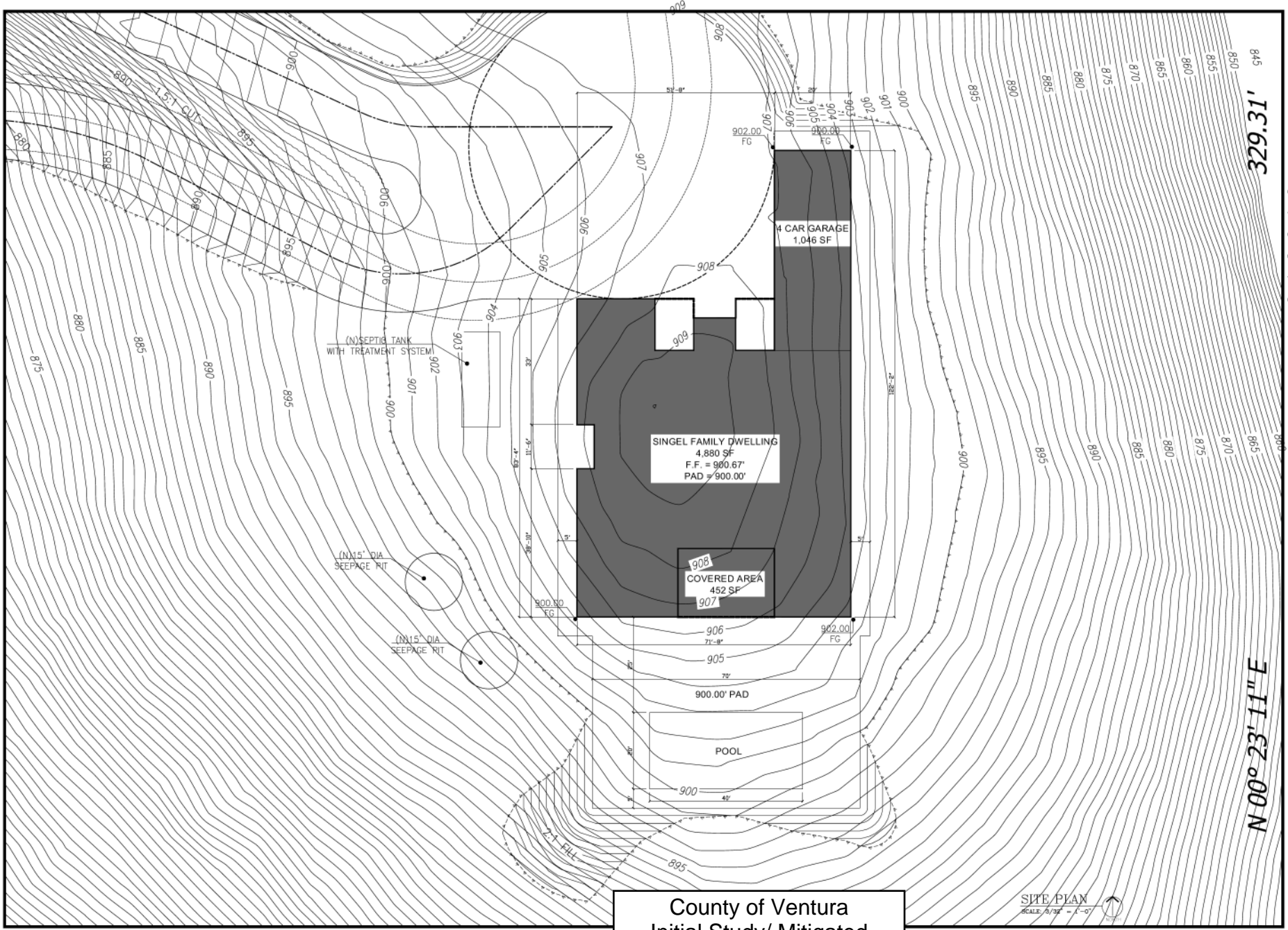


County of Ventura  
Planning Director Hearing  
PL22-0082  
**Aerial Photography**



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County of Ventura  
 Initial Study/ Mitigated  
 Negative Declaration  
 Case No. PL22-0082  
 Attachment 2 - Project Plans

SITE PLAN  
 SCALE: 1/8" = 1'-0"

No.	Revision	Date

Date: 08.14.21  
 Project No.:

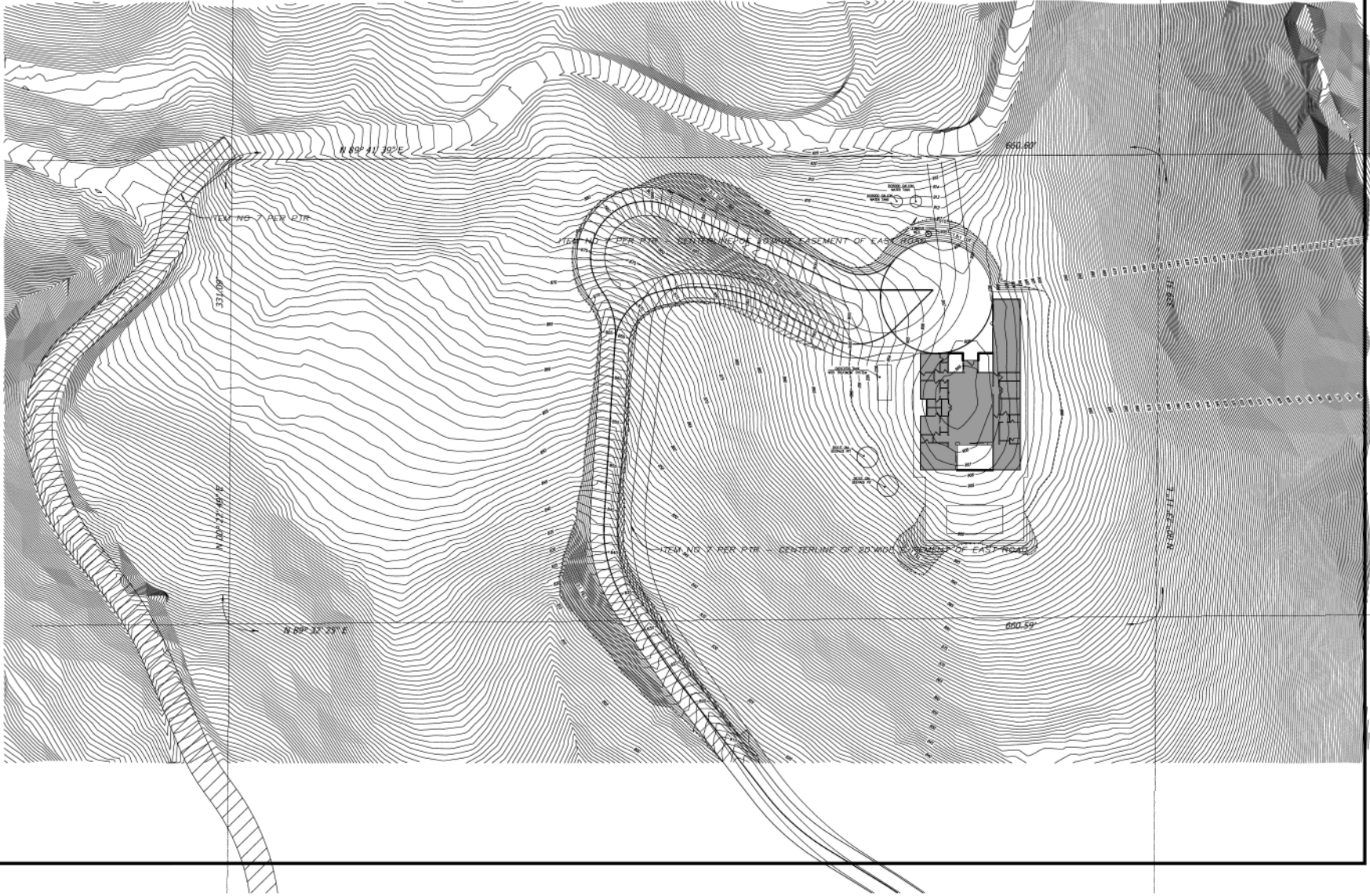


VENTURA COUNTY  
 DEPARTMENT OF PUBLIC WORKS  
 PLANNING AND DESIGN DIVISION  
 1000 J STREET, SUITE 200  
 VENTURA, CALIFORNIA 93401  
 PHONE: (805) 964-7300  
 FAX: (805) 964-7301  
 WWW.VENTURACOUNTY.CA.GOV

DATE	DESCRIPTION	BY	CHECKED	DATE

DRAWING TITLE: SITE PLAN  
 PROJECT ADDRESS: YERBA BUENA

A2.0



No.	Revision	Date

Date: 08.14.21  
Project No.:



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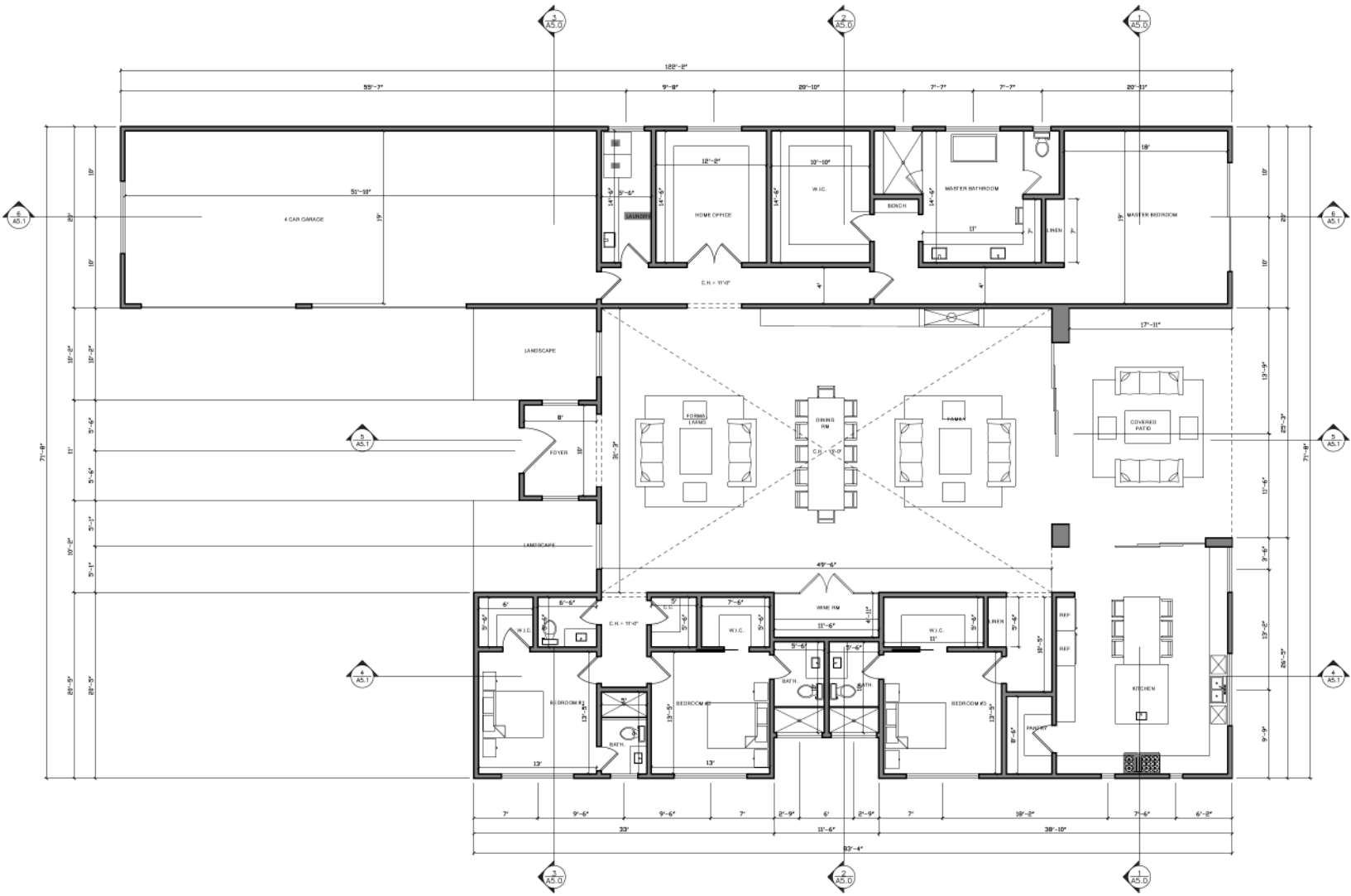
VENTURA COUNTY		DIVISION OF PUBLIC WORKS	
PROJECT NO.	DATE	PROJECT NO.	DATE

DRAWING TITLE: SITE PLAN  
PROJECT ADDRESS: YORBA BUENA

A2.0A

FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"



DRAWING TITLE: FLOOR PLAN

PROJECT ADDRESS: YERBA BUENA

VERMILION COUNTY  
ENGINEER OF ARCHITECTURE & ENGINEERS

NOTICE: THIS CONTRACT IS AN ADOPTION OF THE STANDARD CONTRACT FOR ARCHITECTURAL SERVICES, AS AMENDED BY THE ARCHITECTURAL BOARD OF PROFESSIONAL ARCHITECTS, INC. (P.A.I.), 111 SOUTH JEFFERSON ST., SUITE 200, JEFFERSONVILLE, IN 47130.



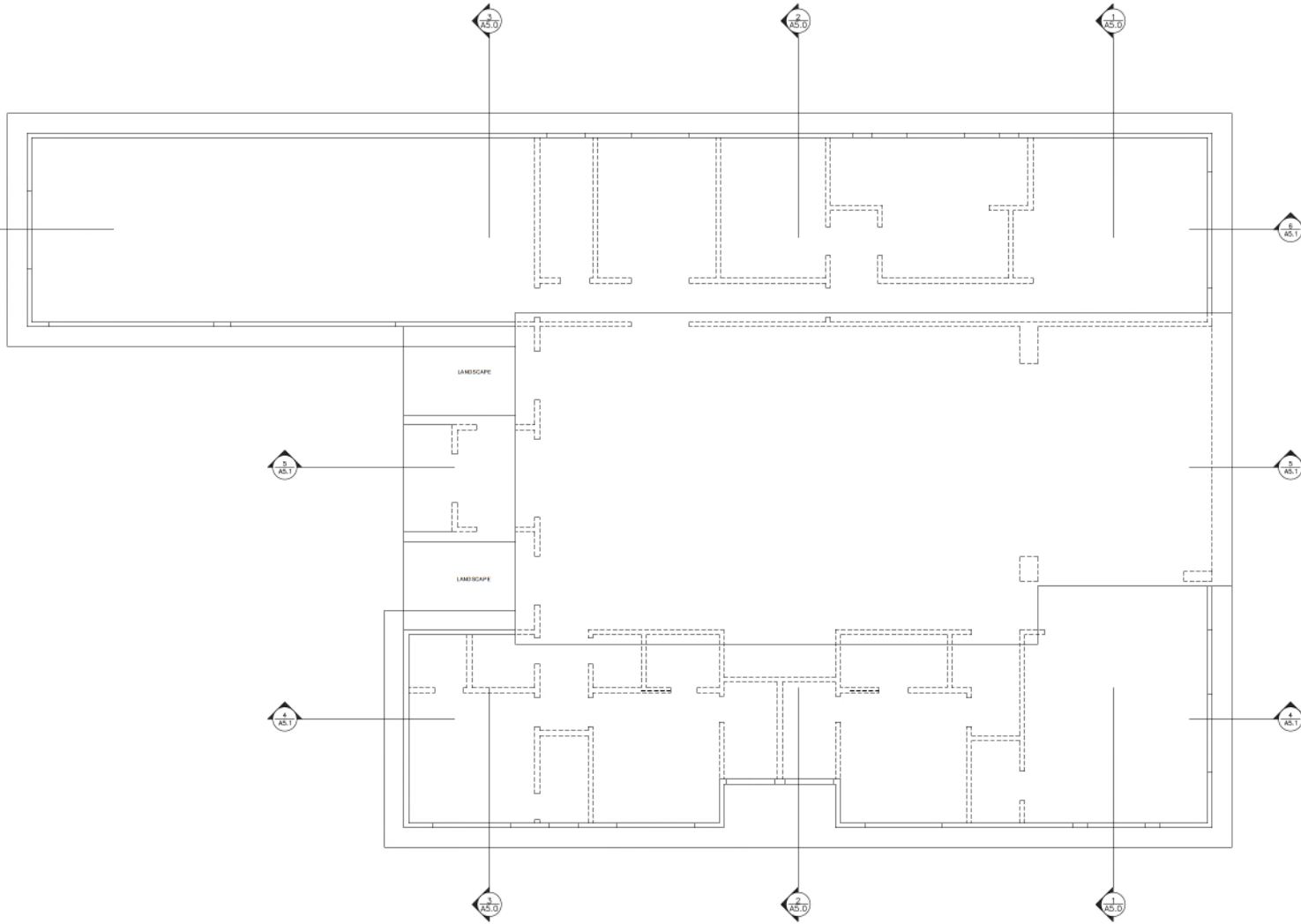
Date:  
Project No.:

No. Revision

Date

A3.0

ROOF PLAN  
SCALE: 3/16" = 1'-0"



DRAWING TITLE: ROOF PLAN

PROJECT ADDRESS: YERBA BUENA

A4.0

VERBA COUNTY  
ENGINEER OF CONSTRUCTION & SURVEYING

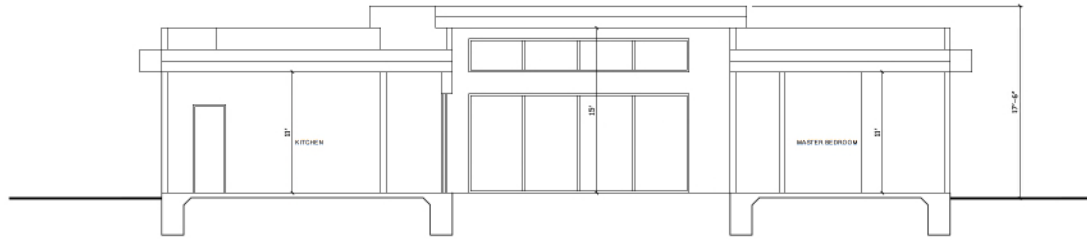
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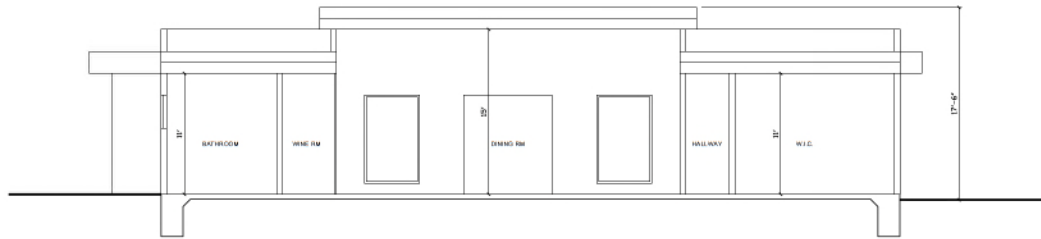
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Date:  
Project No.:

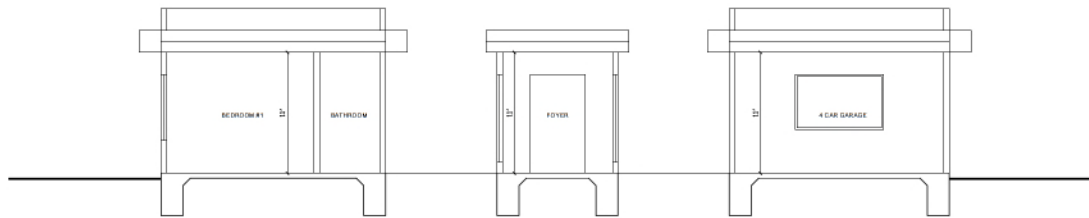
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SECTION 1  
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SECTION 2  
SCALE: 3/16" = 1'-0"



SECTION 3  
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No.	Revision	Date

Date: \_\_\_\_\_  
Project No.: \_\_\_\_\_

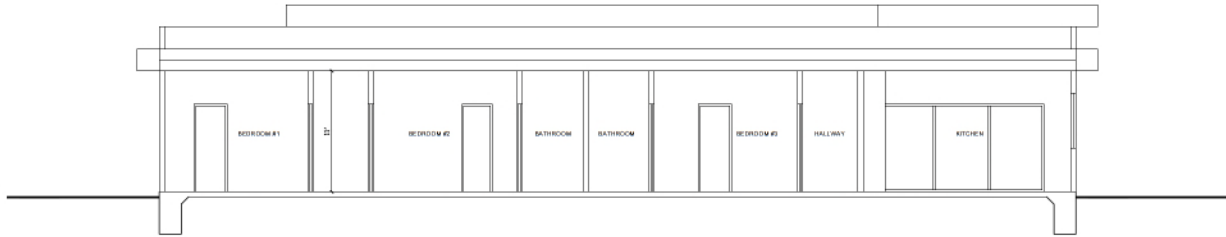


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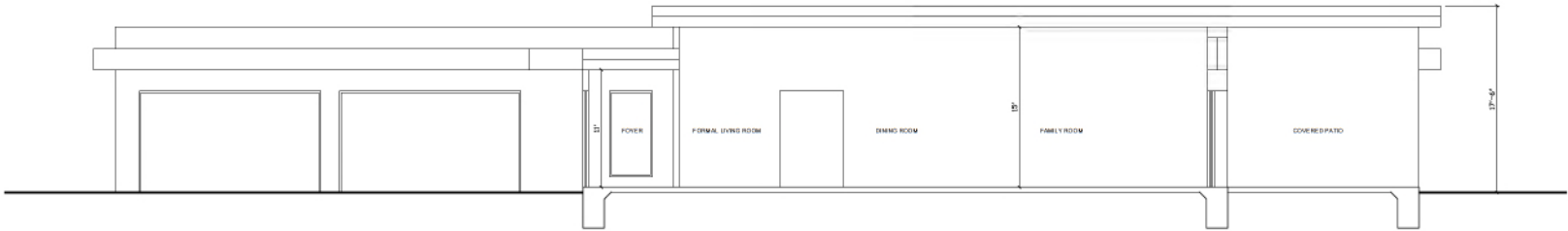
REVISIONS		DATE	

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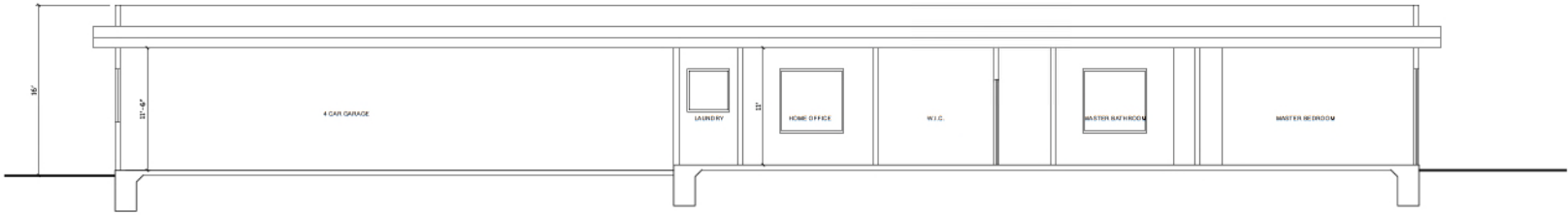
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SECTION 4  
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SECTION 5  
SCALE: 3/16" = 1'-0"



SECTION 6  
SCALE: 3/16" = 1'-0"

No.	Revision	Date

Date: \_\_\_\_\_  
Project No.: \_\_\_\_\_



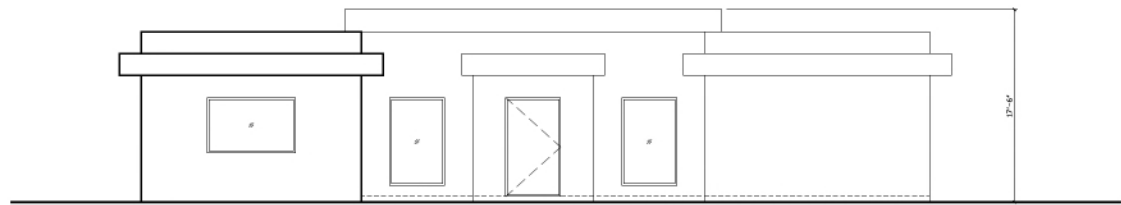
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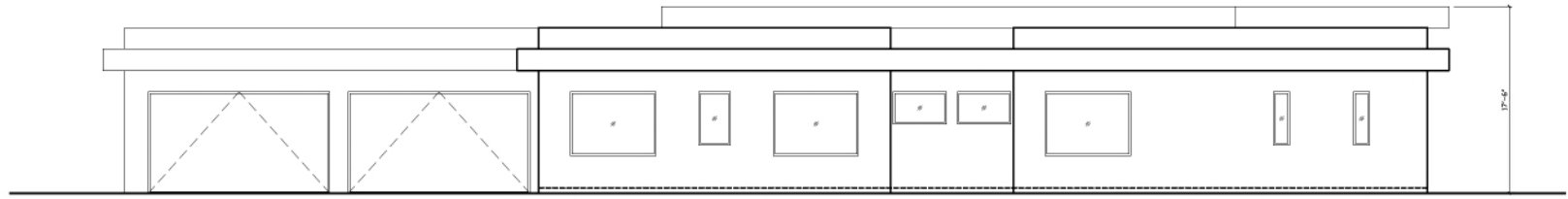
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PLANNING & ZONING DEPT.


DRAWING TITLE: SECTIONS  
PROJECT ADDRESS: YERBA BUENA

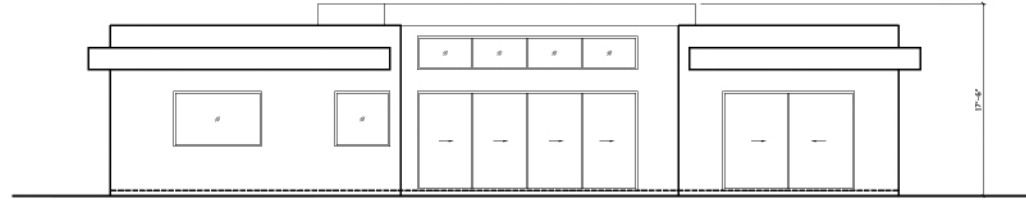




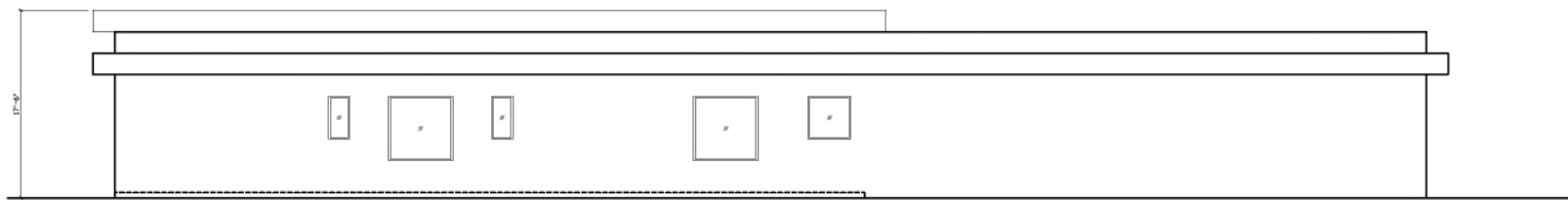
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WEST ELEVATION  
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SOUTH ELEVATION  
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EAST ELEVATION  
SCALE: 3/16" = 1'-0"

No.	Revision	Date

Date: \_\_\_\_\_  
Project No.: \_\_\_\_\_

VERBA COUNTY  
PLANNING DEPARTMENT  
111 SOUTH JEFFERSON ST., SUITE 200  
YERBA BUENA, CA 94598  
TEL: (925) 776-1100  
FAX: (925) 776-1101

DATE	REVISION	BY	DATE

DRAWING TITLE: ELEVATIONS  
PROJECT ADDRESS: YERBA BUENA

A6.0



**BIOLOGICAL ASSESSMENT  
OF THE WEISBERG PROPERTY  
107XX YERBA BUENA ROAD, MALIBU  
VENTURA COUNTY, CALIFORNIA  
(APN 700-0-060-100)**



*Prepared for:*

**VENTURA COUNTY PLANNING DIVISION  
800 S. VICTORIA AVENUE  
VENTURA, CA 93009**

*On behalf of:*

**MICHAEL WEISBERG**

**AUGUST 2022**

*To pr  
se  
enhanc*

County of Ventura  
Initial Study/ Mitigated Negative  
Declaration  
Case No. PL22-0082  
Attachment 3 - Initial Study Biological  
Assessment (David Magney  
Environmental Consultants, August 2022)

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**Biological Assessment  
of the Weisberg Property  
107xx Yerba Buena Road, Malibu  
Ventura County, California  
(APN 700-0-060-100)**



*Prepared for:*

**Ventura County Planning Division**

800 S. Victoria Avenue

Ventura, CA 93009

Contact: John Oquendo, Senior Planner

805/654-3588

*On behalf of:*

**Michael Weisberg**

10715 Yerba Buena Road

Malibu, CA 90265

*Prepared by:*

**David Magney Environmental Consulting**

P.O. Box 1539

Cedar Ridge, CA 95924-1539

Contact: David L. Magney

530/273-1799

26 May 2022, Updated 26 June and 3 August 2022

This document should be cited as:

David Magney Environmental Consulting. 2022. Biological Assessment of the Weisberg Property, 107xx Yerba Buena Road, Malibu, Ventura County, California (APN 700-0-60-100). 26 May 2022, updated 26 June and 3 August 2022. (PN 15-0202.) Cedar Ridge, California. Prepared for Ventura County Planning Division, Ventura, California. Prepared on behalf of Michael Weisberg, Malibu, California.




**Initial Study Biological Assessment Certification**

Original ISBA report date: none  
 Case number: none at this time  
 Permit type: Single-family residence  
 Applicant: Michael Weisberg  
 Planning Division case planner: John Oquendo  
 Total parcel(s) size: 5.0 acres  
 Assessor Parcel Number(s): 700-0-060-100  
 Development proposal description: construct single-family residence

**Prepared for Ventura County Planning Division by:** David Magney Environmental Consulting

As an approved and contracted biologist with the Ventura County Planning Division, I hereby certify that this Initial Study Biological Assessment was prepared according to the Planning Division’s requirements and that the statements furnished in the report and associated maps are true and correct to the best of my knowledge and belief; and I further certify that I was present throughout the site visit associated with this report.

<b>Approved Biologist (signature):</b> 		<b>Date:</b> 3 August 2022
<b>Name (printed):</b> David L. Magney	<b>Title:</b> Owner	<b>Company:</b> David Magney Environmental Consulting
<b>Phone:</b> 530/237-1799	<b>email:</b> david@magney.org	
<b>Other Biologist (signature):</b>		<b>Date:</b>
<b>Name (printed):</b>	<b>Title:</b>	<b>Company:</b>
<b>Phone:</b>	<b>email:</b>	
<b>Role:</b>		



## INITIAL STUDY CHECKLIST

This Biological Assessment DID provide adequate information to make *preliminary* CEQA findings regarding potentially significant impacts.

		Project Impact Degree of Effect				Cumulative Impact Degree of Effect			
		N	LS	PS-M*	PS	N	LS	PS-M*	PS
A	Endangered, threatened or rare species (includes nests)			X				X	
B	Wetland habitat	X				X			
C	Coastal habitat			X				X	
D	Wildlife movement routes		X				X		
E	Locally important species/communities			X				X	

N: No impact

LS: Less than significant impact

PS-M: Potentially significant unless mitigation incorporated.

PS: Potentially significant

\* DO NOT check this box unless the Biological Assessment provided information adequate enough to develop mitigation measures that reduce the level of impact to less than significant.



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## SUMMARY

Michael Weisberg, applicant, has applied for the proposed development of his parcel located at 107xx Yerba Buena Road, Malibu, Ventura County. The proposed development includes construction of a 4,880 sf single-family home including a 452 sf covered patio, with a 1,046 sf attached garage and an outdoor pool. Brush would need to be cleared in a 100 ft. fuel modification zone surrounding the proposed home. Additionally, the project site is located within an area that contains Coastal Sage Scrub, which qualifies as an Environmentally Sensitive Habitat Area (ESHA).

The Weisberg property is located within the Santa Monica Mountains, Malibu, in an unincorporated area of Ventura County. The project area is located on a primarily south-facing slope composed of burned Coastal Sage Scrub and Chaparral. The project area is located on a primarily south-facing slope composed of Coastal Sage Scrub and Chaparral that has been disturbed in part by a pre-1972 Jeep trail and later by clearing for a house pad.

The project will cause direct and indirect mitigable impacts to a locally important species/habitats.

Mitigation measures are recommended to reduce all significant impacts to less-than-significant levels. These mitigation measures include:

- MM 1: Conduct pre-construction surveys for special-status plant species onsite and avoid or relocate these species if found in the construction zone and/or fuel modification zone.
- MM 2: Fence and protect any special-status plant species onsite within the Fuel Modification Zone.
- MM 3: Conduct Pre-Construction Surveys for Special-status Wildlife Species Onsite and Avoid or Relocate These Species if found in the Construction Zone or fuel modification zone.
- MM 4: Protect Bird Nests.
- MM 5: Hooded Outdoor Lighting.
- MM 6: Protect Coastal Sage Scrub on the Project Site.
- MM 7: Restore Disturbed Areas on the Project Site.
- MM 8: Fund Restoration/Preservation Projects in the Santa Monica Mountains Region.
- MM 9: Restrict Construction Activities.

## SECTION 1. CONSTRUCTION FOOTPRINT DESCRIPTION

### PROJECT LOCATION

The Weisberg project site is located four parcels north of 10715 Yerba Buena Road in the Santa Monica Mountains region of the unincorporated area of Ventura County near Malibu, California (APN 700-0-060-100), as shown on Figure 1, General Project Site Location, but as yet lacks a designated street address. The project site ranges from approximately 825 feet (251.5 meters) to 940 ft. (286.5 meters) above mean sea level. The project site is located at NW<sup>1</sup>/<sub>4</sub> SE<sup>1</sup>/<sub>4</sub> NW<sup>1</sup>/<sub>4</sub> S22 T1S R20W San Bernardino Meridian, Triunfo Pass, California Quadrangle (USGS 7.5-minute Series Topographic Map), and at the approximate coordinates of 34.070501°N latitude and 118.966992°W longitude. In the region, Little Sycamore Canyon and Yerba Buena Creek are to the east, Clarks Peak is to the north, and the Pacific Ocean is to the south.

The Weisberg parcel is approximately 5.0 acres (2.02 hectares) and rectangular in shape, with the east-west axis being longer. One existing dirt road, along existing easements, passes through the parcel, general south to north, and then splitting to the east and west. A Jeep trail historically passed through the proposed house pad from north to south on the spine of the north-south oriented ridge. The historic Jeep trail measures approximately 0.203 acre of the Weisberg parcel.

### DEVELOPMENT HISTORY

DMEC has reviewed aerial imagery available at the County of Ventura and on Google Earth, and determined that the majority of the initial grading on this parcel occurred between 1981 and 1989. Figure 2, Historical Aerial Imagery of the Weisberg Property, shows current and historic aerial imagery of the project site, with the red arrows generally indicated the location of the proposed house pad. Aerial imagery from 1975 and 1977 indicates that the parcel was undeveloped aside from a small primitive road (Jeep trail) on the eastern portion of the parcel during these years. That road disturbed approximately 0.203 acre of the Weisberg parcel.

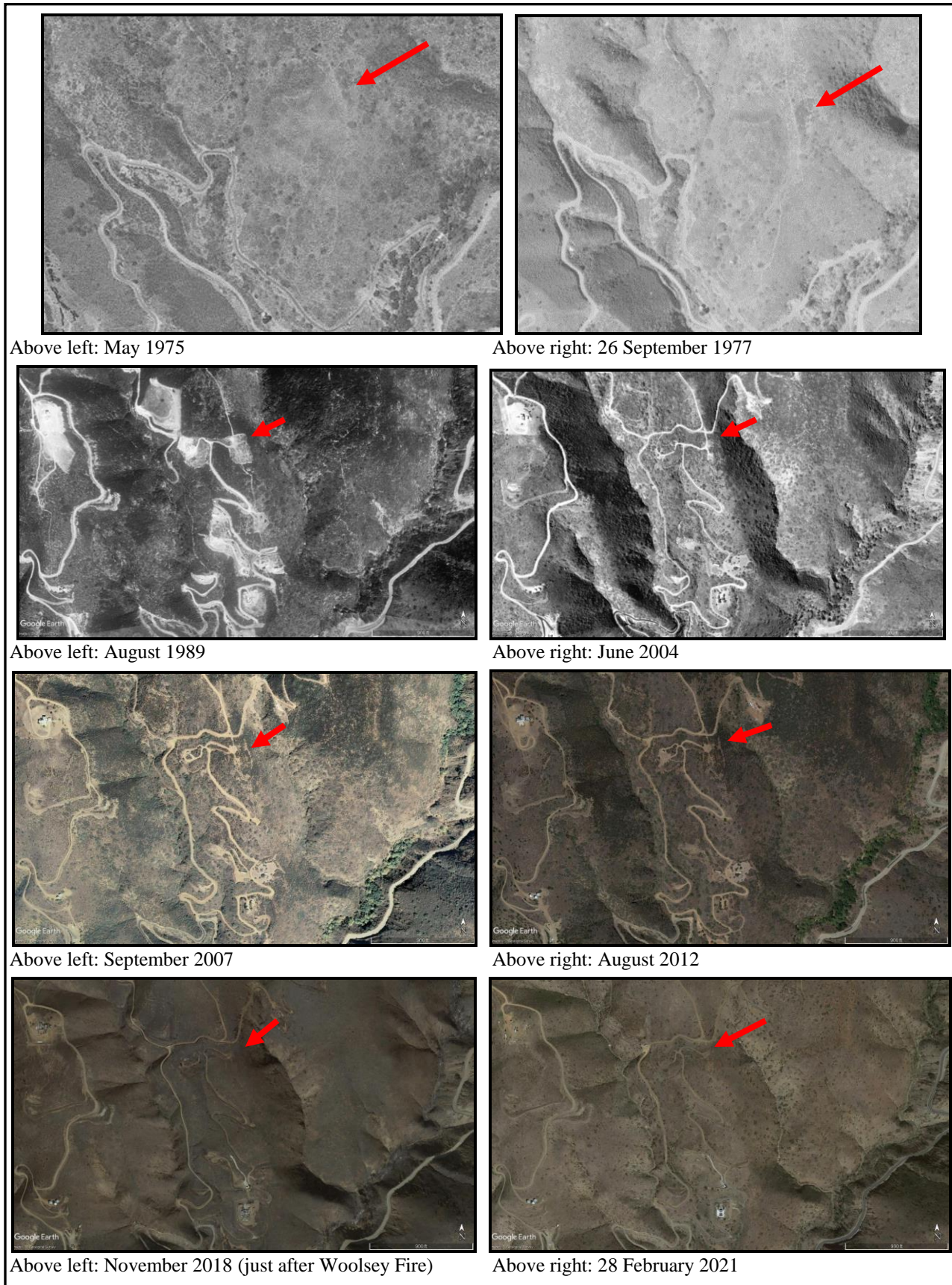
As of 1989, two areas on the project parcel had been cleared and a road had been graded generally north to south connecting the 5-acre parcels south of the project parcel. By this time, approximately 2.05 acres of Coastal Sage Scrub and chaparral had been cleared, excluding the original Jeep trail. It is unclear who conducted this clearing and grading. Because the roads are part of a recorded easement that dates back as far as 1936, they are not being considered as an impact associated with this project, and have been excluded from the fuel modification zone calculations. This same road and construction pads are still present, but much of the areas cleared around the construction pads has been re-colonized by native Coastal Sage Scrub species.

The Woolsey Fire of 2018 burned the entire parcel and the structures that were present at that time, as well as all the parcels over which the access road traverses. No new structures or grading has occurred since the fire. At some time since 1987, a water well was drilled on the project parcel.

**Figure 1. General Project Site Location**



**Figure 2. Historic Aerial Imagery of the Weisberg Property**





## DEVELOPMENT PROPOSAL DESCRIPTION

The current proposed development consists of a single-family residence with attached garage and patio with an outdoor pool. The proposed house is 4,880 square feet. An area of approximately 52,707 square feet is proposed to be graded for the residence and driveway, including turnout areas along the access road. That area is based on a preliminary grading plan and may change as the project develops. Figure 3, Preliminary Grading Plan for the Weisberg Residence and Access Road, shows the preliminary plan for areas that will be graded. Brush will be cleared in a 100-foot-buffer zone around the residence, in an area totaling 67,808 square feet.

The existing 20-foot wide access road will be widened in three areas as shown on Figure 2 with the entire road paved. Currently this road is unpaved above (north of) 10715 Yerba Buena Road (residence at southern end of area depicted on Figure 2). The grading footprint for the proposed house and driveway is shown on Figure 4, Preliminary Grading Plan for Proposed Residence and Driveway. Two 5,000-gallon water tanks are proposed north of the turnaround circle adjacent to the existing water well. These features have a footprint of approximately 103 square feet. Figure 5, Proposed House and Landscaping, shows the proposed house, hardscaping, and landscaping for the proposed house.

### Construction Footprint Size

The proposed development includes construction of a 4,880 sf single-family home including a 452 sf covered patio, with a 1,046 sf attached garage and an outdoor pool. Details of the footprint of the proposed construction are provided in Table 1, Proposed Project Facilities, and the layout are provided on Figure 4, Proposed House and Landscaping.

The total area to be graded, for the house pad and widening of the existing access road outside of the Weisberg parcel is 2.998 acres.

**Table 1. Proposed Project Facilities**

Project Feature	Square Feet	Acres
Residence (including garage)	5,926	0.138
Fire Brush Clearance Area	67,808	1.557
Draft Grading Area	52,707	1.21
Driveway	60,490	1.389
Water Tanks	103	0.0024
Totals	130,593 <sup>1</sup>	2.998

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<sup>1</sup> Several of the elements in Table 1, such as the draft grading area, fuel modification zone, and driveway overlap. Therefore the actual total square footage and acreage of the project is smaller than these figures.

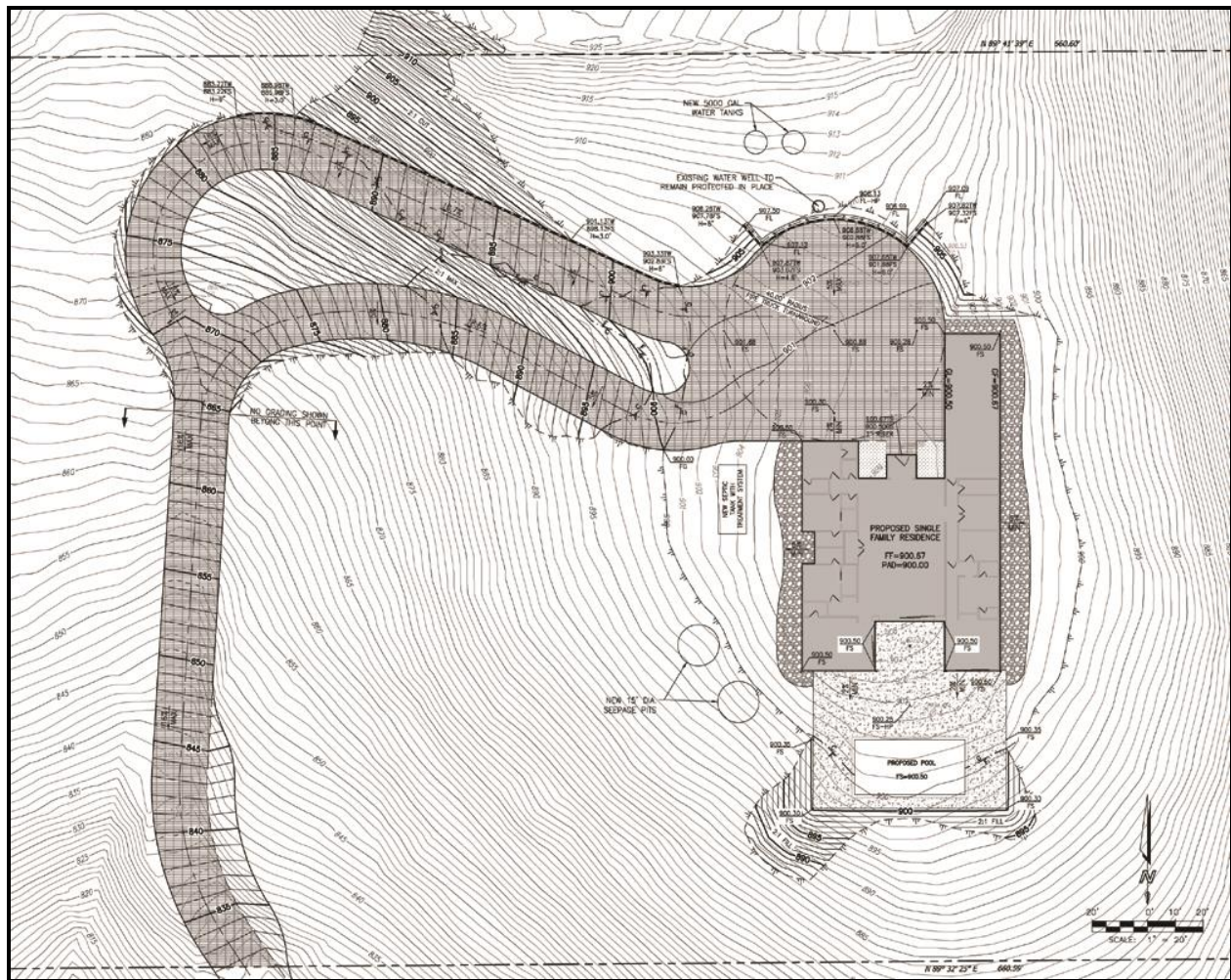


**Figure 3. Preliminary Grading Plan for the Residence and Access Road**





**Figure 4. Preliminary Grading Plan for Proposed Residence and Driveway**



### Development Area Size

The development includes the pad for the house and hardscaping around it (including the pool), the two 5,000-gallon water tanks, and loop driveway, plus the pullout areas along the existing access road. Details of the development area size are provided in Table 2, Proposed Development Area.

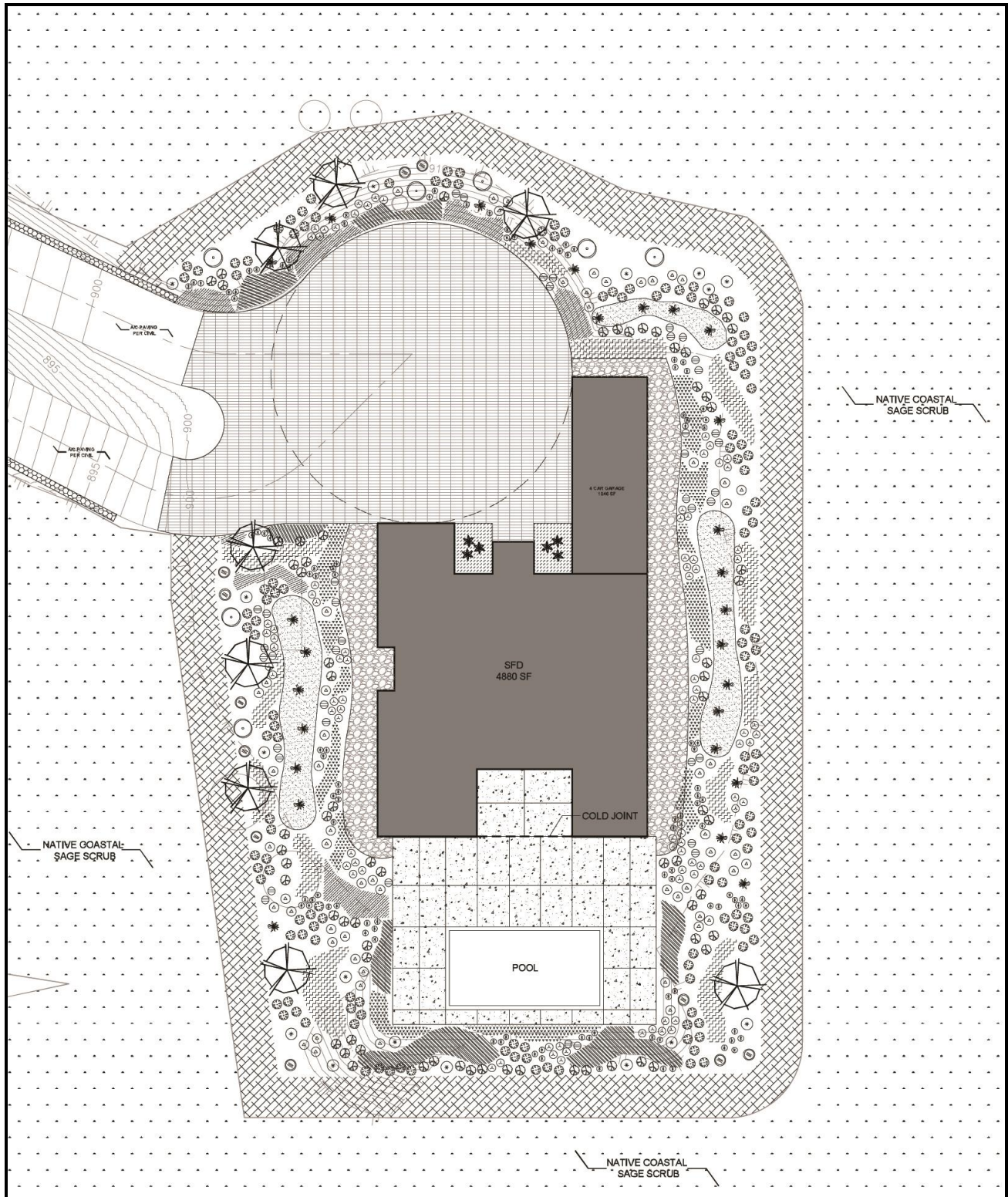
**Table 2. Proposed Development Area**

Project Feature	Square Feet	Acres
Residence	27,962 <sup>2</sup>	0.642
Water Tanks	103	0.019
Access Road and Driveway	24,745	0.568
<b>Totals</b>	<b>52,810</b>	<b>1.212</b>

<sup>2</sup> A portion of this area includes the historic Jeep trail.



**Figure 5. Proposed House and Landscaping**





## **Coastal Zone/Overlay Zones**

The project site is within the Coastal Zone / Santa Monica Mountains Overlay Zone.

## **Zoning**

COS-10 ac-sdf/M (Coastal Open Space, 10 acre minimum parcel size, slope density formula, Santa Monica Mountains overlay zone).

## **Elevation**

The elevation of the project site is 900 feet above sea level on average.

## SECTION 2. SURVEY AREA DESCRIPTION AND METHODS

### SURVEY PURPOSE

Discretionary actions undertaken by public agencies are required to demonstrate compliance with the California Environmental Quality Act (CEQA). The purpose of this Initial Study Biological Assessment (ISBA) is to gather enough information about the biological resources associated with the proposed project, and their potential to be impacted by the project, to make a CEQA Initial Study significance finding for biological resources. In general, ISBAs are intended to:

- Provide an inventory of the biological resources on a project site and the values of those resources.
- Determine if a proposed project has the potential to impact any significant biological resources.
- Recommend project redesign to avoid, minimize, or reduce impacts to significant biological resources.
- Recommend additional studies necessary to adequately assess potential impacts and/or to develop adequate mitigation measures.
- Develop mitigation measures, when necessary, in cases where adequate information is available.

### SURVEY AREA DESCRIPTION

*Survey Area Definition (per the Ventura County Planning Division): The survey area is the location that the biologist will assess. The survey area includes the construction footprint and any other areas potentially affected by the project, such as from light, dust, noise, runoff, etc., and any required buffers, such as for wetlands. The construction footprint plus a 100-foot buffer—beyond the fire hazard brush clearance boundary—(or 20-foot from the cut/fill boundary or road fire hazard brush clearance boundary – whichever is greater) is generally the minimum size of a survey area. Required off-site improvements—such as roads or fire hazard brush clearance—are included in the survey area. Survey areas can extend off the project's parcel(s) because indirect impacts may cross property lines.*

#### Survey Area 1 (SA1)

For the purpose of this biological assessment, the entire property is the survey area. Any impacts to biological resources that may occur as a result of the construction have been evaluated.

#### *Location*

The Weisberg project site is a vacant 5.0-acre property located at 107xx Yerba Buena Road in the Santa Monica Mountains region of the unincorporated area of Ventura County, California, as shown on Figure 1 and Figure 3. The project site ranges in elevation from approximately 825 feet (251.5 meters) to 940 ft. (286.5 meters) above mean sea level. It is located in the NW $\frac{1}{4}$  SE $\frac{1}{4}$  NW $\frac{1}{4}$  S22 T1S R20W San Bernardino Meridian, Triunfo Pass, California Quadrangle (USGS 7.5-minute Series



Topographic Map), and at the approximate coordinates of 34.070501°N latitude and 118.966992°W longitude. In the region, Little Sycamore Canyon and Yerba Buena Creek are to the east, Clarks Peak is to the north, and the Pacific Ocean is to the south.

The survey area includes the Weisberg parcel plus the area on adjacent parcels, primarily along the access road to the south.

### ***Survey Area Boundaries***

For the purpose of this biological assessment, the Weisberg parcel boundaries and fuel modification zone, plus the parcels containing the access road are considered the survey area boundaries, which is depicted on Figure 6, Map of Survey Area. Biological field surveys included the project parcel and portions of parcels to the north and those that include the access road. The surveys beyond the Weisberg parcel were concentrated along the access road to document any sensitive biological resources that may be affected by the proposed paving of the access road.

### ***Survey Area Environmental Setting***

The Weisberg parcel and other parcels in the survey area occur primarily on moderate to steep southerly-facing slopes. The study area is almost entirely composed of Coastal Sage Scrub and Chaparral vegetation alliances, with small patches of Ruderal Grassland and developed/disturbed areas.

### ***Surrounding Area Environmental Setting***

Habitats existing adjacent to the project site primarily include Coastal Sage Scrub vegetation alliances. Little Sycamore Canyon and Yerba Buena Creek are approximately 1,730 feet southeast of the parcel, and contain Southern Coast Live Oak Riparian Forest (a sensitive habitat). Several other empty (some with temporary storage containers and/or equipment) development pads on adjacent parcels surround the project site. Building pads associated with Camp Hess Kramer are on a ridgeline to the southwest of the property where several buildings were destroyed by the Woolsey Fire of 2018.

### ***Cover***

The property primarily consists of native Coastal Sage Scrub and Chaparral vegetation alliances. Plant communities existing onsite include:

55.1% native Coastal Sage Scrub (2.754 acres)

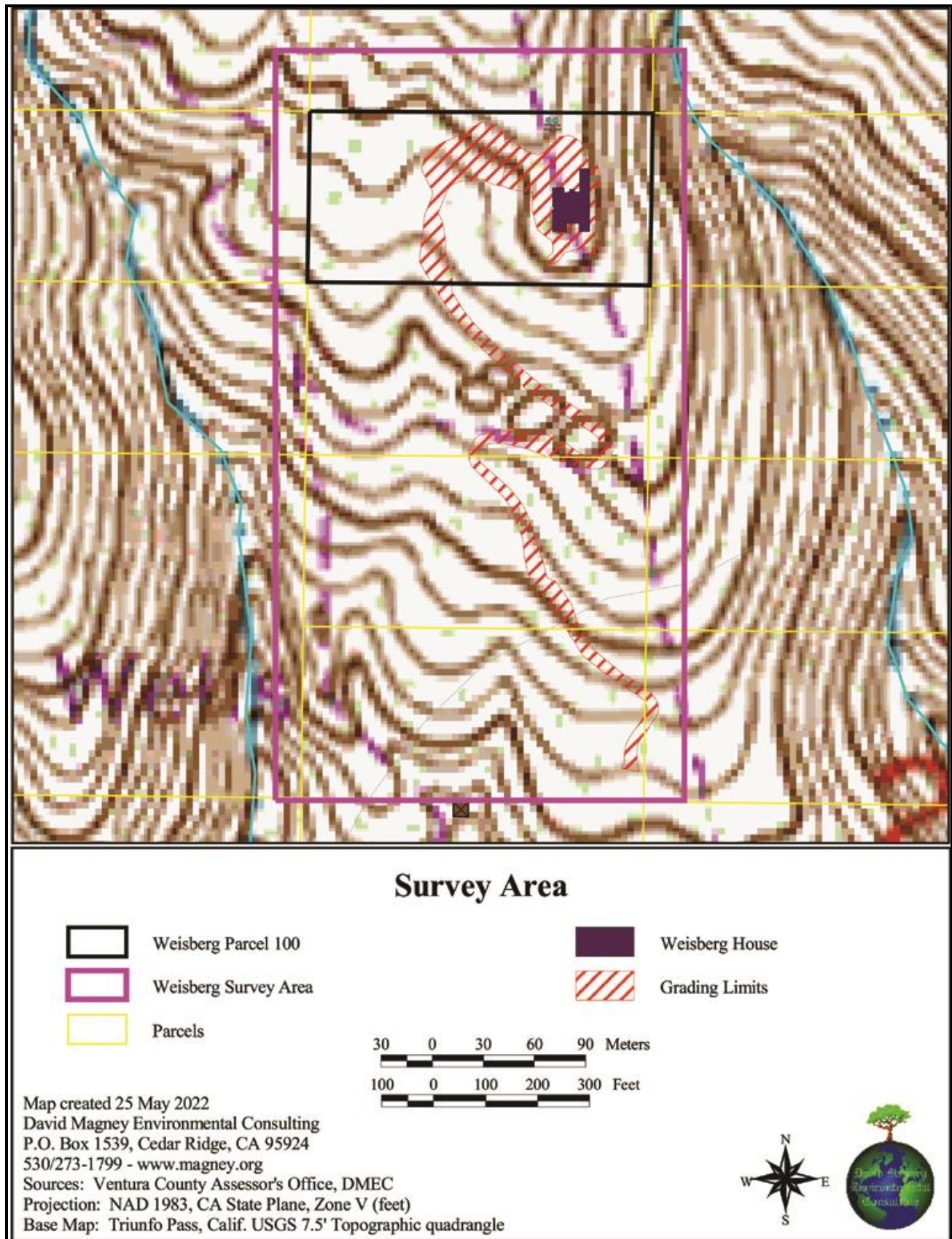
29.0% native Chaparral (1.449 acres)

13.7% bare ground/cleared/graded (0.685 acre)

0% buildings, paved roads, and other impervious surfaces (0 acres)

2.3% Ruderal areas (0.115 acre)

**Figure 6. Map of Surveyed Area**



## METHODOLOGY

### Literature Survey

DMEC conducted a search of the California Department of Fish and Wildlife's (CDFW's) California Natural Diversity Database (CNDDDB) BIOS Viewer (CDFW 2022) for the Triunfo Pass, California Quadrangle (USGS 7.5-minute Series Topographic Map) (in which the Weisberg property exists), and all surrounding quads (Point Mugu, Camarillo, Newbury Park, Thousand Oaks, and Point Dume). DMEC conducted this database search to account for special-status species tracked by CDFW in the area and with potential to occur at the project site. The CNDDDB Special Animals List (CDFW 2021a) was also referenced to determine if any wildlife species observed onsite are considered special-status species. The CNDDDB Special Vascular Plants, Bryophytes, and Lichens List (CDFW 2021b) was referenced to account for any other special status plant species could potentially occur on site.

DMEC also conducted a literature search of California Native Plant Society's *Inventory of Rare and Endangered Plants of California* (CNPS 2022). DMEC referenced the Locally Important Plant and Animal Lists (VCPD 2012a, 2012b), and the *Checklist of Ventura County Rare Plants* (Magney 2020) to account for other special-status plant species not tracked by CNDDDB with potential to occur in the vicinity of the proposed project site. DMEC also referenced biological resource assessments conducted on Weisberg's parcel at 10715 Yerba Buena Road (DMEC 2016), directly south of the subject parcel, and at nearby properties on behalf of Marco Beltrami (DMEC 2005) and Michael Parris (DMEC 2014) for special-status, or locally rare species observed in the vicinity of the Weisberg project site. Projects reviewed under California Environmental Quality Act (CEQA) should consider impacts to Locally Important Species as significant. Generally, impacts to an entire population of one or more of the species listed herein would be considered significant. Taxonomic experts were contacted to assist with identification of difficult taxa or groups (Knudsen pers. comm., Rebman pers. comm., Fred Roberts, Jr.).

DMEC also searched in-house files on occurrences of plants and wildlife:

- David Magney's manuscript of the *Flora of Ventura County* (Magney 2021) for detailed information regarding the distribution and status of vascular plants known to occur in Ventura County;
- DMEC's atlas of terrestrial gastropods (DMEC 2009a) for distribution and occurrences of terrestrial snails and slugs potentially occurring onsite; and
- David Magney's preliminary list of bryophytes known to occur in Ventura County (Magney 2009b).

### Field Survey Methods

Three field surveys of the project site were conducted on 18 February, 19 April, and 16 June 2022 by David Magney, with the details of those surveys provided in Table 3, Survey Dates and Details. Rincon Consultants biologist Robin Murray was present for much of the 16 June 2022 survey as part of a site inspection on behalf of Ventura County Planning Department. The surveys were conducted onsite to identify the native and naturalized flora and fauna onsite, including special-status plant and wildlife species and sensitive habitats. The parcel was walked over to account for as many observable plant and wildlife species as feasible onsite, without conducting intensive sampling, such as trapping or other observation techniques. A Global Positioning System (GPS) unit was carried to track



footpaths and to mark waypoints of findings of interest. DMEC concentrated survey efforts in and around the areas that have the potential be directly affected by any proposed development activities.

Experts on taxonomy of certain plant species were consulted to assist with identification, such as Fred Roberts on the *Calochortus plummerae*-*C. weedii* complex and Michael Simpson on the southern California *Cryptantha* taxa.

**Table 3. Survey Dates and Details**

Survey Date and Details							
Survey Key	Survey Date	Survey Area Map Key	Survey Type	Time Period	Methods/ Constraints	GPS	Surveyors
SD1	18 February 2022	SA1	ISBA	10:00 AM – 3:00 PM	Visual / On Foot	Garmin GPSMap 62stc	David Magney
SD2	19 April 2022	SA1	ISBA	8:30 AM - 2:00 PM	Visual / On Foot	Garmin GPSMap 62stc	David Magney
SD3	16 June 2022	SA1	ISBA; Verification	10:30 AM – 2:30 PM	Visual / On Foot	Garmin GPSMap 62stc	David Magney Robin Murray

ISBA = Initial Study Biological Assessment

Figure 7, Surveyed Areas of the Project Site, illustrates the areas walked and surveyed during the 2022 surveys, which included some areas surrounding the project parcel. Observation data points are shown as waypoints on Figure 7, where all taxa observed within a general 10-meter circle from the center of the waypoint, and dominant and special-status species were noted. A total of 59 waypoints were sampled, 36 of which specifically documented the location of one or more special-status species.

Photographs were taken at each waypoint as well as all plant and wildlife taxa observed. Voucher specimens were taken of selected plant taxa, which will be deposited into the herbarium at UCSB.

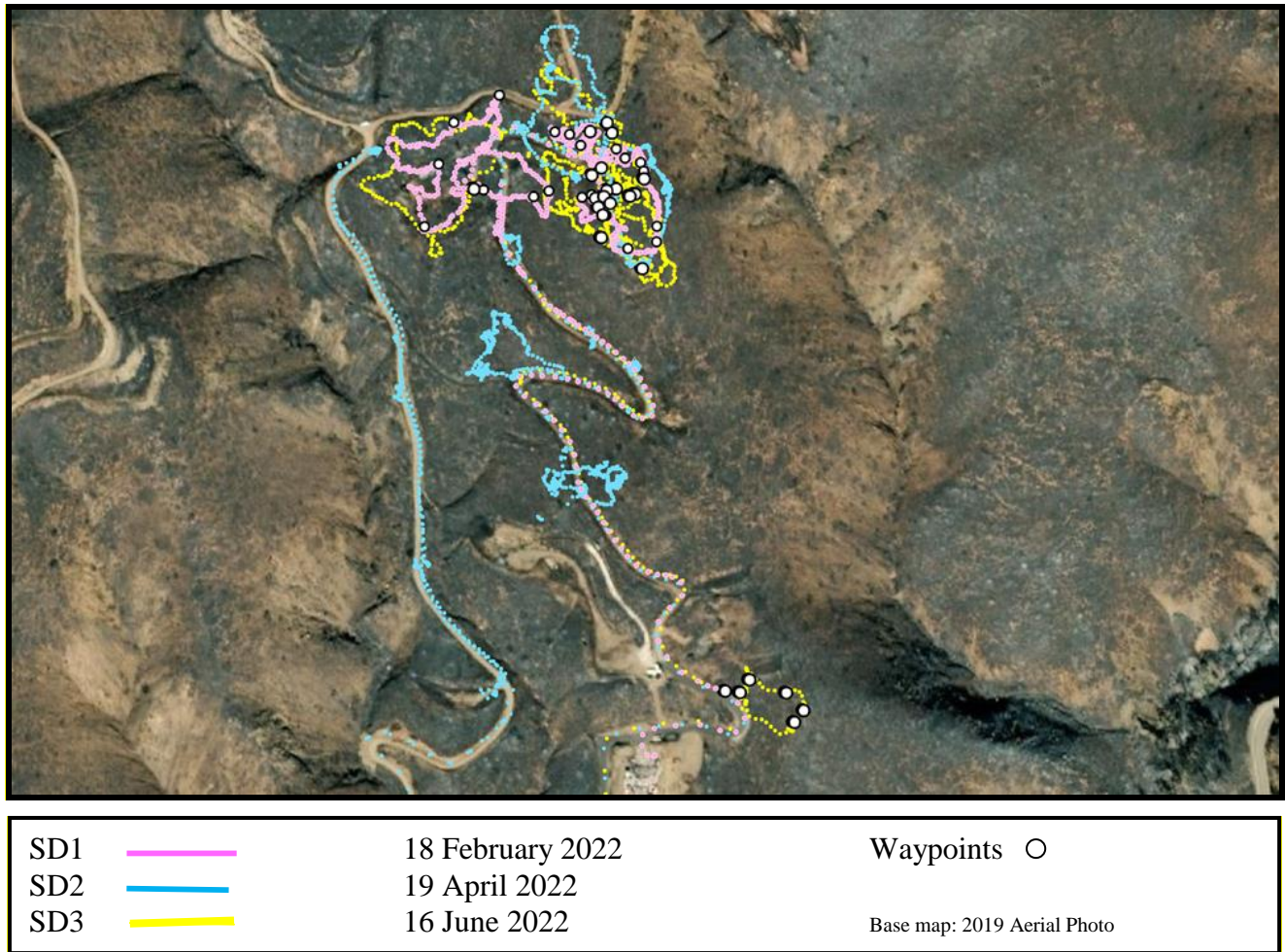
## Mapping Methods

Mapping of the vegetation alliances was performed with the aid of ArcGIS programs (ArcView 3.3 and ArcMap 10.5.1 and related programs). The vegetation maps (Figures 8 and 12) were drawn onscreen at a scale of from 1:200 to 1:1,200 using color aerial photographs (ESRI basemap).

The polygons of these maps differentiate the distinct land cover signatures related to patterns observed on the aerial photograph. These polygons were classified and attributed with different vegetation alliances after checking all available vegetation data gathered onsite by DMEC. DMEC’s field data were also consulted as ground-truthing points (waypoints) in order to discern the boundaries of vegetation alliances that were not easily detected with the aerial imagery.

Occurrences of special-status species were mapped based on field survey waypoints (see Figure 7) where the number of individuals and associated species found with them were recorded. Each occurrence was also photographed.

**Figure 7. Surveyed Areas of the Project Site**



## Assessment Methods

After field survey data and habitat mapping were completed, DMEC compared site data with current lists of sensitive habitats and special-status species identified as part of the literature survey. Species unidentified in the field were identified in the laboratory using reference manuals (e.g. *Jepson Manual*<sup>3</sup>, *Jepson eFlora*<sup>4</sup>) and field guides and internet resources (e.g. *eBird.com*<sup>5</sup>, *iNaturalist.com*, *BugGuide.net*<sup>6</sup>).

Any biological resource or taxon of interest present onsite that would be impacted the proposed project was assessed for the significance of the impact.

<sup>3</sup> *Jepson Manual* (Baldwin et al. 2012)

<sup>4</sup> *Jepson eFlora*: <https://ucjeps.berkeley.edu/eflora/>

<sup>5</sup> *eBird.net*: The Cornell Lab of Ornithology - <https://ebird.org/home>

<sup>6</sup> *BugGuide.net*: <https://bugguide.net/>





## *Significance Thresholds*

A significant impact would occur if the following conditions resulted from the implementation of the proposed project resulted in:

- Loss of one or more individuals of a federally listed species;
- Loss of one or more individuals of a state-listed species;
- Loss of one or more California Fully Protected Species;
- Loss of one or more Ventura County Locally Important Species;
- Extirpation of an entire population or a special-status species;
- Reduction of the size of the population to a state that it was not expected to be viable and self-sustaining.

If either of these conditions would occur, then the impact was considered a significant impact and mitigation measures were identified to avoid, reduce, or minimize the impact, or compensate for the loss.

Impacts to state or federally listed species or Ventura County Locally Important Species were initially considered significant and required a full impact assessment. All other special-status species known or expected to occur onsite was considered to be potentially significant, with the final determination based on the level of rarity and threat and how the proposed project is expected to impact individuals or populations present onsite or nearby, depending on the ecology of the taxon.

Mitigation measures were recommended for any project-related impacts depending on whether the impact was considered significant.

## SECTION 3. BIOLOGICAL INVENTORY

This section describes the existing, pre-project conditions of the project site, including topography, landscape position, site history, habitats (primarily natural vegetation), and the flora and fauna of the project site.

### HABITATS: PLANT COMMUNITIES, PHYSICAL FEATURES, AND WETLANDS

#### Background Research

Currently, the property is undeveloped; however, there are existing dirt access roads and an existing development pad that had been cleared of vegetation over the last 30 years. These areas most were most likely composed of Coastal Sage Scrub and Chaparral prior to being cleared. The rest of the parcel is composed of Coastal Sage Scrub and patches of chaparral.

Little Sycamore Canyon and Yerba Buena Creek are approximately 1,720 feet southeast of the parcel, and contains Southern Coast Live Oak Riparian Forest (a sensitive habitat). Several other empty construction pads and roads are on adjacent parcels surrounding the project site. Buildings associated with Camp Hess Kramer are on a ridgeline to the southwest of the property. The elevation onsite is approximately 900 feet above mean sea level.

#### Plant Communities/Habitats

Locally important or rare plant communities were found within the survey area(s)

#### *Major Plant Communities Summary*

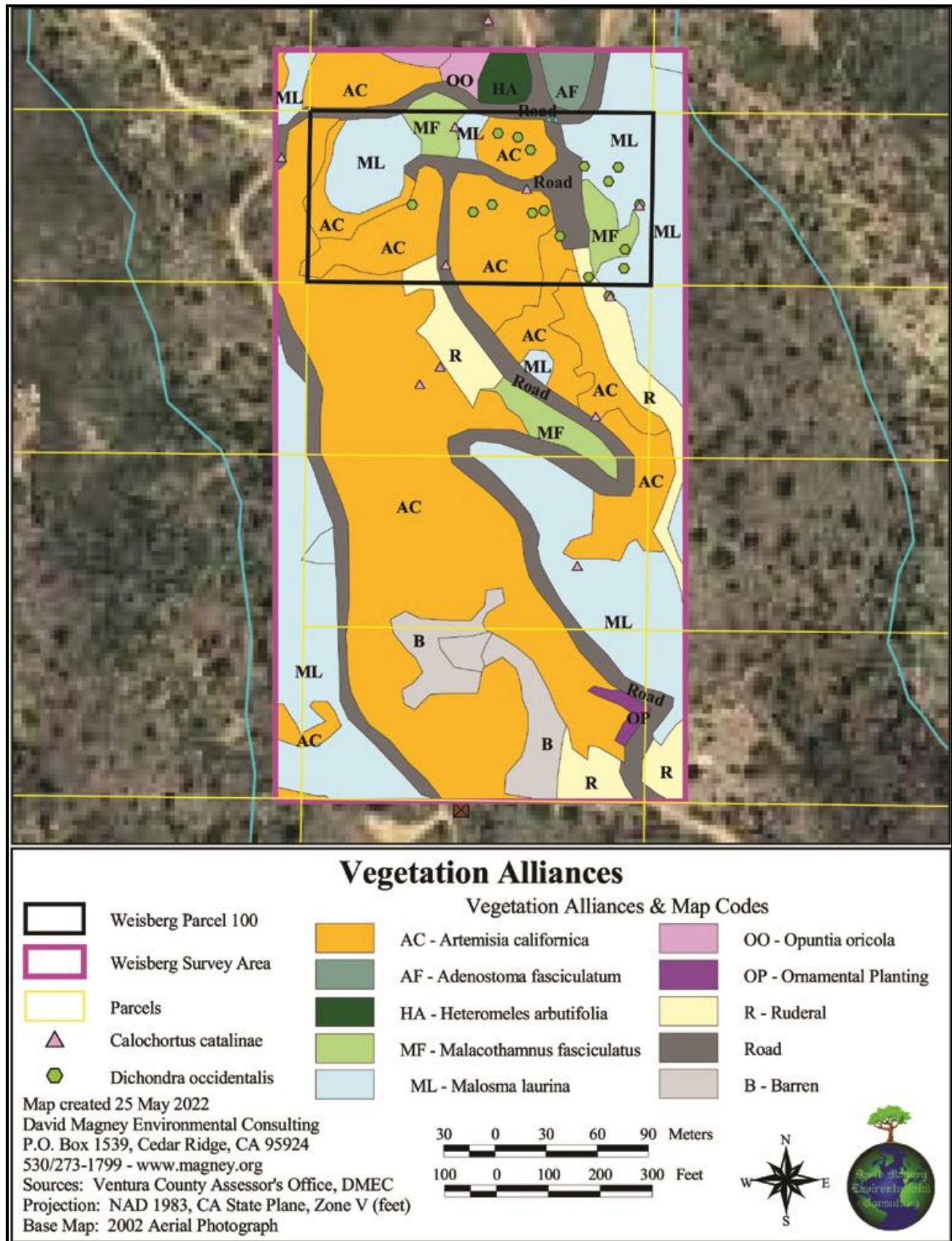
The majority of the project site is dominated by Coastal Sage Scrub, with areas dominated by Chaparral and some small patches of Ruderal habitats. The habitats observed within the property are discussed in detail below, and are summarized in Table 4, Plant Communities of the Project Site. All habitats and plant alliances found within and adjacent to the Weisberg property are mapped below in Figure 8, Plant Communities of the Project Site<sup>7</sup>.

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<sup>7</sup> The boundaries between plant alliances and associations, especially within Coastal Sage Scrub, can be subtle and ambiguous. DMEC has provided the approximate boundaries between the observed plant communities onsite.



**Figure 8. Plant Communities of the Project Site**



## *Coastal Sage Scrub*

Coastal Sage Scrub is a shrubland dominated by facultative drought-deciduous, low-growing, soft-leaved, and grayish-green (malacophyllus) shrubs and subshrubs. Coastal Sage Scrub habitats typically exhibit a patchy distribution, often in close association with areas inhabited by grassland or chaparral habitats. Coastal Sage Scrub is a community at risk, with approximately 90 percent already lost to development (urban and agriculture); very little Coastal Sage Scrub has been protected by any legal mechanisms, such as enforceable conservation easements (Davis et al. 1985). (Boyd 1999).

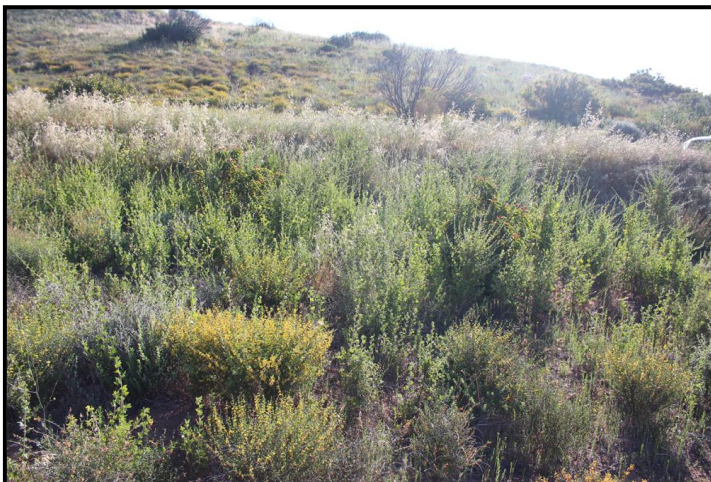
The Coastal Sage Scrub habitat observed onsite is within the Ventura County Coastal Zone as defined by the California Coastal Commission. Section 30107.5 of the Coastal Act defines an Environmentally Sensitive Habitat Area (ESHA) as, “any area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and developments”. Regardless, Coastal Sage Scrub is a sensitive habitat considered by CNDDDB (CDFW 2015) (classified as Coastal Sage Chaparral Scrub), which has a status of G3 S3.2.

The alliances and associations within the Coastal Sage Scrub communities that were observed at the Weisberg study area and property are listed and described below. Since the entire survey area was burned in the Woolsey Fire in late 2018, the vegetation is rejuvenating naturally and it returned basically to what was present prior to the fire; however, many areas that may have been dominated by chaparral species prior to the fire are now dominated by Coastal Sage Scrub species, and will likely return to chaparral-dominants in approximately five years if not disturbed by human activities or another wildfire.

The study area Coastal Sage Scrub vegetation alliances observed onsite include: *Artemisia californica* Shrubland Alliance, *Malosma laurina* Shrubland Alliance, *Malacothamnus fasciculatus* Shrubland Alliance, and *Opuntia oricola* Shrubland Alliance. Each are described below.

### ***Artemisia californica* Shrubland Alliance (California Sagebrush Scrub)**

This alliance is dominated by *Artemisia californica* (California Sagebrush). *Artemisia californica* typically forms a continuous to intermittent canopy of at least 60% relative cover over a variable ground layer (Sawyer et al. 2009). In the survey area, there are several associations within this alliance, including *Artemisia californica-Eriogonum cinereum* Shrubland Association (California Sagebrush-Ashy Buckwheat Scrub), *Artemisia californica-Eriogonum cinereum-Malosma laurina* Shrubland Association (California Sagebrush-Ashy Buckwheat-Laurel Sumac Scrub), and *Artemisia*



*californica-Eriogonum cinereum-Salvia mellifera* Shrubland Association (California Sagebrush-Ashy Buckwheat-Black Sage Scrub). This alliance and its associations also include shrubs typically associated with chaparral communities in the Santa Monica Mountains, including *Ceanothus cuneatus* and *Heteromeles arbutifolia*.

Common associated plants of these associations at the project site include: *Stipa pulchra*, *Calystegia macrostegia* var. *intermedia*, *Deinandra fasciculata*, *Diplacus longiflorus*, *Salvia leucophylla*, *Mirabilis*

*laevis* ssp. *crassifolia*, *Encelia californica*, *Marah macrocarpa*, and *Crocanthemum scoparium*. Naturalized herbs and grasses are also common onsite, including: *Hirschfeldia incana*, *Avena barbata*, *Erodium cicutarium*, *Bromus madritensis* ssp. *rubens*, and *Brachypodium dactylon*.

On the Weisberg property *Artemisia californica* Shrubland Alliance occupies approximately 2.348 acres.

### ***Malacothamnus fasciculatus* Shrubland Alliance (Bushmallow Scrub)**

This vegetation alliance is dominated by *Malacothamnus fasciculatus* var. *fasciculatus* (Chaparral Bushmallow), a large evergreen shrub widespread along the south coast of California, from 0 to 580 meters elevation. *M. fasciculatus* is the dominant or co-dominant in the shrub canopy with *Acmispon glaber*, *Adenostoma fasciculatum*, *Artemisia californica*, *Ceanothus megacarpus*, *C. spinosus*, *Cercocarpus betuloides*, *Diplacus longiflorus*, *Encelia californica*, *Eriogonum cinereum*, *E. fasciculatum* var. *foliolosum*, *Hesperoyucca whipplei*, *Heteromeles arbutifolia*, *Malosma laurina*, *Rhus ovata*, and *Salvia mellifera*. Emergent trees or tall shrubs may be present at low cover, including *Juglans californica*, *Platanus racemosa*, or *Quercus agrifolia*. (Keeler-Wolf and Evens 2006.)

Membership rules for this vegetation alliances are: shrubs < 3 m; canopy is open and two tiered; herbaceous layer is usually sparse, with *M. fasciculatus* is > 50% relative cover (Keeler-Wolf and Evens 2006).

*Malacothamnus fasciculatus* Shrubland Alliance has a Global Rarity Ranking of G4 and a State Rarity Ranking of S4. It is endemic to the California Floristic Province (Keeler-Wolf and Evens 2006).

*Malacothamnus fasciculatus* Shrubland Alliance plant associations found at the Weisberg study area include: *Malacothamnus fasciculatus*/*Eriogonum cinereum* Shrubland Association (Bushmallow-Ashy Buckwheat), and *Malacothamnus fasciculatus*-*Malosma laurina*/*Eriogonum cinereum* Shrubland Association, with the former a novel association not described in the Manual of California Vegetation (Keeler-Wolf and Evens 2006) or the online edition<sup>8</sup>.

Associated species of *Malacothamnus fasciculatus* Shrubland Alliance in the Weisberg study area includes: *Acmispon glaber*, *Artemisia californica*, *Bromus diandrus*, *Calystegia macrostegia* var. *intermedia*, *Ceanothus cuneatus*, *Encelia californica*, *Eriogonum cinereum*, *Eriophyllum confertiflorum* var. *confertiflorum*, *Hirschfeldia incana*, *Marah macrocarpa*, *Malosma laurina*, *Rhus ovata*, and *Solanum xanti*. Two special-status plant species, *Calochortus catalinae* and *Dichondra occidentalis*, are sometimes found associated with this vegetation alliance.



*Malacothamnus fasciculatus* Shrubland Alliance occupies approximately 0.795 acre of the study area, and 0.406 acre of the Weisberg parcel.

<sup>8</sup> CNPS A Manual of California Vegetation Online: <https://vegetation.cnps.org/alliance/234>

### ***Malosma laurina* Shrubland Alliance (Laurel Sumac Scrub)**

This vegetation alliance is dominated by *Malosma laurina* (Laurel Sumac), a large evergreen shrub widespread along the south coast of California below the frost line (*M. laurina* is sensitive to sub-freezing temperatures), from 5 to 400 meters elevation. *M. laurina* is the dominant or co-dominant in the shrub canopy with *Artemisia californica*, *Ceanothus megacarpus*, *Diplacus longiflorus*, *Encelia californica*, *Eriogonum cinereum*, *E. fasciculatum* var. *foliolosum*, *Hesperoyucca whipplei*, *Heteromeles arbutifolia*, *Keckiella antirrhinoides*, *Rhamnus ilicifolia*, *Rhus integrifolia*, *R. ovata*, *Salvia leucophylla*, *S. mellifera*, *Tetracoccus dioicus* (not present onsite), and *Toxicodendron diversilobum*. Emergent trees or tall shrubs may be present at low cover, including *Juglans californica*, *Platanus racemosa*, *Quercus agrifolia*, or *Sambucus mexicana*.

Membership rules for this vegetation alliances are: shrubs < 5 m; canopy is open or continuous. Herbaceous layer is sparse or grassy, with *M. laurina* is > 50% or is > 30% relative cover if co-dominant with *Eriogonum fasciculatum* or *Salvia mellifera* in the shrub canopy (Keeler-Wolf and Evens 2006).

*Malosma laurina* Shrubland Alliance has a Global Rarity Ranking of G4 and a State Rarity Ranking of S4. It is endemic to the California Floristic Province (Keeler-Wolf and Evens 2006).

*Malosma laurina* plant associations found at the Weisberg study area include: *Malosma laurina/Acmispon glaber* Shrubland Association (Laurel Sumac/Deerweed Scrub), and *Malosma laurina/Hesperoyucca whipplei* Shrubland Association.

Associated species of *Malosma laurina* Shrubland Alliance in the Weisberg study area includes: *Acmispon glaber* var. *glaber*, *Adenostoma fasciculatum* var. *fasciculatum*, *Artemisia californica*, *Calystegia macrostegia* var. *intermedia*, *Ceanothus cuneatus* var. *cuneatus*, *Encelia californica*, *Eriogonum cinereum*, *Eriophyllum confertiflorum* var. *confertiflorum*, *Hesperoyucca whipplei*, *Marah macrocarpa*, *Malacothamnus fasciculatus*, *Rhus ovata*, and *Solanum xanti*. Three special-status plant species, *Calochortus catalinae*, *C. plummerae*, and *Dichondra occidentalis*, are sometimes found associated with this vegetation alliance.



*Malosma laurina* Shrubland Alliance occupies approximately 7.08 acres of the study area, and 1.449 acres of the Weisberg parcel.

### ***Opuntia oricola* Shrubland Alliance (Coastal Cactus Scrub)**

This vegetation alliance is dominated by *Opuntia oricola* (Roundpad Prickly Pear Cactus), a low-growing succulent evergreen shrub along the south coast of California from 0 to 1,200 meters elevation. *Opuntia o.* is dominant or co-dominant in the shrub canopy with *Artemisia californica*, *Cleome isomeris*, *Cneoridium dumosum*, *Cylindropuntia californica*, *C. prolifera*, *Encelia californica*, *Eriogonum fasciculatum*, *Euphorbia misera*, *Hesperoyucca whipplei*, *Lycium* spp., *Malosma laurina*, *Mirabilis laevis* var. *crassifolia*, *Opuntia ×occidentalis*, *O. littoralis*, *O. phaeacantha*, *O. ×vaseyi*, *Rhus integrifolia*, *Salvia mellifera*, and *Sambucus mexicana*. Emergent trees may be present at low cover, including *Schinus molle* (Keeler-Wolf and Evens 2006).

Membership rules for this vegetation alliances are: shrubs < 2 m; canopy intermittent or continuous in two tiers with *O. oricola* or other *Opuntia* species area > 50% relative cover in the shrub layer and the herbaceous layer is open to continuous and diverse (Keeler-Wolf and Evens 2006).

*Opuntia oricola* Shrubland Alliance has a Global Rarity Ranking of G4 and a State Rarity Ranking of S3 (Keeler-Wolf and Evens 2006).



*Opuntia oricola* Shrubland Alliance at the Weisberg study area consists of one association: *Opuntia oricola-Eriogonum cinereum-Hesperoyucca whipplei* Shrubland Association.

Associated species of *Opuntia oricola* Shrubland Alliance in the Weisberg study area includes: *Acmispon glaber* var. *glaber*, *Artemisia californica*, *Calystegia macrostegia* var. *intermedia*, *Ceanothus cuneatus* var. *cuneatus*, *Encelia californica*, *Eriogonum cinereum*, *Hesperoyucca whipplei*, and *Malosma laurina*. One special-status plant species,

*Calochortus catalinae* was found associated with this vegetation alliance.

*Opuntia oricola* Shrubland Alliance occupies approximately 0.205 acre of the study area but is not present on the Weisberg parcel.

## **Chaparral**

Chaparral vegetation consists of large evergreen shrubs to 4 meters high, with either thick or small leaves. Chaparral is adapted to a Mediterranean climate of hot dry summers and cool wet winters. Chaparral features summer-drought-tolerant plants with hard sclerophyllous evergreen leaves. Chaparral alliances occupy slopes and flats with poor or thin soils with low levels of organic matter.

*Adenostoma fasciculatum* var. *fasciculatum* (Chamise) is the most common and characteristic species of cismontane chaparral. Common and characteristic shrub species of cismontane chaparral includes: *Arctostaphylos* spp., *Ceanothus* spp., *Cercocarpus betuloides*, *Dendromecon rigida*, *Eriodictyon* spp., *Frangula californica*, *Heteromeles arbutifolia*, *Lonicera* spp., *Quercus* spp., *Rhamnus* spp., *Rhus* spp., and *Salvia* spp. Cismontane Chaparral ranges throughout the coastal ranges of California into Baja California and the Sierra Nevada foothills.

Chaparral within the Weisberg study area includes *Adenostoma fasciculatum* Shrubland Alliance and *Heteromeles arbutifolia* Shrubland Alliance.

### ***Adenostoma fasciculatum* Shrubland Alliance (Chamise Chaparral)**

This vegetation alliance is dominated by *Adenostoma fasciculatum* var. *fasciculatum* (Chamise), a large needle-leaved evergreen shrub widespread throughout California, from 10 to 1,800 meters elevation. *Adenostoma fasciculatum* var. *fasciculatum* is the dominant or co-dominant in the shrub canopy with *Adenostoma sparsifolium*, *Arctostaphylos glandulosa*, *A. manzanita*, *A. viscida*, *Ceanothus* spp., *Diplacus aurantiacus*, *D. longiflorus*, *Eriodictyon californicum* (not present onsite), *E. crassifolium*, *Eriogonum fasciculatum*, *Hesperoyucca whipplei*, *Heteromeles arbutifolia*, *Quercus berberidifolia*, *Q. wislizeni*, *Salvia apiana*, *S. leucophylla*, *S. mellifera*, and *Toxicodendron diversilobum*. Emergent trees may be present at low cover.

Membership rules for this vegetation alliances are: shrubs < 4 m; canopy is intermittent to continuous, with *Adenostoma fasciculatum* is > 50% relative cover in shrub canopy.

*Adenostoma fasciculatum* Shrubland Alliance has a Global Rarity Ranking of G5 and a State Rarity Ranking of S5. It is endemic to the California Floristic Province (Keeler-Wolf and Evens 2006).

*Adenostoma fasciculatum* Shrubland Alliance plant association found at the Weisberg study area include: *Adenostoma fasciculatum*-*Ceanothus cuneatus*-*Heteromeles arbutifolia* Shrubland Association (Mixed Chaparral).



Associated species of *Adenostoma fasciculatum* Shrubland Alliance in the Weisberg study area includes: *Acmispon glaber* var. *glaber*, *Artemisia californica*, *Calystegia macrostegia* var. *intermedia*, *Ceanothus cuneatus* var. *cuneatus*, *Eriogonum cinereum*, *E. fasciculatum* var. *foliolosum*,

*Hesperoyucca whipplei*, *Heteromeles arbutifolia*, *Isocoma menziesii*, *Marah macrocarpa*, *Malosma laurina*, *Salvia mellifera*, and *Solanum xanti*. Two special-status plant species, *Calochortus plummerae* and *Dichondra occidentalis*, were sometimes found associated with this vegetation alliance.

*Adenostoma fasciculatum* Shrubland Alliance occupies approximately 0.223 acre of the study area but is not on the Weisberg parcel.

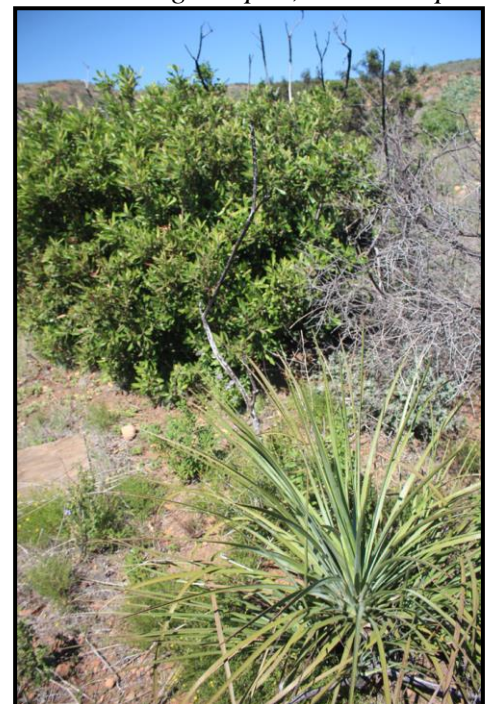
### ***Heteromeles arbutifolia* Shrubland Alliance (Toyon Chaparral)**

This vegetation alliance is dominated by *Heteromeles arbutifolia* (Toyon), a large evergreen shrub widespread along the south coast of California and the Sierra Nevada foothills (*M. laurina* is sensitive to sub-freezing temperatures), from 50 to 1,300 meters elevation. *H. arbutifolia* is the dominant or co-dominant in the shrub canopy with *Artemisia californica*, *Ceanothus megacarpus*, *Cercocarpus betuloides*, *Clematis lasiantha*, *Diplacus aurantiacus*, *D. longiflorus*, *Eriogonum fasciculatum*, *Fraxinus dipetala*, *Keckiella antirrhinoides* (not present onsite or in Ventura County), *K. cordifolia*, *Quercus berberidifolia*, *Rhamnus ilicifolia*, *Rhus ovata*, and *Salvia mellifera*. Emergent trees may be present at low cover, including *Juglans californica* or *Q. agrifolia*.

Membership rules for this vegetation alliances are: shrubs <15 m; canopy is open to continuous; herbaceous layer is sparse to continuous, with *Heteromeles arbutifolia* > 50% relative cover in the shrub canopy (Keeler-Wolf and Evens 2006) (Keeler-Wolf and Evens 2006).

*Heteromeles arbutifolia* Shrubland Alliance has a Global Rarity Ranking of G5 and a State Rarity Ranking of S4. It is endemic to the California Floristic Province (Keeler-Wolf and Evens 2006).

Associated species of *Heteromeles arbutifolia* Shrubland





Alliance in the Weisberg study area includes: *Acmispon glaber* var. *glaber*, *Adenostoma fasciculatum* var. *fasciculatum*, *Artemisia californica*, *Calystegia macrostegia* var. *intermedia*, *Ceanothus cuneatus* var. *cuneatus*, *Encelia californica*, *Eriogonum cinereum*, *Eriophyllum confertiflorum* var. *confertiflorum*, *Hesperoyucca whipplei*, *Marah macrocarpa*, *Malacothamnus fasciculatus*, *Rhus ovata*, and *Solanum xanti*. Three special-status plant species, *Calochortus catalinae*, *C. plummerae*, and *Dichondra occidentalis*, are sometimes found associated with this vegetation alliance.

*Heteromeles arbutifolia* Shrubland Alliance occupies approximately 0.215 acre of the study area, but is not present on the Weisberg parcel; rather, it occurs on the parcel immediately to the north. It would not be affected by the proposed project.

### ***Developed/Disturbed***

The roads and development pad on the Weisberg property fit into this category. These areas are mostly devoid of vegetation or may have some ruderal<sup>9</sup> grasses and forbs present such as *Hirschfeldia incana* as well as *Deinandra fasciculata*, a native annual forb. Prior to clearing and grading these areas were comprised of *Artemisia californica* Shrubland Alliance.

### **Ornamental Landscaping**

Ornamental Landscaping is a vegetation cover type that consists solely of planted species, usually nonnative ornamental species that are typically irrigated. The only ornamental landscaping present within the Weisberg study area is a row of planted *Schinus molle* (Peruvian Pepper) trees on the southernmost parcel on the west side of the access road.

Ornamental Landscaping occupies approximately 0.100 acre of the study area, but is not present on the Weisberg parcel. It would not be affected by the proposed project.

### **Ruderal**

Ruderal habitats are sparsely vegetated areas that have been physically disturbed by human actions, such as grading or clearing. These disturbed areas are typically colonized very quickly by weedy plant species, mostly nonnative taxa, some of which are considered invasive. The ruderal vegetation consists primarily of herbaceous forbs and grasses.



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<sup>9</sup> Ruderal is defined as spontaneous vegetation that grows in areas managed or disturbed by human activities.

**Table 4. Plant Communities of the Project Site**

Map Key	SVC Alliance	SVC Association	Misc.	Alliance Status	Condition	Acres Total	Acres Impacted	Comments
AC	<i>Artemisia californica</i> Shrubland Alliance	<i>Artemisia californica</i> - <i>Eriogonum cinereum</i> Shrubland Association	ESHA	G5 S5	Intact	1.494	0.25	Burned in 2018 Woolsey Fire
AF	<i>Adenostoma fasciculatum</i> Shrubland Alliance	<i>Adenostoma fasciculatum</i> - <i>Ceanothus cuneatus</i> Shrubland Association	ESHA	G5 S5	Intact	0.223		Burned in 2018 Woolsey Fire
HA	<i>Heteromeles arbutifolia</i> Shrubland Alliance	<i>Heteromeles arbutifolia</i> – <i>Malosma laurina</i> Shrubland Association	ESHA	G5 S4	Intact	0.215		Burned in 2018 Woolsey Fire
MF	<i>Malacothamnus fasciculatus</i> Shrubland Alliance	<i>Malacothamnus fasciculatus</i> Shrubland Association	ESHA	G4 S4	Intact	0.795		Burned in 2018 Woolsey Fire
ML	<i>Malosma laurina</i> Shrubland Alliance	<i>Malosma laurina</i> – <i>Malacothamnus fasciculatus</i> – <i>Eriogonum cinereum</i> Shrubland Association	ESHA	G4 S4	Intact	7.08		Burned in 2018 Woolsey Fire
OO	<i>Opuntia oricola</i> Shrubland Alliance	<i>Opuntia oricola</i> – <i>Eriogonum cinereum</i> – <i>Hesperoyucca whipplei</i> Shrubland Association	ESHA	G4 S3	Intact	0.205		Burned in 2018 Woolsey Fire
ORN	Ornamental Landscaping	<i>Schinus molle</i> Planting			Intact			Planted after 2018
RU	Ruderal	Ruderal				1.558		cleared
RD	Road	Road				2.977		maintained
BA	Barren	Barren				1.045		cleared
LIC = Locally Important Plant Community ESHA = Environmentally Sensitive Habitat Area G1 or S1 = Critically Imperiled Globally or Subnationally (state) G2 or S2 = Imperiled Globally or Subnationally (state) G3 or S3 = Vulnerable to extirpation or extinction Globally or Subnationally (state)								

Plants of the Weisberg study area include *Acmispon glaber* var. *glaber*, *Avena barbata*, *Bromus diandrus*, *B. madritensis* ssp. *rubens*, *Brachypodium dactylon*, *Centaurea melitensis*, *Deinandra fasciculata*, *Erodium cicutarium*, and *Hirschfeldia incana*. No special-status species were observed within any of the ruderal habitats within the study area.

Ruderal habitats within the Weisberg study area occupy approximately 1.558 acres. Ruderal habitats on the Weisberg parcel consists of approximately 0.115 acre.

## Road



Roads within the Weisberg study area are all graded dirt roads that are generally maintained for vehicle access to parcels in the area. Roads occupy approximately 2.977 acres of the study area of which 0.685 acre occur just on the Weisberg parcel.

## Barren

Barren areas within the Weisberg study area are all graded or cleared areas that are generally maintained free of vegetation. Barren areas occupy approximately 2.977 acres of the study area of which none occur just on the Weisberg parcel.

## Waters and Wetlands

Protected wetlands or waters were not found within the survey area(s).

### *Waters and Wetlands Summary*

No impacts to riparian vegetation, County defined wetlands, federal jurisdictional waters (including wetlands), or state jurisdictional wetlands are expected to result from the proposed project; however, runoff may be increased and water quality of nearby small drainages and Little Sycamore Canyon Creek may be negatively influenced by development. The impacts to water quality onsite are likely a less-than-significant impact. However, it should be noted that although the property is only five acres, and although the proposed development is relatively small, the project contributes to the cumulative development in the area, which increases the total amount of runoff in the vicinity and affects the general water quality of nearby streams.

The U.S. Environmental Protection Agency (EPA) has determined that watersheds with less than 10% impervious surface from paved roads, buildings, and hardscaping is an indicator of good water quality in drainages<sup>10</sup>. Based on a ocular examination of recent aerial photography, currently less than 10% of the land within Little Sycamore Canyon has impervious surfaces.

## PLANT AND ANIMAL SPECIES

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Endangered, threatened, rare, or locally important species were observed or have a moderate to high

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<sup>10</sup> U.S. EPA, Tools of Watershed Protection in Developing Areas - [https://cfpub.epa.gov/watertrain/moduleframe.cfm?parent\\_object\\_id=1280](https://cfpub.epa.gov/watertrain/moduleframe.cfm?parent_object_id=1280)




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potential to occur within the survey area(s).

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Habitat suitable for nests of birds protected under the Migratory Bird Treaty Act does exist within the survey area(s).

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## Flora

The flora of the project consists of vascular and nonvascular plants growing naturally or planted onsite. Vascular plants consist of trees, shrubs, herbs, grasses and graminoids (monocot species not in the grass family), and ferns and fern allies. Nonvascular plants consist of fungi, lichens, and bryophytes (mosses, liverworts, and hornworts).

Sixty-five (65) vascular plant species were directly observed onsite by DMEC during the winter and spring field surveys conducted on 18 February, 19 April, and 16 June 2022. Of the 64 vascular plant taxa, 48 (73.8%) are native species and 17 (26.2%) are introduced naturalized or planted species. This ratio of native to non-native plants is substantially the same as the rest of California, which has about 75% native and 25% non-native (Baldwin et al. 2012). Table 5, Plants Observed at the Weisberg Property, lists all plant species observed on the Weisberg property and the immediately adjacent area during the field surveys (study area).

No nonvascular plants (lichens) were observed onsite, as opposed to the 19 lichens observed on the 5-acre Weisberg parcel to the south in 2015 (DMEC 2016), prior to the Woolsey Fire. Lichens are particularly susceptible to local extirpation by wildfires.

**Table 5. Plants Observed on the Project Site**

Scientific Name <sup>11</sup>	Common Name	Habit <sup>12</sup>	WIS <sup>13</sup>	Family
<i>Acmispon glaber</i> var. <i>glaber</i>	Deerweed	PH	.	Fabaceae
<i>Adenostoma fasciculatum</i> var. <i>fasciculatum</i>	Chamise	S	.	Rosaceae
<i>Amsinckia intermedia</i>	Rancher's Fire	AH	.	Boraginaceae
<i>Artemisia californica</i>	California Sagebrush	S	.	Asteraceae
<i>Avena barbata</i> *	Slender Wild Oats	AG	.	Poaceae
<i>Brachypodium distachyon</i> *	Short-pediceled Brome	AG	.	Poaceae
<i>Brassica nigra</i> *	Black Mustard	AH	.	Brassicaceae

<sup>11</sup> \* = Introduced/naturalized plant species. \*\* = Introduced/naturalized plants listed by the California Invasive Plant Council (Cal-IPC) (2006, 2007) as invasive and a threat to wildlands. + = Escaped or persistent ornamental nonnative plant species. **Bold** = Special-status species. Scientific names follow Jepson Manual (Baldwin et al. 2012).

<sup>12</sup> Habit definitions: vascular plants: AG = annual grass or graminoid; PG = perennial grass or graminoid; AH = annual herb; PH = perennial herb; PV = perennial vine; S= shrub; T = tree. Non-vascular plants: CL = crustose lichen; FL = foliose lichen; FrL = fruticose lichen; M = moss.

<sup>13</sup> WIS = Wetland Indicator Status. The following code definitions are according to Lichvar (2013):  
 OBL = obligate wetland species, occurs almost always in wetlands (>99% probability).  
 FACW = facultative wetland species, usually found in wetlands (67-99% probability).  
 FAC = facultative species, equally likely to occur in wetlands or nonwetlands (34-66% probability).  
 FACU = facultative upland species, usually found in nonwetlands (67-99% probability).  
 NI = no indicator has been assigned due to a lack of information to determine indicator status.  
 \* = a tentative assignment to that indicator status by Lichvar (2012).  
 Parentheses indicate a wetland status as suggested by David L. Magney based on extensive field observations.



Scientific Name <sup>11</sup>	Common Name	Habit <sup>12</sup>	WIS <sup>13</sup>	Family
<i>Brickellia californica</i>	California Brickellbush	S	.	Asteraceae
<i>Bromus diandrus</i> ssp. <i>diandrus</i> *	Ripgut Grass	AG	(FACU)	Poaceae
<i>Bromus madritensis</i> ssp. <i>rubens</i> *	Red Brome	AG	NI	Poaceae
<i>Calandrinia menziesii</i>	Red Maids	AH	.	Montiaceae
<i>Calochortus catalinae</i>	<b>Catalina Mariposa Lily</b>	PG	.	Liliaceae
<i>Calochortus plummerae</i> (Magney 95-22 <sup>14</sup> )	<b>Plummer's Mariposa Lily</b>	PG	.	Liliaceae
<i>Calochortus plummerae</i> X <i>C. weedii</i>	<b>Hybrid Plummer's Mariposa Lily</b>	PG	.	Liliaceae
<i>Calystegia macrostegia</i> var. <i>intermedia</i>	Coastal Scrub Morning-glory	PV	.	Convolvulaceae
<i>Ceanothus cuneatus</i> var. <i>cuneatus</i>	Buck Brush	S	.	Rhamnaceae
<i>Centaurea melitensis</i> *	Tocalote	AH	.	Asteraceae
<i>Crocanthemum scoparium</i>	Peak Rushrose	S	.	Cistaceae
<i>Cryptantha intermedia</i> var. <i>intermedia</i>	Common Forget-Me-Not	AH	.	Boraginaceae
<i>Deinandra fasciculata</i>	Fascicled Tarplant	AH	.	Asteraceae
<i>Dipterostemon capitatus</i> ssp. <i>capitatus</i>	Blue Dicks	PG	.	Themidaceae
<i>Dichondra occidentalis</i> (Magney 2-22)	<b>Western Dichondra</b>	PH	.	Convolvulaceae
<i>Diplacus longiflorus</i>	Sticky Bush Monkeyflower	S	.	Phrymaceae
<i>Emmenanthe penduliflora</i> var. <i>penduliflora</i>	Whispering Bells	AH	.	Hydrophyllaceae
<i>Encelia californica</i>	California Brittlebush	S	.	Asteraceae
<i>Eriogonum cinereum</i>	Ash Coast Buckwheat	S	.	Polygonaceae
<i>Eriogonum fasciculatum</i> var. <i>foliolosum</i>	Leafy California Buckwheat	S	.	Polygonaceae
<i>Eriophyllum confertiflorum</i> var. <i>confertiflorum</i>	Common Golden Yarrow	S	.	Asteraceae
<i>Erodium cicutarium</i> *	Redstem Filaree	AH	.	Geraniaceae
<i>Eucalyptus polyanthemus</i> *+	Silver Dollar Gum	T	.	Myrtaceae
<i>Eucrypta chrysanthemifolia</i> var. <i>c.</i>	Common Eucrypta	AH	.	Boraginaceae
<i>Gilia capitata</i> ssp. <i>abrotanifolia</i>	Blue Field Gilia	AH	.	Polemoniaceae
<i>Hazardia squarrosa</i> var. <i>grindeloides</i>	Gumweed Sawtooth Goldenbush	S	.	Asteraceae
<i>Hesperoyucca whipplei</i> ssp. <i>cespitosa</i>	Clumping Our Lord's Candle	S	.	Agavaceae
<i>Heteromeles arbutifolia</i>	Toyon	S	.	Rosaceae
<i>Hirschfeldia incana</i> *	Summer Mustard	PH	.	Brassicaceae
<i>Isocoma menziesii</i> var. ?	A Goldenbush	S	.	Asteraceae
<i>Lupinus hirsutissimus</i>	Nettle Lupine	AH	.	Fabaceae
<i>Lupinus succulentus</i>	Arroyo Lupine	AH	.	Fabaceae
<i>Malacothamnus fasciculatus</i> var. <i>fasciculatus</i>	Chaparral Bushmallow	S	.	Malvaceae
<i>Malacothrix saxatilis</i> cf. var. <i>tenuifolia</i>	Tenuated Cliff-aster	PH	.	Asteraceae
<i>Malosma laurina</i>	Laurel Sumac	S	.	Anacardiaceae
<i>Malva parviflora</i> *	Cheeseweed	AH	.	Malvaceae
<i>Marah macrocarpa</i> var. <i>macrocarpa</i>	Large-fruited Man-root	PV	.	Cucurbitaceae
<i>Melica imperfecta</i>	Coast Range Melic	PG	.	Poaceae
<i>Mirabilis laevis</i> var. <i>crassifolia</i>	California Four O'clock	PH	.	Nyctaginaceae
<i>Opuntia littoralis</i>	Coastal Prickly Pear	S	.	Cactaceae
<i>Opuntia oricola</i>	Round-pad Prickly Pear	S	.	Cactaceae
<i>Phacelia cicutaria</i> var. <i>hispida</i>	Caterpillar Phacelia	AH	.	Boraginaceae
<i>Phacelia grandiflora</i>	Giant Flowered Phacelia	AH	.	Boraginaceae
<i>Phacelia ramosissima</i> var. <i>ramosissima</i>	Branching Phacelia	PH	.	Boraginaceae

<sup>14</sup> Denotes voucher collection number. Vouchers to be deposited into the UCSB Herbarium.

Scientific Name <sup>11</sup>	Common Name	Habit <sup>12</sup>	WIS <sup>13</sup>	Family
<i>Rafinesquia californica</i>	California Chicory	AH	.	Asteraceae
<i>Rhus ovata</i>	Sugar Bush	S	.	Anacardiaceae
<i>Salsola tragus</i> *	Russian Thistle	AH	FACU	Chenopodiaceae
<i>Salvia leucophylla</i>	Purple Sage	S	.	Lamiaceae
<i>Salvia mellifera</i>	Black Sage	S	.	Lamiaceae
<i>Schinus molle</i> *+	Peruvian Pepper Tree	T	.	Anacardiaceae
<i>Senecio vulgaris</i> *	Common Groundsel	AH	.	Asteraceae
<i>Silene gallica</i> *	Windmill Pink	AH	.	Caryophyllaceae
<i>Sisymbrium irio</i> *	London Rocket	AH	.	Brassicaceae
<i>Solanum xanti</i>	Chaparral Nightshade	S	.	Solanaceae
<i>Sonchus asper</i> var. <i>asper</i> *	Prickly Sow-thistle	AH	FAC	Asteraceae
<i>Sonchus oleraceus</i> *	Common Sow-thistle	AH	.	Asteraceae
<i>Stipa pulchra</i>	Purple Needlegrass	PG	.	Poaceae
<i>Tauschia arguta</i> (Magney 3-22)	Southern Tauschia	PH	.	Apiaceae



Left to Right: *Crocanthemum scoparium*, *Calandrinia ciliata*, *Salvia leucophylla*, *Lupinus succulentus*, and *Acmispon glaber* with *Rafinesquia californica*.



Left to Right: *Tauschia arguta* and *Dichondra occidentalis*, *Stephanomeria virgata* var. *virgata*, and *Mirabilis crassifolia* var. *laevis*.

## Fauna

Numerous species of wildlife are known to occur within the Santa Monica Mountains vicinity, and DMEC expects that many wildlife species frequent the property on a regular basis. Table 6, Wildlife Species Observed on the Project Site, contains a list of animal species observed on the Weisberg property as well as species expected to occur onsite but only detected nearby (as reported by others on eBird.org and iNaturalist.org).

Thirty (30) wildlife species were observed or detected on the Weisberg property in the DMEC surveys. They included nine (9) birds, three (3) reptiles, five (5) mammals, and fourteen (14) invertebrates.



Three mammals, Coyote, Mule Deer, and Bobcat, were detected by scat. The San Diego Desert Woodrat was detected by a nest at the southern end of the survey area in 2015. All other species were directly observed. There is suitable habitat onsite for more wildlife species, and DMEC expects that more wildlife, particularly birds and invertebrates, will be observed during the spring 2022 surveys.

**Table 6. Wildlife Species Observed on the Project Site**

Scientific Name <sup>15</sup>	Common Name	Order and Family	Evidence
<b>VERTEBRATES</b>			
<i>Reptiles – Class Reptilia</i>			
<i>Sceloporus occidentalis</i>	Western Fence Lizard	Order Squamata: Family Phrynosomatidae	Observed
<i>Uta stansburiana elegans</i>	Side-blotched Lizard	Order Squamata: Family Phrynosomatidae	Observed
<i>Elgaria multicarinata</i>	Southern Alligator Lizard	Order Squamata: Family Anguinae	Observed
<i>Crotalus oreganus helleri</i>	Southern Pacific Rattlesnake	Order Squamata: Family Viperidae	Reported <sup>16</sup>
<i>Birds – Class Aves</i>			
<i>Buteo jamaicensis</i>	Red-tailed Hawk	Order Accipitriformes: Family Accipitridae	Observed
<i>Cathartes aura</i>	Turkey Vulture	Order Cathartiformes: Family Cathartidae	Observed
<i>Aphelocoma californica</i>	Western Scrub-jay	Order Passeriformes: Family Corvidae	Observed
<i>Callipepla californica</i>	California Quail	Order Galliformes: Family Odontophoridae	Observed
<i>Calypte anna</i>	Anna’s Hummingbird	Order Apodiformes: Family Trochilidae	Observed
Scientific Name	Common Name	Order and Family	Evidence
<i>Chamaea fasciata</i>	Wrentit	Order Passeriformes: Family: Sylviidae	Observed
<i>Corvus corax</i>	Common Raven	Order Passeriformes: Family Corvidae	Observed
<i>Pipilo crissalis</i>	California Towhee	Order Passeriformes: Family Embeiziridae	Observed
<i>Zenaida macroura</i>	Mourning Dove	Order Columbiformes: Family Columbidae	Observed
<i>Passerina amoena</i>	Lazuli Bunting	Order Passeriformes: Family Cardinalidae	Reported <sup>17</sup>
<i>Aimophila ruficeps</i>	Rufous-crowned Sparrow	Order Passeriformes: Family Passerellidae	Reported <sup>18</sup>
<i>Passerculus sandwichensis</i>	Savannah Sparrow	Order Passeriformes: Family Passerellidae	Reported <sup>19</sup>
<i>Mammals – Class Mammalia</i>			
<i>Odocoileus hemionus</i>	Mule Deer	Order Artiodactyla: Family Cervidae	Detected (scat)
<i>Mephitis mephitis</i>	Striped Skunk	Order Carnivora: Family Mephitidae	Observed
<i>Vulpes vulpes</i>	Red Fox	Order Carnivora: Family Canidae	Observed
<i>Canis latrans</i>	Coyote	Order Carnivora: Family Canidae	Detected (scat), Observed
<i>Lynx rufus</i>	Bobcat	Order Carnivora: Family Felidae	Detected (scat)
<b>INVERTEBRATES</b>			
Scientific Name	Common Name	Order and Family	Evidence
<i>Arachnids – Class Arachnida</i>			
<i>Eustala</i> sp.	Typical Orbweaver	Order Araneae: Family Araneidae	Reported <sup>20</sup>

<sup>15</sup> An asterisk (\*) indicates introduced, non-native species. **Bold type** indicates special-status species; SFP = California Fully Protected Species; SSC = California Species of Special Concern; SAL = CNDDB Special Animals List.  
<sup>16</sup> Reported by “old-bean-adams” E of site on 20 May 2015, iNaturalist.org  
<sup>17</sup> Reported by “Luc Snakewalker” S of site on 19 April 2022, iNaturalist.org  
<sup>18</sup> Reported S of site on 22 March 2022 by Mira Falicki, iNaturalist.org  
<sup>19</sup> Reported S of site on 22 March 2022 by Mira Falicki, iNaturalist.org



Scientific Name	Common Name	Order and Family	Evidence
<i>Aphonopelma</i> sp.	Theraphosine Tarantula	Order Araneae: Family Theraphosidae	Reported <sup>21</sup>
<b><i>Insects – Class Insecta</i></b>			
<i>Mexoleon</i> sp.	Antlion	Order Nevrothidae: Family Myrmeleontidae	Reported <sup>22</sup>
<i>Xylotrechus nauticus</i>	a Longhorn Beetle	Order Coleoptera: Family Cerambycidae	Reported <sup>23</sup>
<i>Pleocomma puncticollis</i>	Black Rain Beetle	Order Coleoptera: Family Pleocommidae	Reported <sup>24</sup>
<i>Scantius aegyptius</i>	Mediterranean Red Bug	Order Hemiptera: Family Pyrrhocoridae	Reported <sup>25</sup>
<i>Platypedia laticapitata</i>	Wide-headed Cicada	Order Hemiptera: Family Cicadidea	Observed
<i>Melanoplus</i> sp.	Short-horned Grasshopper	Order Orthoptera: Family Acrididae	Observed
<i>Leprus intermedius</i>	Saussure's Blue-winged Grasshopper	Order Orthoptera: Family Acrididae	Reported <sup>26</sup>
<i>Paravilla</i> sp.	Banded Bee Fly	Order Diptera: Family Bombyliidae	Reported <sup>27</sup>
<i>Andrena cerasifolii</i>	Cherry Plum Mining Bee	Order Hymenoptera: Family Apidae	Reported <sup>28</sup>
<i>Apis mellifera</i> *	European Honeybee	Order Hymenoptera: Family Apidae	Observed
<i>Bombus melanopygus</i>	Black-tailed Bumble Bee	Order Hymenoptera: Family Apidae	Reported <sup>29</sup>
<i>Bombus vosnesenskii</i>	Yellow-faced Bumble Bee	Order Hymenoptera: Family Apidae	Reported <sup>30</sup>
<i>Xylocopa californica</i>	Western Carpenter Bee	Order Hymenoptera: Family Apidae	Reported <sup>31</sup>
<i>Diadasia</i> sp.	Chimney Bee	Order Hymenoptera: Family Apidae	Observed
<i>Anthidium</i> sp.	Carder Bee	Order Hymenoptera: Family Megachilidae	Reported <sup>32</sup>
<i>Chrysurissa densa</i>	Green Cockoo Wasp	Order Hymenoptera: Family Chrysididae	Reported <sup>33</sup>
<i>Abia americana</i>	American Honeysuckle Sawfly	Order Hymenoptera: Family Cimbicidae	Reported <sup>34</sup>
<i>Philanthus</i> sp.	a Beewolf	Order Hymenoptera: Family Crabronidae	Reported <sup>35</sup>
<i>Pseudomasaris coquillettii</i>	a Pollen Wasp	Order Hymenoptera: Family Vespidae	Reported <sup>36</sup>
<i>Pseudomasaris edwardsii</i>	Edward's Wasp	Order Hymenoptera: Family Vespidae	Reported <sup>37</sup>
<i>Euphydryas editha</i>	Edith's Checkerspot Butterfly	Order Lepidoptera: Family Nymphalidae	Observed
<i>Chlosyne gabbii</i>	Gabb's Checkerspot Butterfly	Order Lepidoptera: Family Nymphalidae	Reported <sup>38</sup>
<i>Danaus plexans</i>	Monarch Butterfly	Order Lepidoptera: Family Nymphalidae	Reported <sup>39</sup>
<i>Coenonympha californica</i>	Ringlet Butterfly	Order Lepidoptera: Family Nymphalidae	Observed
<i>Pieris rapae</i>	Cabbage White	Order Lepidoptera: Family Pieridae	Observed

<sup>20</sup> Reported by "old-bean-adams" E of site on 6 May 2015, iNaturalist.org

<sup>21</sup> Reported by William Mason W of site in August 2021, iNaturalist.org

<sup>22</sup> Reported by "old-bean-adams" S of site on 8 October 2014, iNaturalist.org

<sup>23</sup> Reported by "old-bean-adams" S of site on 8 March 2013, iNaturalist.org

<sup>24</sup> Reported by "old-bean-adams" S of site on 13 February 2013, iNaturalist.org

<sup>25</sup> Reported by "old-bean-adams" SE of site on 7 May 2015, iNaturalist.org

<sup>26</sup> Reported by "old-bean-adams" SS of site on 19 May 2015, iNaturalist.org

<sup>27</sup> Reported by "old-bean-adams" SE of site on 27 May 2015, iNaturalist.org

<sup>28</sup> Reported by "old-bean-adams" SE of site on 9 May 2015, iNaturalist.org

<sup>29</sup> Reported by "old-bean-adams" SE of site on 9 May 2014, iNaturalist.org

<sup>30</sup> Reported by "old-bean-adams" SE of site on 9 May 2014, iNaturalist.org

<sup>31</sup> Reported by "old-bean-adams" SE of site on 1 May 2015, iNaturalist.org

<sup>32</sup> Reported by "old-bean-adams" SE of site on 1 May 2015, iNaturalist.org

<sup>33</sup> Reported by "old-bean-adams" SE of site on 17 April 2014, iNaturalist.org

<sup>34</sup> Reported by "old-bean-adams" SE of site on 13 May 2015, iNaturalist.org

<sup>35</sup> Reported by "old-bean-adams" SE of site on 30 April 2015, iNaturalist.org

<sup>36</sup> Reported by "old-bean-adams" SE of site on 16 May 2015, iNaturalist.org

<sup>37</sup> Reported by "old-bean-adams" SE of site on 1 May 2015, iNaturalist.org

<sup>38</sup> Reported by K. Garner immediately S of site on May 2016, iNaturalist.org, and Ilana Turner W of project site in April 2017, iNaturalist

<sup>39</sup> Reported by "old-bean-adams" SE of site on 7 November 2014, iNaturalist.org





<i>Anthocharis sara</i>	Sara Orangetip	Order Lepidoptera: Family Pieridae	Observed
<b>Scientific Name</b>	<b>Common Name</b>	<b>Order and Family</b>	<b>Evidence</b>
<i>Colias eurytheme</i>	Common Sulphur Butterfly	Order Lepidoptera: Family Pieridae	Observed
<i>Calephelis nemesis</i>	Dusky Fatal Metalmark	Order Lepidoptera: Family Riodinidae	Observed
<i>Heliopetes ericetorum</i>	Northern White Skipper	Order Lepidoptera: Family Hesperidae	Observed
<i>Plebejus acmon acmon</i>	Acmon Blue	Order Lepidoptera: Family Lycaenidae	Observed
	a Blue	Order Lepidoptera: Family Lycaenidae	Observed
<i>Pyrgus communis</i>	Common Checkered Skipper	Order Lepidoptera: Family Hesperidae	Observed
<i>Arachnis picta</i>	Painted Tiger Moth	Order Lepidoptera: Family Erebididae	Reported <sup>40</sup>
<i>Ascalapha odorata</i>	Black Witch	Order Lepidoptera: Family Erebididae	Reported <sup>41</sup>
<i>Apantesis ornata</i>	Ornate Tiger Moth	Order Lepidoptera: Family Erebididae	Reported <sup>42</sup>
<i>Apantesis proxima</i>	Mexican Tiger Moth	Order Lepidoptera: Family Erebididae	Reported <sup>43</sup>
<i>Ctenucha brunnea</i>	Brown Ctenucha Moth	Order Lepidoptera: Family Erebididae	Reported <sup>44</sup>
<i>Drasteria howlandii</i>	Howland's Graphic Owlet Moth	Order Lepidoptera: Family Erebididae	Reported <sup>45</sup>
<i>Drasteria pallescens</i>	Paler Graphic Owlet Moth	Order Lepidoptera: Family Erebididae	Reported <sup>46</sup>
<i>Pseudohemihyalea edwardsii</i>	Edward's Glassy-wing Moth	Order Lepidoptera: Family Erebididae	Reported <sup>47</sup>
<i>Spilosoma vestalis</i>	Vestal Tiger Moth	Order Lepidoptera: Family Erebididae	Reported <sup>48</sup>
<i>Acerra normalis</i>	Acerra Dart Moth	Order Lepidoptera: Family Noctuidae	Reported <sup>49</sup>
<i>Autographa californica</i>	Alfalfa Looper	Order Lepidoptera: Family Noctuidae	Reported <sup>50</sup>
<i>Bryolymnia viridata</i>	a Dart Moth	Order Lepidoptera: Family Noctuidae	Reported <sup>51</sup>
<i>Dargida procinctus</i>	Girdler Moth	Order Lepidoptera: Family Noctuidae	Reported <sup>52</sup>
<i>Egira perlubens</i>	Brown Woodling	Order Lepidoptera: Family Noctuidae	Reported <sup>53</sup>
<i>Leucania multilinea</i>	Many-lined Wainscot Moth	Order Lepidoptera: Family Noctuidae	Reported <sup>54</sup>
<i>Dichagyris variabilis</i>	Yellow Dart Moth	Order Lepidoptera: Family Noctuidae	Reported <sup>55</sup>
<i>Euxoa olivia</i>	Four-spotted-front Cutworm Moth	Order Lepidoptera: Family Noctuidae	Reported <sup>56</sup>
<i>Euxoa reclusa</i>	A Rubbed Dart Moth	Order Lepidoptera: Family Noctuidae	Reported <sup>57</sup>
<i>Feralia februalis</i>	Cutworm Moth	Order Lepidoptera: Family Noctuidae	Reported <sup>58</sup>
<i>Lineostriastiria olivalis</i>	a Cutworm Moth	Order Lepidoptera: Family Noctuidae	Reported <sup>59</sup>
<i>Noctua pronuba</i>	Large Yellow Underwing	Order Lepidoptera: Family Noctuidae	Reported <sup>60</sup>

<sup>40</sup> Reported by "old-bean-adams" SE of site on 28 January 2014, iNaturalist.org

<sup>41</sup> Reported by "old-bean-adams" SE of site on 14 November 2015, iNaturalist.org

<sup>42</sup> Reported by "old-bean-adams" SE of site on 14 September 2013, iNaturalist.org

<sup>43</sup> Reported by "old-bean-adams" SE of site on 10 March 2012 and 14 September 2013, iNaturalist.org

<sup>44</sup> Reported by "old-bean-adams" SE of site on 12 May 2012, iNaturalist.org

<sup>45</sup> Reported by "old-bean-adams" SE of site on 3 May 2015, iNaturalist.org

<sup>46</sup> Reported by "old-bean-adams" SE of site on 18 May 2015, iNaturalist.org

<sup>47</sup> Reported by "old-bean-adams" SE of site on 9 March 2013, iNaturalist.org

<sup>48</sup> Reported by "old-bean-adams" SE of site on 19 October 2013, iNaturalist.org

<sup>49</sup> Reported by "old-bean-adams" SE of site on 21 April 2021, iNaturalist.org

<sup>50</sup> Reported by "old-bean-adams" SE of site on 18 May 2013, iNaturalist.org

<sup>51</sup> Reported by "old-bean-adams" SE of site on 5 April 2014, iNaturalist.org

<sup>52</sup> Reported by "old-bean-adams" SE of site on 12 April 2021, iNaturalist.org

<sup>53</sup> Reported by "old-bean-adams" SE of site on 21 April 2021, iNaturalist.org

<sup>54</sup> Reported by "old-bean-adams" SE of site on 21 April 2021, iNaturalist.org

<sup>55</sup> Reported by "old-bean-adams" SE of site on 12 April 2014 and 21 April 2021, iNaturalist.org

<sup>56</sup> Reported by "old-bean-adams" SE of site on 21 April 2021, iNaturalist.org

<sup>57</sup> Reported by "old-bean-adams" SE of site on 17 October 2015, iNaturalist.org

<sup>58</sup> Reported by "old-bean-adams" SE of site on 21 April 2021, iNaturalist.org

<sup>59</sup> Reported by "old-bean-adams" SE of site on 9 April 2016, iNaturalist.org

<sup>60</sup> Reported by "old-bean-adams" SE of site on 12 November 2011, iNaturalist.org

Scientific Name	Common Name	Order and Family	Evidence
<i>Orthosia praeses</i>	Dart Moth	Order Lepidoptera: Family Noctuidae	Reported <sup>61</sup>
<i>Tetracis hirsutaria</i>	Hirsute Slant-lines Moth	Order Lepidoptera: Family Noctuidae	Reported <sup>62</sup>
<i>Zosteropoda hirtipes</i>	V-lined Quaker	Order Lepidoptera: Family Noctuidae	Reported <sup>63</sup>
<i>Cochisea sinuaria</i>	Wavy-lined Geometer Moth	Order Lepidoptera: Family Geometridae	Reported <sup>64</sup>
<i>Drepanulatrix bifilata</i>	a Geometer Moth	Order Lepidoptera: Family Geometridae	Reported <sup>65</sup>
<i>Hesperumia sp.</i>	a Geometer Moth	Order Lepidoptera: Family Geometridae	Reported <sup>66</sup>
<i>Chlorosea banksaria</i>	Bank's Emerald Moth	Order Lepidoptera: Family Geometridae	Reported <sup>67</sup>
<i>Nemoria darwiniata</i>	Columbian Emerald Moth	Order Lepidoptera: Family Geometridae	Reported <sup>68</sup>
<i>Macaria austrinata</i>	an Angle Moth	Order Lepidoptera: Family Geometridae	Reported <sup>69</sup>
<i>Pero macdunnoughi</i>	MacDunnough's Honest Pero Moth	Order Lepidoptera: Family Geometridae	Reported <sup>70</sup>
<i>Plataea sp.</i>	a Geometer Moth	Order Lepidoptera: Family Geometridae	Reported <sup>71</sup>
<i>Stannodes sp.</i>	a Carpet Moth	Order Lepidoptera: Family Geometridae	Reported <sup>72</sup>
<i>Rhagea stigmella</i>	a Knot-horn Moth	Order Lepidoptera: Family Pyralidae	Reported <sup>73</sup>
<i>Synanthedon polygoni</i>	Buckwheat Root Borer Moth	Order Lepidoptera: Family Sesillidae	Reported <sup>74</sup>
<i>Hemaris thetis</i>	Rocky Mountain Clearwing	Order Lepidoptera: Family Spingidae	Reported <sup>75</sup>
<i>Hyles lineata</i>	White-lined Sphinx Moth	Order Lepidoptera: Family Spingidae	Reported <sup>76</sup>
<i>Sphinx perelegans</i>	Elegant Sphinx Moth	Order Lepidoptera: Family Spingidae	Reported <sup>77</sup>

Some wildlife species observed and photographed onsite are shown below.



Left: *Trirhabda* sp. (Skeletonizing Flower Beetle) on *Calochortus catalinae*. Center: *Diadasia* sp. (Chimney Bee) on *C. catalinae*. Right: *Platypedia laticapitata* (Wide-headed Cicada) calling for mate on shrub.

<sup>61</sup> Reported by "old-bean-adams" SE of site on 21 April 2021, iNaturalist.org

<sup>62</sup> Reported by "old-bean-adams" SE of site on 17 May 2014, iNaturalist.org

<sup>63</sup> Reported by "old-bean-adams" SE of site on 21 April 2021, iNaturalist.org

<sup>64</sup> Reported by "old-bean-adams" SE of site on 14 September 2013, iNaturalist.org

<sup>65</sup> Reported by "old-bean-adams" SE of site on 10 May 2014, iNaturalist.org

<sup>66</sup> Reported by "old-bean-adams" SE of site on 9 April 2016, iNaturalist.org

<sup>67</sup> Reported by "old-bean-adams" SE of site on 17 May 2014, iNaturalist.org

<sup>68</sup> Reported by "old-bean-adams" SE of site on 11 May 2013, iNaturalist.org

<sup>69</sup> Reported by "old-bean-adams" SE of site on 14 September 2014, iNaturalist.org

<sup>70</sup> Reported by "old-bean-adams" SE of site on 14 September 2014, iNaturalist.org

<sup>71</sup> Reported by "old-bean-adams" SE of site on 14 September 2014, iNaturalist.org

<sup>72</sup> Reported by "old-bean-adams" SE of site on 14 May 2016, iNaturalist.org

<sup>73</sup> Reported by "old-bean-adams" SE of site on 11 October 2014 and 17 October 2015, iNaturalist.org

<sup>74</sup> Reported by "old-bean-adams" SE of site on 8 May 2014 and 23 May 2015, iNaturalist.org

<sup>75</sup> Reported by "old-bean-adams" SE of site on 2 May 2016, iNaturalist.org

<sup>76</sup> Reported by "old-bean-adams" SE of site on 11 May 2013, iNaturalist.org

<sup>77</sup> Reported by "old-bean-adams" SE of site on 11 May 2013, iNaturalist.org

## Endangered, Threatened, Rare, and Locally Important Species and Nests

### (Initial Study Checklist A & E)

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Endangered, threatened, rare, or locally important species were observed or have a moderate to high potential to occur within the survey area(s).

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## Special-status Species Summary

### *Definitions*

Special-status habitats are vegetation types, associations, or sub-associations that support concentrations of special-status plant or wildlife species, are of relatively limited distribution, or are of particular value to wildlife.

Special-status species are plants and animals that are at least one of the following:

- *Listed as Endangered or Threatened* under Federal or California Endangered Species Acts,
- *Listed as Rare under the California Native Plant Protection Act, or*
- *Considered rare (but not formally listed) by resource agencies, professional organizations (e.g. Audubon Society, California Native Plant Society [CNPS], The Wildlife Society), and the scientific community.*

Listed species are those taxa that are formally listed as Endangered or Threatened by the federal government (e.g. USFWS), pursuant to the Federal Endangered Species Act (ESA) or as Endangered, Threatened, or Rare (for plants only) by the State of California (i.e. California Fish and Game Commission), pursuant to the California Endangered Species Act (CESA) or the California Native Plant Protection Act, or those formally adopted by a local (e.g. county or city government) agency as of local concern or rare, or similar status. Special-status species are defined in Table 7, Definitions of Special-status Species.

The CNPS' *Inventory of Rare and Endangered Plants of California* (CNPS 2015) categorizes rare California plants into one of five lists (1A, 1B, 2, 3, and 4) representing five levels of species status, one of which is assigned to a sensitive species to indicate its status of rarity or endangerment and distribution. Most taxa also receive a threat code extension following the List (e.g. 1B.1, 2.3), which replaces the R-E-D Code previously used by CNPS. Table 8, California Native Plant Society Rare Plants List, provides a definition for each List code number, and Table 9, California Native Plant Society List Threat Code Extensions, defines the CNPS List Threat Code Extensions that indicates the level of endangerment within California.

CNPS also has a Locally Rare Plant program, administered at the chapter level but overseen by the Rare Plant Program. The Channel Islands Chapter of CNPS has maintained a list of locally rare plants of Ventura County since 2000, developed and updated by David Magney (Magney 2020). This list has two categories: rare and uncommon. Locally Rare plants are those with five or fewer extant populations in Ventura County, regardless of how many may occur outside the county. Locally Uncommon plants are those with six to ten extant populations in the county.



**Table 7. Definitions of Special-status Species**

<ul style="list-style-type: none"> <li>○ Plants and animals legally protected under the California and Federal Endangered Species Acts or under other regulations.</li> <li>○ Plants and animals considered sufficiently rare by the scientific community to qualify for such listing; or</li> <li>○ Plants and animals considered to be sensitive because they are unique, declining regionally or locally, or are at the extent of their natural range.</li> </ul>	
Special-Status Plant Species	Special-Status Animal Species
<ul style="list-style-type: none"> <li>○ Plants listed or proposed for listing as threatened or endangered under the Federal Endangered Species Act (50 CFR 17.12 for listed plants and various notices in <i>Federal Register</i> for proposed species).</li> <li>○ Plants that are Category 1 or 2 candidates for possible future listing as threatened or endangered under the Federal Endangered Species Act (55 CFR 6184, February 21, 1990).</li> <li>○ Plants that meet the definitions of rare or endangered species under the CEQA (<i>State CEQA Guidelines</i>, Section 15380).</li> <li>○ Plants considered by CNPS to be "rare, threatened, or endangered" in California (Lists 1B and 2 in CNPS 2001).</li> <li>○ Plants listed by CNPS as plants needing more information and plants of limited distribution (Lists 3 &amp; 4 in CNPS 2001).</li> <li>○ Plants listed by CNPS as locally rare (Lake 2004, Magney 2007a, Wilken 2003).</li> <li>○ Plants listed or proposed for listing by the State of California as threatened or endangered under the California Endangered Species Act (14 CCR 670.5).</li> <li>○ Plants listed under the California Native Plant Protection Act (California Fish and Game Code 1900 et seq.).</li> <li>○ Plants considered sensitive by other federal agencies (i.e. U.S. Forest Service, Bureau of Land Management) or state and local agencies or jurisdictions.</li> <li>○ Plants considered sensitive or unique by the scientific community; occurs at natural range limits (<i>State CEQA Guidelines</i>, Appendix G).</li> </ul>	<ul style="list-style-type: none"> <li>○ Animals listed/proposed for listing as threatened/endangered under the Federal Endangered Species Act (50 CFR 17.11 for listed animals and various notices in <i>Federal Register</i> for proposed species).</li> <li>○ Animals that are Category 1 or 2 candidates for possible future listing as threatened or endangered under Federal Endangered Species Act (54 CFR 554).</li> <li>○ Animals that meet the definitions of rare or endangered species under the CEQA (<i>State CEQA Guidelines</i>, Section 15380).</li> <li>○ Animals listed or proposed for listing by the State of California as threatened and endangered under the California Endangered Species Act (14 CCR 670.5).</li> <li>○ Animal species of special concern (SSC) to the CDFG.</li> <li>○ Animal species that are fully protected in California (California Fish &amp; Game Code, Sections 3511 [birds], 4700 [mammals], 5050 [reptiles, amphibians]).</li> <li>○ Animals considered rare or sensitive locally by a local agency or scientific community (<i>State CEQA Guidelines</i>, Appendix G)</li> </ul>

**Table 8. California Native Plant Society Rare Plants List (CNPS List)**

CNPS List	Definition
1A	Presumed Extinct in California and elsewhere
1B	Rare, Threatened, or Endangered in California and elsewhere
2A	Rare, Threatened, or Endangered in California, but more common elsewhere
2B	Presumed Extinct in California, but more common elsewhere
3	Need more information (a Review List)
4	Plants of Limited Distribution (a Watch List)



**Table 9. California Native Plant Society List Threat Code Extensions**

<b>CNPS Threat Code Extension</b>	<b>Definition</b>
x.1	Seriously endangered in California (over 80% of occurrences threatened / high degree and immediacy of threat)
x.2	Fairly endangered in California (20-80% occurrences threatened)
x.3	Not very endangered in California (<20% of occurrences threatened)

The California Natural Diversity Database (CNDDDB) Element Ranking system (CDFW 2021) provides a numeric global and state-ranking system for all special-status species tracked by the CNDDDB. The global rank (G-rank) is a reflection of the overall condition of an element (species or natural community) throughout its global range. The state rank (S-rank) is assigned much the same way as the global rank, except state ranks in California often also contain a threat designation attached to the S-rank. This Element Ranking system is defined below in Table 10, California Natural Diversity Database Element Ranking System.

## CNDDDB SEARCH RESULTS

This section addresses the special-status biological resources observed, reported, or having the potential to occur on the project site. These resources include plant and wildlife species that have been afforded special-status and/or recognition by federal and state resource agencies, as well as private conservation organizations. In general, the principal reason an individual taxon (i.e. species, subspecies, or variety) is given such recognition is the documented or perceived decline or limitations of its population size, geographic range, and/or distribution resulting in most cases from habitat loss.

DMEC conducted a search of CDFW’s CNDDDB RareFind5 (CDFW 2021) for the Weisberg project, California USGS Quadrangle Triunfo Pass (in which the project site is found), and for the five surrounding quadrangles, including Point Mugu, Camarillo, Newbury Park, Thousand Oaks, and Point Dume. DMEC conducted this database search to account for special-status species tracked by CNDDDB in the area and with potential to occur at the project site. One-hundred thirteen (113) special-status elements were reported by CNDDDB, including fifty-five (55) plant species, fifty-two (52) wildlife species, and six (6) habitats.

DMEC also conducted a search of CNPS’s *Inventory of Rare and Endangered Plants of California* (CNPS 2022) as well as referencing *Checklist of Ventura County Rare Plants* (Magney 2020), to account for CNPS-listed plants not tracked on the CNDDDB (CDFW 2021) database with potential to occur in the vicinity of the proposed project site. The CNDDDB Special Animals List (CDFW 2021b) was also referenced to account for other listed animal species.



**Table 10. California Natural Diversity Database Element Ranking System**

<b>Global Ranking (G)</b>	
G1	Less than 6 viable element occurrences (pops for species), OR less than 1,000 individuals, OR <809.4 hectares (ha) (2,000 acres [ac]).
G2	6 to 20 element occurrences OR 809.4 to 4,047 ha (2,000 to 10,000 ac).
G3	21 to 100 element occurrences OR 3,000 to 10,000 individuals OR 4,047 to 20,235 ha (10,000 to 50,000 ac).
G4	Apparently secure; rank lower than G3, factors exist to cause some concern (i.e. there is some threat, or somewhat narrow habitat).
G5	Population, or stand, demonstrably secure to ineradicable due to being commonly found in the world.
GH	All sites are <b>historic</b> ; the element has not been seen for at least 20 years, but suitable habitat still exists.
GX	All sites are <b>extirpated</b> ; this element is extinct in the wild.
GXC	Extinct in the wild; exists in cultivation.
G1Q	The element is very rare, but there is a taxonomic question associated with it.
<p><b>Subspecies Level:</b> Subspecies receive a <b>T-rank</b> attached to the G-rank. With the subspecies, the G-rank reflects the condition of the entire <u>species</u>, whereas the T-rank reflects the global situation of just the <u>subspecies</u> or <u>variety</u>.  <b>For example:</b> <i>Chorizanthe robusta</i> var. <i>hartwegii</i> is ranked G2T1. The G-rank refers to the whole species range (<i>Chorizanthe robusta</i>), whereas the T-rank refers only to the global condition of the variety (var. <i>hartwegii</i>).</p>	
<b>State Ranking (S)</b>	
S1	Less than 6 element occurrences OR less than 1,000 individuals OR less than 809.4 ha (2,000 ac). S1.1 = very threatened S1.2 = threatened S1.3 = no current threats known
S2	6 to 20 element occurrences OR 3,000 individuals OR 809.4 to 4,047 ha (2,000 to 10,000 ac). S2.1 = very threatened S2.2 = threatened S2.3 = no current threats known..
S3	21 to 100 element occurrences OR 3,000 to 10,000 individuals OR 4,047 to 20,235 ha (10,000 to 50,000 ac). S3.1 = very threatened S3.2 = threatened S3.3 = no current threats known
S4	Apparently secure within California; this rank is clearly lower than S3 but factors exist to cause some concern (i.e. there is some threat, or somewhat narrow habitat). <b>NO THREAT RANK.</b>
S5	Demonstrably secure to ineradicable in California. <b>NO THREAT RANK.</b>
SH	All California sites are <b>historic</b> ; the element has not been seen for at least 20 years, but suitable habitat still exists.
SX	All California sites are <b>extirpated</b> ; this element is extinct in the wild.
<b>Notes</b>	
<p>1. Other considerations used when ranking a species or natural community include the pattern of distribution of the element on the landscape, fragmentation of the population/stands, and historical extent as compared to its modern range. It is important to take an aerial view when ranking sensitive elements rather than simply counting element occurrences.</p> <p>2. Uncertainty about the rank of an element is expressed in two major ways: by expressing the rank as a range of values (e.g. S2S3 means the rank is somewhere between S2 and S3), and by adding a ? to the rank (e.g. S2?). This represents more certainty than S2S3, but less than S2. (CNDDDB 2009.)</p>	

## Special-status Plants

A total of fifty-five (55) special-status plant species tracked by CNDDDB are known or reported in the vicinity of the project site and have the potential to occur onsite. Table 11, Special-status Plants Observed and Potentially Present Onsite, summarizes the CNDDDB reports for the 55 special-status plant species tracked for the Triunfo Pass quad and surrounding 5 quads, as well as locally rare plants observed onsite or nearby (Magney 2022) not tracked by the CNDDDB. Table 11 provides each species' scientific and common names, status, habitat requirements, and likelihood of occurrence.

Two special-status plants were observed during the 2015 surveys 0.2 mi south of the project parcel: *Calochortus catalinae* (Catalina Mariposa Lily, CNPS rank 4.2) and *Rhus integrifolia* x *R. ovata* (Hybrid Sugarbush, Ventura County Locally Rare).

Three special-status plants were observed on the project site: *Calochortus catalinae*, *C. plummerae* (Plummer's Mariposa Lily, CNPS rank 4.2), and *Dichondra occidentalis* (Western Dichondra, CNPS rank 4.2). They were found scattered across much of the 5-acre parcel (at 4, 18, and 15 specific locations, respectively). Six occurrences of *Calochortus catalinae* were found in the study area but on adjacent parcels. Four occurrences of *C. plummerae* were found three parcels to the south, east of the existing access road. One occurrence of *Dichondra occidentalis* was found on the parcel immediately south of the Weisberg parcel. Figure 9, Special-status Species Onsite, shows the specific locations of the 11 locations of *Calochortus catalinae*, 24 locations of *C. plummerae*, and the 16 locations of *Dichondra occidentalis* during the 2022 surveys.

Two occurrences of *Calochortus catalinae* onsite are within the fuel modification zone and one is in an area of the access road to be widened. Those within the fuel modification zone but outside the grading limits are not likely to be adversely affected by fuel modification activities.



*Calochortus catalinae*, Catalina Mariposa Lily.

Six (6) of the 23 occurrences of *Calochortus plummerae* are within the proposed grading area and will be adversely affected. Another 2 occurrences are within the fuel modification zone and will likely be affected by fuel modification activities since they typically occur when *C. plummerae* is flowering and fruiting.



*Calochortus plummerae* showing the variability of the form.



The photo above possibly represents a hybrid with *Calochortus weedii* due to the presence of cilia (line of hairs) on the margin of the petals.





Five (5) of the 16 occurrences of *Dichondra occidentalis* are within the proposed grading area and will be adversely affected. Another 9 occurrences are within the fuel modification zone; however, fuel modification activities are not likely to adversely affect them. Another 5 occurrences are outside any impact areas. *Dichondra occidentalis* is pictured on the here from the Weisberg parcel. This species is a groundcover that spreads by rhizomes.



It dies back during the summer drought season and re-emerges in the winter after sufficient winter precipitation.



Table 13, Blooming Periods of Special-status Plant Species Known and Expected Onsite, provides the likelihood of occurrence and blooming period (Magney 2015a manuscript) for each species to help determine if DMEC would have been able to detect species onsite during the timing of the surveys. The spring 2022 surveys coincided with the majority of these bloom times.

**Table 11. Special-status Plant Species Observed and Potentially Present Onsite**

Scientific Name	Common Name	Species Status <sup>78</sup>					Habitat Requirements <sup>79</sup>	Likelihood of Occurrence <sup>80</sup>
		G-Rank	S-Rank	Federal Listing <sup>81</sup>	State Listing	CNPS List/Local Status <sup>82</sup>		
<i>Abronia maritima</i>	Red Sand-verbena	G4?	S3?	-	-	4.2	Coastal dunes. >100 m	Unlikely
<i>Antirrhinum nuttallianum</i> ssp. <i>subsessile</i>	Lesser Nuttall Snapdragon	-	-	-	-	LR	Rocky or disturbed places; Coastal Sage Scrub, Chamise Chaparral; <1,400 m. Observed in the vicinity of Deals Flat at the Beltrami property (2005).	Possible
<i>Asplenium vespertinum</i>	Western Spleenwort	G3?	S3.2	-	-	4.2	Rocky chaparral, cismontane woodland, coastal scrub, at the base of overhanging boulders. 500-1,000 m	Unlikely

<sup>78</sup> For special-status species definitions, refer to Tables 7 through 10 in the Methods Section.

<sup>79</sup> Required habitat according to CDFW (2013), and Jepson Flora Project (Baldwin *et al.* 2013).

<sup>80</sup> Likelihood of occurrence based on species' habitat requirements and presence of required habitat in the project site.

Observed = Species was directly observed during DMEC's seasonal 2015 and 2022 surveys;

Likely = Required habitat exists at the project site and/or has been reported onsite or nearby;

Possible = Marginal required habitat exists onsite, and/or required habitat exists in surrounding areas;

Unlikely = Required habitat does not exist at the project site nor does it exist nearby.

<sup>81</sup> E = Endangered; T = Threatened; R = Rare; C = Candidate.

<sup>82</sup> LR = a Locally Rare plant species with 5 or fewer occurrences in Ventura County, and LU = Locally Uncommon plant species with 6 to 10 occurrences in the County (Magney 2015b).



Scientific Name	Common Name	Species Status <sup>78</sup>					Habitat Requirements <sup>79</sup>	Likelihood of Occurrence <sup>80</sup>
		G-Rank	S-Rank	Federal Listing <sup>81</sup>	State Listing	CNPS List/Local Status <sup>82</sup>		
<i>Astragalus brauntonii</i>	Braunton's Milkvetch	G2	S2	E	-	1B.1	Closed-cone coniferous forest, chaparral, coastal scrub, valley and foothill grassland. Recent burns or disturbed areas; in stiff gravelly clay soils overlying granite or limestone. 4-640 m.	Possible
<i>Atriplex coulteri</i>	Coulter's Saltbush	G2	S2	-	-	1B.2	Coastal bluff scrub, coastal dunes, coastal scrub, valley and foothill grassland. Ocean bluffs, ridgetops, as well as alkaline low places. 10-440 m.	Unlikely
<i>Baccharis malibuensis</i>	Malibu Baccharis	G1	S1	-	-	1B.1	Coastal scrub, chaparral, cismontane woodland. In Conejo volcanic substrates, often on exposed roadcuts. Sometimes occupies oak woodland habitat. 150-260 m.	Possible
<i>Calandrinia breweri</i>	Brewer's Calandrinia	G4	S34	-	-	4.2	sandy or loamy, disturbed sites and burns, Chaparral, Coastal scrub.	Possible
<i>Calochortus catalinae</i>	Catalina Mariposa Lily	G3	S3.2	-	-	4.2	Valley and foothill grassland, chaparral, coastal scrub, cismontane woodland. In heavy soils, open slopes, openings in brush. 30-700 m. Known onsite & 0.2 mi S of the project site (DMEC 2016).	Known
<i>Calochortus clavatus</i> var. <i>gracilis</i>	Slender Mariposa Lily	G4T2	S2	-	-	1B.2	Shaded foothill canyons; Elev. <1,000 m.	Unlikely
<i>Calochortus clavatus</i> var. <i>clavatus</i>	Club-haired Mariposa lily	G4T3	S3	-	-	4.3	Chaparral, cismontane woodland, coastal scrub, valley and foothill grasslands, generally serpentine soils. <1,300 m	Unlikely
<i>Calochortus plummerae</i>	Plummer's Mariposa Lily	G4	S4	-	-	4.2	Coastal scrub, chaparral, valley and foothill grassland, cismontane woodland, lower montane coniferous forest. Occurs on rocky and sandy sites, usually of granitic or alluvial material. Can be very common after fire. 90-1,610 m. Approximately 50 individuals were observed at 24 specific locations.	Known
<i>Camissoniopsis lewisii</i>	Lewis' Evening-Primrose	G2G3	S1S3	-	-	3	Coastal bluff scrub, cismontane woodland, coastal dunes, valley and foothill grasslands, in sandy or clay soils. <300 m	Possible
<i>Centromadia parryi</i> ssp. <i>australis</i>	Southern Tarplant	G3T2	S2	-	-	1B.1	Marshes and swamps (margins), valley and foothill grassland, vernal pools. Often in disturbed sites near the coast; also in alkaline soils sometimes with Saltgrass; also vernal pools. 0-425 m.	Unlikely
<i>Cercocarpus betuloides</i> var. <i>blancheae</i>	Island Mountain Mahogany	G5T4	S4	-	-	4.3	Chaparral, Closed-cone Coniferous Forest; Channel Islands, Central and South Coast counties. 30-600 m. Nearest known occurrence is near SR23 & Mulholland Hwy.	Possible
<i>Chaenactis glabriuscula</i> var. <i>orcuttiana</i>	Orcutt's Pincushion	G5T1	S1	-	-	1B.1	Coastal bluff scrub, coastal dunes. Sandy sites. 3-100 m.	Unlikely



Scientific Name	Common Name	Species Status <sup>78</sup>					Habitat Requirements <sup>79</sup>	Likelihood of Occurrence <sup>80</sup>
		G-Rank	S-Rank	Federal Listing <sup>81</sup>	State Listing	CNPS List/Local Status <sup>82</sup>		
<i>Chloropyron maritimum</i> ssp. <i>maritimum</i>	Salt Marsh Bird's-beak	G4?T1	S1	E	E	1B.2	Coastal salt marsh, coastal dunes. Limited to the higher zones of salt marsh habitat. <30 m.	Highly Unlikely
<i>Chorizanthe parryi</i> var. <i>parryi</i>	Parry's Spineflower	G2T2	S2	-	-	1B.1	Coastal scrub, chaparral. Dry slopes and flats; sometimes at interface of 2 vegetation types, such as chaparral & oak woodland; dry, sandy soils. 40-1,705 m.	Possible
<i>Convolvulus simulans</i>	Small-Flowered Morning-glory	G3	S3.2	-	-	4.2	Coastal sage scrub, openings in chaparral, valley and foothill grasslands, in clay or serpentine soils. 30-875 m	Possible
<i>Deinandra minthornii</i>	Santa Susana Tarplant	G2	S2.2	-	R	1B.2	Chaparral, coastal scrub. On sandstone outcrops and crevices, in shrubland. 280-760 m.	Unlikely
<i>Delphinium parryi</i> ssp. <i>blochmaniae</i>	Dune Larkspur	G4T2	S2	-	-	1B.2	Chaparral, coastal dunes (maritime). On rocky areas and dunes. 30-37 m.	Unlikely
<i>Delphinium parryi</i> ssp. <i>purpureum</i>	Mt. Piños Larkspur	G4T3	S3.3	-	-	4.3	Sagebrush scrub, dry chaparral, pinyon and juniper woodland. 1,000-2,600 m.	Unlikely
<i>Dichondra occidentalis</i>	Western Dichondra	G3G4	S3S4	-	-	4.2	Chaparral, coastal scrub. Known from site downslope on E side of Yerba Buena Rd. Found over much of project site parcel.	Known
<i>Dodecatheon cleveandii</i> ssp. <i>patulum</i>	Lowland Padre Shooting Star	-	-	-	-	LR	Grassy slopes, flats; Meadow, Wildflower Field, Coastal Sage Scrub; <600 m. Observed in the vicinity of Deals Flat at the Beltrami property (2005).	Possible
<i>Dudleya blochmaniae</i> ssp. <i>blochmaniae</i>	Blochman's Dudleya	G2T2	S2.1	-	-	1B.1	Coastal scrub, coastal bluff scrub, valley and foothill grassland. Open, rocky slopes; often in shallow clays over serpentine or in rocky areas w/little soil. 5-450 m.	Possible
<i>Dudleya cymosa</i> ssp. <i>agourensis</i>	Agoura Hills Dudleya	G5T1	S2	T	-	1B.2	Chaparral, cismontane woodland. Rocky, volcanic breccia. 200-500 m.	Unlikely
<i>Dudleya cymosa</i> ssp. <i>marcescens</i>	Marcrescent Dudleya	G5T2	S2	T	R	1B.2	Chaparral. On sheer rock surfaces and rocky volcanic cliffs. 180-520 m.	Possible
<i>Dudleya cymosa</i> ssp. <i>ovatifolia</i>	Santa Monica Mountains Dudleya	G5T1	S2.2	T	-	1B.2	Chaparral, coastal scrub. In canyons on sedimentary conglomerates; primarily n-facing slopes. 210-500 m.	Possible
<i>Dudleya parva</i> [ <i>D. abramsii</i> ssp. <i>parva</i> ]	Conejo Dudleya	G2	S2	T	-	1B.2	Coastal scrub, valley and foothill grassland. In clayey or volcanic soils on rocky slopes and grassy hillsides. 60-450 m.	Possible
<i>Dudleya verityi</i>	Verity's Dudleya	G1	S1	T	-	1B.2	Chaparral, cismontane woodland, coastal scrub. On volcanic rock outcrops in the Santa Monica Mountains. 60-120 m.	Highly Unlikely
<i>Eriogonum crocatum</i>	Conejo Buckwheat	G2	S2.1	-	R	1B.2	Chaparral, coastal scrub, valley and foothill grassland. Conejo volcanic outcrops; rocky sites. 50-580m.	Highly Unlikely
<i>Erysimum suffrutescens</i>	Suffrutescent Wallflower	G3	S3	-	-	4.2	Coastal bluff scrub. Chaparral (maritime), Coastal dunes, Coastal scrub	Highly Unlikely



Scientific Name	Common Name	Species Status <sup>78</sup>					Habitat Requirements <sup>79</sup>	Likelihood of Occurrence <sup>80</sup>
		G-Rank	S-Rank	Federal Listing <sup>81</sup>	State Listing	CNPS List/Local Status <sup>82</sup>		
<i>Fritillaria biflora</i> var. <i>biflora</i>	Chocolate Lily	-	-	-	-	LU	Heavy soils, serpentine barrens, slopes and mesas; grassland, Coastal Sage Scrub, Pinyon-Juniper Woodland; <1,200 m; Observed in the vicinity of Deals Flat at the Parris property (2013).	Possible
<i>Hordeum intercedens</i>	Vernal Barley	G3G4	S3S4	-	-	3.2	Coastal dunes, coastal scrub, valley and foothill grasslands, associated with vernal pools, dry, saline streambeds, alkaline flats and depressions. <500m.	Highly Unlikely
<i>Lasthenia glabrata</i> ssp. <i>coulteri</i>	Coulter's Goldfields	G4T3	S2.1	-	-	1B.1	Coastal salt marshes, playas, valley and foothill grassland, vernal pools. Usually found on alkaline soils in playas, sinks, and grasslands. 1-1,400 m.	Highly Unlikely
<i>Lepechinia fragrans</i>	Fragrant Pitcher Sage	G3	S3.2	-	-	4.2	Chaparral. Santa Monica and San Gabriel Mountains, Channel Islands. 20-1,310 m.	Possible
<i>Lepidium virginicum</i> var. <i>robinsonii</i>	Robinson's Peppergrass	G5T3	S3	-	-	4.3	Chaparral, Coastal scrub.	Possible
<i>Lilium humboldtii</i> ssp. <i>ocellatum</i>	Ocellated Humboldt Lily	G4T3	S3.2	-	-	4.2	Chaparral, cismontane woodland, lower montane coniferous forest, riparian forest. Yellow Pine Forest or openings, oak canyons. 30-1,800 m. ~12 known extant populations in Ventura County.	Unlikely
<i>Lomatium lucidum</i>	Shiny Lomatium	-	-	-	-	LR	Scrub, especially on burns, rocky loamy soil; Coastal Sage Scrub; 450-1,500 m. Observed in the vicinity of Deals Flat at the Beltrami property (DMEC 2005).	Possible
<i>Monardella hypoleuca</i> ssp. <i>hypoleuca</i>	White-veined Monardella	G4T2T3	S2S3	-	-	1B.3	Oak woodland and chaparral; <1,500 m	Possible
<i>Monardella sinuata</i> ssp. <i>sinuata</i>	Southern Curly-leaved Monardella	G3T2	S2	-	-	1B.2	Sandy Chaparral, Cismontane woodland, Coastal dunes, Coastal scrub (openings)	Unlikely
<i>Navarretia ojaiensis</i>	Ojai Navarretia	G1	S1	-	-	1B.1	Chaparral, coastal shrub, valley and foothill grasslands. Openings in scrublands or grasslands. 275-620 m.	Possible
<i>Nolina cismontana</i>	Chaparral Nolina	G2	S2	-	-	1B.2	Chaparral, coastal scrub. Primarily on sandstone and shale substrates; also known from gabbro. 140-1,275 m.	Possible
<i>Orcuttia californica</i>	California Orcutt Grass	G1	S1	E	E	1B.1	Vernal pools. 15-660 m.	Highly Unlikely
<i>Pentachaeta lyonii</i>	Lyon's Pentachaeta	G2	S2	E	E	1B.1	Chaparral, valley and foothill grassland. Edges of chaparral clearings, usually at ecotones between grassland and chaparral or edges of firebreaks. 30-630 m.	Possible
<i>Phacelia hubbyi</i>	Hubby's Phacelia	G3	S3.2	-	-	4.2	Chaparral, coastal scrub, valley and foothill grasslands, associated with open slopes, often gravelly, rocky or talus. <1,000 m	Unlikely
<i>Phacelia ramosissima</i> var. <i>austrolitoralis</i>	South Coast Branching Phacelia	G5?T3	S3.2	-	-	3.2	Chaparral, coastal dunes, coastal scrub, coastal salt marshes, sandy sometimes rocky soils. <3,800 m.	Possible



Scientific Name	Common Name	Species Status <sup>78</sup>					Habitat Requirements <sup>79</sup>	Likelihood of Occurrence <sup>80</sup>
		G-Rank	S-Rank	Federal Listing <sup>81</sup>	State Listing	CNPS List/Local Status <sup>82</sup>		
<i>Piperia michaelii</i>	Michael's Rein Orchid	G3	S3.2	-	-	4.2	Coastal scrub, cismontane woodland, closed-cone coniferous forest, lower montane coniferous forest. Mudstone & humus ~ dry sites. 3-915 m. Four known pops. in Ventura Co.	Unlikely
<i>Rhus ovata</i> X <i>R. integrifolia</i>	Hybrid Sugar Bush	-	-	-	-	LR	Canyons, generally N-facing slopes, chaparral; <900 m. Observed 0.2 mi to the south (DMEC 2016).	Likely
<i>Senecio aphanactis</i>	Rayless Ragwort	G3?	S2	-	-	2B.2	Cismontane woodland, coastal scrub. Drying alkaline flats. 20-575m.	Possible
<i>Stylocline gnaphaloides</i>	Everlasting Nest Straw	-	-	-	-	LU	Open, generally sandy soil of dry slopes, burns, etc.; Chaparral, Coastal Sage Scrub, Yellow Pine Forest; <1,200 m. . Observed in the vicinity of Deals Flat at the Beltrami property (DMEC 2005).	Possible
<i>Suaeda esteroa</i>	Estuary Seablite	G3	S2	-	-	1B.2	Marshes and swamps. Coastal salt marshes in clay, silt, and sand substrates. 0-5 m.	Highly Unlikely
<i>Texosporium sancti-jacobi</i>	Woven-spored Lichen	G2	S1.1	-	-	-	Chaparral. Open sites; in California w/ <i>Adenostoma fasciculatum</i> , <i>Eriogonum</i> , <i>Selaginella</i> . At Pinnacles, on small mammal pellets. 290-660 m.	Unlikely
<i>Thelypteris puberula</i> var. <i>sonorensis</i>	Sonoran Maiden Fern	G5T3	S2.2?	-	-	2B.2	Meadows and seeps. Along streams, seepage areas. 50-550 m.	Highly Unlikely
<i>Tortula californica</i>	California Screw Moss	G2?	S2	-	-	1B.2	Sandy soil; Chenopod scrub, valley and foothill grasslands, 10-1,460 m	Unlikely
<i>Toxicoscordion</i> [ <i>Zigadenus</i> ] <i>brevibracteatus</i>	Death Camas	-	-	-	-	LR	Sandy desert; Pinyon-Juniper Woodland; 600-1,800 m. Observed in the vicinity of Deals Flat at the Beltrami property (DMEC 2005).	Unlikely

**Table 13. Blooming Periods of Special-status Plant Species Known and Expected Onsite**

Scientific Name	Common Name	Likelihood of Occurrence <sup>83</sup>	Blooming Period <sup>84</sup>	Comments
<i>Abronia maritima</i>	Red Sand-verbena	Unlikely	FEB-OCT	Blooming period was captured during the spring and summer surveys. Suitable habitat lacking.
<i>Antirrhinum nuttallianum</i> ssp. <i>subsessile</i>	Lesser Nuttall Snapdragon	Likely	MAR-AUG	Blooming period was captured during the spring and summer surveys.
<i>Asplenium vespertinum</i>	Western Spleenwort	Unlikely	Unknown	Would have been detectable during surveys; however, suitable habitats were not observed onsite or nearby.
<i>Astragalus brauntonii</i>	Braunton's Milkvetch	Possible	MAR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Atriplex coulteri</i>	Coulter's Saltbush	Unlikely	MAR-OCT	Blooming period was captured during the spring and summer surveys. Suitable habitat lacking.

<sup>83</sup> Likelihood of Occurrence based upon Jepson Flora Project (Baldwin *et al.* 2013) and Magney Manuscript.

<sup>84</sup> Blooming Periods bases upon Jepson Flora Project (Baldwin *et al.* 2013).



Scientific Name	Common Name	Likelihood of Occurrence <sup>83</sup>	Blooming Period <sup>84</sup>	Comments
<i>Baccharis malibuensis</i>	Malibu Baccharis	Possible	AUG	Would have been detectable during surveys. Suitable habitat lacking.
<i>Calochortus catalinae</i>	Catalina Mariposa Lily	Likely	MAR-APR	Blooming period was captured during the spring survey.
<i>Calochortus clavatus</i> var. <i>clavatus</i>	Club-haired Mariposa lily	Unlikely	APR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Calochortus clavatus</i> var. <i>gracilis</i>	Slender Mariposa Lily	Unlikely	MAR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Calochortus plummerae</i>	Plummer's Mariposa Lily	Likely	MAY-JUL	Blooming period was captured during the summer survey.
<i>Camissoniopsis lewisii</i>	Lewis' Evening-Primrose	Possible	MAR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Centromadia parryi</i> ssp. <i>australis</i>	Southern Tarplant	Unlikely	JUN-SEP	Blooming period was captured during the summer survey. Regardless, this taxon is not likely onsite since its required habitats (marshes, swamps, valley and foothill grassland, and vernal pools) were not observed onsite or nearby.
<i>Chaenactis artemisiifolia</i>	White Pincushion	Likely	APR-JUL	Blooming period was captured during the spring and summer surveys.
<i>Chaenactis glabriuscula</i> var. <i>orcuttiana</i>	Orcutt's Pincushion	Unlikely	APR-JUL	Blooming period was captured during the spring and summer surveys.
<i>Chloropyron</i> (= <i>Cordylanthus</i> ) <i>maritimus</i> ssp. <i>maritimus</i>	Salt Marsh Bird's-beak	Unlikely	MAY-OCT	Blooming period was captured during the spring and summer surveys; however, not habitat present onsite.
<i>Chorizanthe parryi</i> var. <i>parryi</i>	Parry's Spineflower	Possible	APR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Convolvulus simulans</i>	Small-Flowered Morning-glory	Possible	APR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Deinandra minthornii</i>	Santa Susana Tarplant	Unlikely	JUL-OCT	Blooming period was captured during the summer survey. Suitable habitat lacking.
<i>Delphinium parryi</i> ssp. <i>blochmaniae</i>	Dune Larkspur	Unlikely	MAR-APR	Blooming period was captured during the spring survey.
<i>Delphinium parryi</i> ssp. <i>purpureum</i>	Mt. Piños Larkspur	Unlikely	APR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Dichondra occidentalis</i>	Western Dichondra	Known		Flowers not necessary for positive identification. Detected by leaves and habit.
<i>Dodecatheon clevelandii</i> ssp. <i>patulum</i>	Lowland Padre Shooting Star	Possible	JAN-APR	Blooming period was captured during the winter and spring surveys.
<i>Dudleya blochmaniae</i> ssp. <i>blochmaniae</i>	Blochman's Dudleya	Possible	MAY-JUN	Blooming period was captured during the spring and summer surveys.
<i>Dudleya cymosa</i> ssp. <i>agourensis</i>	Agoura Hills Dudleya	Unlikely	MAY-JUN	Blooming period was captured during the summer survey. Suitable habitat lacking.
<i>Dudleya cymosa</i> ssp. <i>marcescens</i>	Marcescent Dudleya	Possible	MAY-JUN	Blooming period was the summer survey. Suitable habitat lacking.
<i>Dudleya cymosa</i> ssp. <i>ovatifolia</i>	Santa Monica Mountains Dudleya	Possible	MAY-JUN	Blooming period was captured during the summer survey. Suitable habitat lacking.
<i>Dudleya verityi</i>	Verity's Dudleya	Possible	MAY-JUN	Blooming period was captured during the summer survey. Suitable habitat lacking.
<i>Dudleya. parva</i> [ <i>D. abramsii</i> ssp. <i>parva</i> ]	Conejo Dudleya	Possible	MAY-JUL	Blooming period was captured during the summer survey. Suitable habitat lacking.
<i>Eriogonum crocatum</i>	Conejo Buckwheat	Unlikely	APR-JUL	Blooming period was captured during the spring and summer surveys. Suitable habitat lacking.
<i>Erysimum suffrutescens</i>	Suffrutescent Wallflower	Unlikely	JAN-JUL	Blooming period was captured during the spring and summer surveys.
<i>Fritillaria biflora</i> var. <i>biflora</i>	Chocolate Lily	Possible	FEB-JUN	Blooming period was captured during the spring and summer surveys.
<i>Helianthemum scoparium</i>	Peak Rushrose	Likely	MAR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Hordeum intercedens</i>	Vernal Barley	Unlikely	MAR-JUN	Blooming period was captured during the spring and summer surveys.



Scientific Name	Common Name	Likelihood of Occurrence <sup>83</sup>	Blooming Period <sup>84</sup>	Comments
<i>Lasthenia glabrata</i> ssp. <i>coulteri</i>	Coulter's Goldfields	Unlikely	MAR-MAY	Blooming period was captured during the spring survey.
<i>Lepechinia fragrans</i>	Fragrant Pitcher Sage	Unlikely	MAR-OCT	Blooming period was captured during the spring and summer surveys.
<i>Lepidium virginicum</i> var. <i>robinsonii</i>	Robinson's Pepper-grass	Possible	JAN-JUL	Blooming period was captured during the spring and summer surveys.
<i>Lilium humboldtii</i> ssp. <i>ocellatum</i>	Ocellated Humboldt Lily	Unlikely	MAY-OCT	Blooming period was captured during the summer survey. Suitable habitat lacking.
<i>Lomatium lucidum</i>	Shiny Lomatium	Likely	JAN-APR	Blooming period was captured during the spring survey.
<i>Monardella hypoleuca</i> ssp. <i>hypoleuca</i>	White-veined Monardella	Possible	JUN-AUG	Blooming period was captured during the summer survey.
<i>Monardella sinuata</i> ssp. <i>sinuata</i>	Southern Curly-leaved Monardella	Unlikely	APR-SEP	Blooming period was captured during the summer survey.
<i>Navarretia ojaiensis</i>	Ojai Navarretia	Possible	MAY-JUL.	Blooming period was captured during the spring survey.
<i>Nolina cismontana</i>	Chaparral Nolina	Unlikely	APR-JUN	Blooming period was captured during the spring and summer surveys.
<i>Orcuttia californica</i>	California Orcutt Grass	Highly Unlikely	MAY-JUN	Blooming period was captured during the summer survey. Suitable habitat lacking.
<i>Pentachaeta lyonii</i>	Lyon's Pentachaeta	Possible	MAR-APR	Blooming period was captured during the spring survey.
<i>Phacelia hubbyi</i>	Hubby's Phacelia	Unlikely	APR-JUL	Blooming period was captured during the spring and summer surveys.
<i>Phacelia ramosissima</i>	South Coast Branching Phacelia	Possible	APR-OCT	Blooming period was captured during the spring and summer surveys.
<i>Piperia michaelii</i>	Michael's Rein Orchid	Unlikely	APR-AUG	Blooming period was captured during the spring and summer surveys.
<i>Rhus ovata</i> X <i>R. integrifolia</i>	Hybrid Sugar Bush	Likely	FEB-MAY	Blooming period was captured during the spring survey. If present, this species would be able to be identified by its leaves.
<i>Senecio aphanactis</i>	Rayless Ragwort	Possible	FEB-APR	Blooming period was captured during the spring survey.
<i>Stylocline gnaphaloides</i>	Everlasting Nest Straw	Likely	MAR-MAY	Blooming period was captured during the spring survey.
<i>Suaeda esteroa</i>	Estuary Seablite	Unlikely	JUL-AUG	Blooming period was likely captured during the surveys; however, this species is not likely onsite since it's required habitats (coastal salt marshes and swamps) were not observed onsite or nearby.
<i>Texasporium sancti-jacobi</i>	Woven-spored Lichen	Unlikely	Unknown	Would have been detectable during surveys.
<i>Thelypteris puberula</i> var. <i>sonorensis</i>	Sonoran Maiden Fern	Unlikely	JAN-SEP	Blooming period was captured during the spring and summer surveys.
<i>Tortula californica</i>	California Screw Moss	Unlikely	Unknown	Would have been detectable during surveys; however, no mosses observed onsite.
<i>Toxicoscordion</i> [ <i>Zigadenus</i> ] <i>brevibracteatus</i>	Death Camas	Likely	APR-JUN	Blooming period was captured during the spring and summer surveys.

## Special-status Wildlife

No special-status wildlife species was detected on the Weisberg property; however, *Neotoma lepida intermedia* (San Diego Desert Woodrat) was detected four parcels to the south in 2015 but the Woolsey Fire destroyed any nests that may have occurred onsite and nearby, and this animal has not recolonized suitable habitats onsite since then. Other special-status wildlife species are known, or expected to occur in the vicinity of the project site. A total of fifty-seven (57) special-status wildlife species tracked by CNDDDB are known or reported in the vicinity of the project site and have the

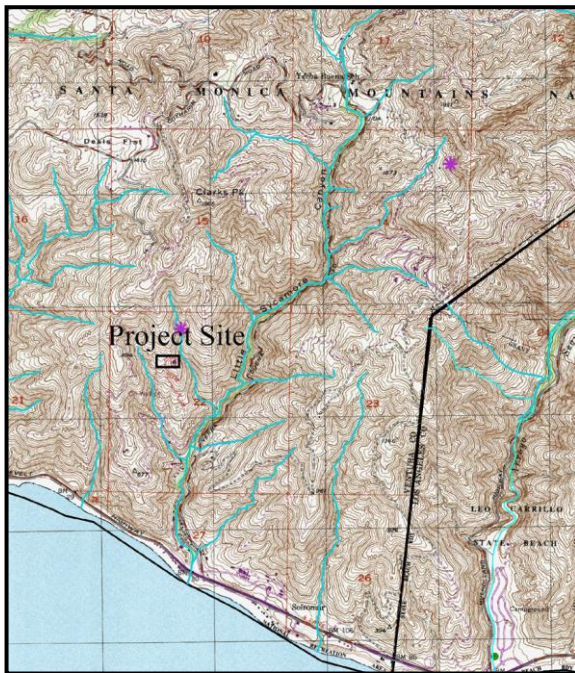
potential to occur onsite. Four (4) of the 57 special-status wildlife species are *likely* to occur onsite based on habitat requirements present onsite, including *Aimophila ruficeps canescens* (Southern California Rufous-crowned Sparrow), *Phrynosoma blainvillii* (Coast Horned Lizard), *Selasphorus sasin* (Allen’s Hummingbird), and *Trimerotropis occidentalooides* (Santa Monica Grasshopper).

Occurrences of special-status wildlife species occurring in the immediate vicinity of the project site are mapped on Figure 9, Special-status Species Onsite; however, none were found within the survey area.

Southern California Rufous-crowned Sparrow is a small songbird on the CNDDDB’s Watch List (WL) with a State Rarity Rank of 3. The nearest known occurrence is at Wood Ranch north of Thousand Oaks and north of US 101 in Calabasas in the Simi Hills (CNDDDB GIS database December 2021). There are no CNDDDB or iNaturalist records for this bird in the Santa Monica Mountains.

Allen’s Hummingbird is a small migratory bird on the CNDDDB’s WL with a State Rarity Rank of S4, Apparently Secure. The nearest known occurrence of it is in Leo Carrillo State Park approximately 2 miles the south-southeast. It breeds in mesic Coastal Sage Scrub and chaparral habitats along the California coast and ranges from northern California to Mexico.

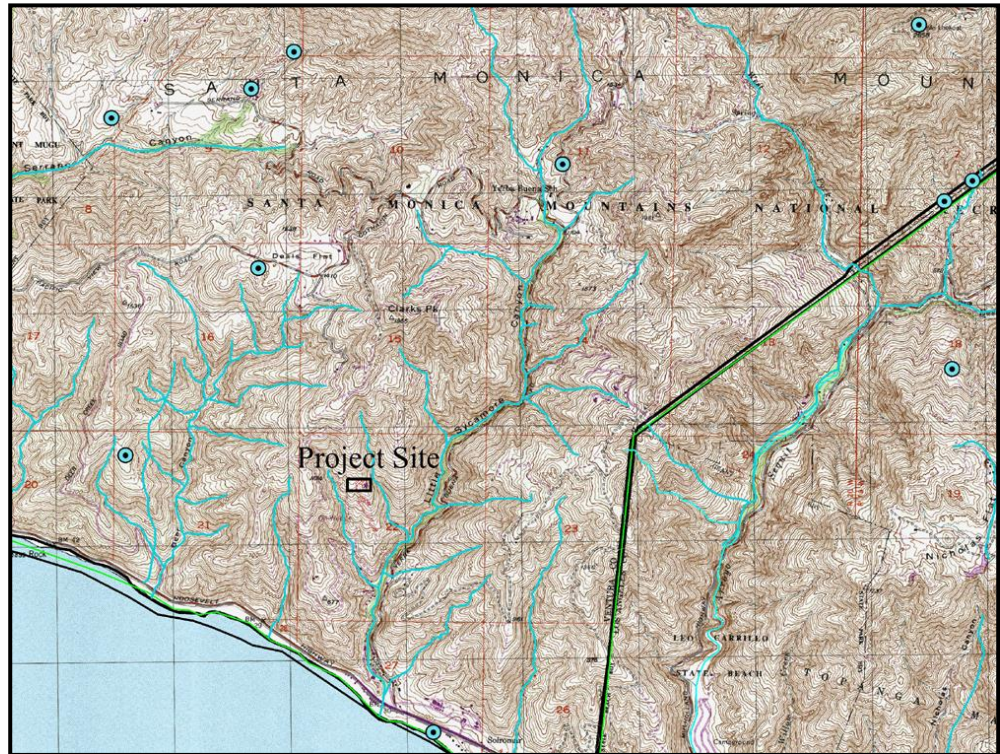
Santa Monica Grasshopper is a small grayish grasshopper on the IUCN’s Endangered list with a State Rarity Rank of S1S2. The CNDDDB (2021) includes four occurrences in the Santa Monica Mountains,



all from the 1970s. DMEC observed the Santa Monica Mountains Grasshopper from the summit of the mountains just northwest of the intersection of Mulholland Highway and State Route 23/Decker Canyon Road in September 2021 and documented by the photo to the left. iNaturalist observations show it as occurring approximately 1,000 feet north of the project site in 2020. It is highly likely this species uses the project site. A map of the known occurrences near the project site is provided below.



Coast or Blainville's Horned Lizard is a lizard on the CNDDDB's Species of Conservation Concern (SCC) with a State Rarity Ranking of S3S4. The nearest known occurrence is on the west side of Deer Creek Canyon approximately 1.5 miles west of the project site as reported on iNaturalist. There are numerous reports of this lizard throughout the Santa Monica Mountains. DMEC observed it on the Beltrami project site in Deal Flat 6,700 feet north-northwest of the Weisberg project site in 2005. Coast Horned Lizard is expected to occur onsite. The map to the right shows the observed/reported occurrences near the project site.



Coast Horned Lizard is expected to occur onsite. The map to the right shows the observed/reported occurrences near the project site.

In addition, *Timema monikensis* (Santa Monica Mountains Walking Stick) and *Helminthoglypta traskii* ssp. *traskii* (Trask Shoulderband Snail) also have potential to occur onsite. These species are listed as a Locally Important Species by the Ventura County Planning Division (VCPD 2012a). *Timema monikensis* has only been found in a very restricted locality along Decker Road at 34.07.172 N and 118.50.441 W, on *Ceanothus*, with additional observations on Sandstone Peak and Liberty Canyon north of US 101. *Helminthoglypta traskii* ssp. *traskii* has only 31 known occurrences throughout its range in California (Magney 2009a) as illustrated in Figure 10, Map of *Helminthoglypta traskii traskii* Occurrences. It is known from six occurrences in the Santa Monica Mountains, two of which are in Ventura County, with the nearest known occurrence 5.57 miles west of the project site.

Table 14, Special-Status and Locally Rare Wildlife Potentially Occurring Onsite, summarizes the CNDDDB reports for the 57 special-status wildlife species tracked for the six quads, and the two locally important species. Table 14 provides each species' scientific and common names, status, habitat requirements, and likelihood of occurrence. In addition to the species listed in Table 14, it should be noted that all raptors, raptor nests (active or inactive), and other active bird nests are protected under Fish and Game Code Section 3503.

**Table 14. Special-status and Locally Rare Wildlife Potentially Occurring Onsite**

Scientific Name	Common Name	Species Status <sup>85</sup>					Habitat Requirements	Likelihood of Occurrence <sup>86</sup>
		G-Rank	S-Rank	Federal Listing <sup>87</sup>	State Listing	CDFW <sup>88</sup>		
<i>Accipiter cooperi</i>	Cooper's Hawk	G5	S3	-	-	WL	(Nesting) woodland, chiefly of open, interrupted or marginal. An uncommon year-round resident in so. Calif. Prefers woodland habitats but can also be found in virtually any habitat during migration. Typical breeding habitat in so. Calif. consists of riparian and oak woodlands, but also nests in ornamental woodlands provided by parks.	Unlikely
<i>Accipiter striatus</i>	Sharp Shinned Hawk	G5	S4	-	-	WL	(Nesting) forest and forest edge. They require a dense forest ideally with a closed canopy for breeding. They prefer conifer forests but also nest in other trees.	Unlikely
<i>Agelaius tricolor</i>	Tricolored Blackbird	G2G3	S1S2	-	-	SSC	(Nesting colony) Wetlands, marshes, flooded agricultural fields, riparian scrublands and forests. Prefers springs dominated by Giant Creek Nettle	Highly Unlikely
<i>Aimophila ruficeps canescens</i>	Southern Calif. Rufous-crowned Sparrow	G5T2T4	S2S3	-	-	WL	Resident in southern California Coastal Sage Scrub and sparse mixed chaparral. Frequents relatively steep, often rocky hillsides with grass & forb patches. Nearest reported occurrences are in the Simi Hills.	Possible
<i>Ammodramus savannarum</i>	Grasshopper Sparrow	G5	S3	-	-	SSC	(Nesting) short to middle-height, moderately open grasslands with scattered shrubs. Often in the ecotone between grassland and sage scrub. From sea level to 4,900 ft.	Possible
<i>Anniella pulchra pulchra</i>	Silvery Legless Lizard	G3G4T3 T4Q	S3	-	-	SC	Primarily found underground. Occurs in chaparral, pine-oak woodlands, desert scrub, stream terraces, and sand dunes. Moist, warm, loose soil with plant cover is essential. Often found under objects such as logs, rocks, and boards.	Unlikely
<i>Antrozous pallidus</i>	Pallid Bat	G5	S3	-	-	SC	Deserts, grasslands, shrublands, woodlands & forests. Most common in open, dry habitats with rocky areas for roosting. Roosts must protect bats from high temperatures. Very sensitive to disturbance of roosting sites.	Possible
<i>Aquila chrysaetos</i>	Golden Eagle	G5	S3	-	-	FP/WL	(Nesting & wintering) rolling foothills mountain areas, Sage-Juniper Flats, desert. Cliff-walled canyons provide nesting habitat in most parts of range; also, large trees in open areas.	Unlikely

<sup>85</sup> For general special-status species definitions, refer to Tables 7 through 10 in the Methodology Section above.

<sup>86</sup> Likelihood of occurrence based on species' habitat requirements and the presence of required habitat in the project site.

Observed = Species was directly observed during DMEC's 2022 surveys;

Detected = Species was detected by sign during DMEC's 2022 surveys;

Likely = Required habitat exists at the project site and/or has been reported onsite or nearby;

Possible = Marginal required habitat exists onsite, and/or required habitat exists in surrounding areas; or

Unlikely = Required habitat does not exist at the project site nor does it exist nearby.

Highly Unlikely = Required habitat does not exist at the project site nor does it exist nearby and the probability of occurrence onsite or use of the onsite habitat highly improbable.

<sup>87</sup>E = Endangered; T = Threatened; C = Candidate, D = Delisted.

<sup>88</sup>SC = A California Department of Fish and Wildlife (CDFW) "Species of Special Concern", WL = CDFW Watch List, FP = CDFW Fully Protected



Scientific Name	Common Name	Species Status <sup>85</sup>					Habitat Requirements	Likelihood of Occurrence <sup>86</sup>
		G-Rank	S-Rank	Federal Listing <sup>87</sup>	State Listing	CDFW <sup>88</sup>		
<i>Ardea alba</i>	Great Egret	G5	S4	-	-	-	(Nesting Colony) Estuaries, wetlands, agricultural fields, swamps, grasslands.	Highly Unlikely
<i>Aspidoscelis tigris stejnegeri</i>	Coastal Western Whiptail	G5T3T4	S2S3	-	-	-	Found in deserts & semiarid areas with sparse vegetation and open areas. Also found in woodland & riparian areas. Ground may be firm soil, sandy, or rocky.	Possible
<i>Athene cucularia</i>	Burrowing Owl	G4	S2	-	-	SC	Open, dry annual or perennial grasslands, deserts and scrublands characterized by low-growing vegetation. Subterranean nester, dependent upon burrowing mammals, most notably, the California Ground Squirrel.	Unlikely
<i>Baeolophus inornatus</i>	Oak Titmouse	G4	S4	-	-	-	(Nesting) Oak woodland, Oak-Pine woodland, low to mid-elevations.	Possible
<i>Buteo regalis</i>	Ferruginous Hawk	G4	S3S4	-	-	WL	(Wintering) open grasslands, sagebrush flats, desert scrub, low foothills & fringes of Pinyon-Juniper habitats. Mostly eats lagomorphs, ground squirrels, and mice. Population trends may follow lagomorph population cycles.	Unlikely
<i>Charadrius alexandrinus nivosus</i>	Western Snowy Plover	G4T3	S2	T	-	SC	(Nesting) federal listing applies only to pacific coastal pop. Sandy beaches, salt pond levees, & shores of large alkali lakes. Sandy, gravelly, friable soils.	Highly Unlikely
<i>Charadrius montanus</i>	Mountain Plover	G3	S2?	-	-	SSC	(Wintering) Short-grass plains and fields, plowed fields, and sandy deserts.	Highly Unlikely
<i>Cicindela gabbii</i>	Western Tidal-Flat Tiger Beetle	G2G4	S1	-	-	-	Estuaries and mudflats along the coast of southern California.	Highly Unlikely
<i>Cicindela hirticollis gravida</i>	Sandy Beach Tiger Beetle	G5T2	S1	-	-	-	Inhabits areas adjacent to non-brackish water along the coast of California from San Francisco Bay to northern Mexico. Clean, dry, light-colored sand in the upper zone. Subterranean larvae prefer moist sand not affected by wave action.	Highly Unlikely
<i>Cicindela senilis frosti</i>	Senile Tiger Beetle	G4T1	S1	-	-	-	Inhabits marine shoreline, from central California coast south to salt marshes of San Diego, also found at Lake Elsinore. Inhabits dark-colored mud in the lower zone and dried salt pans in upper zone.	Highly Unlikely
<i>Coelus globosus</i>	Globose Dune Beetle	G1	S1	-	-	-	Inhabitant of coastal sand dune habitat, from Bodega Head in Sonoma County south to Ensenada, Mexico. Inhabits foredunes and sand hummocks; it burrows beneath the sand surface and is most common beneath dune vegetation.	Highly Unlikely
<i>Danaus plexippus</i>	Monarch Butterfly	G5	S3	-	-	-	Winter roost sites extend along the coast from northern Mendocino to Baja California, Mexico. Roosts located in wind-protected tree groves (Eucalyptus, Monterey Pine, Cypress), with nectar and water sources nearby.	Unlikely
<i>Elanus leucurus</i>	White-tailed Kite	G5	S3	-	-	FP	(Nesting) Rolling foothills/valley margins w/scattered oaks & river bottomlands or marshes next to deciduous woodland. Open grasslands, meadows, or marshes for foraging close to isolated, dense-topped trees for nesting and perching.	Possible
<i>Emys [Actinemys/ Clemmys] marmorata</i>	Western Pond Turtle	G3G4	S3	-	-	SC	Inhabits permanent or nearly permanent bodies of water in many habitat types; below 6,000 ft elev. Require basking sites such as partially submerged logs, vegetation mats, or open mud banks. Need suitable nesting sites.	Highly Unlikely



Scientific Name	Common Name	Species Status <sup>85</sup>					Habitat Requirements	Likelihood of Occurrence <sup>86</sup>
		G-Rank	S-Rank	Federal Listing <sup>87</sup>	State Listing	CDFW <sup>88</sup>		
<i>Eremophila alpestris actia</i>	California Horned Lark	G5T3Q	S3	-	-	SC	Coastal regions, chiefly from Sonoma Co. to San Diego Co., also main part of San Joaquin Valley & east to foothills. Short-grass prairie, "bald" hills, mountain meadows, open coastal plains, fallow grain fields, alkali flats.	Unlikely
<i>Eucyclogobius newberryi</i>	Tidewater Goby	G3	S2S3	E	-	SC	Brackish water habitats along the California coast from Agua Hedionda Lagoon, San Diego Co. to the mouth of the Smith River. Found in shallow lagoons and lower stream reaches, they need fairly still but not stagnant water & high oxygen levels.	Highly Unlikely
<i>Eumops perotis californicus</i>	Western Mastiff Bat	G5T4	S3?	-	-	SC	Many open, semi-arid to arid habitats, including conifer & deciduous woodlands, coastal scrub, grasslands, chaparral etc. Roosts in crevices in cliff faces, high buildings, trees & tunnels.	Possible
<i>Euphydryas editha quino</i>	Quino Checkerspot	G5T1T2	S1	E	-	-	Coastal sage scrub, chaparral. The most frequently used larval host plants include <i>Plantago erecta</i> and <i>Castilleja exserta</i> .	Possible
<i>Falco peregrinus anatum</i>	American Peregrine Falcon	G4T4	S3S4	Delisted	Delisted	FP	(Nesting) open landscapes with cliffs, up to 12,000 feet in elevation. Can nest along rivers, coastlines and cities.	Unlikely
<i>Gavia immer</i>	Common Loon	G5	S1	-	-	SSC	(Nesting) coves and islands on lakes.	Highly Unlikely
<i>Gila orcuttii</i>	Arroyo Chub	G2	S2	-	-	SC	Los Angeles Basin south coastal streams. Slow water stream sections with mud or sand bottoms. Feed heavily on aquatic vegetation & associated invertebrates.	Highly Unlikely
<i>Gymnogyps californianus</i>	California Condor	G1	S1	E	E	FP	Scavenge for carrion in habitats ranging from beaches to mountainous forests, meadows, and grasslands. Nest in caves and cliff faces at up to 6,000 feet in elevation.	Unlikely
<i>Helminthoglypta traskii traskii</i>	Trask Shoulderband	G1G2T1	S1	-	-	-	Known from Ventura, Los Angeles, Orange, & San Diego Counties. Also reported from NW Baja California.	Likely
<i>Helminthoglypta willetti</i>	Matilija Shoulderband	G1	-	-	-	-	Terrestrial. A Ventura County Locally Important Species (VCPD 2012a).	Unlikely
<i>Hydroprogne caspia</i>	Caspian Tern	G5	S4	-	-	-	(Nesting colony) breeds in a variety of habitats near water, such as salt marshes and islands.	Highly Unlikely
<i>Icteria virens</i>	Yellow-breasted Chat	G5	S3	-	-	SSC	(Nesting) Dense second-growth, riparian thickets, and brush.	Unlikely
<i>Lasiurus blossevillii</i>	Western Red Bat	G5	S3	-	-	SSC	Roosting habitat includes forests and woodlands from sea level up through mixed conifer forests. Feeds over a wide variety of habitats including grasslands, shrublands, open woodlands and forests, and croplands.	Possible
<i>Lasiurus cinereus</i>	Hoary Bat	G5	S4?	-	-	-	Prefers open habitats or habitats mosaics, with access to trees for cover and opens areas or habitat edges for feeding. Roosts in dense foliage of medium to large trees. Feeds primarily on moths, and requires water.	Unlikely
<i>Microtus californicus stephensi</i>	South Coast Marsh Vole	G5T1T2	S1S2	-	-	SC	Tidal marshes in Los Angeles, Orange and southern Ventura Counties.	Highly Unlikely



Scientific Name	Common Name	Species Status <sup>85</sup>					Habitat Requirements	Likelihood of Occurrence <sup>86</sup>
		G-Rank	S-Rank	Federal Listing <sup>87</sup>	State Listing	CDFW <sup>88</sup>		
<i>Myotis ciliolabrum</i>	Western Small-footed Myotis	G5	S2S3	-	-	-	Wide range of habitats mostly arid wooded & brushy uplands near water. Seeks cover in caves, buildings, mines & crevices. Prefers open stands in forests and woodlands. Requires drinking water. Feeds on a wide variety of small flying insects.	Possible
<i>Myotis yumanensis</i>	Yuma Myotis	G5	S4?	-	-	-	Optimal habitats are open forests and woodlands with sources of water over which to feed. Distribution is closely tied to bodies of water. Maternity colonies in caves, mines, buildings or crevices.	Unlikely
<i>Neotoma lepida intermedia</i>	San Diego Desert Woodrat	G5T3?	S3?	-	-	SC	Coastal scrub of southern California from San Diego County to San Luis Obispo County. Moderate to dense canopies preferred. They are particularly abundant in rock outcrops and rocky cliffs & slopes.	Likely (next observed nearby)
<i>Oncorhynchus mykiss irideus</i>	Southern Steelhead (Southern California ESU)	G5T2Q	S2	E	-	SC	Federal listing refers to pops from Santa Maria River south to southern extent of range (San Mateo Creek in San Diego Co.). Southern Steelhead likely have greater physiological tolerances to warmer water & more variable conditions.	Highly Unlikely
<i>Panoquina errans</i>	Wandering (Saltmarsh) Skipper	G4G5	S1	-	-	-	Southern California coastal salt marshes. Requires moist Saltgrass for larval development.	Highly Unlikely
<i>Passerculus sandwichensis beldingi</i>	Belding's Savannah Sparrow	G5T3	S3	-	E	-	Inhabits coastal salt marshes, from Santa Barbara south through San Diego County. Nests in Salicornia on and about margins of tidal flats.	Highly Unlikely
<i>Pelecanus occidentalis californicus</i>	California Brown Pelican	G4T3	S1S2	D	D	FP	(Nesting colony) colonial nester on coastal islands just outside the surf line. Nests on coastal islands of small to moderate size, which afford immunity from attack by ground-dwelling predators.	Highly Unlikely
<i>Phrynosoma blainvillii</i>	Coast Horned Lizard	G4G5	S3S4	-	-	SC	Inhabits Coastal Sage Scrub and chaparral in arid and semi-arid climate conditions. Prefers friable, rocky, or shallow sandy soils. Observed in the vicinity of Deals Flat at the Beltrami property (2005).	Likely
<i>Picoides nuttallii</i>	Nuttall's Woodpecker	G4G5	S4S5	-	-	-	(Nesting) found primarily in oak woodlands and in riparian woods; rarely in conifers.	Unlikely
<i>Polioptila californica californica</i>	Coastal California Gnatcatcher	G3T2	S2	T	-	SC	Obligate, permanent resident of Coastal Sage Scrub below 2,500 ft in southern California. Low, Coastal Sage Scrub in arid washes, on mesas & slopes. Not all areas classified as Coastal Sage Scrub are occupied.	Possible
<i>Rallus longirostris levipes</i>	Light-footed Clapper Rail	G5T1T2	S1	E	E	-	Found in salt marshes traversed by tidal sloughs, where Cordgrass and Pickleweed are the dominant vegetation. Require dense growth of either Pickleweed or Cordgrass for nesting or escape cover; feeds on mollusks and crustaceans.	Highly Unlikely
<i>Riparia riparia</i>	Bank Swallow	G5	S2S3	-	T	-	(Nesting) colonial nester; nests primarily in riparian and other lowland habitats west of the desert. Requires vertical banks with fine-textured/sandy soils near streams, rivers, lakes, ocean to dig nesting hole.	Highly Unlikely
<i>Selasphorus sasin</i>	Allen's Hummingbird	G5	S4	-	-	-	(Nesting) breeds in moist coastal areas, scrub, chaparral, and forests.	Likely
<i>Setophaga petechia</i>	Sonoran Yellow Warbler	G5T2T3	S2	-	-	SSC	(Nesting) riparian forest; willows and cottonwoods.	Unlikely



Scientific Name	Common Name	Species Status <sup>85</sup>					Habitat Requirements	Likelihood of Occurrence <sup>86</sup>
		G-Rank	S-Rank	Federal Listing <sup>87</sup>	State Listing	CDFW <sup>88</sup>		
<i>Sorex ornatus salicornicus</i>	Southern California Saltmarsh Shrew	G5T1?	S1	-	-	SC	Coastal marshes in Los Angeles, Orange & Ventura Counties. Requires dense vegetation and woody debris for cover.	Unlikely
<i>Sternula antillarum browni</i>	California Least Tern	G4 T2T3 Q	S2S3	E	E	FP	(Nesting colony) nests along the coast from San Francisco Bay south to northern Baja California. Colonial breeder on bare or sparsely vegetated, flat substrates: sand beaches, alkali flats, landfills, or paved areas.	Highly Unlikely
<i>Taxidea taxus</i>	American Badger	G5	S4	-	-	SC	Most abundant in drier open stages of most shrub, forest, and herbaceous habitats, with friable soils. Need sufficient food, friable soils & open, uncultivated ground. Prey on burrowing rodents. Dig burrows.	Possible
<i>Thamnophis hammondi</i>	Two-striped Garter Snake	G3	S2	-	-	SC	Coastal California from vicinity of Salinas to northwest Baja California. From sea to about 7,000 ft elevation. Highly aquatic, found in or near permanent fresh water. Along streams with rocky beds and riparian growth.	Unlikely
<i>Timema monikensis</i>	Santa Monica Mountains Walking Stick	-	-	-	-	-	Coastal Sage Scrub, Chaparral. Santa Monica Mountains. Ventura County Locally Important (VCPD 2012a)	Possible
<i>Trimerotropis occidentaloidea</i>	Santa Monica Grasshopper	G1G2	S1S2	-	-	-	Known only from the Santa Monica Mountains. Found on bare hillsides and along dirt trails in chaparral. Nearest known occurrence is 6.25 miles NE observed by DMEC on 19 September 2021, observed N of site (iNaturalist).	Likely
<i>Tryonia imitator</i>	Mimic Tryonia (California Brackishwater Snail)	G2G3	S2S3	-	-	-	Inhabits coastal lagoons, estuaries and salt marshes, from Sonoma County south to San Diego County. Found only in permanently submerged areas in a variety of sediment types; able to withstand a wide range of salinities.	Highly Unlikely
<i>Vireo bellii pusillus</i>	Least Bell's Vireo	G5T2	S2	E	E	-	(Nesting) spring resident of southern California in low riparian in vicinity of water or in dry river bottoms; below 2000 ft. Nests placed along margins of bushes or on twigs projecting into pathway (willow, Baccharis, mesquite).	Highly Unlikely

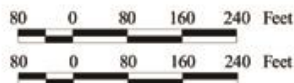
**Figure 9. Special-status Species Onsite**



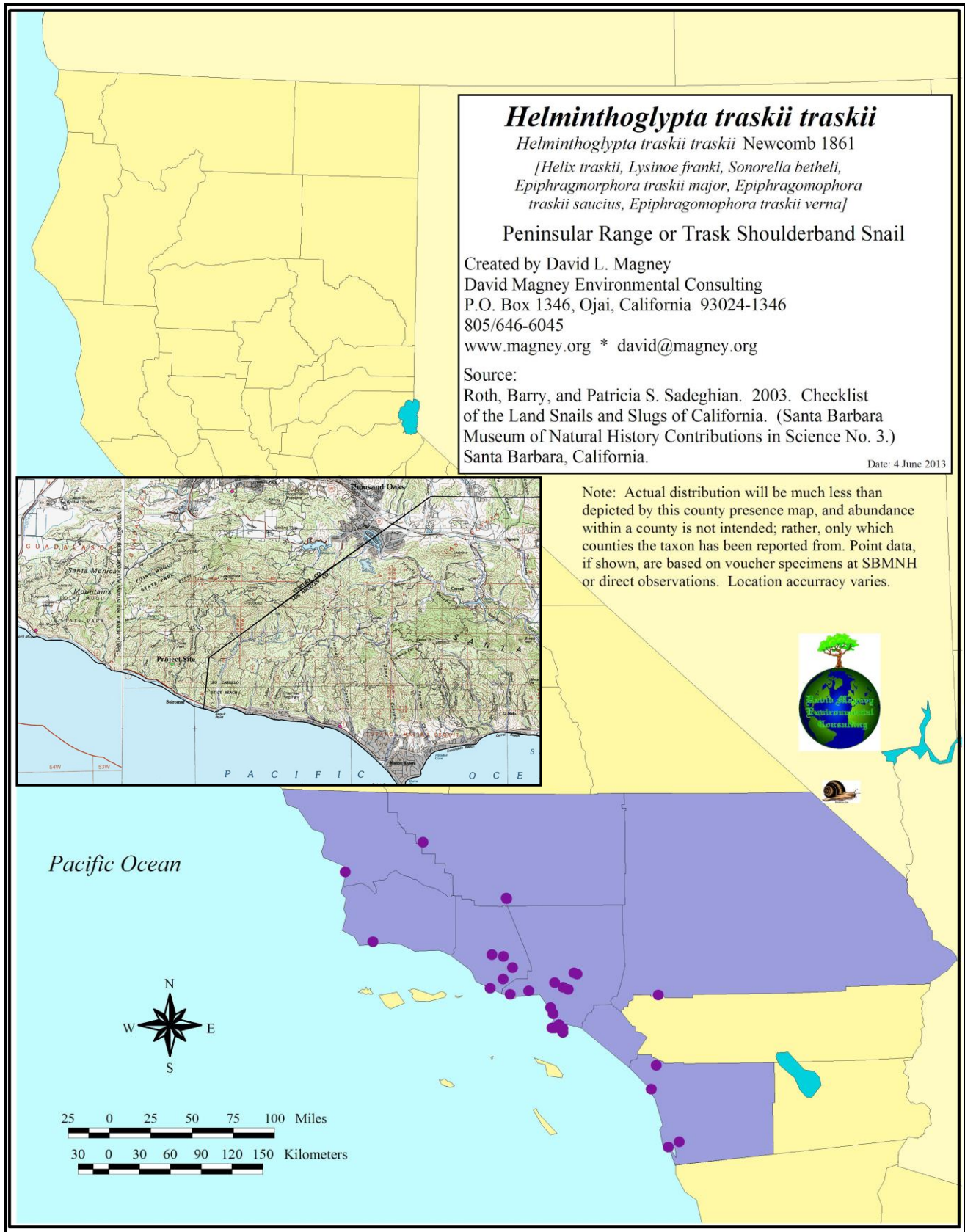
**Special-status Species Legend**

- |                 |                         |                        |
|-----------------|-------------------------|------------------------|
| Survey Area     | Weisberg House          | Calochortus catalinae  |
| Parcels         | Grading Limits          | Calochortus plummerae  |
| Weisberg Parcel | 100-foot Fuel Mod. Zone | Dichondra occidentalis |

Map created 26 June 2022  
 David Magney Environmental Consulting  
 P.O. Box 1539, Cedar Ridge, CA 95924  
 530/273-1799 - www.magney.org  
 Sources: Ventura County Assessor's Office, DMEC  
 Projection: NAD 1983, CA State Plane, Zone V (feet)  
 Base Map: 2002 Aerial Photograph



**Figure 10. Map of *Helminthoglypta traskii traskii* Occurrences**







## Sensitive Habitats

Table 15, CNDDDB Special-Status Habitats Potentially Occurring Onsite, summarizes the CNDDDB search for sensitive habitat types reported for the six quads surrounding and including the project site. Table 15 provides the habitat’s name, status, and whether it was observed onsite. There were no sensitive habitats observed on the project site.

**Table 15. CNDDDB Sensitive Habitats Potentially Occurring Onsite**

CNDDDB Sensitive Habitats (Holland 1986, CDFW 2013)	G Rank <sup>89</sup>	S Rank	Fed	CA	Presence Onsite <sup>90</sup>
Southern Coast Live Oak Riparian Forest	G4	S4	-	-	Not Observed
Southern Coastal Salt Marsh	G2	S2.1	-	-	Not Observed
Southern Riparian Forest	G4	S4	-	-	Not Observed
Southern Sycamore Alder Riparian Woodland	G4	S4	-	-	Not Observed
Valley Needlegrass Grassland	G3	S3.1	-	-	Not Observed
Valley Oak Woodland	G3	S2.1	-	-	Not Observed

## WILDLIFE MOVEMENT AND CONNECTIVITY

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Wildlife movement or connectivity features, or evidence thereof, were not found within the survey area(s).

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Wildlife corridors link together areas of suitable wildlife habitat that are otherwise separated by rugged terrain, changes in vegetation, or human disturbance. The fragmentation of open space areas by urbanization creates isolated “islands” of wildlife habitat. Some wildlife species, especially the larger and more wide-ranging mammals, will not likely persist over time in fragmented or isolated habitat areas because they prohibit the infusion of new individuals and genetic information. Corridors mitigate the effects of fragmentation by allowing animals to move between remaining habitats; providing escape routes from fire, predators, and human disturbances; and serving as travel routes for individual animals as they move in their home ranges in search of food, water, mates, and other resources.

Wildlife movement activities usually fall into one of three movement categories: dispersal (e.g. juvenile animals from natal areas or individuals extending range distributions), seasonal migration, and movements related to home range activities (e.g. foraging for food or water, defending territories, or searching for mates, breeding areas, or cover).

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<sup>89</sup> See Tables 7 through 10 above for descriptions of rank and status categories. Federal (Fed or F) and State (CA or S) status listings: E = Endangered; T = Threatened; R = Rare; C = Candidate; SC = Species of Concern.

<sup>90</sup> Observed [P] = Habitat present onsite [Present]; Not Observed = Habitat not present onsite though some constituents of the habitat may be present as noted; [CH] = Project footprint is within a Critical Habitat unit.

South Coast Wildlands (SCW) works to maintain and restore connections between isolated wildland areas in the South Coast through their program called the "Missing Linkages Project"<sup>91</sup>. One such isolated wildland area of concern is the Santa Monica Mountains. Although the Santa Monica Mountains are protected in part through state and federal ownership (Point Mugu State Park and the Santa Monica Mountains National Recreation Area [SMMNRA], respectively), this high-quality habitat area is severely isolated from other wildland areas in Southern California. Specifically, SCW has drafted a report that analyzes the potential linkage between the isolated Santa Monica Mountains and Simi Hills, and the much larger areas of contiguous habitat in the Sierra Madre Mountains to the north. (Penrod et al. 2006.)

SCW's report (Penrod et al. 2006) identifies multiple areas of existing and potential landscape linkage between the Santa Monica Mountains and the Sierra Madre Mountains. Using a "least cost union" methodology to determine which landscape linkages should be the focus of conservation efforts, they have identified one main corridor near the Ventura-Los Angeles County line, and one smaller "side branch" that connects the larger corridor with the western side of the Santa Monica Mountains through the Tierra Rejada Valley/Simi Hills to the Santa Susana Mountains to the north.

Figure 11, Regional Wildlife Habitat, illustrates the wildlife habitat (non-core), which is privately held, and protected Federal and State land in relation to the location of the project site. The wildlife habitats illustrated on Figure 11 are based primarily on research conducted by the South Coast Wildlands Project (Penrod et al. 2006).

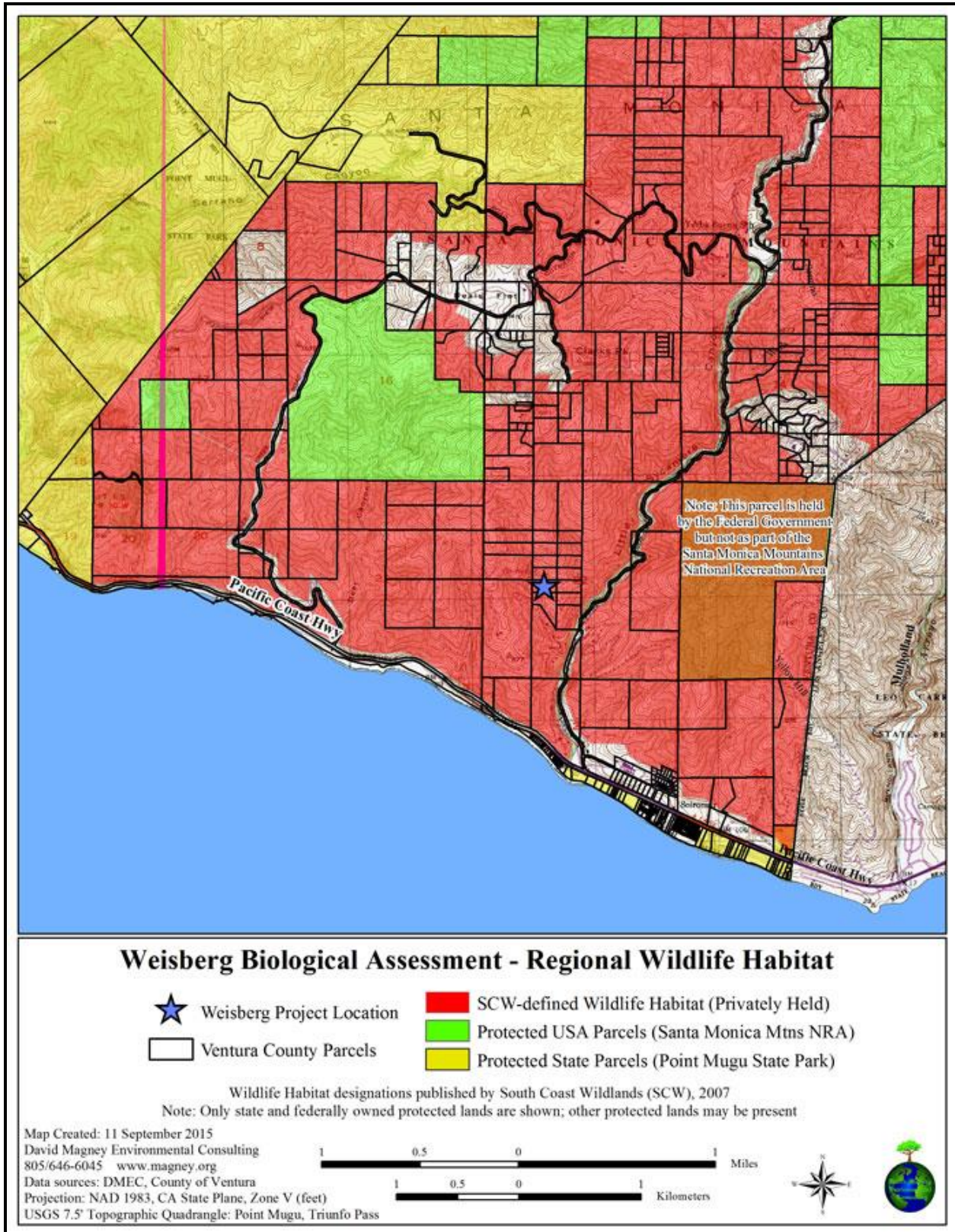
Based on maps provided by CDFW's BIOS MAPS (available at: <http://imaps.dfg.ca.gov>) and Figure 11, the project site, as well as other adjacent residences and undeveloped parcels, are not mapped as any particular wildlife movement category. The Weisberg property exists within "island" of non-wildlife habitat and unprotected land; however, the project site is surrounded by what is mapped as wildlife habitat (non-core and privately held). Protected land exists to the north and west (Point Mugu State Park) of the parcel. No local wildlife travel routes were observed onsite during the spring 2022 surveys other than existing roads. The vegetation is fairly open as a result of the Woolsey Fire.

Development of the Weisberg property may temporarily have direct impacts on wildlife movement or migration at or near the project site due to noise, lighting, dust, poison, and human presence (refer to Section 4 for measures to minimize these impacts). The temporary direct impacts are considered less than significant when the measures outlined in Section 4 are implemented to minimize these temporary impacts. Permanent and cumulative impacts to wildlife movement resulting from loss of native natural vegetation and species-specific wildlife habitat are considered less than significant, since the project site is not mapped as any particular wildlife movement category.

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<sup>91</sup> Report is available at [http://www.scwildlands.org/reports/SCML\\_SantaMonica\\_SierraMadre.pdf](http://www.scwildlands.org/reports/SCML_SantaMonica_SierraMadre.pdf).

**Figure 11. Regional Wildlife Habitat**



## **SECTION 4. RECOMMENDED IMPACT ASSESSMENT AND MITIGATION**

The proposed development of the project site will result in impacts to biological resources. The total direct impacts from these activities are summarized in Table 16, Existing Habitats and Land Cover and Expected Impacts.

### **SUFFICIENCY OF BIOLOGICAL DATA**

No additional information is needed to make CEQA findings and develop feasible mitigation measures. The winter and springtime surveys provided the field data necessary to conduct the impact assessment.

### **IMPACTS AND MITIGATION**

DMEC has determined that the planned construction activities will result in impacts to natural vegetation, primarily as a result of clearing and grading associated with the house pad and required 100-foot-wide fuel modification zone around the proposed house, and widening of the existing access road. The direct and indirect impacts to biological resources are identified below. They are listed by species, species group, or habitat followed by general and specific mitigation measures that, if implemented, are expected to fully mitigate the impacts to the biological resources.

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#### **A. Endangered, Threatened, or Rare Animal or Plant Species, or Their Habitats**

Project: PS-M; Cumulative: PS-M

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#### ***Definition of Significance for Special-status Plant Species***

Significant project impacts for special-status (sensitive) habitats are defined using the following criterion:

The impact is significant if the impact on special-status (sensitive) habitats by construction activities (including grading, building, and fuel modification) affects greater than 10% of the total habitat existing on the project site. That is, if 10% or more of the special-status habitat is impacted by the proposed project, the impact would be considered significant and mitigation would be required, if feasible.



## Summary of Impacts to Special-status Plant Species

**Table 16. Existing Habitats and Land Cover and Expected Project Impacts**

Existing Habitats and Land Cover Observed	Total Onsite Acres	Onsite ESHA Acres	Onsite Impact Acres	Onsite ESHA Impact Acres	Offsite ESHA Impact Acres	Total Impact Acres
<i>Adenostoma fasciculatum</i> Shrubland Alliance (AF)	0.223	0.223	0.0	0.0	0.0	0.0
<i>Artemisia californica</i> - <i>Salvia</i> Shrubland Alliance (AC)	11.935	11.935	1.021 <sup>92</sup>	1.021	0.0	1.021
<i>Heteromeles arbutifolia</i> Shrubland Alliance (HA)	0.215	0.215	0.0	0.0	0.0	0.0
<i>Malacothamnus fasciculatus</i> Shrubland Alliance (MF)	0.795	0.795	0.269 <sup>93</sup>	0.269	0.0	0.269
<i>Malosma laurina</i> Shrubland Alliance (ML)	7.080	7.080	0.547 <sup>94</sup>	0.547	0.0	0.547
<i>Opuntia oricola</i> Shrubland Alliance (OO)	0.205	0.205	0.0	0.0	0.0	0.0
Ornamental Landscaping (OL)	0.100	0.100	0.0	0.0	0.0	0.0
Ruderal (R – 1,2, & 3)	1.558	0.0	0.076	0.0	0.0	0.076
Road	2.977	0.0	N/A	N/A	N/A	0.0
<b>Acres Total</b>	<b>25.088</b>	<b>20.453</b>	<b>1.913</b>	<b>1.837</b>	<b>0.0</b>	<b>1.913</b>

The natural vegetation impacted by the proposed development is illustrated in Figure 12, Project Impacts to Natural Vegetation. A total of 1.228 acres will be disturbed by the fuel modification zone, water tanks, and pipe trenching, grading, as well as ungraded areas to be cleared or mostly thinned for fire hazard mitigation.

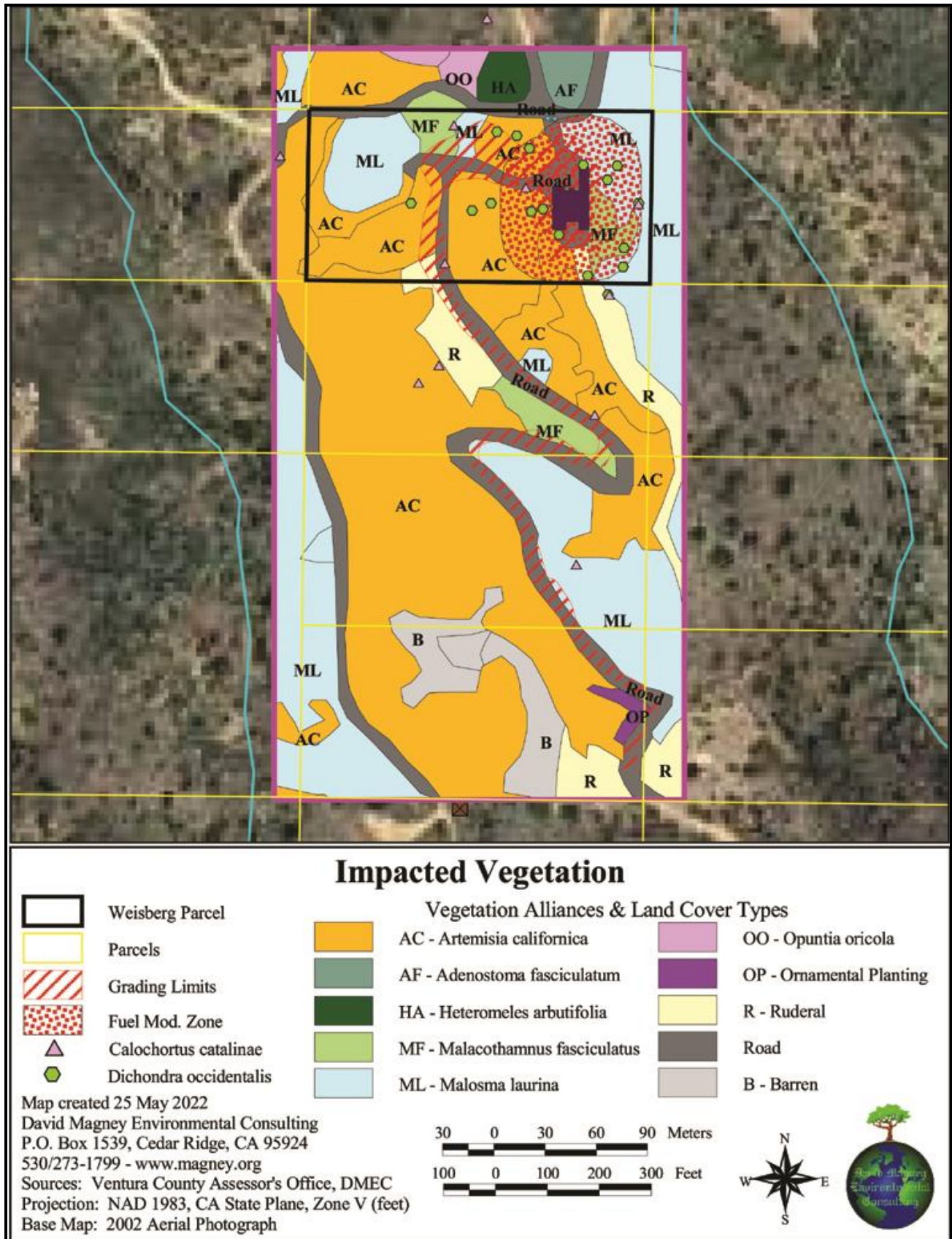
For impact assessment purposes, only the natural vegetation that qualifies as ESHA that will be directly impacted is considered a significant impact and require mitigation, 1.837 acres.

<sup>92</sup> A total of 1.048 acres of existing *Artemisia californica* Shrubland Alliance will be impacted; however, 0.027 acre of that occurs along the old Jeep trail and is deducted from the impact total accordingly.

<sup>93</sup> A total of 0.272 acre of existing *Malacothamnus fasciculatus* Shrubland Alliance will be impacted; however, 0.003 acre of that occurs along the old Jeep trail and is deducted from the impact total accordingly.

<sup>94</sup> A total of 0.549 acre of existing *Malosma laurina* Shrubland Alliance will be impacted; however, 0.002 acre of that occurs along the old Jeep trail and is deducted from the impact total accordingly.

**Figure 12. Project Impacts to Natural Vegetation**



## IMPACT 1. LOSS OF SPECIAL-STATUS PLANT SPECIES ONSITE

Three special-status plant species were found in the proposed construction footprint or fuel modification zone during the spring 2022 surveys. Individuals of *Calochortus catalinae*, *C. plummerae*, and *Dichondra occidentalis* were found to occur scattered throughout the parcel and neighboring parcels (see Figures 9 and 12), each observation mapped is part of three relatively large populations (one population for each species) that occupy this area, using the methods defined by the CNDDDB (distinction populations are generally separated by unoccupied habitat of ¼ mile). The construction of the proposed house, pool, landscaping, and widening of the existing access road would remove several individuals of each species and reduce the total area of each population.

**Significance Finding – Project Impacts:** Potentially Significant but Mitigable. If the estimated direct loss of any special-status plant species by construction activities is greater than the significance threshold; mitigation would be required.

**Significance Finding – Cumulative Impacts:** Potentially Significant but Mitigable. Any direct loss of special-status plant species would contribute to the cumulative loss of special-status plant species in Ventura County and statewide.

**Avoidance and Minimization Measures:** Mitigation Measure 1 (MM1) and Mitigation Measure 2 (MM2) would sufficiently mitigate for any impacts to special-status plant species onsite to a less-than-significant level.

### MITIGATION MEASURE 1: CONDUCT PRE-CONSTRUCTION SURVEYS FOR SPECIAL-STATUS PLANT SPECIES ONSITE AND AVOID OR RELOCATE THESE SPECIES IF FOUND IN THE CONSTRUCTION ZONE OR FUEL MODIFICATION ZONE

**Impact & Mitigation Goal:** No special-status plant species were found in the proposed construction footprint or fuel modification zone during the spring 2022 surveys. As the location or presence of all special-status plant species with the potential to occur onsite is not known, pre-construction surveys shall be conducted onsite prior to development (ground disturbance). If any special-status plant species are located onsite that are not addressed in this Biological Assessment, impacts on any of the special-status species will be avoided or relocated.

**Mitigation Action:** Prior to site disturbance activities associated with the proposed project, supplemental pre-construction field surveys for special-status plant species shall be conducted to clearly determine and to mark off the exact locations and numbers of plants onsite in the development footprint as well as those to be preserved. A qualified botanist familiar with the flora of the Santa Monica Mountains shall conduct the surveys. Surveys should be conducted two weeks prior to construction to flag locations of special-status plants within and immediately adjacent to the project site.

If possible, translocation of the rare plants should occur onsite or if no suitable location is available, then an offsite location could be used. A suitable translocation site on the parcel would need to be identified and a detailed mitigation plan specific to that impacted species would need to be prepared by a qualified restoration botanist. Note: a suitable translocation site on the western portion of the parcel based on the presence of at least one *Calochortus plummerae* observed and similar site conditions as the impact site. The proposed translocation site is depicted generally on Figure 13,

Proposed Special-status Plant Species Mitigation Site. Seed and bulb collecting and salvage are recommended for those species, with replanting elsewhere onsite as mitigation. Seed collection should be conducted at the next appropriate season by a qualified botanist. Mitigation areas, rare plant populations, and remaining sensitive habitats should be avoided to the maximum extent possible, and should be protected onsite from future development or disturbance.

Salvaged seeds and bulbs of the two *Calochortus* species will be transferred to an entity such as the Santa Barbara Botanic Garden to germinate and grow to maturity to increase the number of individual plants, which will then be planted at the mitigation site designated on Figure 13.

The basic mitigation strategy for each rare plant species includes:

- Protect in perpetuity all avoided rare plant species onsite;
- Collect seeds or propagules from onsite plants to replace impacted plants onsite; and
- Salvage existing plants to be impacted, and translocate them to suitable planting area(s) onsite.

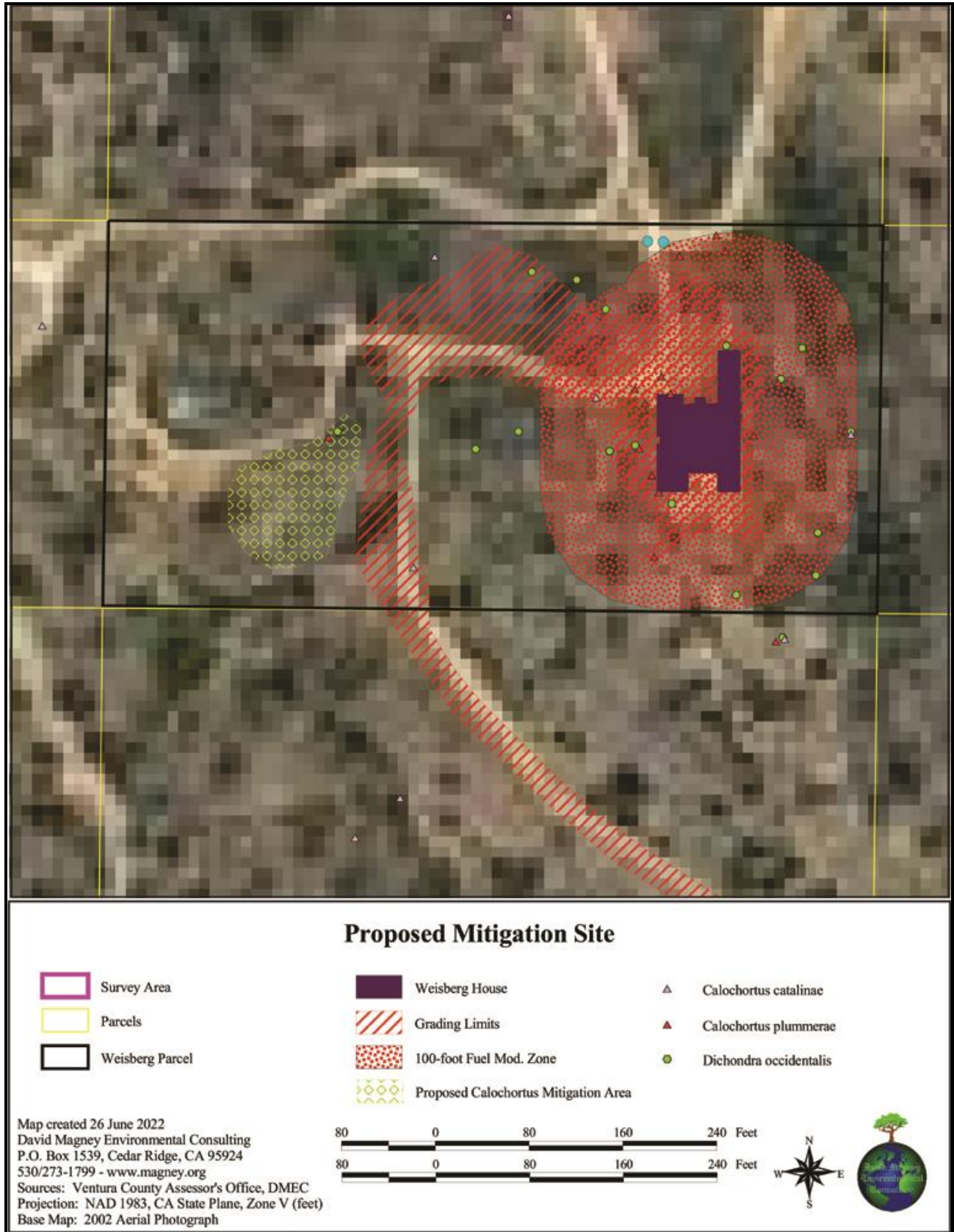
**Monitoring & Timing:** Pre-construction surveys completed two weeks prior to any disturbance and impacts to any special-status plant species are minimized. The mitigation plantings shall be maintained and monitored for a period of five (5) years after initial planting, with annual reports submitted to the County. Seeding may require several seed sowing events to establish viable reproducing populations at the mitigation site. The applicant shall demonstrate to the Planning Division that a contract has been secured with a qualified botanist to implement and monitor this required mitigation prior to issuance of a building permit. A monitoring report, which describes the progress of the plantings toward meeting the success criteria, shall be submitted to the Planning Division by the end of each of the 5 years of required monitoring.

**Standard of Success:** DMEC recommends that the number of individuals meet a 5:1 ratio initially, with a minimum survival rate of 1:1. This is the minimum number necessary to establish and maintain a viable population on the mitigation site.

**Mapped Information:** The location of the translocated plants shall be mapped as a part of the 5-year monitoring plan.



**Figure 13. Proposed Special-status Plant Species Mitigation Site**



## **MITIGATION MEASURE 2: FENCE AND PROTECT SPECIAL-STATUS PLANT SPECIES ONSITE WITHIN FUEL MODIFICATION ZONES**

**Impact & Mitigation Goal:** To avoid direct losses of any special-status plant species occurring within the expected fuel modification zones of the proposed building, as illustrated in Figure 9.

**Mitigation Action:** Fence off special-status plant occurrences occurring within the fuel modification zones for the proposed development to the maximum extent possible by installing temporary fencing around the construction zone(s). Preclude fuel modification actions detrimental to the continued existence of special-status plant species onsite. Flag off individual plants that are to be avoided existing outside of construction area fencing. Place signs on the construction area fencing that sensitive biological resources occur outside the construction zone area that prohibit entry by any equipment beyond the construction area(s).

**Monitoring and Timing:** Monitoring of implementation and success of transplanting shall commence within three (3) months of permit issuance and continue for five (5) years or as long as needed to determine that the plantings are healthy and will grow to maturity.

The applicant shall demonstrate to the Planning Division that a contract has been secured with a Qualified Botanist to implement and monitor this required mitigation prior to issuance of a zoning clearance for construction. A monitoring report, which describes the results of the monitoring, shall be submitted to the Planning Division by the end of each of the 5 years of required monitoring.

**Standard of Success:** Protected species are present each year during the appropriately timed monitoring as evidence of survival.

**Mapped Information:** None at this time.

## **Summary of Impacts to Special-status Wildlife Species**

### ***Definition of Significance for Special-status Wildlife Species***

DMEC defines significant project impacts for special-status wildlife species using the following criteria:

1. Direct project impacts related to construction or vegetation clearing that could negatively impact special-status wildlife species.
2. Loss of and disturbance to breeding and nesting birds during construction.
3. Night lighting that could negatively affect wildlife activities and wildlife vigor if exposed to bright artificial lighting from streetlights or outdoor lighting at residences represents a potentially significant impact to wildlife sensitive to such lighting.

## **IMPACT 2. LOSS OF SPECIAL-STATUS WILDLIFE SPECIES ONSITE**

One special-status species was found nearby, *Neotoma lepida intermedia* (San Diego Desert Woodrat), which was detected via a nest in 2015. The location of this nest relative to the project site is shown on Figure 9, Map of Special-status Species, located in the drainage that runs north-south at the southern edge of the survey area. This area is not within the construction footprint or fuel



modification zone, and will not be impacted by any construction activities. While unlikely, San Diego Desert Woodrats may construct nests in the construction area or fuel modification zone; therefore, pre-construction surveys for this and species are recommended as out lined in Mitigation Measure 3 (MM3). Table 14, Special-status Wildlife and Locally Rare Wildlife Potentially Occurring Onsite, shows four (4) special-status wildlife species determined to have a high or moderate likelihood of occurrence on the Weisberg property.

**Significance Finding – Project Impacts:** Potentially Significant but Mitigable. If the estimated direct loss of any special-status wildlife species by construction activities is greater than the significance threshold; mitigation would be required.

**Significance Finding – Cumulative Impacts:** Potentially Significant but Mitigable. Any direct loss of special-status wildlife species would contribute to the cumulative loss of special-status wildlife species in Ventura County and statewide.

**Avoidance and Minimization Measures:** Mitigation Measure 3 (MM3) would sufficiently mitigate for any impacts to special-status wildlife species onsite to a less-than-significant level.

### **MITIGATION MEASURE 3: CONDUCT PRE-CONSTRUCTION SURVEYS FOR SPECIAL-STATUS WILDLIFE SPECIES ONSITE AND AVOID OR RELOCATE THESE SPECIES IF FOUND IN THE CONSTRUCTION ZONE OR FUEL MODIFICATION ZONE**

**Impact & Mitigation Goal:** One special-status species was found nearby, *Neotoma lepida intermedia* (San Diego Desert Woodrat), which was detected via a nest during the 2015 surveys for a project at 10735 Yerba Santa Road (DMEC 2016). Since the Woolsey Fire of 2018 burned all woodrat nests and none have recolonized the project site yet, special locations for other nests are unknown at this time; however, they could recolonize the site at any time. As the location or presence of all special-status wildlife species with the potential to occur onsite is not known, pre-construction surveys shall be conducted onsite prior to development (ground disturbance). If any special-status wildlife species are located onsite that are not addressed in this Biological Assessment, impacts on any of the special-status species will be avoided or relocated.

**Mitigation Action:** Prior to grading or site-clearing activities, a qualified biologist shall survey the construction areas of the site to determine if wildlife species are foraging, frequenting, or nesting on or adjacent to the construction areas. If any wildlife species are observed foraging, frequenting, denning, or nesting during construction activities, the wildlife biologist shall allow the wildlife species to escape or shall relocate the wildlife species to a preserved area with similar required habitat. Active bird nests must be avoided until after the nest is not actively used (generally after August 31<sup>st</sup>).

**Monitoring & Timing:** Pre-construction surveys completed two weeks and immediately prior to any disturbance would ensure that impacts to any special-status wildlife species are minimized. Special-status wildlife species found within the construction zone shall be captured and relocated. If possible, relocation should occur onsite, or if no suitable location is available, then an offsite location could be used. A suitable relocation site on or off the parcel would need to be identified and a detailed mitigation plan specific to that impacted species would need to be prepared by a qualified wildlife biologist.

**Standard of Success:** Avoidance of impacts to individual wildlife species.

**Mapped Information:** None.

### **IMPACT 3. LOSS OF AND DISTURBANCE TO BREEDING AND NESTING BIRDS DURING CONSTRUCTION**

The potential for temporary harm to, or permanent loss of, observed and expected **breeding birds** within the project area exists, especially with use of heavy equipment during construction. For example, birds (migratory or nesting birds) may be harmed or lost due to vegetation clearing with the use of heavy equipment or brush clearing. Take (killing, disturbance, harassing, etc.) of active bird nests is prohibited by California Fish and Game Code Section 3503, and the Migratory Bird Treaty Act protects migratory birds.

**Significance Finding – Project Impacts:** Potentially Significant but Mitigable. Mitigation Measure 4 (Protect Bird Nests) will reduce project impacts to less-than-significant levels.

**Significance Finding – Cumulative Impacts:** Potentially Significant but Mitigable. Mitigation Measure 4 (Protect Bird Nests) will reduce cumulative impacts to less-than-significant levels.

**Avoidance and Minimization Measures:** Mitigation Measure 4 (Protect Bird Nests), described below, includes avoidance measures.

#### **MITIGATION MEASURE 4: PROTECT BIRD NESTS**

**Impact & Mitigation Goal:** Avoid the potential loss of protected native birds and their nests.

**Mitigation Action:** Avoid violating the Migratory Bird Treaty Act or California Fish and Game Code §3503.

**Supplemental Surveys.** A qualified biologist shall survey the construction site prior to nesting season to identify any nests of birds that would be directly or indirectly affected by the construction activities. If nests were found prior to nesting season within 300 feet of the construction footprint, including the driveway/access road, then an additional survey two weeks prior to initiation of site disturbance would be required to further identify any nests that would be directly or indirectly affected by the construction activities. Bird nesting typically occurs from February through August. Some bird species nest outside this period.

**Active Nests.** To protect any active nest sites, the following restrictions on construction are required between February and August (or until nests are no longer active as determined by a qualified biologist). Clearing limits shall be established a minimum of 300 feet in any direction from any occupied nest (or as otherwise deemed appropriate by the monitoring biologist). Access and land surveying shall not be allowed within 100 feet of any occupied nest (or as otherwise deemed appropriate by the monitoring wildlife biologist). Onsite nests shall be avoided until vacated. Any encroachment into the 300/100-foot-buffer area around the known nest shall only be allowed if it is determined by a qualified wildlife biologist that the proposed activity would not disturb the nest occupants. Construction during the non-nesting season shall occur at the sites only if a qualified wildlife biologist has determined that fledglings have left the nest. Occupied nests adjacent to the construction site(s) may need to be avoided for short durations to ensure nesting success. Any nest permanently vacated for the season need not be protected.

**Monitoring & Timing:** Survey of site prior to nesting season to identify any nests of birds that would be directly or indirectly affected by the construction activities and possibly a pre-construction survey of the construction site two weeks prior to initiation of site disturbance.

**Standard of Success:** Avoidance of nesting birds and implementing avoidance measures.

**Mapped Information:** None

## **IMPACT 4. EFFECT OF ARTIFICIAL LIGHTING ON WILDLIFE**

Lighting of the developed residence and landscaped area of the impact site could inadvertently affect the behavior patterns of nocturnal and crepuscular (active at dawn and dusk) wildlife. Of greatest concern is the effect on small ground-dwelling animals that use the darkness to hide from predators, and on owls that are specialized night foragers. Night lighting could inhibit wildlife from using the habitat adjacent to lighted areas.

Night lighting could negatively affect wildlife activities and wildlife vigor if exposed to bright artificial lighting. While limited to the areas a short distance from the light source, and depending on the intensity of the outdoor lighting, such nuisance spillover lighting represents a potentially significant impact to wildlife sensitive to such lighting.

**Significance Finding for Artificial Lighting Negatively Affecting Wildlife – Project Impacts:** Potentially Significant but Mitigable. Implementation of Mitigation Measure 5 (MM5: Hooded Outdoor Lighting) would mitigate potential negative effects of artificial lighting on the health and persistence of wildlife populations.

**Significance Finding for Artificial Lighting Negatively Affecting Wildlife – Cumulative Impacts:** Potentially Significant but Mitigable. Implementation of Mitigation Measure 5 (MM5: Hooded Outdoor Lighting) would mitigate potential negative effects of artificial lighting on the health and persistence of wildlife populations.

**Avoidance and Minimization Measures:** The use of hooded lighting for any artificial lighting installed in the impact area will reduce the potential significant impact on wildlife populations to less-than-significant levels.

## **MITIGATION MEASURE 5: HOODED OUTDOOR LIGHTING**

**Impact & Mitigation Goal:** Minimize impacts to wildlife using habitat adjacent to landscape area.

**Mitigation Action:** Require all outdoor lighting in the impact area to be hooded to direct away from, or prevent light from entering, open space areas of the project site. Light intensity should be set as low as possible while meeting the primary objective of the outdoor lighting. Exterior night lighting should not exceed 800 lumens in intensity.

**Monitoring and Timing:** The applicant shall submit to the Planning Division plans that show the location, type, and intensity of lighting to be installed prior to the issuance of a zoning clearance for construction. Prior to final sign-off by Building and Safety for occupancy of the new structures, installed lighting shall be inspected for compliance with this required mitigation.

**Standard of Success:** Impacts to wildlife minimized.

**Mapped Information:** None

---

**B. Wetland Habitats**

Project: N; Cumulative: N

There are no wetlands within 300 feet of the project site; therefore, neither wetlands nor wetland buffer area are impacted by the project.

**Significance Finding – Project Impacts:** None.

**Significance Finding – Cumulative Impacts:** None.

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**C. Coastal Habitats**

Project: PS-M; Cumulative: PS-M

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**IMPACT 5. DISTURBANCE OF COASTAL SAGE SCRUB HABITAT**

The project will result in direct disturbance of Coastal Sage Scrub. Because the Weisberg property is part of a large, contiguous block of relatively undisturbed habitat, it is within an Environmentally Sensitive Habitat Area (ESHA). The 100-foot fuel modification zone, water tank, water well, and pipe trenching will result in disturbance of various Coastal Sage Scrub habitats (See Figure 12, Project Impacts to Natural Vegetation). This disturbance will be temporary, and for the most part will not involve any grading or paving that would permanently remove this habitat. The area immediately surrounding the construction pad has been cleared as a fuel break in the past, and native shrubs of the Coastal Sage Scrub community have re-colonized naturally. However, the fuel break will need to be continually maintained and cleared, which will negatively impact this sensitive habitat and the associated species.

**Significance Finding – Project Impacts:** Potentially Significant but Mitigable. The direct disturbance of Coastal Sage Scrub (ESHA) by vegetation clearing activities would result in disturbance of ESHA vegetation onsite; therefore, the impact is considered significant and mitigation is required as discussed in Mitigation Measure 6 (MM6: Protect Coastal Sage Scrub on the project site) and Mitigation 7 (MM7: Restore Disturbed Areas on the Project Site). The combination of these mitigation measures should be sufficient to mitigate for project impacts to Coastal Sage Scrub.

**Significance Finding – Cumulative Impacts:** Potentially Significant but Mitigable. The direct loss of Coastal Sage Scrub habitats would contribute to the cumulative loss of Coastal Sage Scrub and Chaparral (ESHA) in Ventura County and statewide. Therefore, the cumulative impact is considered significant. Mitigation Measure 8 (MM8: Fund Restoration/Preservation Projects in the Santa Monica Mountains Region) details options for mitigating the cumulative effects of this project by funding restoration or preservation of nearby, similar habitats. This mitigation measure will sufficiently mitigate for cumulative impacts to Coastal Sage Scrub as part of this project.

**Avoidance and Minimization Measures:** A detailed mitigation plan should be developed to minimize impacts and to ensure successful mitigation for impacts to sensitive habitats as discussed in Mitigation Measure 6 (MM6), Mitigation Measure 7 (MM7) and Mitigation Measure 8 (MM8).

---

**MITIGATION MEASURE 6: PROTECT COASTAL SAGE SCRUB ON THE PROJECT SITE**

**Impact & Mitigation Goal:** Eliminate further impacts to Coastal Sage Scrub on the project site.

**Mitigation Action:** No Coastal Sage Scrub will be removed or disturbed other than the areas disturbed by the installation of the water tank, water well, pipe trenching, landscaping, and fuel



modification zone. All Coastal Sage Scrub not disturbed by project activities will be protected from future development and disturbance. Areas of Coastal Sage Scrub to be protected shall be placed under a deed restriction recorded with the Ventura County Assessor's Office or other appropriate agency.

**Monitoring and Timing:** If any additional Coastal Sage Scrub is removed or disturbed after implementation of the project, further mitigation such as restoration of Coastal Sage Scrub may be required.

**Standard of Success:** Impacts to Coastal Sage Scrub are minimized. No Coastal Sage Scrub is impacted beyond that which will be disturbed due to implementation of this project.

**Mapped Information:** All plant communities not within the construction footprint as shown in Figure 12, Project Impacts to Natural Vegetation, are Coastal Sage Scrub. These areas of the property will all be protected from any future development or disturbance. A surveyor's map and metes and bounds description shall be created to determine the bounds of the deed restricted area and submitted to the appropriate county agency.

## **MITIGATION MEASURE 7: FUND RESTORATION/PRESERVATION PROJECTS IN THE SANTA MONICA MOUNTAINS REGION**

**Impact & Mitigation Goal:** Offset cumulative impacts to Coastal Sage Scrub by funding restoration or preservation projects in the Santa Monica Mountains region.

**Mitigation Action:** The applicant shall permanently protect Coastal Sage Scrub habitat ESHA on land located outside the Project area within the Santa Monica Mountains. The Permittee shall protect the ESHA: (1) through the direct acquisition and dedication (donation) to a conservation organization; or (2) by a funding contribution to a conservation organization to accomplish this objective (if available). For the purposes of this mitigation measure, the conservation organization must meet all of the following criteria:

- (a) It must be a public conservation agency, or a private non-profit organization chartered under the US Code, Title 26, Part 501(c)3, whose primary purpose is the preservation and protection of land in its natural, scenic, historical, recreational and/or open space condition.
- (b) If it is a private non-profit organization, then it must be either a statewide, national or international organization, or a local community-based organization with a membership of at least 500 individuals and/or businesses.
- (c) It must have owned and/or managed natural resource/open space property, at least 50 acres in area, for at least one year. In lieu of meeting this requirement, a Conservation Organization may provide a financial surety to ensure the stewardship of the Conservation Parcel for a period of five years.
- (d) It must have the institutional and economic ability to maintain the property.

Compensatory mitigation sites shall be protected in perpetuity through a conservation easement (if off-site).

Purchasing privately property in fee that contains similar habitats as those impacted and transferring ownership to a trust or land conservancy is also another viable option. Purchase of credits from a mitigation bank or acquiring vacant property may sufficiently mitigate for cumulative impacts to Coastal Sage Scrub.

**Monitoring and Timing:** Prior to issuance of a Zoning Clearance for Construction the applicant shall submit an ESHA Protection Plan to the Planning Division for Review and approval. Prior to occupancy, the conservation easement, lease, deed, license, or other mechanism that grants the conservation organization the authority to protect and maintain the ESHA shall be recorded.

**Standard of Success:** Compensatory preservation of Coastal Sage Scrub habitat within the Santa Monica Mountains to at least a 2:1 ratio.

**Mapped Information:** None.

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**D. Wildlife Movement and Connectivity (migration corridors) Project: LS, Cumulative: LS**

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## **IMPACT 6. DISRUPTION OF WILDLIFE MOVEMENT AND CONNECTIVITY**

The project site is not mapped by South Coast Wildlands (Penrod et al. 2006) as any particular movement category. Permanent and cumulative impacts to wildlife movement resulting from loss of native natural vegetation and species-specific wildlife habitat are considered less than significant since the project site is not mapped as any particular wildlife movement category. Although the impact to wildlife movement is considered less than significant, the following mitigation measures will be required to reduce impacts to wildlife movement to the minimum extent possible:

**Significance Finding for Weisberg Property as a Wildlife Corridor – Project Impacts:** Less-Than-Significant. DMEC finds that project site is not mapped as any particular movement category nor does it serve that function; rather, it is core habitat. There are no project significant impacts to wildlife movement.

**Significance Finding for Weisberg Property as a Wildlife Corridor – Cumulative Impacts:** Less-Than-Significant. DMEC finds that project site is not mapped as any particular movement category nor does it serve that function; rather, it is core habitat. There are no project significant impacts to wildlife movement.

**Avoidance and Minimization Measures:** Mitigation Measure 9 (MM9) describes measures that will ensure that wildlife is not harmed during construction, including avoiding contact with wildlife, avoiding removing native vegetation to the maximum extent possible, minimizing effects of nighttime noise, and minimizing the use of chemicals.

## **MITIGATION MEASURE 8: RESTRICT CONSTRUCTION ACTIVITIES**

**Impact & Mitigation Goal:** The minimization of impacts from construction activities upon wildlife movement in the project area.

**Mitigation Action:** DMEC recommends that during all phases of construction the following actions be taken:

- Avoid removing natural vegetation to the maximum extent possible within the project area;
- Avoid contact with, or aggravating, any wildlife that may be encountered;
- Reduce noise levels during the night hours between 10:00 P.M. and 5:00 A.M.;
- Reduce or eliminate night lighting; and



- Restrict the use of chemicals or poisons around construction areas and completed project. All such materials onsite shall be stored in locked cabinets or structures.

**Monitoring and Timing:** Because these impacts are considered to be less than significant, monitoring is not required, however, DMEC recommends that these actions be taken during all phases of construction on the project site.

**Standard of Success:** Minimizing impacts from construction activities upon wildlife movement in the project area.

**Mapped Information:** None

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### **E. Locally Important Species/Communities**

Project: PS-M; Cumulative: PS-M

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The construction of the residence, water tank, and water well, as well as required fuel modification zone, is expected to impact 1.837 acres of Coastal Sage Scrub, an Environmentally Sensitive Habitat Area (ESHA). It is also possible that there are locally important species within the fuel modification zone that DMEC did not observe during the 2022 surveys.

**Significance Finding – Project Impacts:** Potentially Significant but Mitigable. Mitigation Measure 6 (MM6) and Mitigation Measure 7 (MM7) should be implemented to protect remaining Coastal Sage Scrub and to mitigate for areas of Coastal Sage Scrub that will be disturbed. If locally important species are found within the construction area and or fuel modification zone during the spring survey, mitigation may be required as described in Mitigation Measure 1 (MM1) and Mitigation Measure 2 (MM2).

**Significance Finding – Cumulative Impacts:** Potentially Significant but Mitigable. Any loss of locally important species would contribute to the cumulative loss of locally important species in Ventura County and statewide. Mitigation Measure 8 (MM8) would offset this impact.

**Avoidance and Minimization Measures:** Mitigation Measure 1 (MM1) and Mitigation Measure 2 (MM2) will be implemented for *Calochortus catalinae*, *C. plummerae*, and *Dichondra occidentalis* occurrences within the grading areas. A detailed mitigation plan shall be developed to minimize impacts and to ensure successful mitigation for impacts to sensitive habitats as discussed in Mitigation Measure 6 (MM6), Mitigation Measure 7 (MM7) and Mitigation Measure 8 (MM8).

# SECTION 5. PHOTOGRAPHS

Figure 14. Site Photo Locations



<b>Location</b>		
SA1		
<b>Map Key</b>		
P1		
<b>Direction</b>		
South		
<b>Description</b>		
<p>View of the construction pad where the project is proposed, from the northeastern part of the parcel. Photo taken during the 18 April 2022 survey. The truck is located in the turnaround circle area just N of where the house is proposed.</p>		
<b>Location</b>		
SA1		
<b>Map Key</b>		
P2		
<b>Direction</b>		
South		
<b>Description</b>		
<p>View southward from the central part of the parcel on the west side of the hill where the proposed house would be constructed. The access road is located to the right and downslope. Photo taken during the 18 April 2022 survey.</p>		

<b>Location</b>	
SA1	
<b>Map Key</b>	
P3	
<b>Direction</b>	
ENE	
<b>Description</b>	
View of Coastal Cactus Scrub on the parcel immediately north of the project parcel. View east-northeast, taken on 19 April 2022.	
<b>Location</b>	
SA1	
<b>Map Key</b>	
P4	
<b>Direction</b>	
North	
<b>Description</b>	
View of southwest-facing slope of existing access road with Ruderal vegetation growing on the berms and with <i>Malosma laurina</i> Shrubland Alliance and <i>Artemisia californica</i> Shrubland Alliance on the slope above. This photo was taken on 19 April 2022 from the parcel south of the project parcel.	

<b>Location</b>	
SA1	
<b>Map Key</b>	
P5	
<b>Direction</b>	
North	
<b>Description</b>	
<p>View of the house pad as seen from near the location of the proposed pool. The old Jeep road that passes through this site can be seen climbing the hill on the parcel to the north.</p>	
<b>Location</b>	
SA1	
<b>Map Key</b>	
P6	
<b>Direction</b>	
Northeast	
<b>Description</b>	<p>View facing north at the driveway area on the northwest corner of the house pad area. The existing water well is indicated by the white stand pipe just beyond the cleared area. The tall thin white pole beyond is the northern property line.</p>
<p>View facing north at the driveway area on the northwest corner of the house pad area. The existing water well is indicated by the white stand pipe just beyond the cleared area. The tall thin white pole beyond is the northern property line.</p>	

## SECTION 6. GLOSSARY

### ABBREVIATIONS AND ACRONYMS USED

CEQA = California Environmental Quality Act

ISBA = Initial Study Biological Assessment

WIS = Wetland Indicator Status

Corps = U.S. Army Corps of Engineers

CDFW = California Department of Fish and Wildlife (formerly California Department of Fish and Game)

CNDDDB = California Natural Diversity Database

CNPS = California Native Plant Society

USFWS =

ac = acres

ha = hectares

m = meters

mi = miles

sq = square

T = Threatened

E = Endangered

R = Rare

D = Delisted

LIS = Locally Important Species

LR = Locally Rare Plant – 1-5 extant populations in Ventura County

LU = Locally Uncommon Plant – 6-10 extant populations in Ventura County

### DEFINITIONS OF TECHNICAL TERMS USED

**Special-status Species** = includes all plant and wildlife species that are considered endangered, threatened, rare, locally important, and/or sensitive by one or more resource or conservation organization.

## SECTION 7. ACKNOWLEDGEMENTS

This report was written by David Magney. Graphics were created by Mr. Magney and Victoria Peters. The field survey was conducted by Mr. Magney. Photographs were taken by Mr. Magney.

Project site plans and descriptions of project components were provided by Mr. Weisberg.

Chris Nelson & Associates, Inc., developed and provided the grading plans.

The landscaping plans were developed by ZAA Studio.

Robin Murray of Rincon Consultants provided suggestions on appropriate mitigation for impacts to *Calochortus* species and assisted with locating *C. plummerae* plants onsite during the June 2022 survey.

## SECTION 9. CITATIONS

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## PERSONAL COMMUNICATIONS

- Knudsen, Kerry, Curator of Lichen Herbarium, University of California, Riverside, [kerry.knudsen@ucr.edu](mailto:kerry.knudsen@ucr.edu), email communications 18 September 2015 with David Magney regarding identifications of several lichen species found onsite.
- Rebman, Jon, Ph.D., Curator of Botany, San Diego Natural History Museum, [jrebman@sdnhm.org](mailto:jrebman@sdnhm.org), email communication on 28 September 2015 with David Magney regarding identification of *Opuntia microdasys* ssp. *rufida* found on parcel owned by Mr. Weisberg to the south.

Roberts, Fred, Jr., Botanist, expert on *Calochortus* species, [antshrike@cox.net](mailto:antshrike@cox.net), Facebook communications on 17 & 23 June 2022 with David Magney regarding identification of *Calochortus plummerae* and *C. weedii* var. *vestitus*.

# David Magney Environmental Consulting

P.O. Box 1539, Cedar Ridge, California 95924-1539 \* E-mail: david@magney.org  
530/273-1799 Voice \* 805/701-2132 Cell

16 March 2023

Michael Weisberg  
10715 Yerba Buena Road  
Malibu, CA 90265

**Subject: Clarification regarding impacted vegetation requiring mitigation (APN 700-0-60-100)**

Dear Michael:

Per our conversation with Jennifer Trunk of Ventura County Planning regarding the total area of your project site requiring mitigation for proposed and past impacts to sensitive natural vegetation on APN 700-0-60-100, Table 1 of the ISBA on page 5 estimates the total area to be impacted is approximately 2.998 acres, less 0.203 acre for the original (pre-1974) disturbance by the Jeep Trail, equaling 2.785 acres.

An area on the western portion of the project parcel was previously disturbed without benefit of a grading permit prior to your purchase of the property, most of which has since naturally revegetated. Approximately 0.25 acre of this area appears to have not naturally recolonized. I proposed, and the county agreed, that I or another qualified biologist will monitor the progress of natural revegetation of this area, which will be considered onsite mitigation and an additional 0.25 acre of offsite mitigation.

The 2.785 acres to be impacted by the proposed house and facilities, including required fuel modification plan, will be mitigated offsite in a manner still to be determined at a 2:1 ratio, for a total of 5.57 acres, plus the additional 0.25 acre for a combined total area of mitigation will equal 5.84 acres.

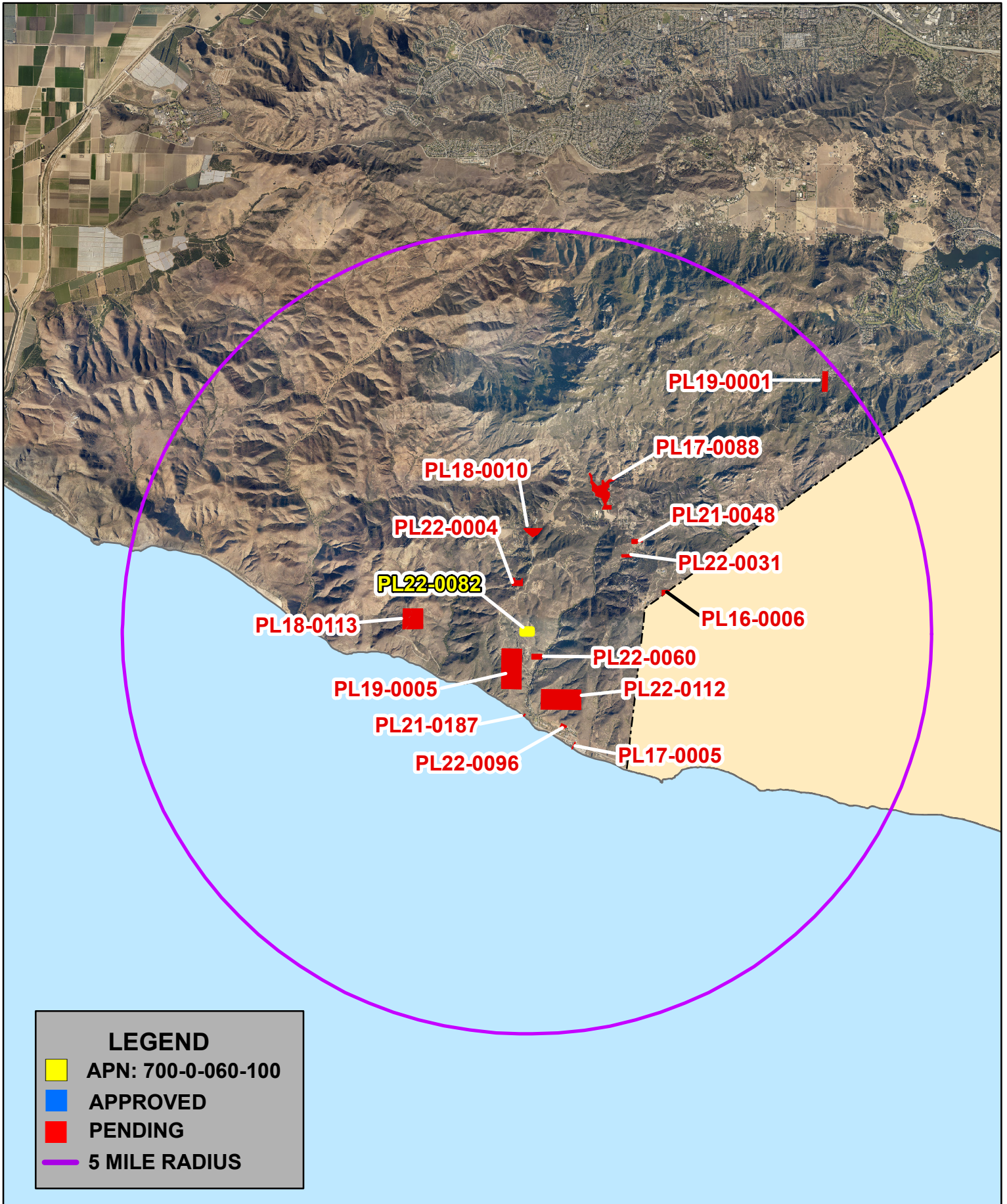
Table 16, page 60, of the ISBA shows a total ESHA impact of 1.837 acres, with the remaining area impacted not considered ESHA (at 0.076 acre).

Please let me know if you require anything else on this issue.

Sincerely,



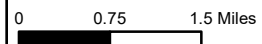
David L. Magney  
Certified Consulting Botanist #0001



Ventura County, California  
 Resource Management Agency  
 GIS Development & Mapping Services  
 Map Created on 09-07-2022  
 This aerial imagery is under the  
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 Source: Vexcel 2020



County of Ventura  
 Initial Study/ Mitigated Negative Declaration  
 Case No. PL22-0082  
 Attachment 4 - Map of Past, Present, and  
 Reasonably Foreseeable Future Projects  
 Used in the Cumulative Impacts Analysis



Disclaimer: This Map was created by the Ventura County Resource Management Agency, Mapping Services - GIS which is designed and operated solely for the convenience of the County and related public agencies. The County does not warrant the accuracy of this map and no decision involving a risk of economic loss or physical injury should be made in reliance thereon.



RH

PL22-0082 Yerba Buena SFD ROGNOx - Ventura County APCD Air District, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied**

**PL22-0082 Yerba Buena SFD ROGNOx  
Ventura County APCD Air District, Summer**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Single Family Housing	1.00	Dwelling Unit	0.32	4,880.00	3

**1.2 Other Project Characteristics**

<b>Urbanization</b>	Urban	<b>Wind Speed (m/s)</b>	2.6	<b>Precipitation Freq (Days)</b>	31
<b>Climate Zone</b>	8	<b>Operational Year</b>	2024		
<b>Utility Company</b>	Southern California Edison				
<b>CO2 Intensity (lb/MWhr)</b>	390.98	<b>CH4 Intensity (lb/MWhr)</b>	0.033	<b>N2O Intensity (lb/MWhr)</b>	0.004

**1.3 User Entered Comments & Non-Default Data**

- Project Characteristics -
- Land Use - per applicant
- Construction Phase - per applicant
- Grading -
- Architectural Coating - per APCD Rule 74.2, Architectural Coatings
- Energy Use - per applicant, solar panels will power home's electric needs

Table Name	Column Name	Default Value	New Value
tblArchitecturalCoating	EF_Nonresidential_Exterior	100.00	50.00
tblArchitecturalCoating	EF_Nonresidential_Interior	100.00	50.00
tblArchitecturalCoating	EF_Residential_Exterior	100.00	50.00
tblArchitecturalCoating	EF_Residential_Interior	75.00	50.00

County of Ventura  
Initial Study/ Mitigated Negative Declaration  
Case No. PL22-0082  
Attachment 5 - CalEEMod ROGNOx Air  
Quality Impact Model for PL22-0082

PL22-0082 Yerba Buena SFD ROGNOx - Ventura County APCD Air District, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied**

tblConstructionPhase	NumDays	10.00	0.00
tblConstructionPhase	NumDays	2.00	30.00
tblConstructionPhase	NumDays	100.00	330.00
tblConstructionPhase	PhaseEndDate	10/14/2022	10/2/2022
tblConstructionPhase	PhaseEndDate	10/19/2022	11/28/2022
tblConstructionPhase	PhaseEndDate	3/8/2023	1/24/2024
tblEnergyUse	NT24E	6,155.97	0.00
tblEnergyUse	T24E	53.28	0.00
tblLandUse	LandUseSquareFeet	1,800.00	4,880.00

**2.0 Emissions Summary**

---









PL22-0082 Yerba Buena SFD ROGNOx - Ventura County APCD Air District, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

**3.0 Construction Detail**

**Construction Phase**

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	10/3/2022	10/2/2022	5	0	
2	Site Preparation	Site Preparation	10/15/2022	10/17/2022	5	1	
3	Grading	Grading	10/18/2022	11/28/2022	5	30	
4	Building Construction	Building Construction	10/20/2022	1/24/2024	5	330	
5	Paving	Paving	3/9/2023	3/15/2023	5	5	
6	Architectural Coating	Architectural Coating	3/16/2023	3/22/2023	5	5	

**Acres of Grading (Site Preparation Phase): 0.5**

**Acres of Grading (Grading Phase): 22.5**

**Acres of Paving: 0**

**Residential Indoor: 9,882; Residential Outdoor: 3,294; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 0 (Architectural Coating – sqft)**

**OffRoad Equipment**

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	1.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	2	6.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37

PL22-0082 Yerba Buena SFD ROGNOx - Ventura County APCD Air District, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied**

Grading	Graders	1	6.00	187	0.41
Grading	Rubber Tired Dozers	1	6.00	247	0.40
Grading	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Building Construction	Cranes	1	4.00	231	0.29
Building Construction	Forklifts	2	6.00	89	0.20
Building Construction	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Paving	Cement and Mortar Mixers	4	6.00	9	0.56
Paving	Pavers	1	7.00	130	0.42
Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Trips and VMT**

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	4	10.00	0.00	0.00	10.80	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	2	5.00	0.00	0.00	10.80	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Grading	3	8.00	0.00	0.00	10.80	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	5	0.00	0.00	0.00	10.80	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Paving	7	18.00	0.00	0.00	10.80	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	0.00	0.00	0.00	10.80	7.30	20.00	LD_Mix	HDT_Mix	HHDT

**3.1 Mitigation Measures Construction**





































PL22-0082 Yerba Buena SFD ROGNOx - Ventura County APCD Air District, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied**

**4.0 Operational Detail - Mobile**

**4.1 Mitigation Measures Mobile**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	0.0279	0.0295														
Unmitigated	0.0279	0.0295														

**4.2 Trip Summary Information**

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Single Family Housing	9.44	9.54	8.55	25,772	25,772
Total	9.44	9.54	8.55	25,772	25,772

**4.3 Trip Type Information**

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Single Family Housing	10.80	7.30	7.50	32.90	18.00	49.10	86	11	3

**4.4 Fleet Mix**

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Single Family Housing	0.548670	0.058343	0.171689	0.130773	0.027316	0.007545	0.011806	0.006161	0.000681	0.000392	0.029028	0.000637	0.006958







PL22-0082 Yerba Buena SFD ROGNOx - Ventura County APCD Air District, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied**

**6.2 Area by SubCategory**

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.0136															
Consumer Products	0.1044															
Hearth	0.0000	0.0000														
Landscaping	2.4800e-003	9.5000e-004														
<b>Total</b>	<b>0.1205</b>	<b>9.5000e-004</b>														

**7.0 Water Detail**

---

**7.1 Mitigation Measures Water**



PL22-0082 Yerba Buena SFD ROGNOx - Ventura County APCD Air District, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied**

**8.0 Waste Detail**

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**8.1 Mitigation Measures Waste**

**9.0 Operational Offroad**

---

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	-----------	-------------	-------------	-----------

**10.0 Stationary Equipment**

---

**Fire Pumps and Emergency Generators**

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	------------	-------------	-------------	-----------

**Boilers**

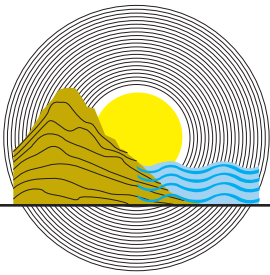
Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
----------------	--------	----------------	-----------------	---------------	-----------

**User Defined Equipment**

Equipment Type	Number
----------------	--------

**11.0 Vegetation**

---



# **GOLD COAST GEOSERVICES, INC.**

*Engineering Geologic and Geotechnical Consultants*

---

May 25, 2022

File No. GC22-013278

**MICHAEL WEISBERG**

10715 Yerba Buena Road

Malibu, CA

**SUBJECT:** Onsite Wastewater Treatment System Design Report for Proposed Single Family Residence, APN 700-0-060-100, Yerba Buena Road, Malibu, County of Ventura.

Dear Mr. Weisberg:

In accordance with your request, this report presents design criteria for an Onsite Wastewater Treatment System (OWTS) for the proposed single family residence to be constructed on the subject property. It is our understanding that the proposed residence will have a total of 5 bedrooms, and a total of 54 plumbing fixture units. The proposed location of the residence and proposed OWTS layout are shown on the OWTS Plot Plan provided with this report.

**SITE CONDITIONS**

The site is located on the north side of Yerba Buena Road in the west Malibu area of Ventura County (see Site Location Map, Figure 1). The parcel incorporates southerly facing hillside terrain. Seepage pits are proposed for onsite wastewater disposal, due to the lack of suitable site conditions for leach lines (steep slope conditions and shallow bedrock).

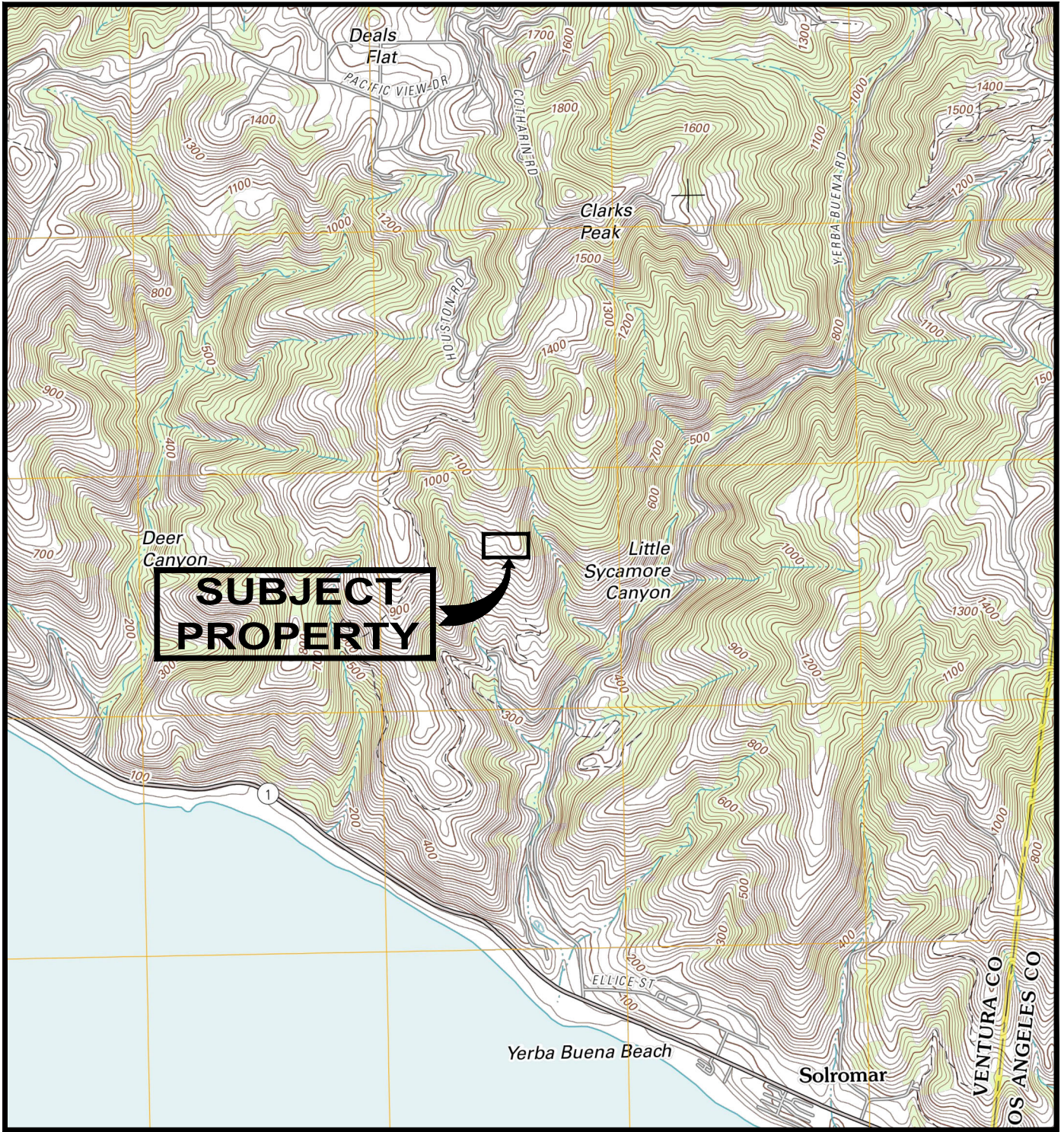
The proposed seepage pits and septic tank are to be constructed with adequate setback distance of more than 150 feet from the closest drainage course. A water well is constructed more than 100 feet from the proposed septic tank and more than 150 feet from the proposed seepage pits, in conformance with the Uniform Plumbing Code (UPC) and County of Ventura criteria.

County of Ventura Initial Study/ Mitigated Negative Declaration Case No. PL22-0082 Attachment 6 - Onsite Wastewater Treatment System Design Report (Gold Coast Geoservices, Inc., May 2022) Addendum Letter (July 2022)
---

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---

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**BASE MAP: USGS 7.5' TRIUNFO PASS QUADRANGLE**



**GOLD  
COAST  
GEOSERVICES, INC.**

**SITE LOCATION MAP**

APN 700-0-060-100, YERBA BUENA ROAD, MALIBU

DATE: 01/21/2022

FILE NO.: GC22-013278

**FIGURE 1**

**FIELD INVESTIGATION**

On January 17, 2022, boring B-1 was drilled to a total depth of 30 feet, and logged to determine subsurface geologic conditions and groundwater potential evaluation at the proposed seepage pit location shown on the Plot Plan. The earth materials encountered in exploratory boring B-1 are classified as Topanga Formation, consisting of sandstone interbedded with lesser siltstone and intrusive volcanics. A graphic and descriptive log of boring B-1 is provided herewith. No groundwater or indications of past high groundwater conditions, such as caliche or mottling or excessive moisture, were observed in boring B-1. It is our finding that a minimum of 10 feet will be maintained between the bottom of the proposed seepage pits and the highest elevation of groundwater, either seasonal or permanent.

**PERCOLATION TESTING**

Prior to percolation testing, boring B-1 was backfilled and sealed with a 12-inch cap of bentonite pellets to establish a total pit depth of 20 feet. On January 18, 2022, test boring B-1 was filled with water to within 5 feet of the ground surface, and allowed to pre-soak for 24 hours. On January 19, 2022, approximately 24 hours after initial filling with water, boring B-1 was found to contain no water. Boring B-1 was then refilled to within 5 feet of the ground surface, and percolation testing was performed in conformance with the “falling head” test method (in conformance with County of Ventura Environmental Health Division requirements). The percolation test results are summarized on the attached “Pit Performance Test Data Worksheet” for boring B-1. The percolation test results indicated a percolation rate of 10.23 gallons per square foot per day (a percolation rate of 5 gallons per square foot per day, the maximum allowable by the Uniform Plumbing Code, was used to determine seepage pit sizing criteria).

**ONSITE WASTEWATER TREATMENT SYSTEM DESIGN**

The OWTS components are shown on the OWTS Plot Plan with this report. The seepage pits are proposed to be constructed into the underlying Topanga Formation, a “Formation of Concern” per current County of Ventura Environmental Health Division policy. A “secondary” effluent treatment system capable of “de-nitrification” is proposed to be incorporated into the septic system, to meet current County of Ventura EHD ordinance due to the “formation of concern” into which wastewater effluent will be discharged. Bio-Microbics MicroFAST Model 0.9, a tertiary treatment tank system that meets current Ventura County EHD requirements, is proposed to be utilized in the OWTS (see Figure 2).

The treatment tank will discharge liquid effluent into two 5-foot diameter by 20 feet deep seepage pits. The seepage pits will have an effective depth of 15 feet each and shall be provided with a 5-foot thick earth cover above the rock filled portion of the seepage pit. A typical seepage pit detail is provided herewith (see Figure 3).

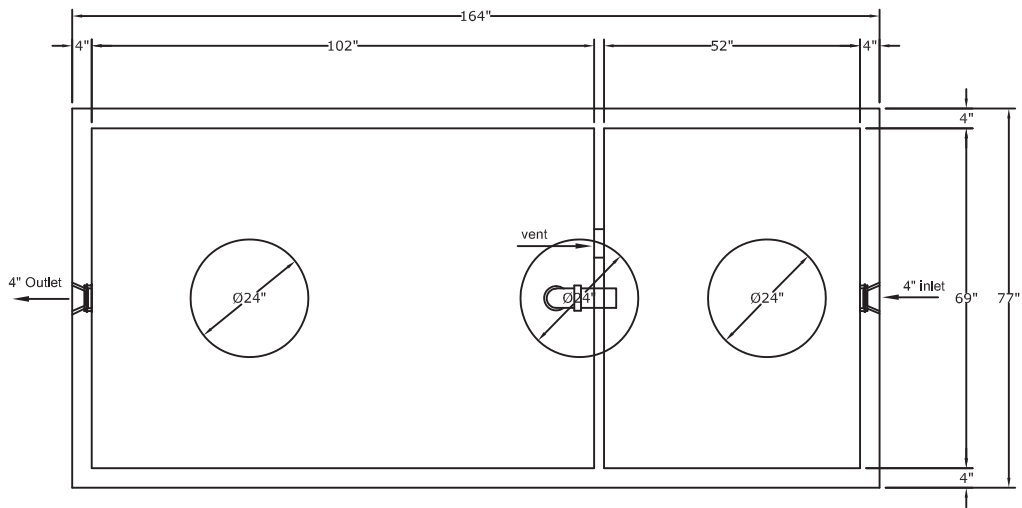
You must provide an expansion area for two “future” seepage pits, for possible future use should the primary seepage pits become inadequate to perform the intended function over time. The recommended locations of the “future” seepage pits are shown on the Plot Plan. The “future” seepage pits need not be constructed until such time as may be necessary.

**INSTALLATION OBSERVATIONS**

Installation of the septic system shall be observed and approved by the undersigned engineering geologist. Seepage pit construction shall be observed and approved by the engineering geologist. It is the responsibility of the owner or their representative to notify this office for required observations and approvals of the septic system construction work.

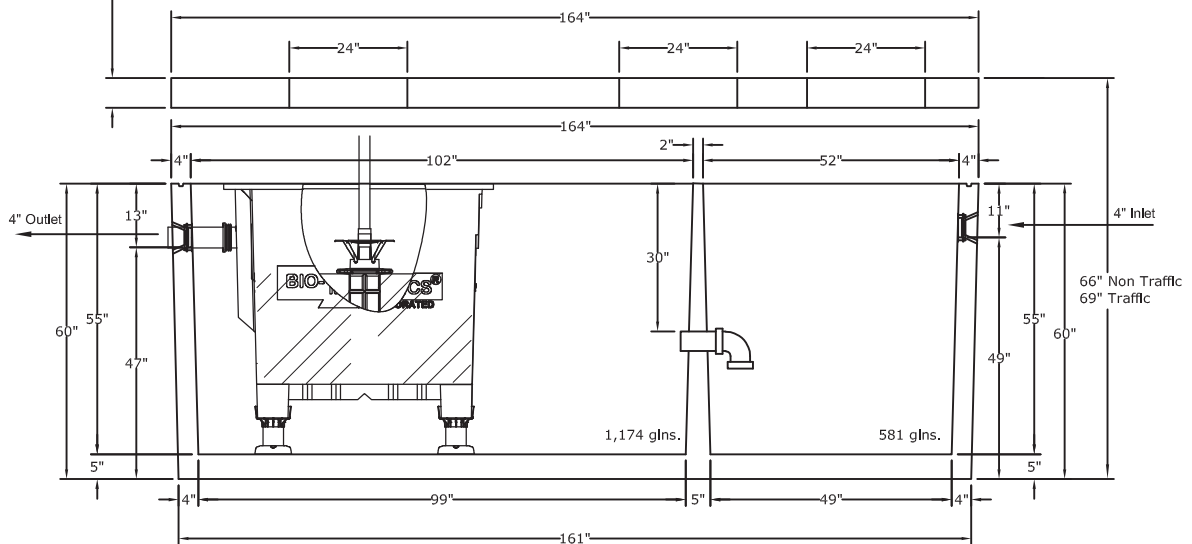
**MAINTENANCE REQUIREMENTS**

Maintenance of the septic system is vital to ensure a long-lasting, trouble-free system. You must follow the recommendations of the manufacturer, supplier, and installer of the system.



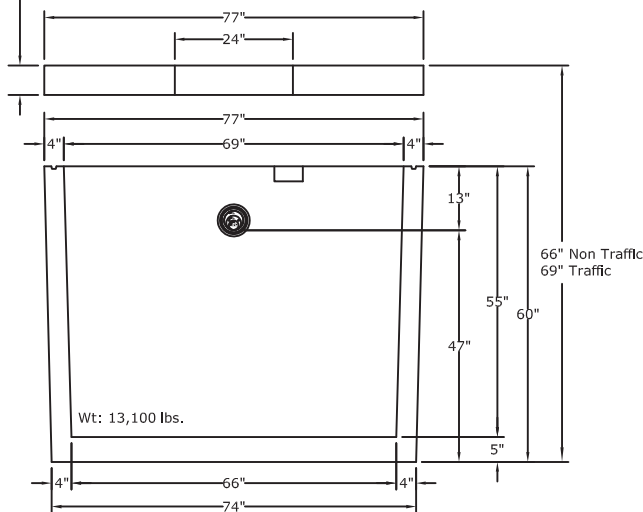
PLAN VIEW

6" Non Traffic Lid (Wt: 9,800 lbs)  
9" Traffic Lid (Wt: 12,200 lbs)



LONGITUDINAL SECTION

6" Non Traffic Lid  
9" Traffic Lid



OUTLET ELEVATION

SEPTIC TANKS SPECIFICATIONS:

1. Material Specifications:
  - 1.1. Concrete: Portland Cement ASTM C 150 and Federal Specification on Cement, SS-C 1960/3, Type II/V Low Alkali. Minimum Compressive Strength 5,000 at 28 days.
  - 1.2. Reinforcing Bars: ASTM A-706 / A-615, Grade 40 and 60.
2. All dimensions + or -, not to be used for construction purposes unless certified.
3. Standard ground water seal-butyl mastic, cement mortar, epoxy, or polyurethane.
4. Inlet and Outlet fittings installed in tank walls using "Polylok Pipe Seal". Low pressure pipe seals for precast tanks.
5. Tank to be placed on natural / native soil or approved compact fill.

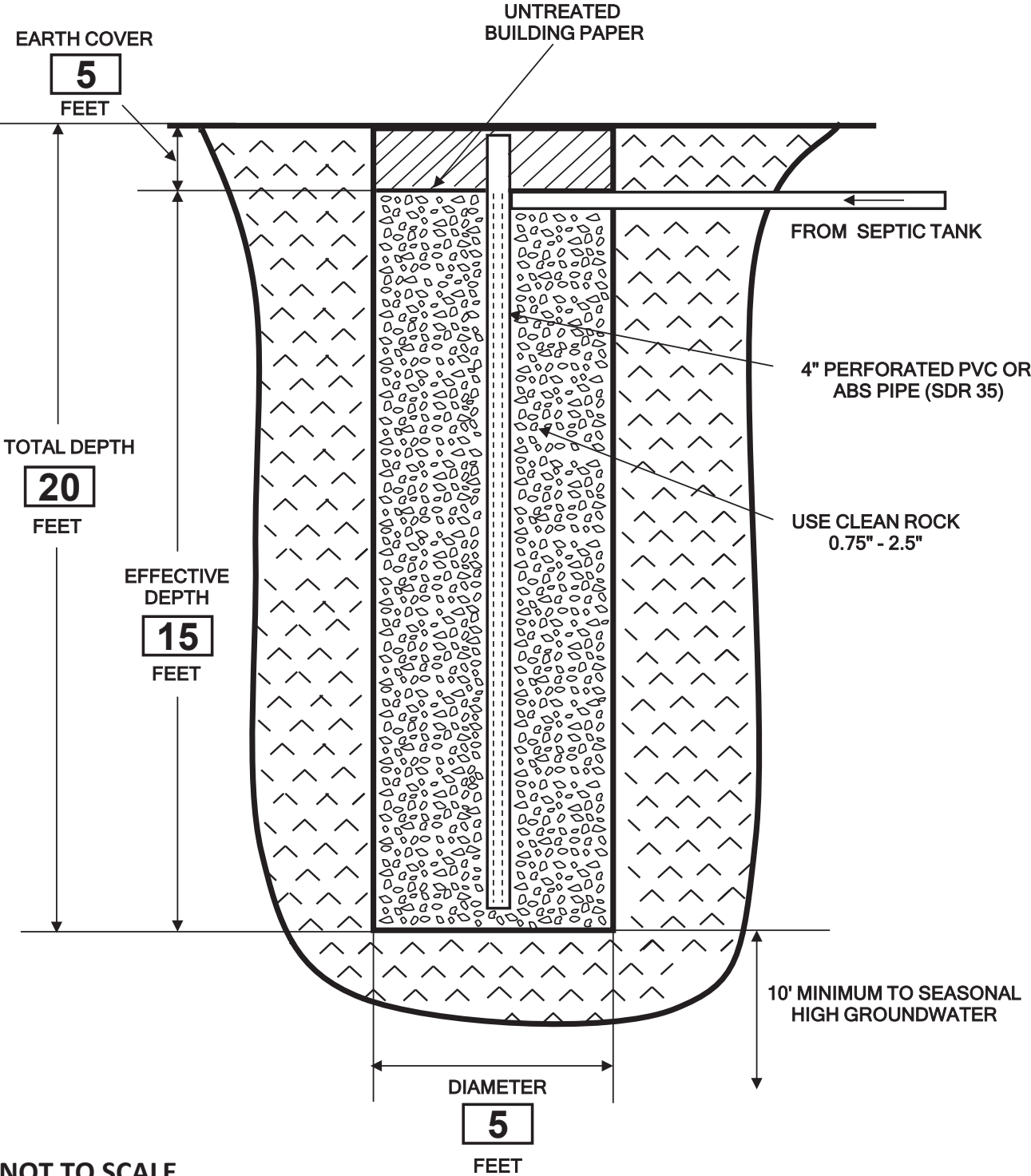


1625 E. DONOVAN RD., STE. C  
SANTA MARIA, CA 93454  
PH: (805) 928-2855  
FAX: (805) 928-2114  
www.midstateconcrete.com

**2,000 GAL.**  
**0.9 MicroFast TANK**

FIGURE 2

# CROSS-SECTION OF SEEPAGE PIT



Gold Coast  
GeoServices, Inc.

**TYPICAL SEEPAGE PIT DETAIL**  
VENTURA COUNTY

DATE: 05/2022

FIGURE 3

**WEISBERG  
YERBA BUENA ROAD**

**FILE NO. GC22-013278**

**REMARKS**

Changes to the number of bedrooms or plumbing fixture units may affect the system design provided herein. Any such changes should be reviewed by this office prior to making those changes, to evaluate the septic system design as proposed.

The data and conditions presented herein are generally considered valid for one year. Reports and system designs older than one year shall be updated to assure compliance with current regulations.

Please call this office at (805) 484-5070 If you have any questions regarding this report.

Respectfully submitted,

**GOLD COAST GEOSERVICES, INC.**

  
Scott J. Hogrefe, CEG 1516





ONSITE WASTEWATER TREATMENT SYSTEM DESIGN

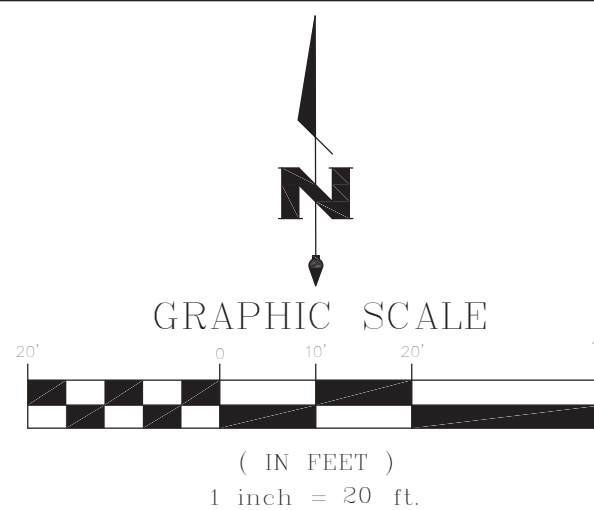
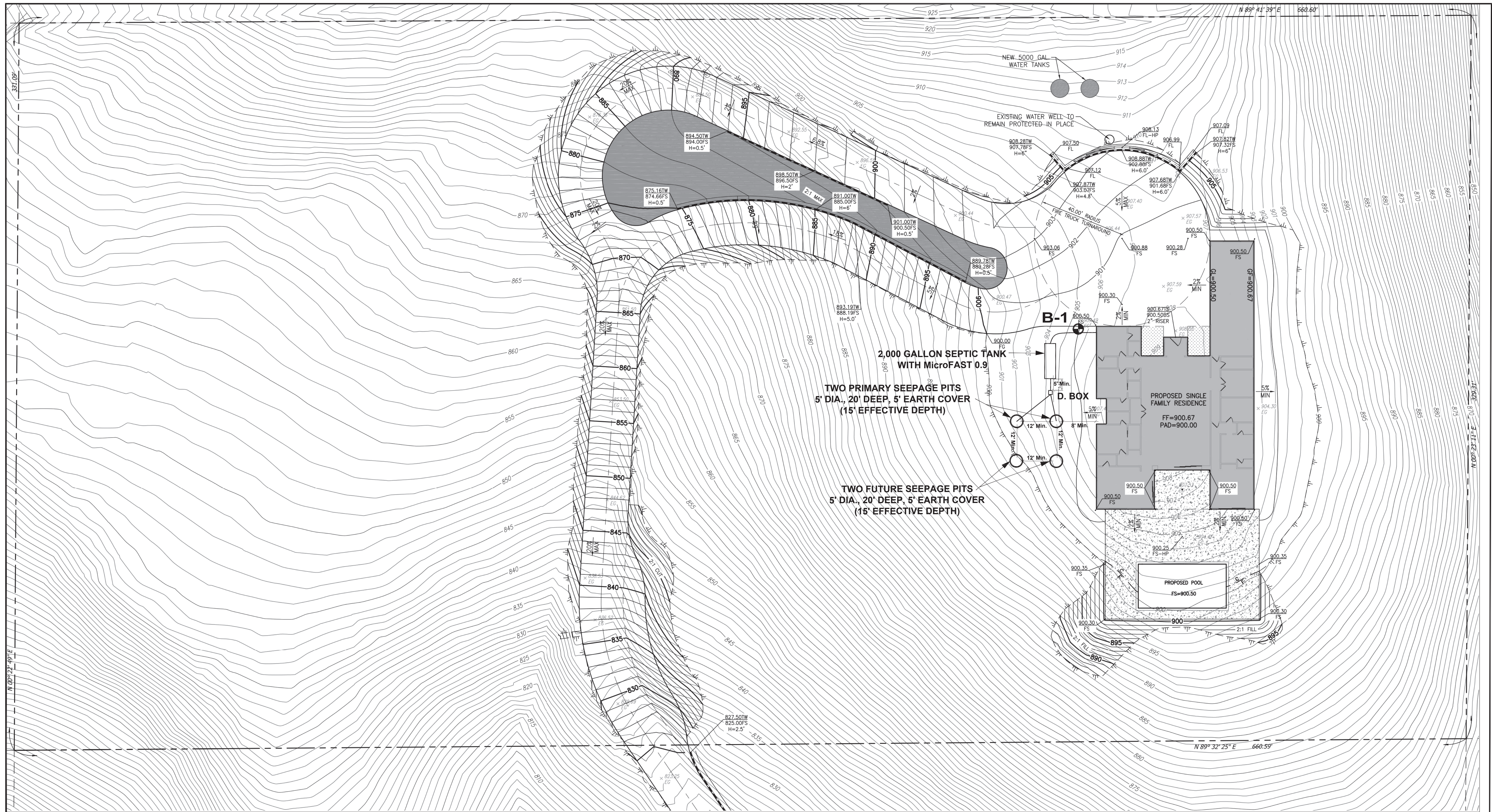
1. Planned usage: Single Family Residence  
5 Bedrooms  
54 Plumbing Fixture Units
2. Required septic tank capacity: **2,000 gallons**
3. Treatment tank sizing (due to EHD designated “formation of concern”):  
5 bedroom equivalents:  $1(300) + 4(150) = 900$  gallons/day  
Treatment Tank: **Bio-Microbics MicroFAST Model 0.9**
4. Use Absorption Rate of 5 gallons per square foot per day for seepage pit sizing determination.
5. SEEPAGE PIT SIZING CALCULATIONS (5' diameter, 15' effective depth)  
Required daily absorption capacity for seepage pits: **2,000 gallons per day (gpd)**  
 $5' \times 15' \times \Pi \times 5 \text{ gal./sq.ft./day} = 1,177 \text{ gal./day}$   
**TOTAL FOR 2 PITS = 2,354 gal./day**  
Provide two 5-foot diameter seepage pits with an earth cover of 5 feet each, and an effective depth of 15 feet. The total depth of the seepage pits will be 20 feet (as measured from the lowest adjacent grade).
6. It is the responsibility of the installation contractor to verify required setbacks prior to construction.



**WEISBERG  
YERBA BUENA ROAD**

**FILE NO. GC22-013278**

**APPENDIX  
OWTS PLOT PLAN AND BORING LOG**



**GEOLOGIC LEGEND**

**B-1** APPROXIMATE LOCATION OF EXPLORATORY BORING

<b>PLATE 1</b>		<b>GOLD COAST GEOSERVICES, INC.</b>	
<b>OWTS PLOT PLAN</b>			
APN 700-0-060-100, YERBA BUENA ROAD, MALIBU			
DATE: 05-25-2022	SIZE: D	CLIENT: WEISBERG	REV:
FILE NO: GC22-013278	SCALE: 1" = 20'	DRAWN BY: IM	APPROVED BY: SJH
5251 VERDUGO WAY, SUITE J * CAMARILLO, CA 93012 * (805) 484-5070			

DESCRIPTION OF REVISION	RCE	DATE	APP.	APP. DATE

PREPARED BY:

**CHRIS NELSON & ASSOCIATES, INC.**  
SURVEYORS AND ENGINEERS

APPROVED: COUNTY OF VENTURA

DATE: \_\_\_\_\_

BY: \_\_\_\_\_

DEVELOPMENT & INSPECTION SERVICES

**COUNTY OF VENTURA  
PUBLIC WORKS AGENCY  
DEVELOPMENT & INSPECTION SERVICES**

SPEC. NO. \_\_\_\_\_

PROJ. NO. \_\_\_\_\_

**CONCEPTUAL GRADING PLAN  
YERBA BUENA PROPERTY  
COUNTY OF VENTURA  
APN: 700-0-060-100**

SHEET 2  
OF 2

DRAWING NO. \_\_\_\_\_

# GOLD COAST GEOSERVICES, INC.

## SUB-SURFACE DATA

## BORING LOG NO. B-1

PROJECT: APN 700-0-060-100, YERBA BUENA ROAD, MALIBU

FILE NO.: GC22-013278

ELEVATION: See Map

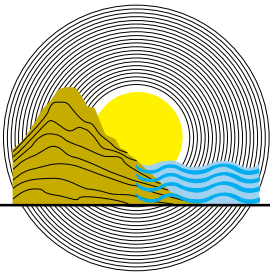
DATE: 1/17/2022

METHOD: 24" Flight Auger

DRILLING CO.: Roy Brothers Drilling, Inc.

SAMPLES		LAB DATA							GRAPHIC LOG	DESCRIPTION AND REMARKS
DEPTH (FT)	BULK	RING	MOISTURE (%)	DRY DENSITY (pcf)	COHESION (psf)	FRICTION ANGLE (deg)	OPTIMUM MOISTURE (%)	MAX. DENSITY (pcf)		
0										<p><b>COLLUVIUM / RESIDUAL SOIL - Qc/Rs - (0' - 3')</b> 0' - 3' - Reddish brown gravelly sandy clay, moist.</p>
-	X	X								
-										<p><b>CONEJO VOLCANICS - Tcv - (3' - 15')</b> 3' - 8' - Multi colored basalt / andesite, very fractured, high angle fractures, hard to very hard.</p>
5										
-										<p>8' - 15' - Dark reddish brown to gray basalt, high angle to vertical joints, very hard.</p>
10										
-										<p><b>TOPANGA FORMATION - Tt - (15' - 30')</b> 15' - 21' - Grayish brown sandstone, very fractured, tight fractures.</p>
15		X	10.7	110.4	1234	38				
-										<p>19' - N38W, 55-602SW (b)</p>
20										
-										<p>21' - 30' - Dark brown to very dark gray siltstone with thinly interbedded light brown sandstone.</p>
25										
-										<p>End at 30' (coring required due to rock hardness)</p>
30										
-										<p style="text-align: center;">TOTAL DEPTH: 30' GROUNDWATER: NO REFUSAL: YES, at 30' CAVING: NO BACKFILLED: YES</p>
35										
-										
40										

COMMENTS: (b) - strike and dip of bedding



# ***GOLD COAST GEOSERVICES, INC.***

---

***Engineering Geologic and Geotechnical Consultants***

## **GEOTECHNICAL REPORT**

Proposed Grading for Single-Family Residence, Swimming Pool,  
and Access Road Improvements

APN 700-0-060-100

Yerba Buena Road

Malibu, County of Ventura

for:

**MICHAEL WEISBERG**

April 5, 2022

File No. GC22-013278

County of Ventura Initial Study/ Mitigated Negative Declaration Case No. PL22-0082 Attachment 7 - Geotechnical Report (Gold Coast Geoservices, Inc., April 2022)
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### **INTRODUCTION**

This report presents the findings from an engineering geologic and soils engineering investigation of the property located in the South Coast/Santa Monica Mountains area within southern Ventura County. The purpose of this investigation was to determine the site geologic conditions and the nature, distribution, and engineering properties of the earth materials, with respect to the proposed grading to create a building pad for the development of a single family residence.

### **SCOPE OF WORK**

The scope of work for this investigation included the completion of the following tasks:

- 1) Review of general geologic data pertaining to the site and its vicinity, including the following:
  - a. "Geologic Map of Southern Ventura County, California", California Division of Mines and Geology Preliminary Report 14, 1973.
  - b. California Division of Mines and Geology Open-File Report 76-5-LA, 1975.
  - c. Geologic Map of the Point Mugu/Triunfo Pass Quadrangles, by T. W. Dibblee, Jr., 1990.
  - d. Seismic Hazards Map of the Triunfo Pass Quadrangle, California Geological Survey, 2000.
  - e. Weber, H.A., "Map Showing Landslides of the Central and Western Santa Monica Mountains, Los Angeles and Ventura Counties, California", California Division of Mines and Geology Open-file Report 83-16 LA, 1983.
- 2) Geologic reconnaissance mapping of the site and vicinity, utilizing a topographic survey map and grading plan provided by the project civil engineer, *Chris Nelson and Associates, Inc.*
- 3) Sampling and logging of the earth materials exposed by 6 rotary auger borings to a maximum depth of 30 feet within the proposed building area. Bulk and relatively undisturbed samples of the earth materials encountered in the exploratory excavations were obtained and taken to our laboratory for testing to determine pertinent engineering properties.



- 4) Percolation testing to determine the feasibility and design requirements for seepage pits for on-site wastewater disposal.
- 5) Preparation of 2 Geologic Cross-Sections to show the surface and subsurface geologic conditions determined from this investigation with respect to the proposed grading and site development.
- 6) Engineering geologic and soils engineering analysis of the assembled data with respect to the proposed grading and site development.
- 7) Preparation of this report to present a discussion of our procedures, findings, and recommendations for site preparations, grading, and foundation design.

Geologic data and the approximate locations of the exploratory borings are shown on the Geotechnical Map included with this report in Appendix III. Graphic depiction of the subsurface geologic conditions with respect to the proposed grading and site development is presented on the Geologic Cross-Sections in Appendix III. Descriptions of the earth materials encountered in the exploratory borings are provided on the Boring Logs in Appendix III. Laboratory test results are presented in Appendix I.

#### **PROPOSED DEVELOPMENT**

As shown on the grading plan provided by the project civil engineer, *Chris Nelson and Associates, Inc.* (see base map for the Geotechnical Map provided in Appendix III), it is proposed to perform cut and fill grading to create the proposed building pad for the development of a single family residence and swimming pool atop a broad ridge at the easterly side of the 5-acre parcel. A cut embankment is planned at 1.5h:1v slope ratio along the northerly side of the building pad and to create the proposed driveway entrance, with maximum cut slope height of about 10 feet. Compacted earth fill embankments are proposed at 2h:1v slope ratio with maximum slope height of about 10 feet along the southerly side of the building pad, at the southerly side of the proposed pool pad site. No retaining walls are proposed.

An Onsite Wastewater Treatment System (OWTS) is proposed to be constructed, and will consist of a septic tank and seepage pits. Percolation testing was conducted at boring B-1, and adequate percolation rates were determined to verify that seepage pit construction is feasible at the proposed location along the westerly side of the proposed residence.

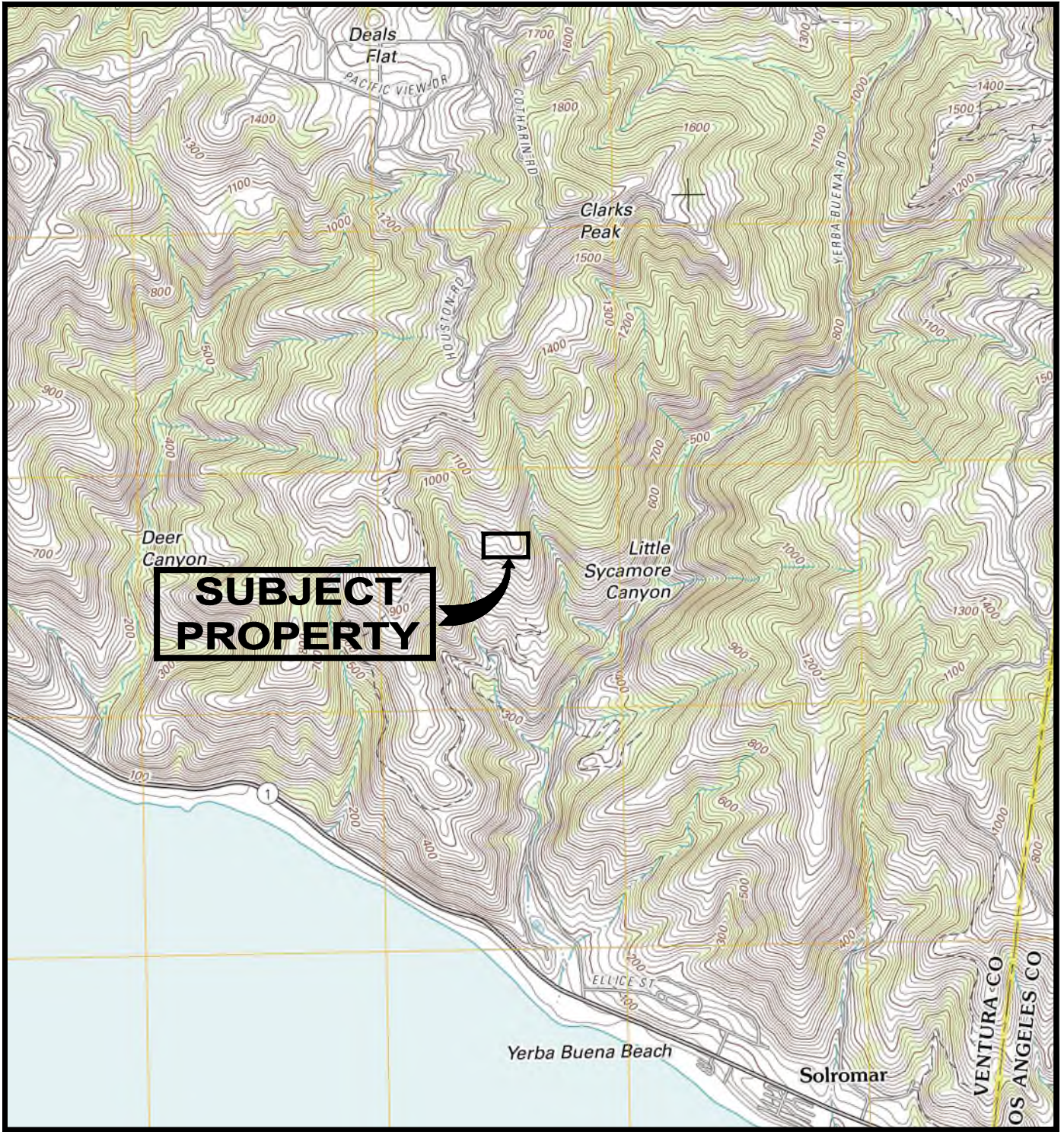
Vehicular access to the site is proposed along the existing unimproved driveway through the site, as shown on the grading plan. As shown on the plan, minor grading is proposed to establish a road bed condition that will meet the requirements of the Ventura County Fire Department and Ventura County Public Works Agency.

## **FINDINGS**

### **Site Description**

The property is located in the South Coast/Santa Monica Mountains area within Ventura County (see Site Location Map, Figure 1). The 5-acre parcel incorporates southerly trending ridge and valley terrain. The proposed building site is located atop a broad, southerly trending ridge at the northeast side of the parcel. A hillside descends at up to 1.5h:1v slope ratio, with slope height of about 200 feet, along the easterly side of the building site to the valley bottom within the confluence of Little Sycamore Canyon (see Geologic Cross-Section A-A'). As also shown on Cross-Section A-A' and Cross-Section B-B', the slope that descends along the westerly and northerly sides of the proposed building site are gentle, not exceeding 3h:1v slope ratio.

Vehicular access to the property is via an existing legal ingress/egress easement from Yerba Buena Road. No grading appears to have been previously performed within the proposed building area. Some light, undocumented grading has been previously performed within the property to establish the existing unimproved access driveway. Cut and fill embankments along the existing access road do not exceed a height of 5 feet. No adverse geologic conditions are exposed in the cut embankments along the existing access road.



**BASE MAP: USGS 7.5' TRIUNFO PASS QUADRANGLE**



**GOLD  
COAST  
GEOSERVICES, INC.**

**SITE LOCATION MAP**

**APN 700-0-060-100, YERBA BUENA ROAD, MALIBU**

**DATE: 01/21/2022**

**FILE NO.: GC22-013278**

**FIGURE 1**

**Drainage**

The building site is not located in an area that is subject to concentrated flows or flooding. Site drainage is by topographically controlled sheetflow runoff. No evidence of concentrated flows such as gullies or excessive erosion were observed at or adjacent to the proposed building site.

**EARTH MATERIALS**

The earth materials encountered during this investigation are classified as native soil (residual soil and slopewash or colluvium); and underlying sedimentary bedrock assigned to the Topanga Formation, with intrusive volcanics. The approximate distribution of the earth materials are shown on the Geotechnical Map. Descriptions of the earth materials are presented on the Boring Logs in Appendix III, and are also summarized as follows:

**Native Soil**

Native soil includes residual weathering products of the underlying bedrock, and slope wash or sheetflow deposits (colluvium) generated from sheet flow and mass wasting processes. The soil was found to be a maximum of about 4 feet in thickness within the proposed building area. The soil is composed of reddish brown gravelly sandy clay.

**Topanga Formation (Tt) and Intrusive Volcanics (db)**

The site is underlain by multi-colored dark yellowish brown, reddish gray, and reddish brown sandstone and siltstone. The bedrock is assigned to the middle Miocene age Topanga Formation. Diabasic volcanic rocks were encountered in boring B-1, overlying the Topanga Formation sedimentary bedrock. The bedrock was found to be hard and becomes very hard requiring rock coring at depths exceeding about 10 feet.

**Groundwater**

No groundwater was encountered to a maximum depth of exploration of 30 feet. The building site is not located in an area of high groundwater levels, however it is noted that temporary transient groundwater can occur due to seasonal rainstorms, and due to excessive irrigation.

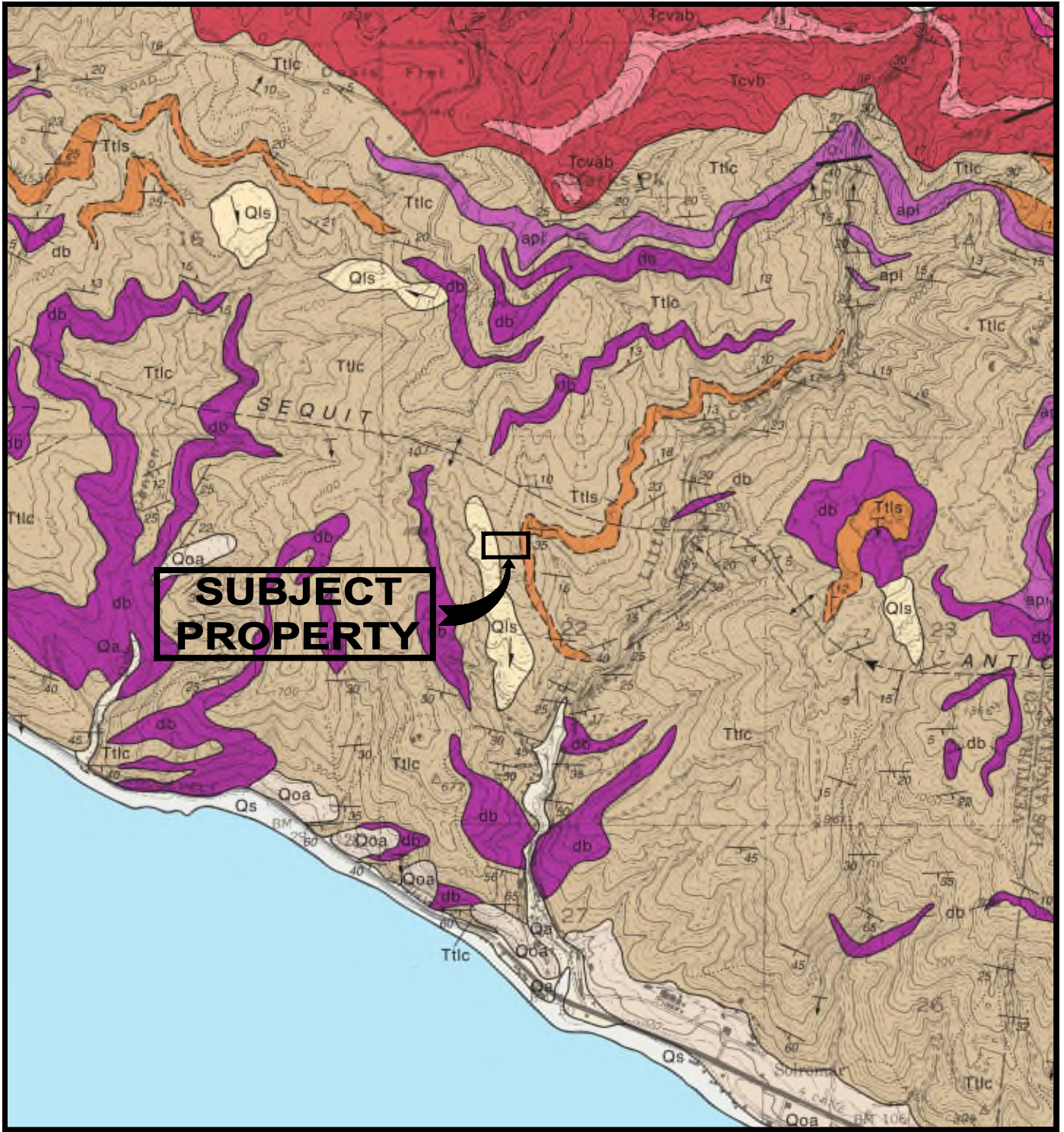
### **Geologic Structure**

The Topanga Formation underlying the South Coast area of the Santa Monica Mountains has been tectonically deformed and intruded by diabasic volcanic rocks, resulting in complex fold and fault structures with predominant east-west trends. The subject site is shown on regional geologic maps to be located on the south limb of the east-west trending Sequit Anticline. Regional geologic mapping shows a predominant south dip across this area of the Santa Monica Mountains. The sedimentary strata underlying the proposed building site dip at low angles varying from about 20-30 degrees to the southwest. The bedrock is complexly jointed, with most jointing and fracture systems developed at high angles. General subsurface geologic structure is shown on Geologic Cross-Sections A-A' and B-B', in Appendix III. The underlying geologic structure is considered to be favorable from an engineering geologic standpoint, with respect to the safety and stability of the slopes adjacent to the proposed building site.

### **Landslides and Slope Stability Analysis**

No landslides were encountered at the proposed building site. Regional geologic maps by the CDMG (1973, 1983) and by Dibblee (1990) show the road leading to the proposed building site traversing the easterly flank of an area that is mapped as within very large, ancient, inactive landslide (see Figure 2). The approximate, inferred limits of the ancient landslide are shown on the Geotechnical Map with this report.

Slope stability analysis was performed for the hillside descending to the east of the proposed building site, as shown on Geologic Cross-Section A-A'. The stability analysis was performed using XSTABL, an integrated slope stability analysis computer program produced by Interactive Software Designs, Inc. The XSTABL program uses the input of the slope profile as defined along the cross-sections drawn for slope stability analysis. Geologic Cross-Section A-A' depicts the highest, steepest slope adjacent to the building site, drawn through the project site and extending to the toe of the large slope area to the east of the building site, and as such the slope along Cross-Section A-A' is the most critical and will yield the lowest factors of safety for this project.



**BASE MAP: THOMAS W. DIBBLEE JR., GEOLOGIC MAP OF THE POINT MUGU AND TRIUNFO PASS QUADRANGLES (1990).**



**GOLD  
COAST  
GEOSERVICES, INC.**

**GEOLOGIC SITE  
LOCATION MAP**  
APN 700-0-060-100, YERBA BUENA ROAD, MALIBU

**DATE: 01/21/2022**

**FILE NO.: GC22-013278**

**FIGURE 2**

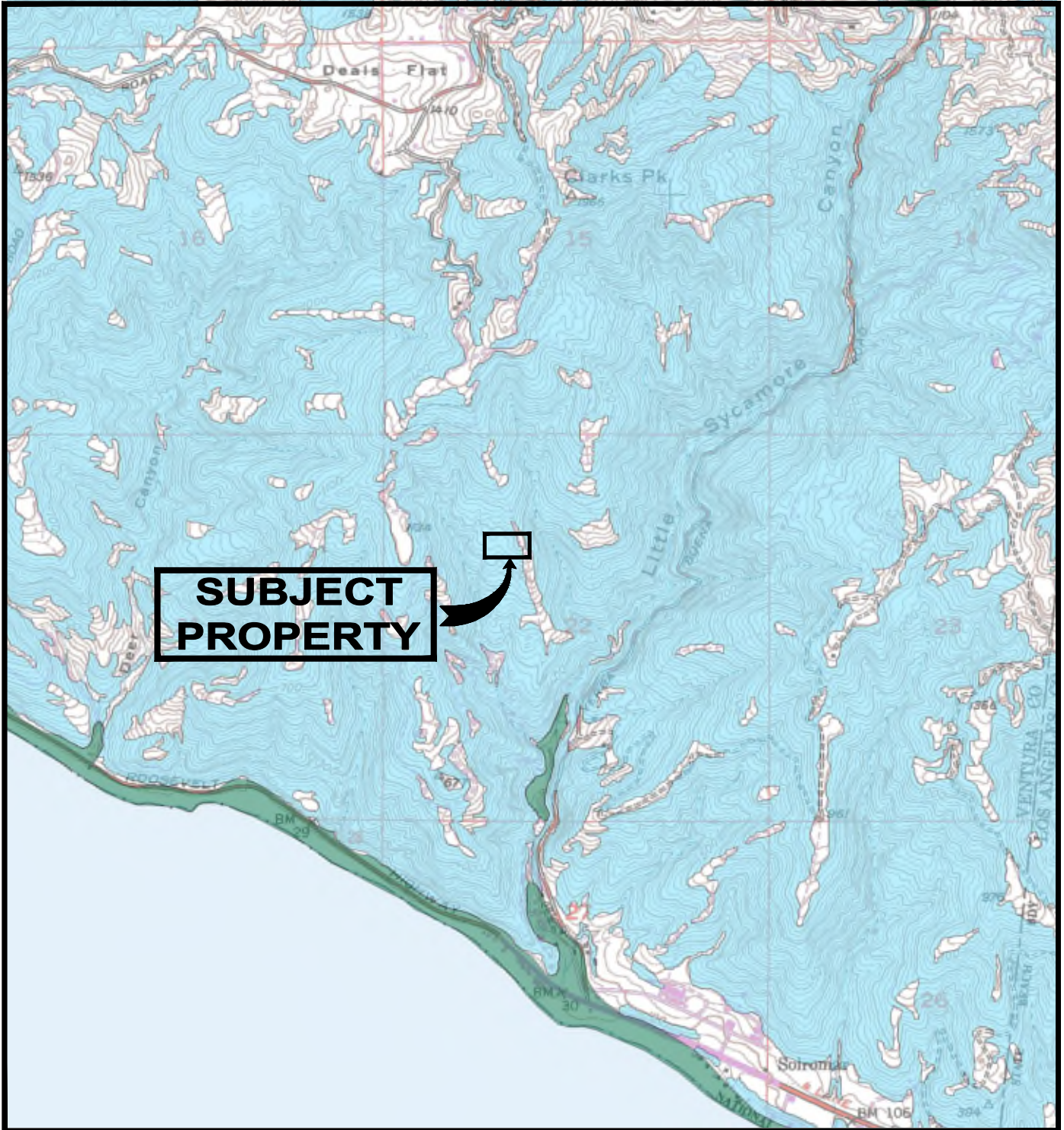
The shear strength parameters used for Topanga Formation bedrock are based on shear strengths of Topanga Formation siltstone / sandstone determined from testing at our laboratory. Based on our review of shear strength data determined for Topanga Formation from other sites in the South Coast area, the shear strength parameters determined from the testing of samples at this site are considered to be reasonable and suitable for the scope and location of the proposed development.

The XSTABL output file (see Appendix II) has a summary of the input file data, and the coordinates of several points on the ten most critical failure surfaces. The slope stability analysis indicates that the slope along cross-section A-A' has adequate static safety factor against deep-seated slope failure, exceeding the minimum accepted static safety factor of 1.5, and exceeding the minimum pseudo-static or seismic safety factor of 1.1.

### **Faulting and Seismic Hazards**

The site is located in the westerly part of the Transverse Ranges Geomorphic Province, characterized by predominantly east-west trending fault systems, mountain ranges, and valleys. The property is not known to be underlain by seismically active or potentially active faults. The property is not situated within a Fault Rupture Special Studies Zone of the State of California. The building site is not located within a "liquefaction hazard" area. The site is situated within an area of potential "seismically-induced-landslide hazard". The slope stability analysis indicates that the slopes have adequate safety factor against seismically-induced landslide. Other ground shaking-induced secondary hazards such as rockfall, sieches, and tsunamis are not potential hazards at the proposed building site. No boulders occur on the slope areas at and adjacent to the proposed building site.

Ground shaking resulting from earthquakes is expected to occur in the future in southern California and along coastal Malibu. Current building codes and the recommendations in this report are intended to minimize structural damage to buildings, however they are not intended to entirely eliminate potential damages that can occur to structures, graded slopes, and natural hillsides due to ground shaking from earthquakes. Earthquake insurance is recommended.



**BASE MAP: CGS, 7.5 MINUTE, SEISMIC HAZARD ZONE MAP OF THE TRIUNFO PASS (02/07/2002) QUADRANGLE.**

**NORTH**  
 1" = 2000'

<b>GOLD COAST GEOSERVICES, INC.</b>	<b>SITE MAP SHOWING LOCATION OF PROPERTY WITH RESPECT TO SEISMIC HAZARDS ZONES</b>	<b>DATE: 01/21/2022</b>
	<b>APN 700-0-060-100, YERBA BUENA ROAD, MALIBU</b>	<b>FILE NO.: GC22-013278</b>
		<b>FIGURE 3</b>



**CONCLUSIONS AND RECOMMENDATIONS**

The findings of this investigation indicate that the property is suitable from engineering geologic and soils engineering standpoints for the proposed grading and development of a single-family residence, swimming pool, and access driveway improvements. The following recommendations are provided for consideration by the design and construction professionals for the planned development. Applicable elements of these recommendations shall be incorporated into the grading plans and building plans.

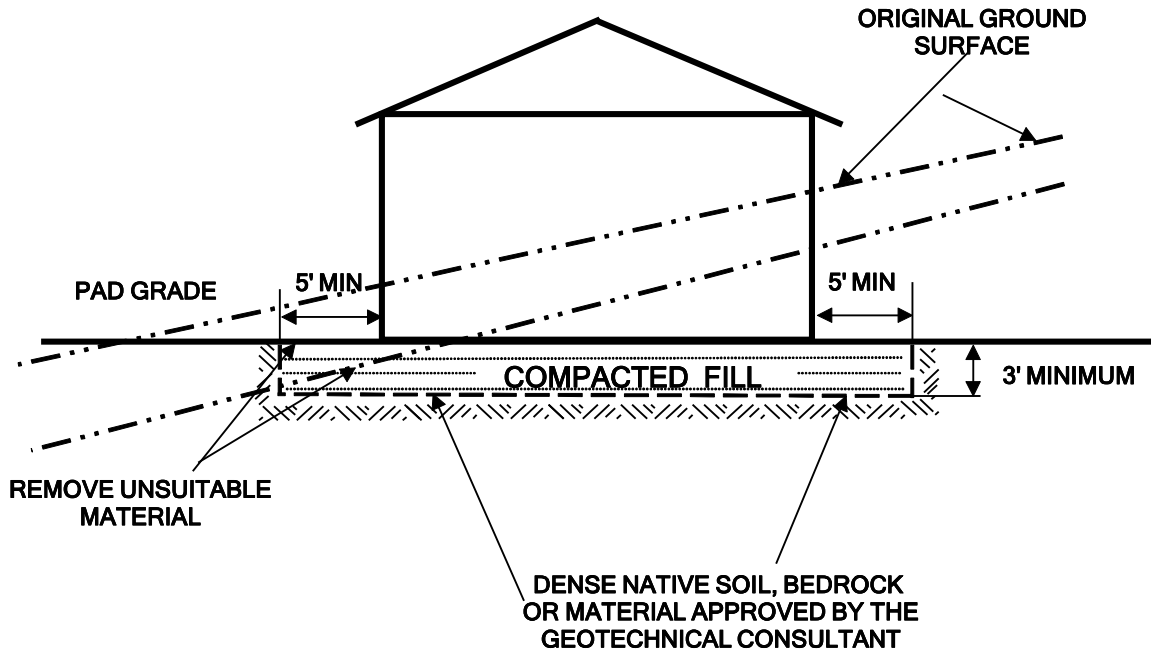
**GENERAL GRADING RECOMMENDATIONS**

**a. SITE PREPARATIONS - BUILDING AREA**

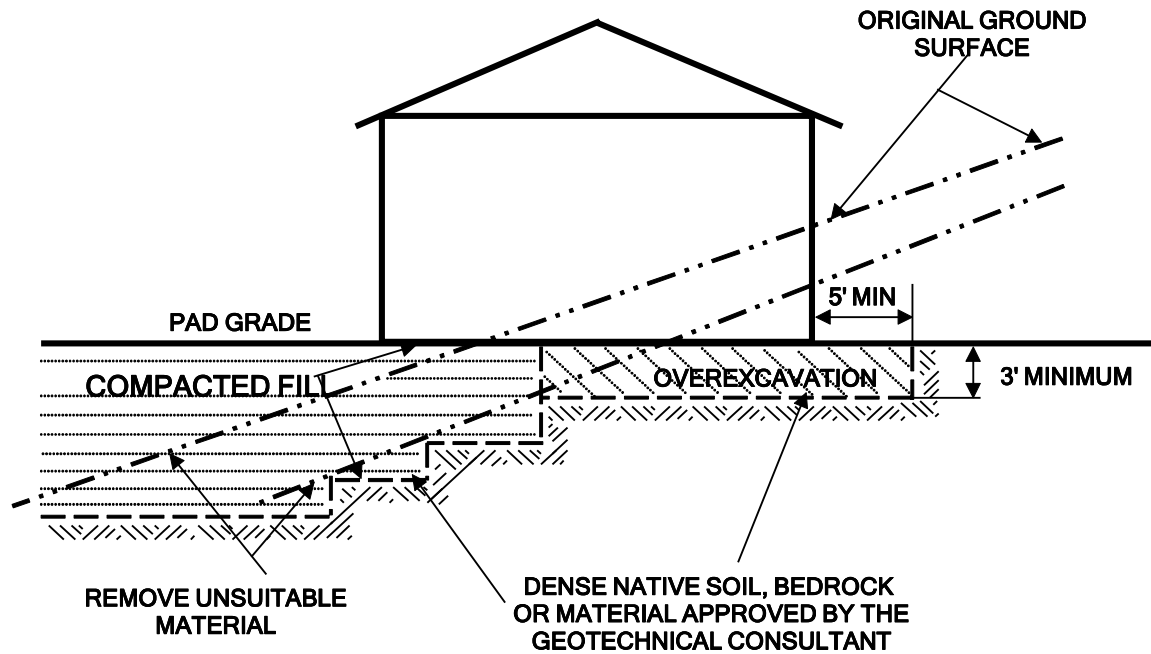
The proposed building area is underlain by a 3-4 foot thick layer of native soil and underlying hard to very hard siltstone/sandstone bedrock with volcanics. The proposed building pad grade is about 5-8 feet below existing grade. The excavations to the proposed pad grade are anticipated to create hard, angular rock material and an irregular and unsuitable building pad condition. In order to establish and suitable building pad condition and to facilitate foundation and utility line construction and landscaping, it is recommended that the proposed building pad and all areas to receive slabs-on-grade be prepared by performing removal and re-compaction earth work to create a suitable building pad condition for construction. A minimum fill thickness of 24 inches is recommended below the proposed foundation construction depth. The area of over-excavation and recompaction should extend a minimum of 5 feet beyond the proposed building area. Compacted fill material within the proposed building area should consist of no more than 50% rock material (at least 50% or more sand or clayey sand). Rock material should not exceed 6 inches in width.

In addition to removal and recompaction for the building area, consideration may be given to over-excavation and recompaction for all areas of proposed landscaping and utility line construction, to a depth of at least 6 inches below the proposed utility line construction depth, to facilitate excavations that would otherwise encounter very hard bedrock.

# CUT LOT



# TRANSITION (CUT - FILL) LOT



NOT TO SCALE

Gold Coast  
GeoServices, Inc.

CUT FILL TRANSITION  
DETAIL

DATE: 04/2022

FIGURE 4

**b. CUT SLOPES AND EXCAVATIONS**

All excavations and cut slopes shall be observed and approved by the engineering geologist as they are made. Cut slopes that will exceed a vertical height of 5 feet should be sloped at 1h:1v slope ratio for the portion of cut exceeding a height of 5 feet. Hard rock conditions are anticipated and shall be taken into consideration by the excavation contractor. Ripping and jackhammering are anticipated for excavations into the underlying hard bedrock.

**c. PLACEMENT OF FILL**

All areas to receive compacted fill shall be cleared of organic debris and loose soil or unsuitable bedrock material, so that a uniform and dense bedrock surface area is exposed. All fill shall be placed a optimum moisture content in layers approximately 6 to 8 inches in maximum thickness, and compacted to 90% relative compaction.

The existing on-site materials may be utilized for placement as compacted fill provided they are cleansed of debris, organic materials, significant vegetation, or rocks greater than 8 inches in width. Material placed as engineered compacted fill shall be free of deleterious debris, and shall contain no rocks greater than 8 inches in width across the widest point. Any fill material to be placed within 3 feet from any planned utility trench or footing excavation shall contain no rocks greater than 6 inches in width.

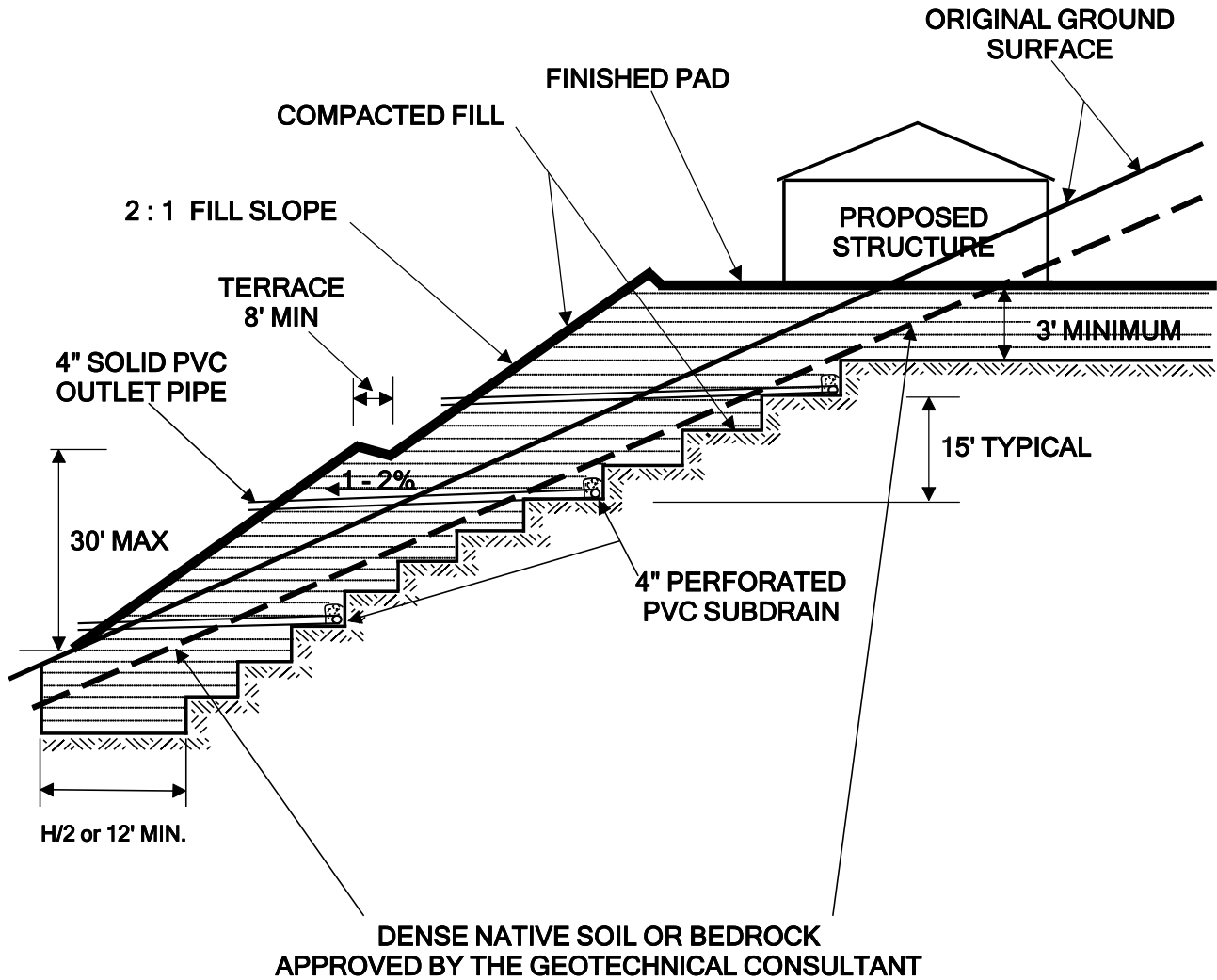
**d. FILL SLOPE CONSTRUCTION**

An equipment width key shall be established at the toe of the proposed fill slope at the south side of the building pad. The key shall extend a minimum of 12 inches into dense bedrock. As the fill is placed, it shall be benched into dense bedrock as work progresses upslope. Fill slopes shall be planned not to exceed 2h:1v finished slope surface ratio.

**e. SITE DRAINAGE**

Final site grading shall provide positive drainage away from the footings. All pad and roof drainage shall be transferred away from the building area via non-erosive devices to an

# FILL SLOPE DETAIL



**TYPICAL BACKDRAIN/SUBDRAIN**  
 Perforated backdrain shall consist of 4-inch diameter PVC pipe (schedule 40) or approved equivalent surrounded by 3 cu.ft./ft. approved filter material (3/4-inch rock or equivalent) wrapped by approved filter cloth (Mirafi N-series or equivalent)

**NOT TO SCALE**

Gold Coast  
 GeoServices, Inc.

**FILL SLOPE  
 DETAIL**

DATE: 04/2022  
 FIGURE 5

approved drainage disposal site. Drainage shall not be allowed to pond on the building pad or adjacent to any foundation or wall.

**f. EROSION CONTROL**

Fill slopes should be planted with deep-rooting, lightweight, low-water-demanding, fire-resistant ground cover. The ground cover should be maintained with a proper irrigation system, but over watering must be avoided. Cut slopes exposing dense bedrock need not be planted for erosion control purposes, unless otherwise required by the project geologist upon observation of the cut slopes as they are made.

**FOUNDATION DESIGN**

Spread footings, continuous footings, or independent footings may be used to support the proposed structures. Footings may be embedded into compacted fill or into dense Topanga Formation bedrock, not partially into each. Footings should be a minimum of 12 inches in width and embedded a minimum of 18 inches into compacted fill or into dense bedrock. Safe foundation design criteria determined from this investigation are as follows:

EXPANSION INDEX RANGE: Bedrock = 21-50 (low)

**Footings**

Allowable Bearing Capacity . . . . .	2,000 PSF
Lateral Resistance . . . . .	400 PSF/FT
Maximum Lateral Resistance . . . . .	2,000 PCF
Coefficient of Friction . . . . .	0.4

**Slabs-On-Grade**

Thickness . . . . .	Nominal 4 ins.
Minimum Reinforcement. . . . .	#3 bars @ 18 ins., each way, dowel footings to slab
Bedding. . . . .	4 ins. of coarse sand or 1/2 inch aggregate

**Note:** At a minimum, place a moisture vapor barrier / waterproof barrier (min. 10-mil visqueen or Stego Wrap® or equivalent) within bedding layer beneath all slab areas.

**NOTES TO FOUNDATION DESIGN**

- 1) Independent footings should be at least 24 inches square and 18 inches in depth.
- 2) Allowable bearing pressure may be increased by one-third for short duration loading, such as by wind or seismic forces.

**ESTIMATED SETTLEMENT**

Total and differential settlement is anticipated to be negligible for foundations supported by compacted fill.

**SEISMIC DESIGN PARAMETERS**

The following seismic design parameters were determined in accordance with ASCE/SEI 7-22 incorporating USGS Seismic Design Maps. Seismic Design Category D and Seismic Importance Factor  $I_e = 1.0$  are applicable to the project as proposed.

Seismic Use Group	Site Classification	Mapped Spectral Accelerations		Adjusted Maximum Accelerations		Design Spectral Accelerations	
		$S_s$	$S_1$	$SM_s$	$SM_1$	$SD_s$	$SD_1$
II	C	1.7	0.53	1.78	0.75	1.19	0.5

**POOL SHELL**

The pool shell shall be embedded entirely into dense bedrock, or into 90% compacted fill, not partially into each. Standard pool shell design may be used. A subdrain is not required.

**SWIMMING POOL DECKING AND WALKWAYS**

Subgrade material within areas to receive slabs-on-grade shall consist of 90% compacted fill, approved with testing by the soils engineer. Subgrade preparations for areas to receive slabs-on-grade shall be observed and approved by the soils engineer. Swimming pool decking and walkways slabs should be a minimum of 4 inches thick, and reinforced using

#3 bars at 18 inches on centers. Bedding for slabs should consist of a minimum of 4 inches of coarse sand or 1/2 inch crushed aggregate. A moisture vapor barrier such as 10-mil visqueen or Stego Wrap® or equivalent should be placed within the bedding material beneath slabs.

**AREAS TO RECEIVE PAVEMENT**

Preliminary structural section design for the paving areas may utilize a structural section consisting of 3 inches of A/C over 4 inches of aggregate base. Areas to receive paving shall be provided with 90% compacted fill subbase. Base material shall be a minimum of 4 inches in thickness and compacted to 95% relative compaction. Areas to receive Portland Cement Concrete Paving (PCCP) may utilize a minimum structural section consisting of 6 inches of PCCP reinforced with #3 bars at 18 inches on centers each way over 4 inches of 95% compacted base material.

**ON-SITE WASTEWATER TREATMENT SYSTEM**

Public sewage disposal service is unavailable to the property, so that on-site wastewater treatment / disposal system is required. The feasibility of on-site wastewater disposal using seepage pits was evaluated for this investigation, and adequate percolation rates were determined from testing at boring B-1. Geologic conditions are considered to be favorable for seepage pit construction.

**PLAN REVIEW**

A set of grading plans and building plans should be submitted to this office for review and approval, prior to the initiation of grading or construction, to verify that the geotechnical recommendations have been considered in the plans.

**OBSERVATIONS AND TESTING**

It is recommended that site preparations and foundation construction work be observed and approved by the soils engineer and engineering geologist. The following minimum observations and testing are recommended.

- 1) Site preparations for placement of fill shall be observed and approved. Compaction tests shall be performed every two vertical feet of fill, or as otherwise necessary to verify the specified minimum compaction for certification of compacted fill.
- 2) Subdrain construction shall be observed and approved, prior to placement of backfill.
- 3) All cut slopes shall be observed and approved by the engineering geologist.
- 4) All foundation excavations shall be approved prior to placing forms, concrete, or any steel reinforcement.

**REMARKS**

This report is issued with the understanding that it is the responsibility of the owner, or their representative, to assure that the information and recommendations contained herein are called to the attention of the designers and builders for the project.

Please be informed that the conclusions and recommendations provided in this report are based on the surface conditions and findings and observations made at the locations of the exploratory excavations. For the purposes of this report it can only be assumed by us that the subsurface conditions do not deviate significantly in the unexplored areas of the property from those at the exposed locations. If conditions are encountered during construction which are found to be different from those described in this report, we must be notified so that we can consider the need for revisions or modifications to the recommendations in this report.



**WEISBERG  
YERBA BUENA ROAD**

**FILE NO. GC22-013278**

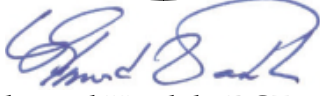

This report has been prepared in accordance with generally accepted engineering practice at this time and location. No other warranty is expressed or implied.

Please call this office at (805) 484-5070 if you have any questions regarding this report. Thank you for the opportunity to be of professional service.

Respectfully submitted,  
**GOLD COAST GEOSERVICES, INC.**



Scott J. Hogrefe, CEG 1516



Edmond Vardeh, RCE 56992

**APPENDIX I**

**LABORATORY TEST RESULTS**

Laboratory testing was performed on samples of the earth materials encountered in the exploratory excavations, to determine certain engineering properties for evaluation of slope stability, proposed earthwork, and foundation design. Sampling of bedrock by conventional means was attempted at several locations, but was only possible at one location due to rock hardness. Laboratory testing was performed in accordance with all current ASTM standards. Test procedures and results are as follows.

**Maximum Density-Optimum Moisture**

Maximum dry density and optimum moisture data were determined for samples of the on-site earth materials using the ASTM D1557 compaction test method. This test procedure uses 25 blows of a 10 pound hammer, falling a height of 18 inches into a 1/30 cubic foot cylinder. The test results are presented below.

Sample Location	Sample Description	Dry Density (lbs/cu.ft.)	Moisture (%)
B-1 @ 2'-5'	sandy clay	117	13

**Expansion Index**

Expansion index testing was performed on representative samples of the soil encountered within the proposed building area, in conformance with test procedures per ASTM D4829. The results of the expansion index tests are as follows.

Location	Description	Expansion Index
B-1 @ 2'-5'	sandy clay	46

**Direct Shear**

Samples of the weakest bedrock encountered were obtained and direct shear testing was performed in accordance with the drained shear test method. The samples were cut in 1.0" thick, 2.4" diameter brass rings, and saturated under a normal load to simulate saturated field conditions. The samples were subjected to a maximum constant deformation rate of 0.05 in./minute. Increasing vertical stresses were applied to determine the cohesion and internal angle of internal friction for each sample. The test results are plotted on the attached "Direct Shear" test" graph.

**Chemical Testing**

Chemical testing was performed on a representative sample of the anticipated foundation bearing material. A corrosion test, which includes testing for sulfate, chloride, resistivity and pH, was performed using Caltrans testing methods CT-643, 417, 422 and 532. The results of the chemical testing are summarized on the following table.

Sample Location	pH	Chloride Content (PPM)	Sulfate Content (%)	Minimum Resistivity (OHM-CM)
B-1 @ 2'-5'	7.55	35	0.0034	2860

The chemical testing results indicate soluble sulfate concentrations are negligible (Uniform Building Code, Tables 19-A-4 and 19-A-5). Type II concrete may be used for slab and foundation elements.

# DIRECT SHEAR

**PROJECT LOCATION:** APN 700-0-060-100, Yerba Buena Road

**FILE NO.:** GC22-013278

**CLASSIFICATION:** Sandstone (Topanga Formation)

**SAMPLE:** B-1 @ 15'

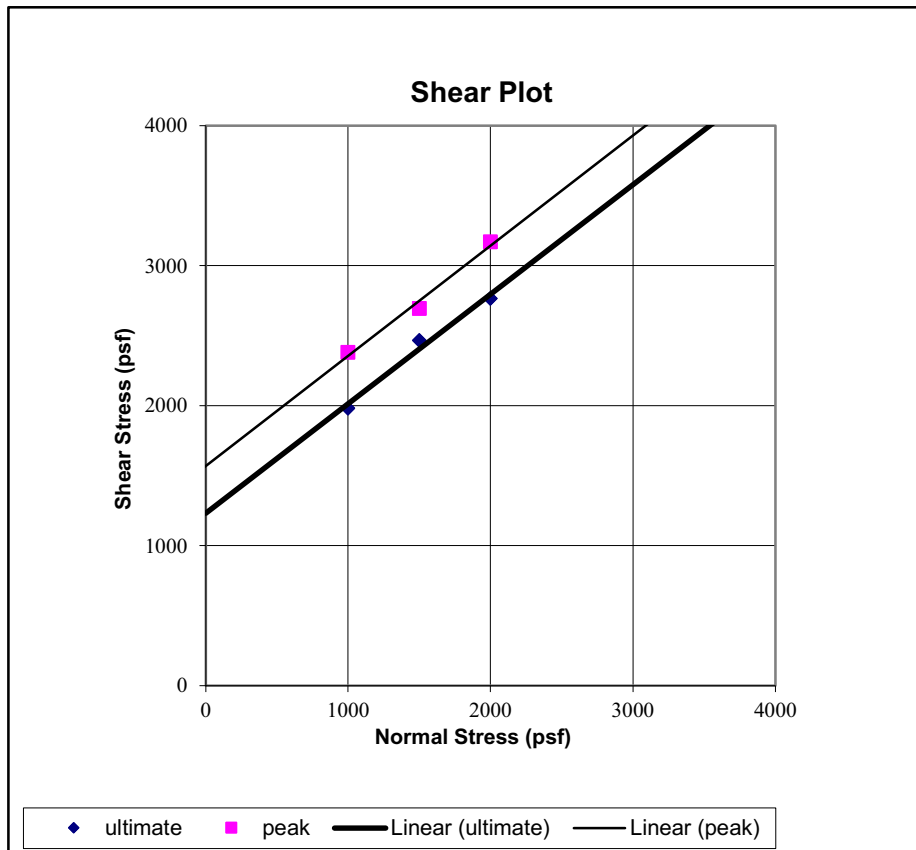
**PLOTTED BY:** JR

**CHECKED BY:** SJH

**DATE:** 2/22/2022

SHEAR DATA			
Ultimate		Peak	
Normal Stress (psf)	Shear Stress (psf)	Normal Stress (psf)	Shear Stress (psf)
1000	1985	1000	2385
1500	2469	1500	2696
2000	2767	2000	3172

**UNDISTURBED**  
 **REMOLDED**  
 **REPEATED**  
 **ULTIMATE**  
 **PEAK**



**SAT. WATER CONTENT** 17.9 %  
**NATURAL WATER CONTENT** 10.7 %  
**DISPLACEMENT RATE** 0.005 in/min.  
**REMOLDED TO** \_\_\_\_\_ %

**SAT. UNIT WEIGHT** 130.2 pcf.  
**WET UNIT WEIGHT** 122.2 pcf.  
**DRY UNIT WEIGHT** 110.4 pcf.

Direct Shear Results	Ult.	Peak
ANGLE OF INTERNAL FRICTION, $\phi$	38.0	38.2
COHESION, c	1234.0	1602.0

deg.  
psf.

Shear testing was performed using the SHEARTRACK II SYSTEM by GEOCOMP, Inc.

## GOLD COAST GEOSERVICES, INC.

**WEISBERG  
YERBA BUENA ROAD**

**FILE NO. GC22-013278**

**APPENDIX II  
SLOPE STABILITY ANALYSIS DATA SHEETS**

```

*****
*           X S T A B L           *
*                               *
*      Slope Stability Analysis   *
*      using the                 *
*      Method of Slices         *
*                               *
*      Copyright (C) 1992 - 2002 *
*      Interactive Software Designs, Inc. *
*      Moscow, ID 83843, U.S.A.   *
*                               *
*      All Rights Reserved       *
*                               *
*      Ver. 5.206                96 - 1912 *
*****

```

**Problem Description : APN 700-0-060-100, YERBA BUENA ROAD, MALIBU  
 DETERMINE FACTOR OF SAFETY ALONG SECTION A-A, ENTIRE SLOPE,  
 CIRCULAR FAILURE, STATIC CONDITION**

-----  
 SEGMENT BOUNDARY COORDINATES  
 -----

12 SURFACE boundary segments

Segment No.	x-left (ft)	y-left (ft)	x-right (ft)	y-right (ft)	Soil Unit Below Segment
1	.0	198.0	46.0	180.0	1
2	46.0	180.0	110.0	170.0	1
3	110.0	170.0	184.0	200.0	1
4	184.0	200.0	230.0	240.0	1
5	230.0	240.0	307.0	300.0	1
6	307.0	300.0	346.0	330.0	1
7	346.0	330.0	416.0	385.0	1
8	416.0	385.0	440.0	395.0	1
9	440.0	395.0	482.0	404.0	1
10	482.0	404.0	556.0	404.0	1
11	556.0	404.0	605.0	400.0	1
12	605.0	400.0	650.0	390.0	1

-----  
 ISOTROPIC Soil Parameters  
 -----

1 Soil unit(s) specified

Soil Unit No.	Unit Weight Moist (pcf)	Unit Weight Sat. (pcf)	Cohesion Intercept (psf)	Friction Angle (deg)	Pore Pressure Parameter Ru	Pore Pressure Constant (psf)	Water Surface No.
1	122.0	130.0	1234.0	38.00	.000	.0	1

A critical failure surface searching method, using a random technique for generating CIRCULAR surfaces has been specified.

500 trial surfaces will be generated and analyzed.

10 Surfaces initiate from each of 50 points equally spaced along the ground surface between x = 50.0 ft and x = 440.0 ft

Each surface terminates between x = 450.0 ft and x = 650.0 ft

Unless further limitations were imposed, the minimum elevation at which a surface extends is y = .0 ft

\* \* \* \* \* DEFAULT SEGMENT LENGTH SELECTED BY XSTABL \* \* \* \* \*

22.0 ft line segments define each trial failure surface.

Factors of safety have been calculated by the :

\* \* \* \* \* SIMPLIFIED BISHOP METHOD \* \* \* \* \*

The most critical circular failure surface is specified by 19 coordinate points

Point No.	x-surf (ft)	y-surf (ft)
1	169.39	194.08
2	191.26	196.48
3	212.94	200.22
4	234.35	205.28
5	255.40	211.65

6	276.03	219.29
7	296.15	228.19
8	315.69	238.31
9	334.56	249.61
10	352.71	262.05
11	370.06	275.57
12	386.55	290.14
13	402.11	305.69
14	416.69	322.16
15	430.23	339.50
16	442.68	357.64
17	454.00	376.51
18	464.13	396.04
19	466.16	400.60

\*\*\*\* Simplified BISHOP FOS = 1.735 \*\*\*\*

The following is a summary of the TEN most critical surfaces

Problem Description : YERBA BUENA, SEC-A, GRSST, CIR, STT

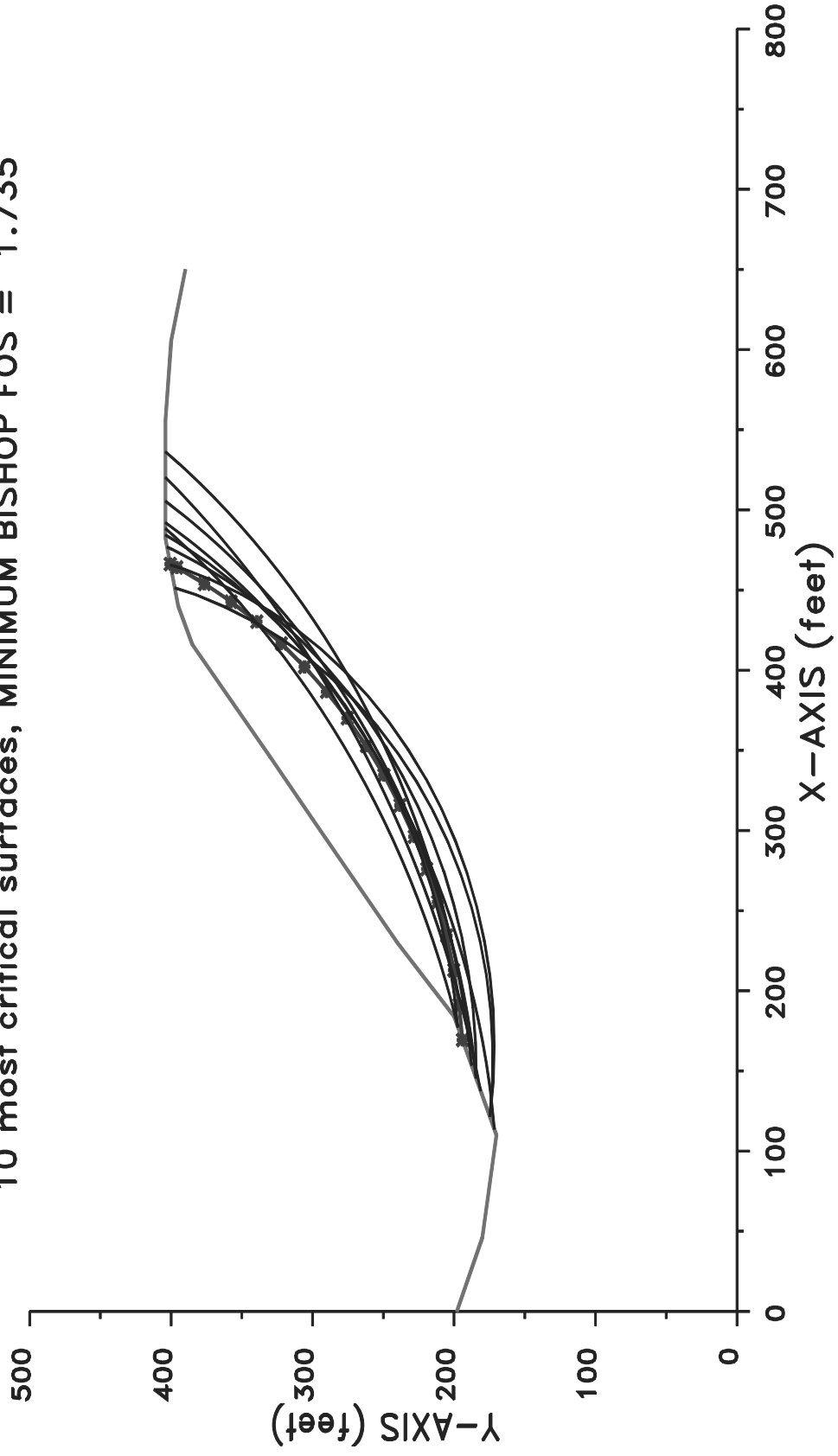
	FOS (BISHOP)	Circle Center x-coord (ft)	y-coord (ft)	Radius (ft)	Initial x-coord (ft)	Terminal x-coord (ft)	Resisting Moment (ft-lb)
1.	1.735	141.24	551.21	358.24	169.39	466.16	6.001E+08
2.	1.739	139.71	584.81	389.33	177.35	484.33	7.035E+08
3.	1.755	149.02	539.67	355.29	145.51	476.84	7.462E+08
4.	1.755	63.99	676.61	507.55	113.67	492.07	1.041E+09
5.	1.756	88.99	681.92	500.73	145.51	505.41	1.042E+09
6.	1.767	18.20	774.33	598.58	177.35	488.36	8.700E+08
7.	1.811	157.34	477.55	304.94	121.63	451.40	6.790E+08
8.	1.812	-14.14	881.96	717.02	137.55	520.23	1.411E+09
9.	1.818	89.36	748.12	564.15	153.47	536.27	1.371E+09
10.	1.821	165.61	482.99	311.39	121.63	465.68	7.825E+08

\* \* \* END OF FILE \* \* \*



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YERBA BUENA, SEC-A, GRSST, CIR, STT  
10 most critical surfaces, MINIMUM BISHOP FOS = 1.735



```

*****
*           X S T A B L           *
*                               *
*      Slope Stability Analysis   *
*      using the                 *
*      Method of Slices         *
*                               *
*      Copyright (C) 1992 - 2002 *
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*      Moscow, ID 83843, U.S.A.    *
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*      Ver. 5.206                96 - 1912 *
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**Problem Description : APN 700-0-060-100, YERBA BUENA ROAD, MALIBU  
 DETERMINE FACTOR OF SAFETY ALONG SECTION A-A, ENTIRE SLOPE,  
 CIRCULAR FAILURE, SEISMIC CONDITION**

-----  
 SEGMENT BOUNDARY COORDINATES  
 -----

12 SURFACE boundary segments

Segment No.	x-left (ft)	y-left (ft)	x-right (ft)	y-right (ft)	Soil Unit Below Segment
1	.0	198.0	46.0	180.0	1
2	46.0	180.0	110.0	170.0	1
3	110.0	170.0	184.0	200.0	1
4	184.0	200.0	230.0	240.0	1
5	230.0	240.0	307.0	300.0	1
6	307.0	300.0	346.0	330.0	1
7	346.0	330.0	416.0	385.0	1
8	416.0	385.0	440.0	395.0	1
9	440.0	395.0	482.0	404.0	1
10	482.0	404.0	556.0	404.0	1
11	556.0	404.0	605.0	400.0	1
12	605.0	400.0	650.0	390.0	1

-----  
 ISOTROPIC Soil Parameters  
 -----

1 Soil unit(s) specified

Soil Unit No.	Unit Weight Moist (pcf)	Unit Weight Sat. (pcf)	Cohesion Intercept (psf)	Friction Angle (deg)	Pore Pressure Parameter Ru	Pore Pressure Constant (psf)	Water Surface No.
1	122.0	130.0	1234.0	38.00	.000	.0	1

A horizontal earthquake loading coefficient of .150 has been assigned

A vertical earthquake loading coefficient of .000 has been assigned

A critical failure surface searching method, using a random technique for generating CIRCULAR surfaces has been specified.

500 trial surfaces will be generated and analyzed.

10 Surfaces initiate from each of 50 points equally spaced along the ground surface between x = 50.0 ft and x = 440.0 ft

Each surface terminates between x = 450.0 ft and x = 650.0 ft

Unless further limitations were imposed, the minimum elevation at which a surface extends is y = .0 ft

\* \* \* \* \* DEFAULT SEGMENT LENGTH SELECTED BY XSTABL \* \* \* \* \*

22.0 ft line segments define each trial failure surface.

Factors of safety have been calculated by the :

\* \* \* \* \* SIMPLIFIED BISHOP METHOD \* \* \* \* \*

The most critical circular failure surface is specified by 19 coordinate points

Point No.	x-surf (ft)	y-surf (ft)
1	177.35	197.30

2	199.18	200.05
3	220.81	204.02
4	242.19	209.21
5	263.24	215.60
6	283.90	223.16
7	304.10	231.89
8	323.77	241.74
9	342.86	252.68
10	361.29	264.69
11	379.02	277.71
12	395.98	291.72
13	412.13	306.66
14	427.41	322.50
15	441.76	339.16
16	455.16	356.62
17	467.54	374.80
18	478.88	393.65
19	484.33	404.00

\*\*\*\* Simplified BISHOP FOS = 1.351 \*\*\*\*

The following is a summary of the TEN most critical surfaces

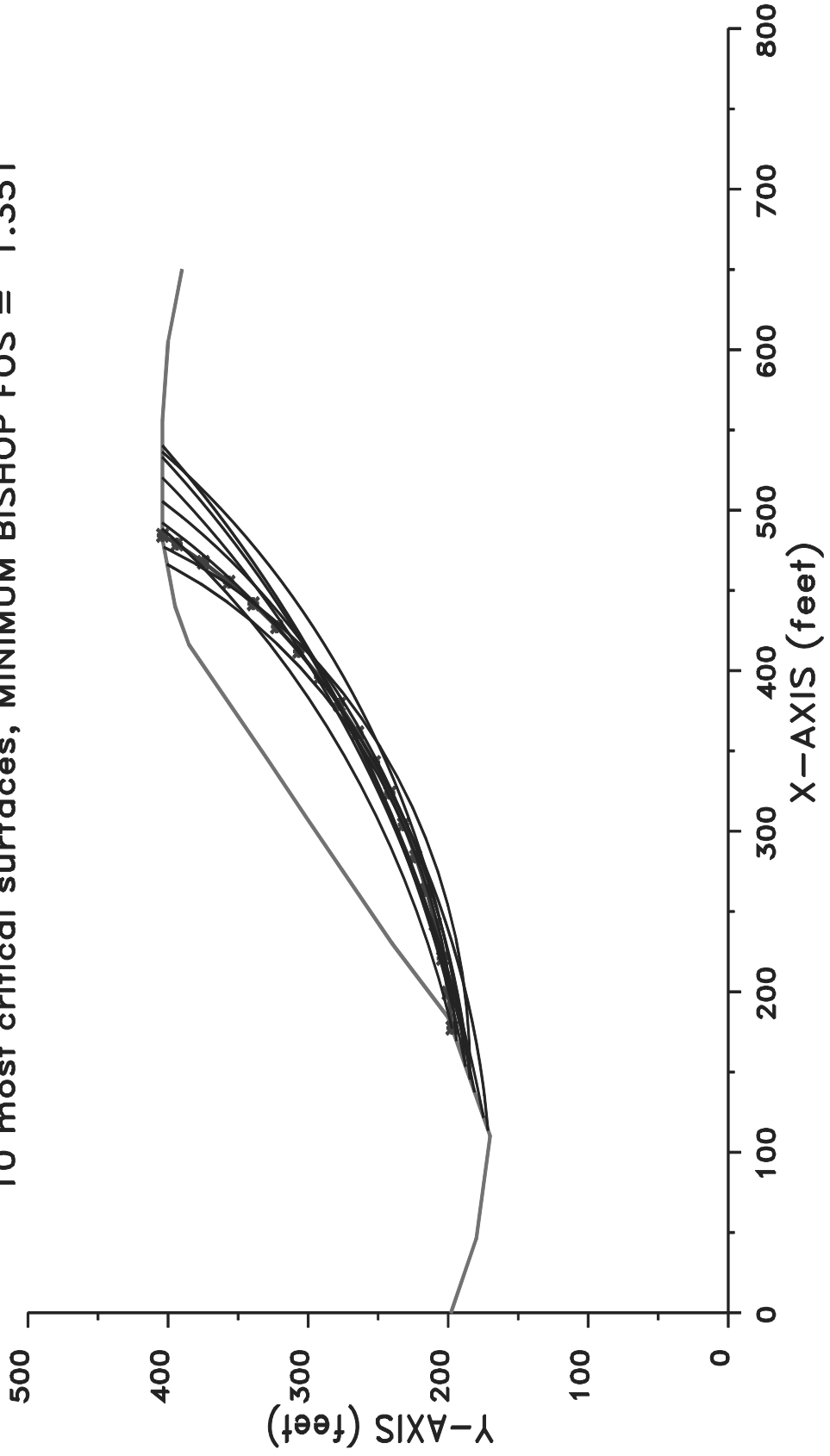
Problem Description : YERBA BUENA, SEC-A, GRSST, CIR, SMC

	FOS (BISHOP)	Circle Center x-coord (ft)	Circle Center y-coord (ft)	Radius (ft)	Initial x-coord (ft)	Terminal x-coord (ft)	Resisting Moment (ft-lb)
1.	1.351	139.71	584.81	389.33	177.35	484.33	6.603E+08
2.	1.352	88.99	681.92	500.73	145.51	505.41	9.780E+08
3.	1.357	141.24	551.21	358.24	169.39	466.16	5.632E+08
4.	1.358	63.99	676.61	507.55	113.67	492.07	9.778E+08
5.	1.366	18.20	774.33	598.58	177.35	488.36	8.152E+08
6.	1.371	149.02	539.67	355.29	145.51	476.84	7.021E+08
7.	1.381	89.36	748.12	564.15	153.47	536.27	1.290E+09
8.	1.383	-14.14	881.96	717.02	137.55	520.23	1.326E+09
9.	1.388	-9.37	914.19	744.59	153.47	532.90	1.441E+09
10.	1.409	-61.65	1005.89	851.14	121.63	540.15	1.770E+09

\* \* \* END OF FILE \* \* \*

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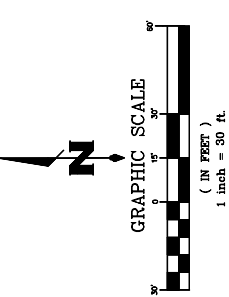
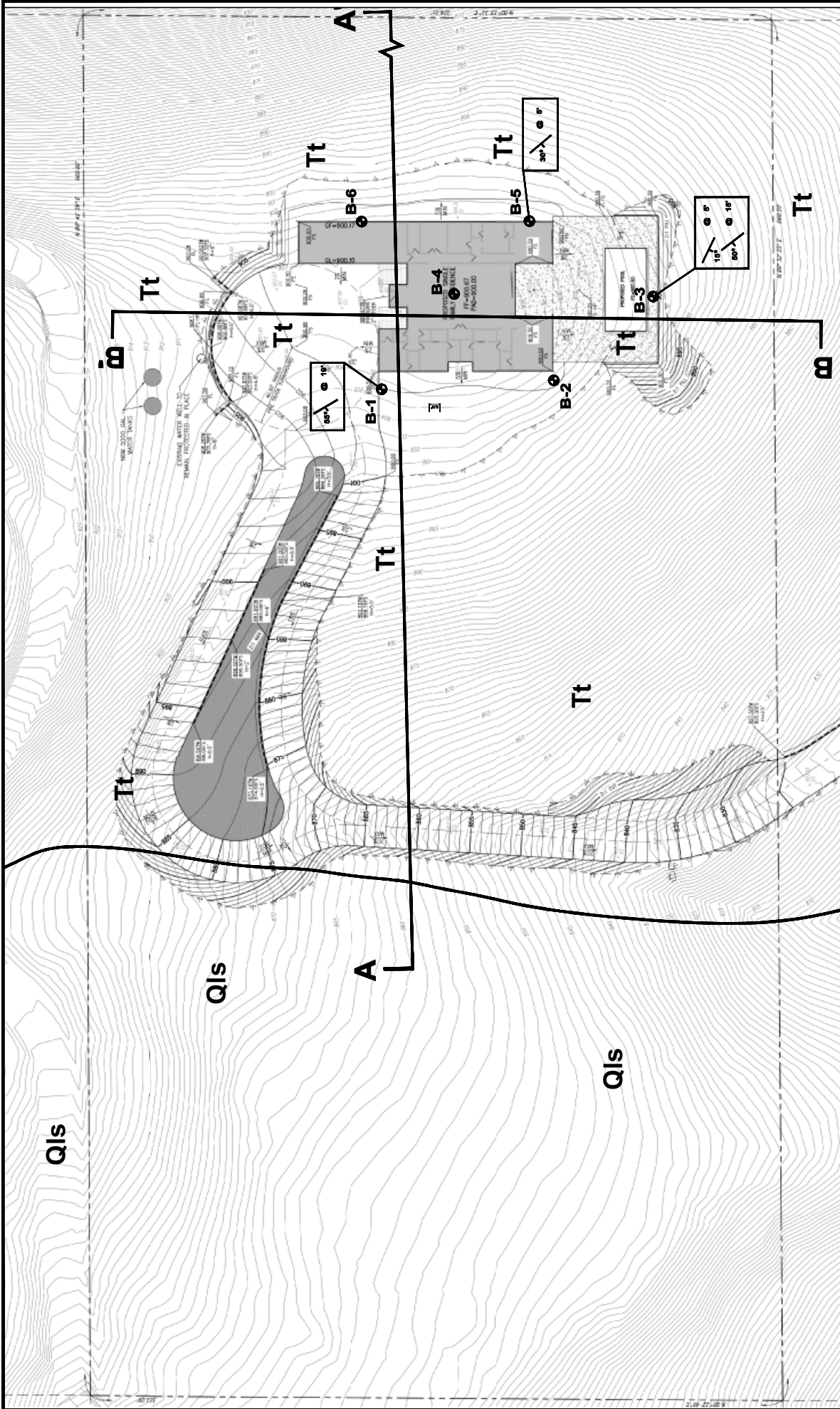
YERBA BUENA, SEC-A, GRSST, CIR, SMC  
10 most critical surfaces, MINIMUM BISHOP FOS = 1.351



**WEISBERG  
YERBA BUENA ROAD**

**FILE NO. GC22-013278**

**APPENDIX III  
GEOTECHNICAL MAP, GEOLOGIC CROSS-SECTIONS,  
AND BORING LOGS**



**GEOLOGIC LEGEND**

- Q1s** LANDSLIDE (per DIBBLEE)
- Tt** TOPANGA FORMATION (Siltstone and Sandstone)
- B-1** APPROXIMATE LOCATION OF EXPLORATORY BORING

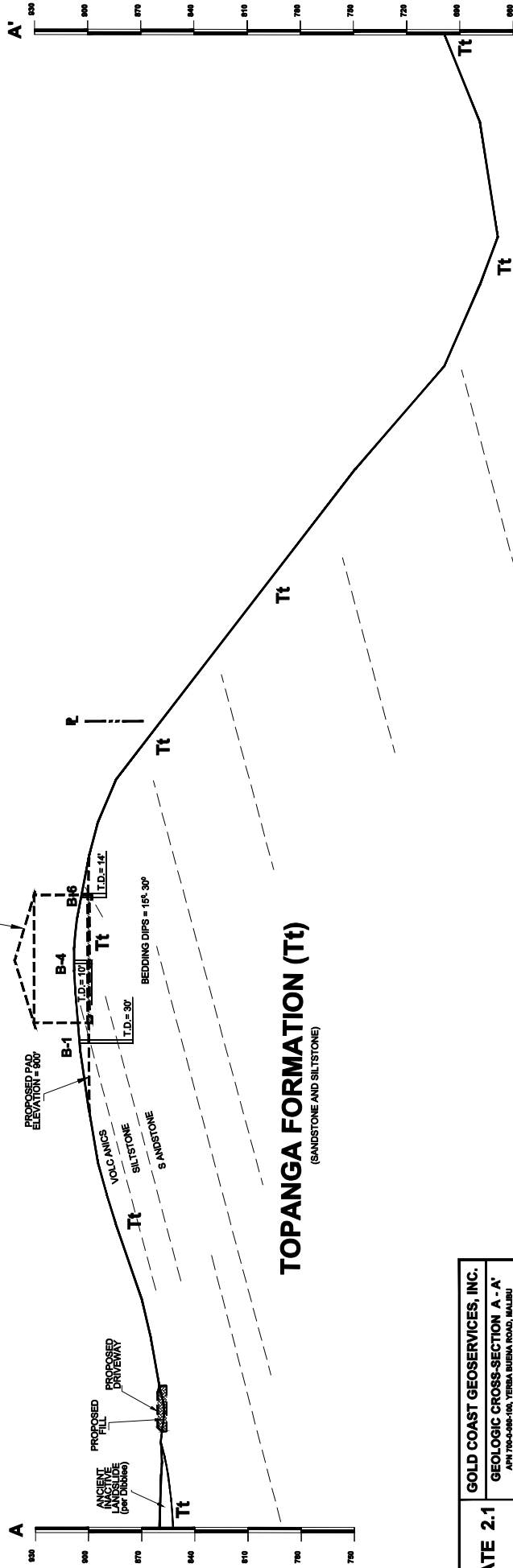
STRIKE AND DIP OF BEDDING  
 GEOLOGIC CROSS-SECTION

<b>PLATE 1</b>	<b>GOLD COAST GEOSERVICES, INC.</b>	
	<b>GEOTECHNICAL MAP</b>	
	APN 700-0-060-100, YERBA BUENA ROAD, MALIBU	
DATE: 02-28-2022	SIZE: C	CLIENT: WEISBERG
FILE NO: GC22-013278	SCALE: 1" = 30'	DRAWN BY: IM
		APPROVED BY: SJH
	5291 VERDUGO WAY, SUITE J • CAMARILLO, CA 93012 • (805) 464-5070	

APPROVED: COUNTY OF VENTURA			COUNTY OF VENTURA		
DATE: _____			PUBLIC WORKS AGENCY		
BY: _____			DEVELOPMENT & INSPECTION SERVICES		
APPROVED: COUNTY OF VENTURA			COUNTY OF VENTURA		
DATE: _____			YERBA BUENA PROPERTY		
BY: _____			COUNTY OF VENTURA		
APPROVED: COUNTY OF VENTURA			APN: 700-0-060-100		
DATE: _____			PAGE NO. _____		
BY: _____			PAGE 2		
APPROVED: COUNTY OF VENTURA			PAGE 2		
DATE: _____			DATE: _____		
BY: _____			DATE: _____		



**GEOLOGIC CROSS-SECTION A - A'**

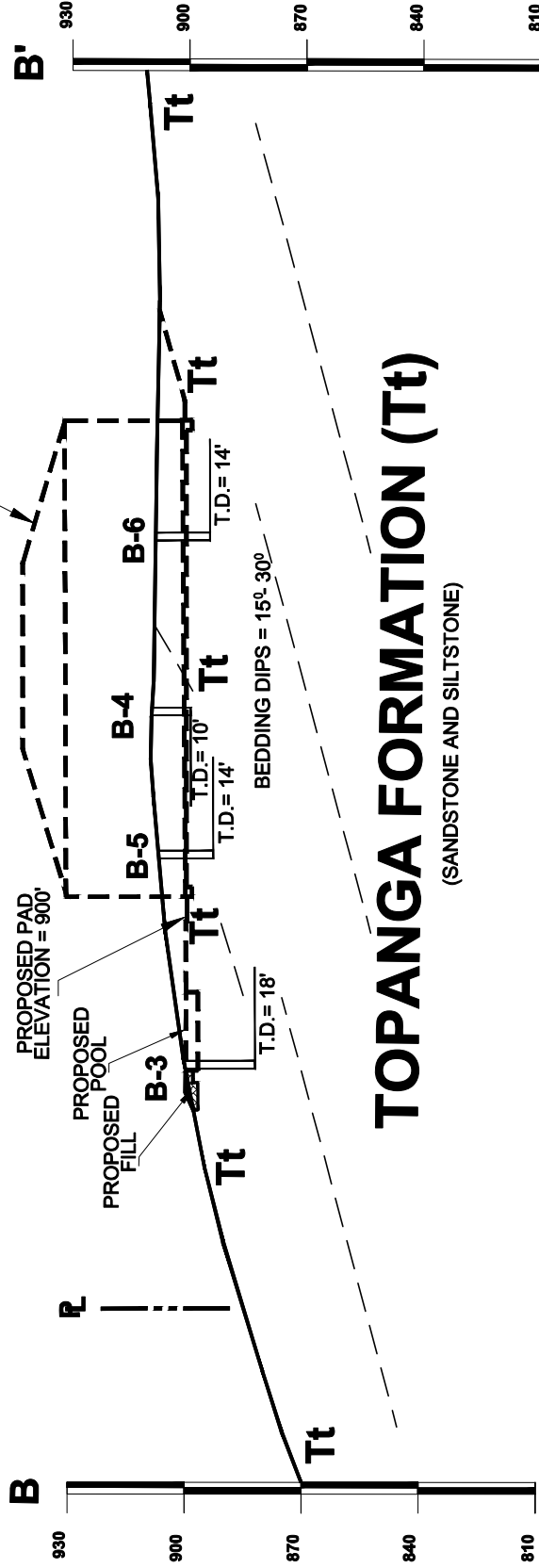
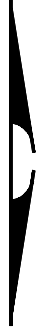


<b>PLATE 2.1</b>			
<b>GOLD COAST GEOSERVICES, INC.</b>			
<b>GEOLOGIC CROSS-SECTION A - A'</b>			
APN 700-008-100, YERBA BUENA ROAD, MALIBU			
DATE: 04-26-2022	SIZE:	CLIENT: MESSERSO	REV:
FILE NO: 0022-010278	SCALE: 1" = 30'	DRAWN BY: JM	APPROVED BY: SJH
881 YERBA BUENA WAY, SUITE 2, CARMELITO, CA 90387 (805) 864-8770			



# GEOLOGIC CROSS-SECTION B - B'

S -- N



<b>PLATE 2.2</b>	<b>GOLD COAST GEOSERVICES, INC.</b>			
	<b>GEOLOGIC CROSS-SECTION B - B'</b> APN 700-0-060-100, YERBA BUENA ROAD, MALIBU			
DATE: 02-28-2022	SIZE: B	CLIENT: WEISBERG	REV:	
FILE NO: GC22-013278	SCALE: 1" = 30'	DRAWN BY: IM	APPROVED BY: SJH	
5261 VERDUGO WAY, SUITE J * CAMARILLO, CA 93012 * (805) 484-5070				

# GOLD COAST GEOSERVICES, INC.

## SUB-SURFACE DATA

## BORING LOG NO. B-1

PROJECT: APN 700-0-060-100, YERBA BUENA ROAD, MALIBU

FILE NO.: GC22-013278

ELEVATION: See Map

DATE: 1/17/2022

METHOD: 24" Flight Auger

DRILLING CO.: Roy Brothers Drilling, Inc.

SAMPLES		LAB DATA							GRAPHIC LOG	DESCRIPTION AND REMARKS
DEPTH (FT)	BULK	RING	MOISTURE (%)	DRY DENSITY (pcf)	COHESION (psf)	FRICTION ANGLE (deg)	OPTIMUM MOISTURE (%)	MAX. DENSITY (pcf)		
0										<b>COLLUVIUM / RESIDUAL SOIL - Qc/Rs - (0' - 3')</b>
-	X	X								0' - 3' - Reddish brown gravelly sandy clay, moist.
-										<b>CONEJO VOLCANICS - Tcv - (3' - 15')</b>
5										3' - 8' - Multi colored basalt / andesite, very fractured, high angle fractures, hard to very hard.
-										8' - 15' - Dark reddish brown to gray basalt, high angle to vertical joints, very hard.
10										<b>TOPANGA FORMATION - Tt - (15' - 30')</b>
15		X	10.7	110.4	1234	38				15' - 21' - Grayish brown sandstone, very fractured, tight fractures.
-										19' - N38W, 55-602SW (b)
20										21' - 30' - Dark brown to very dark gray siltstone with thinly interbedded light brown sandstone.
25										
30										End at 30' (coring required due to rock hardness)
35										TOTAL DEPTH: 30' GROUNDWATER: NO REFUSAL: YES, at 30' CAVING: NO BACKFILLED: YES
40										

COMMENTS: (b) - strike and dip of bedding

# GOLD COAST GEOSERVICES, INC.

## SUB-SURFACE DATA

## BORING LOG NO. B-2

PROJECT: APN 700-0-060-100, YERBA BUENA ROAD, MALIBU  
 ELEVATION: See Map  
 METHOD: 24" Flight Auger

FILE NO.: GC22-013278  
 DATE: 1/17/2022  
 DRILLING CO.: Roy Brothers Drilling, Inc.

SAMPLES			LAB DATA						GRAPHIC LOG	DESCRIPTION AND REMARKS
DEPTH (FT)	BULK	RING	MOISTURE (%)	DRY DENSITY (pcf)	COHESION (psf)	FRICTION ANGLE (deg)	OPTIMUM MOISTURE (%)	MAX. DENSITY (pcf)		
0										<b>COLLUVIUM / RESIDUAL SOIL - Qc/Rs - (0' - 4')</b> 0' - 4' - Reddish brown gravelly sandy clay, moist.
5										<b>TOPANGA FORMATION - Tt - (4' - 10')</b> 4' - 10' - Grayish brown sandstone, very fractured, tight fractures.
10										End at 10' (coring required due to rock hardness)
15										
20										
25										
30										
35										
40										

TOTAL DEPTH: 10'  
 GROUNDWATER: NO  
 REFUSAL: YES, at 10'  
 CAVING: NO  
 BACKFILLED: YES

COMMENTS:

# GOLD COAST GEOSERVICES, INC.

## SUB-SURFACE DATA

## BORING LOG NO. B-3

PROJECT: APN 700-0-060-100, YERBA BUENA ROAD, MALIBU  
 ELEVATION: See Map  
 METHOD: 24" Flight Auger

FILE NO.: GC22-013278  
 DATE: 1/17/2022  
 DRILLING CO.: Roy Brothers Drilling, Inc.

SAMPLES		LAB DATA							GRAPHIC LOG	DESCRIPTION AND REMARKS
DEPTH (FT)	BULK	RING	MOISTURE (%)	DRY DENSITY (pcf)	COHESION (psf)	FRICTION ANGLE (deg)	OPTIMUM MOISTURE (%)	MAX. DENSITY (pcf)		
0										<b>COLLUVIUM / RESIDUAL SOIL - Qc/Rs - (0' - 3')</b> 0' - 3' - Dark reddish brown sandy clay, moist, stiff.
-										<b>TOPANGA FORMATION - Tt - (3' - 18')</b> 3' - 7' - Dark gray to dark reddish gray siliceous siltstone, very hard.
5										5' - N64W, 15SW (b)
-										7' - 11' - Dark yellowish brown to grayish brown coarse-grained sandstone, very hard, high angle jointing.
10										11' - 18' - Becomes fractured dark gray siltstone, high angle fractures, very hard.
-										15' - N68W, 50SW (b)
15										End at 18' (coring required due to rock hardness)
-										
20										
-										
25										
-										
30										
-										
35										<b>TOTAL DEPTH: 18'</b> <b>GROUNDWATER: NO</b> <b>REFUSAL: YES, at 18'</b> <b>CAVING: NO</b> <b>BACKFILLED: YES</b>
-										
40										

COMMENTS: (b) - strike and dip of bedding

# GOLD COAST GEOSERVICES, INC.

## SUB-SURFACE DATA

## BORING LOG NO. B-4

PROJECT: APN 700-0-060-100, YERBA BUENA ROAD, MALIBU  
 ELEVATION: See Map  
 METHOD: 24" Flight Auger

FILE NO.: GC22-013278  
 DATE: 1/18/2022  
 DRILLING CO.: Roy Brothers Drilling, Inc.

SAMPLES		LAB DATA							GRAPHIC LOG	DESCRIPTION AND REMARKS
DEPTH (FT)	BULK	RING	MOISTURE (%)	DRY DENSITY (pcf)	COHESION (psf)	FRICTION ANGLE (deg)	OPTIMUM MOISTURE (%)	MAX. DENSITY (pcf)		
0										<b>COLLUVIUM / RESIDUAL SOIL - Qc/Rs - (0' - 3')</b> 0' - 3' - Reddish brown gravelly sandy clay, moist.
-										<b>TOPANGA FORMATION - Tt - (3' - 10')</b> 3' - 6' - Very dark siliceous clayey siltstone, thinly bedded.
5										6' - 10' - Dark gray siliceous / clayey siltstone, massive, very hard.
-										
-										
-										
-										
-										
10										End at 10' (coring required due to rock hardness)
-										
-										
15										
-										
-										
-										
20										
-										
-										
25										
-										
-										
30										
-										
-										
35										
-										
-										
40										

TOTAL DEPTH: 10'  
 GROUNDWATER: NO  
 REFUSAL: YES, at 10'  
 CAVING: NO  
 BACKFILLED: YES

COMMENTS:

# GOLD COAST GEOSERVICES, INC.

## SUB-SURFACE DATA

## BORING LOG NO. B-5

PROJECT: APN 700-0-060-100, YERBA BUENA ROAD, MALIBU  
 ELEVATION: See Map  
 METHOD: 24" Flight Auger

FILE NO.: GC22-013278  
 DATE: 1/18/2022  
 DRILLING CO.: Roy Brothers Drilling, Inc.

SAMPLES			LAB DATA						GRAPHIC LOG	DESCRIPTION AND REMARKS
DEPTH (FT)	BULK	RING	MOISTURE (%)	DRY DENSITY (pcf)	COHESION (psf)	FRICITION ANGLE (deg)	OPTIMUM MOISTURE (%)	MAX. DENSITY (pcf)		
0 - - - - 5 - - - - 10 - - - - 15 - - - - - 20 - - - - - 25 - - - - - 30 - - - - - 35 - - - - 40										<p><b>COLLUVIUM / RESIDUAL SOIL - Qc/Rs - (0' - 3')</b>                      0' - 1' - Red clay, moist, tight.                      1' - 3' - Reddish brown sandy clay, gravelly, moist, tight.</p> <p><b>TOPANGA FORMATION - Tt - (3' - 14')</b>                      3' - 5' - Very dark gray siliceous clayey siltstone, thinly bedded.                      5' - N40W, 30SW (b)                      5' - 6' - Light brown to dark gray sandstone, interbedded with siltstone, fractured, very hard.                      6' - 14' - Dark gray siliceous / clayey siltstone, massive, very hard.</p> <p>End at 14' (coring required due to rock hardness)</p> <p style="text-align: center;">TOTAL DEPTH: 14'                      GROUNDWATER: NO                      REFUSAL: YES, at 14'                      CAVING: NO                      BACKFILLED: YES</p>

COMMENTS: (b) - strike and dip of bedding






# GOLD COAST GEOSERVICES, INC.

## SUB-SURFACE DATA

## BORING LOG NO. B-6

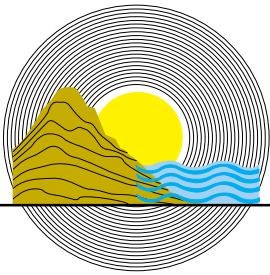
PROJECT: APN 700-0-060-100, YERBA BUENA ROAD, MALIBU  
 ELEVATION: See Map  
 METHOD: 24" Flight Auger

FILE NO.: GC22-013278  
 DATE: 1/18/2022  
 DRILLING CO.: Roy Brothers Drilling, Inc.

SAMPLES		LAB DATA							GRAPHIC LOG	DESCRIPTION AND REMARKS
DEPTH (FT)	BULK	RING	MOISTURE (%)	DRY DENSITY (pcf)	COHESION (psf)	FRICTION ANGLE (deg)	OPTIMUM MOISTURE (%)	MAX. DENSITY (pcf)		
0										<b>COLLUVIUM / RESIDUAL SOIL - Qc/Rs - (0' - 2')</b> 0' - 2' - Dark reddish brown sandy clay, moist, stiff.
-										<b>TOPANGA FORMATION - Tt - (2' - 14')</b> 2' - 6' - Very weathered dark grayish brown clayey siltstone.
5										6' - 12' - Very dark gray siltstone, very fractured.
-										12' - 14' - Very hard siltstone.
-										End at 14' (coring required due to rock hardness)
15										
-										
-										
20										
-										
-										
25										
-										
-										
30										
-										
-										
35										
-										
-										
40										

TOTAL DEPTH: 14'  
 GROUNDWATER: NO  
 REFUSAL: YES, at 14'  
 CAVING: NO  
 BACKFILLED: YES

COMMENTS:



# **GOLD COAST GEOSERVICES, INC.**

*Engineering Geologic and Geotechnical Consultants*

---

July 18, 2022

File No. GC22-013278

**MICHAEL WEISBERG**

10715 Yerba Buena Road

Malibu, CA

**SUBJECT:** Response to County of Ventura Public Works Agency Memorandum for Proposed Single Family Residence, APN 700-0-060-100, Yerba Buena Road, Malibu, County of Ventura.

**REF.:** Gold Coast GeoServices, Inc., Geotechnical Report, Proposed Grading for Single Family Residence, Swimming Pool, and Access Road Improvements, APN 700-0-060-100, Yerba Buena Road, Malibu, County of Ventura; dated 4/5/22.

Dear Mr. Weisberg:

In accordance with your request, we have prepared the following responses to the comments and request for additional information contained in the Memorandum issued by the Ventura County Public Works Agency, dated July 5, 2022. The Memorandum is attached in reference to the following responses:

**ITEM #1.** The access road to the site through the existing, legal ingress/egress easement traverses portions of the area that has been previously mapped by others as “landslide”. No evidence of landslide debris or of any recent or historic landslide movement were observed within the area that is traversed by the access road. The slopes along the access road are gentle to moderate, typically not exceeding 3h:1v slope ratio. Road cuts along the access road alignment expose dense to very dense Topanga Formation. No landslide debris is exposed in any road cuts, and the topographic conditions along the access road alignment are uniform and not indicative of having resulted from a landslide.



The geologic map contained with Preliminary Report 14 issued in 1973 by the California Division of Mines and Geology (CDMG, now California Geological Survey or CGS) was the first geologic map that showed a very large, ancient, inactive landslide feature that encompasses approximately 10 parcels of approximately 10 acres or more including the subject site. The landslide area incorporates most of the subject parcel as well as the parcels to the south and north of this site. A subsequent geologic map by the Dibblee Geological Foundation (DGF) shows the same landslide area as mapped by the CDMG.

The landslide area mapped by the CDMG was apparently based entirely upon interpretation of topographic features that were considered to be suggestive of possible landslide origin. The shape of the CDMG mapped landslide area suggests the type of landslide would be classified as a very large debris flow that slid to the south. The length of the landslide feature is approximately 2,800 feet (over 1/2 mile long). Large debris flows occur within unconsolidated surficial materials, not within hard bedrock material such as the Topanga Formation and intrusive volcanic rocks that underlie this area of the Santa Monica Mountains. Debris flows typically result in chaotic and rocky deposits, however no such deposits are present along or adjacent to any areas of the access road alignment.

The designation of the large ancient inactive landslide was not verified by exploratory borings to definitively determine the composition or depth of landslide movement or to actually verify the landslide designation shown on the CDMG map in 1973. It is noted that the landslide designation was first shown with a question mark, indicating the possibility that the landslide designation may be incorrect. Subsequent mapping by Dibblee and on the County of Ventura GIS website show the landslide area as initially mapped, despite the fact that no actual or factual determination of the landslide designation has been made by the CDMG or from subsurface investigation by any geologic consultant.

A field reconnaissance of the entire CDMG mapped landslide area in conjunction with review of stereographic pairs of aerial photographs (dated 11/14/45 and 6/14/71) provided by the County of Ventura Public Works Agency were performed by the undersigned engineering geologist in review of the area mapped as landslide by others. No evidence of active or historic landslides was noted within this site, or within the area of the proposed access road. Exposures of the Topanga Formation are afforded in existing road cuts along the access road.

**ITEM #2.** Geologic Cross-Section B-B', attached herewith, was extended to the south in the down dip direction. The descending slope area along the southerly side of the proposed building site does not exceed 3h:1v slope ratio. The bedding plane structure is folded or crenulated and is intruded by volcanic rocks, which effectively precludes the potential for bedding plane or translational type slope failure on the slopes that descend to the south in the down dip direction from the proposed building site. As shown on Geologic Cross-Section B-B', attached herewith in Appendix II, no daylighted bedding plane conditions occur on the southerly trending slope areas.

**ITEM #3.** The proposed seepage pit locations are adequately and safely removed from the landslide area mapped by the CDMG and Dibblee, about 150 feet east from the proposed seepage pit locations. Effluent migration from the seepage pits will occur along high angle fractures and predominantly high angle, southeast dipping bedding planes, so that effluent migration to the mapped landslide area or to the steeper slopes along the westerly side of the site will not occur. The slope area adjacent to the seepage pits does not exceed 3h:1v slope ratio and is underlain by very dense bedrock lacking adverse geologic conditions.



**WEISBERG  
YERBA BUENA ROAD**

**FILE NO. GC22-013278**

**REMARKS**

Please call this office at (805) 484-5070 if you have any questions regarding any of our responses to the review items listed, or any other geologic or geotechnical engineering aspects of this project.

Respectfully submitted,  
**GOLD COAST GEOSERVICES, INC.**



Scott J. Hogrefe, CEG 1516

**WEISBERG  
YERBA BUENA ROAD**

**FILE NO. GC22-013278**

**APPENDIX I**  
**COUNTY OF VENTURA MEMORANDUM**




County of Ventura  
Public Works Agency  
Engineering Services Department  
MEMORANDUM

---

**Date:** July 5, 2022

**To:** John Oquendo, Case Planner, RMA Planning Division

**From:**  Jim O'Tousa, CEG, Land Development Services

**Subject:** Grading and Geology Review – Land Development Services (1<sup>st</sup> Review)

**Reference:** PL22-0082, Weisberg  
[Yerba Buena Road, APN 700-0-060-010]

1. Application Materials
2. Gold Coast Geoservices, April 5, 2022, Geotechnical Report, Proposed Grading for Single-Family Residence, Swimming Pool, and Access Road Improvements, APN 700-0-060-100, Yerba Buena Road, Malibu, County of Ventura.

The application is **INCOMPLETE** for Geology and Grading review. The following comments shall be addressed:

Geology:

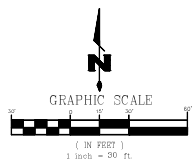
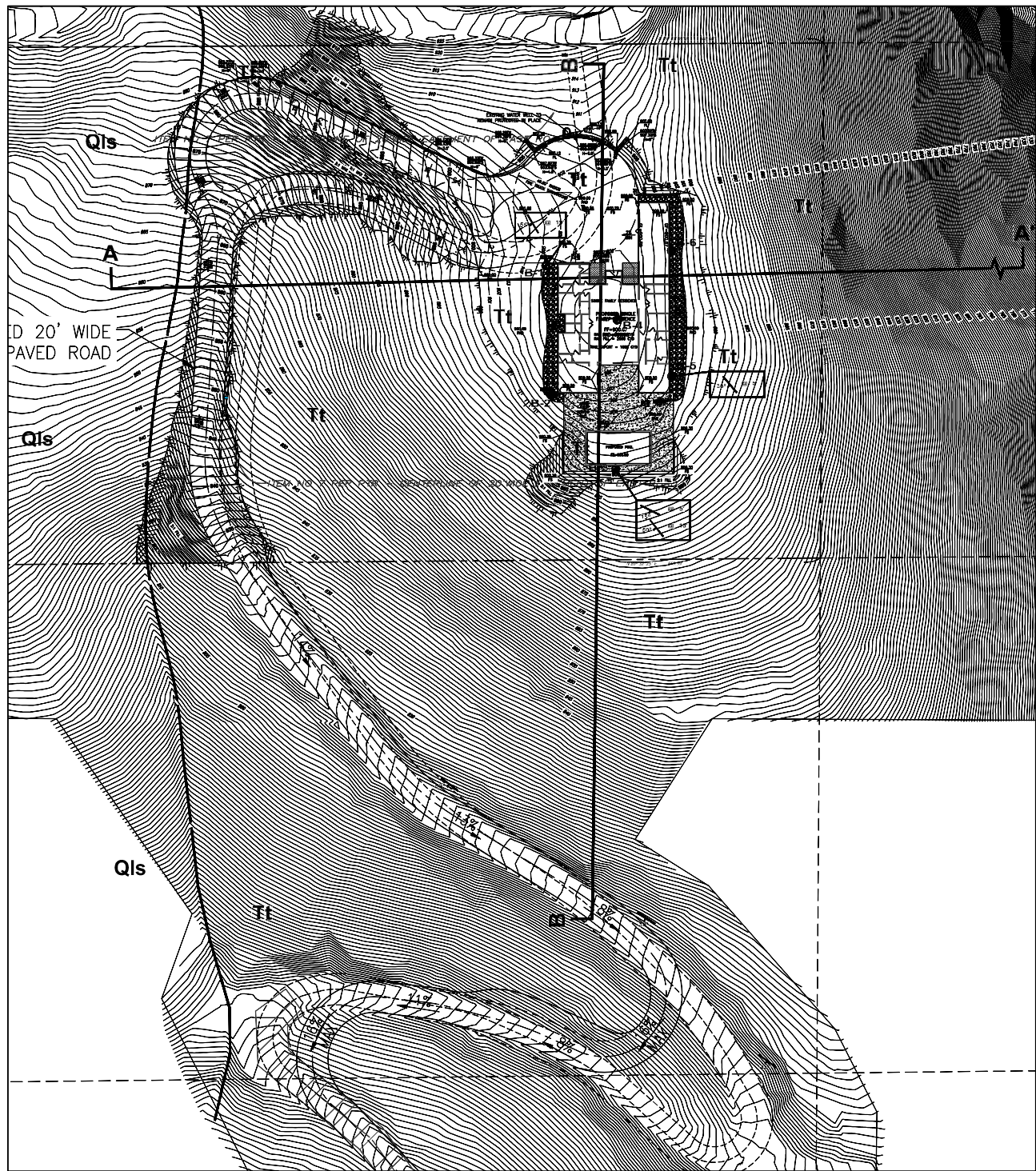
1. The geotechnical report needs to address the access road with respect to all weather conditions and future stability (road fills, road cuts and global) and considering the road crosses mapped landslide(s). Please provide appropriate geologic data and analysis to demonstrate permanent all-weather access to the building site.
2. Please provide cross-sections in the down dip direction and address slope stability utilizing appropriate shear strength parameters and water surface elevations.
3. Demonstrate long term use of the seepage pits will not contribute to landslide movement.
4. Additional comments may be presented upon submittal of above information.

End of Text

**WEISBERG  
YERBA BUENA ROAD**

**FILE NO. GC22-013278**

**APPENDIX II  
GEOTECHNICAL AND GEOLOGIC CROSS-SECTION**

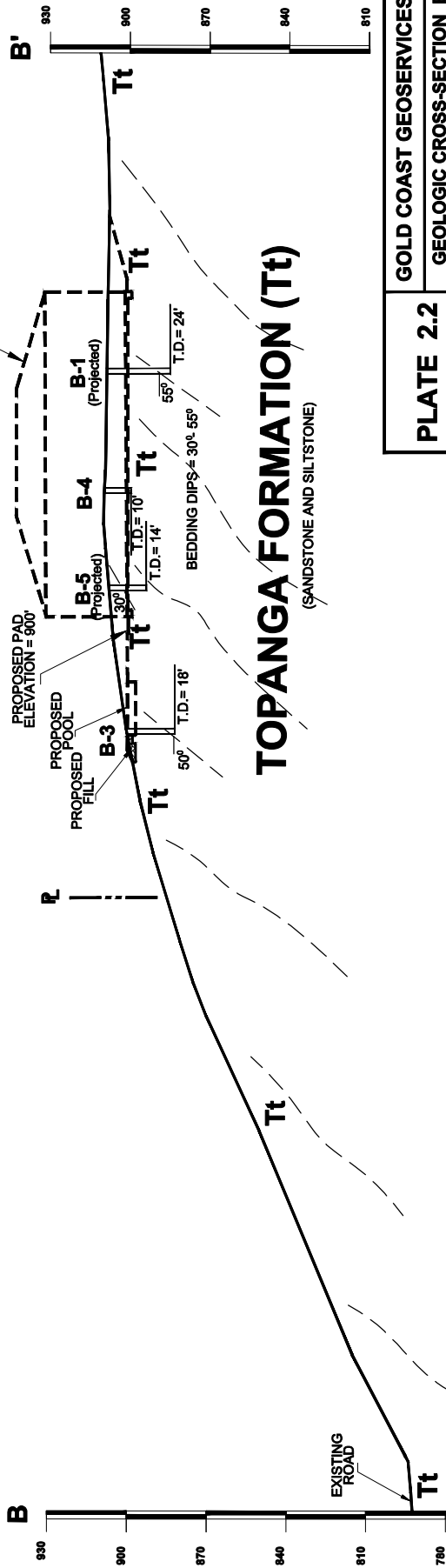


**GEOLOGIC LEGEND**

- Q1s** LANDSLIDE (per DIBBLEE)
- Tt** TOPANGA FORMATION (Siltstone and Sandstone)
- B-1** APPROXIMATE LOCATION OF EXPLORATORY BORING
- STRIKE AND DIP OF BEDDING
- APPROXIMATE LIMITS OF LANDSLIDE (Per DIBBLEE)
- GEOLOGIC CROSS-SECTION

<b>PLATE 1.1</b>		<b>GOLD COAST GEOSERVICES, INC.</b>	
<b>GEOLOGICAL MAP</b>			
APN 700-0-060-100, YERBA BUENA ROAD, MALIBU			
DATE: 07-25-2022	SIZE: D	CLIENT: WEISBERG	REV:
FILE NO: GC22-013278	SCALE: 1" = 30'	DRAWN BY: IM	APPROVED BY: SJH
5251 VERKOUZ WAY, SUITE J, CAMARILLO, CA 93012   (805) 464-3070			

**GEOLOGIC CROSS-SECTION B - B'**



<b>PLATE 2.2</b>		<b>GOLD COAST GEOSERVICES, INC.</b>	
<b>GEOLOGIC CROSS-SECTION B - B'</b>		APN 700-0-060-100, YERBA BUENA ROAD, MALIBU	
DATE: 02-28-2022	SIZE: B	CLIENT: WEISBERG	REV: 07-2022
FILE NO: GC22-013278	SCALE: 1" = 30'	DRAWN BY: IM	APPROVED BY: SJH
5281 VERDEGRO WAY, SUITE J • CAMARILLO, CA 93012 • (805) 464-8070			



# HYDROLOGY & HYDRAULICS REPORT

---

APN: 700-00-601-0, Vacant Lot in Malibu, CA

Prepared for:

Michael Weisberg  
10715 Yerba Buena Rd.  
Malibu, CA 90265  
805.444.4294

Prepared by:

Chris Nelson & Associates, Inc.  
28118 Agoura Rd. Ste 100  
Agoura Hills, CA 91301  
818.991.1040

Date Prepared: July 2022



*George Mekhael*  
7.29.22

County of Ventura  
Initial Study/ Mitigated Negative  
Declaration  
Case No. PL22-0082  
Attachment 8 - Hydrology &  
Hydraulics Report (Chris Nelson &  
Associates, Inc., July 2022)

# TABLE OF CONTENTS

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Appendix A : Rainfall Zone

Appendix B : Soil Type

Appendix C : Rainfall Intensity

Appendix D : Runoff Coefficient Curve

Appendix E: Drainage Map

Appendix F: Design Storm Ratios

Appendix G : Geotechnical Map

# DRAINAGE REPORT AND HYDROLOGY CALCULATIONS

## 1. INTRODUCTION

### 1.0 ADDRESS

Vacant Lot off yerba Buena Rd in Malibu, CA (APN: 700-00-601-0)

### 1.1 REFERENCE

Hydrology Manual – 2017, Ventura County Watershed Protection District

### 1.2 PROJECT DESCRIPTION

This report presents the hydrologic and hydraulic analyses for the property which is located ~1,300 feet north of 10715 Yerba Buena Road in the City of Malibu, County of Ventura. The proposed development is a single-family residence. The entire site exists as an undeveloped lot. The site is bounded by undeveloped lots to the north, east, west, and south. 10753 Yerba Buena Road is located to the northwest corner of the site.

### 1.3 LOCATION MAP

The project site is shown highlighted on the location map below (Fig.1).

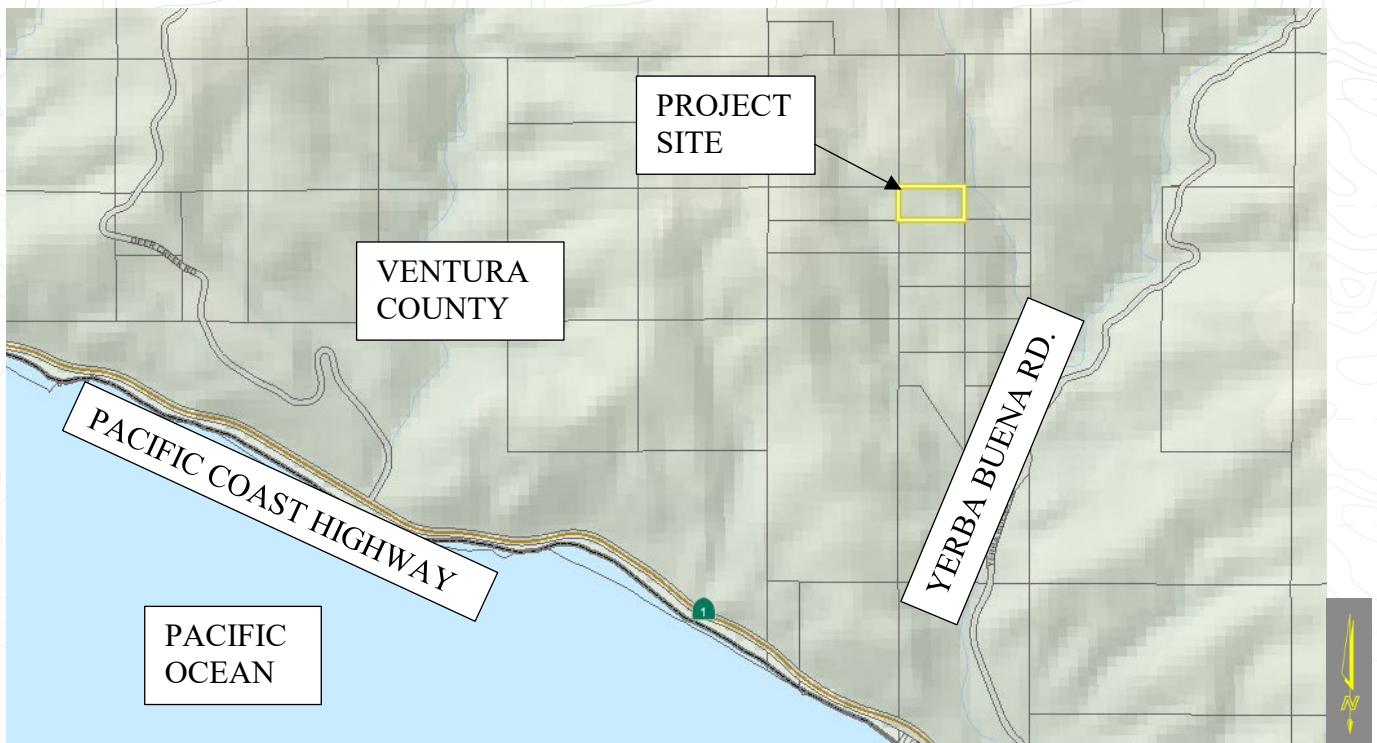


Figure 1. Site Location

## 2. HYDROLOGY

The purpose of this report is to study the flows for both the pre- and post-development conditions for the 10yr storm frequency with the following design criteria:

- $Q_{10} = C_{10} \times I_{10} \times A$ , where
- $Q_{10}$  = 10-year storm flow rate in cubic feet per second (cfs)
- $C_{10}$  = 10-year storm runoff coefficient
- $I_{10}$  = 10-year storm maximum rainfall intensity (in/hr)
- $A$  = Drainage area (ac)

Since, the tributary areas are less than 5 acres (Exhibit E),  $t_c$  is considered to be 5 minutes. Also, the site is located within Zone L (Exhibit A). Therefore, rainfall intensity is 4.31 in/hr (Exhibit C).

The soil type (Exhibit B) and percentages of perviousness for the property before and after construction were incorporated in the runoff coefficient curve (Exhibit D). Based on this curve the runoff coefficient,  $C$ , is 0.95 for pre-development and 0.95 for post-development calculations.

Using the formula above, we get the following flowrates:

$$Q_{\text{pre-construction}} = 4.31 \times 0.95 \times (0.39 + 0.12) = 2.09 \text{ (cfs)}$$

$$Q_{\text{post-construction}} = 4.31 \times 0.95 \times (0.39 + 0.12) = 2.09 \text{ (cfs)}$$

The difference between pre- and post-development flowrate is  $2.09 - 2.09 = 0.00$  (cfs) which signifies absolutely no change in overall site run-off. Because of this, the requirements of Subsection J105.3.5 [3] of County Building Code Appendix J are not applicable to this study. However, Table 4 demonstrates the before and after differences of the  $Q_2$ ,  $Q_{50}$ , and  $Q_{100}$  storm events by using the multiplicative factors determined from the Design Storm Ratios in Exhibit F. All storm drain events have zero changes in before and after flowrates.

Table 1. Comparison of Different Storm Events

Storm Event (yrs)	$Q_{10}$ Factor	Pre-Development Flowrate	Post-Development Flowrate	Before and After Difference
$Q_2$	0.29	0.61	0.61	0.00
$Q_{10}$	1.00	2.09	2.09	0.00
$Q_{50}$	1.56	3.26	3.26	0.00
$Q_{100}$	1.76	3.68	3.68	0.00

The exhibits in Table 2 are attached at the end of this report.

Table 2. Exhibits

Exhibit	Reference	Criteria	Comment
A	Manual	Rainfall Zone	L
B	Ventura County Watershed Website	Soil Type	1
C	Manual	$I_{10}$	4.31 in/hr
		Time of Concentration ( $T_c$ )	5 min
D	Manual	$C_{10}$ values	See Tables 2 & 3
E	Grading Plan	Drainage Areas	See Tables 2 & 3
F	Manual	Pipe Drainage Capacities	See Table 3
		$Q_{10}$ Factors	See Table 4
G	Soils Report	Site Geology	

### 3. HYDRAULICS

#### 3.1 CALCULATIONS

The pipe drainage capacities were calculated based on Flow Master Software and are shown in Table All storm drain pipes are SCH 40 PVC with fixed slope of 2% throughout the site. The pipe sizes are 6" diameter and confluence into 8" diameter. The 8" diameter pipe will be connecting the drains at the west side of tributary area A to a riprap apron.

The following tables indicate both the pre-development and post-development conditions, including the results from hydrological analysis.

Table 3. Pre-Development Conditions

Subarea	Area (Acres)	10-year Peak Flowrate ( $Q_{10}$ )
A	0.39	1.56
B	0.12	0.50

Table 3. Post-Development Conditions

Subarea	Area (Acres)	10-year Peak Flowrate (Q <sub>10</sub> )	Pipe Drainage Capacity (cfs)	Comment
A	0.39	1.58	2.02	ok
B	0.12	0.50	0.52	ok

### ASPHALT ROAD NOTE

The use of pervious asphalt will be utilized on all roadways and driveways. This, along with soil type 1 conditions, will result in 0% change in runoff before and after construction.

### 3.2 EROSION CONTROL

There are two riprap stone structures located at the west side of the building and pool (Exhibit E). The riprap pads are 6' long, 3.5' wide, and 9" deep structures. The smallest dimensions of the rocks on the ripraps exceed 6" and the largest dimensions do not exceed 24". There will be a grout bed of at least 2" beneath the first layer of rock and all the voids between the rocks will be filled with grout with a 2" maximum spacing between rocks. The grouted riprap structure is non-erosive and will break up the water flow and discharge it to the existing surface.

### 3.3 FURTHER CONSIDERATION

According to the Project soils report, almost the entire property and 100% of the disturbed area is underlain by Topanga Formation Bedrock, shown as "Tt" on the site geology map (Exhibit G). This dense bedrock essentially allows for 0% infiltration and thereby equates the existing ground with concrete, roofing, or any other impervious surface.

## 4. CONCLUSION

The difference between the cumulative pre- and post-development flowrates for 10-year storm event is 0.00 cfs. This result provides substantial proof that the post-development conditions will generally maintain similar drainage patterns to the pre-development drainage conditions.

To perform the hydraulics analysis for this project, two post-construction subareas were considered (Exhibit E). Based on the flowrate formula from the Ventura Hydrology Manual, post development flowrates for each subarea were calculated to be:

$$Q_{10-A} = 1.58 \text{ cfs}$$

$$Q_{10-B} = 0.50 \text{ cfs}$$

Using Flow Master Software, the pipe capacities for each subarea were found to be:

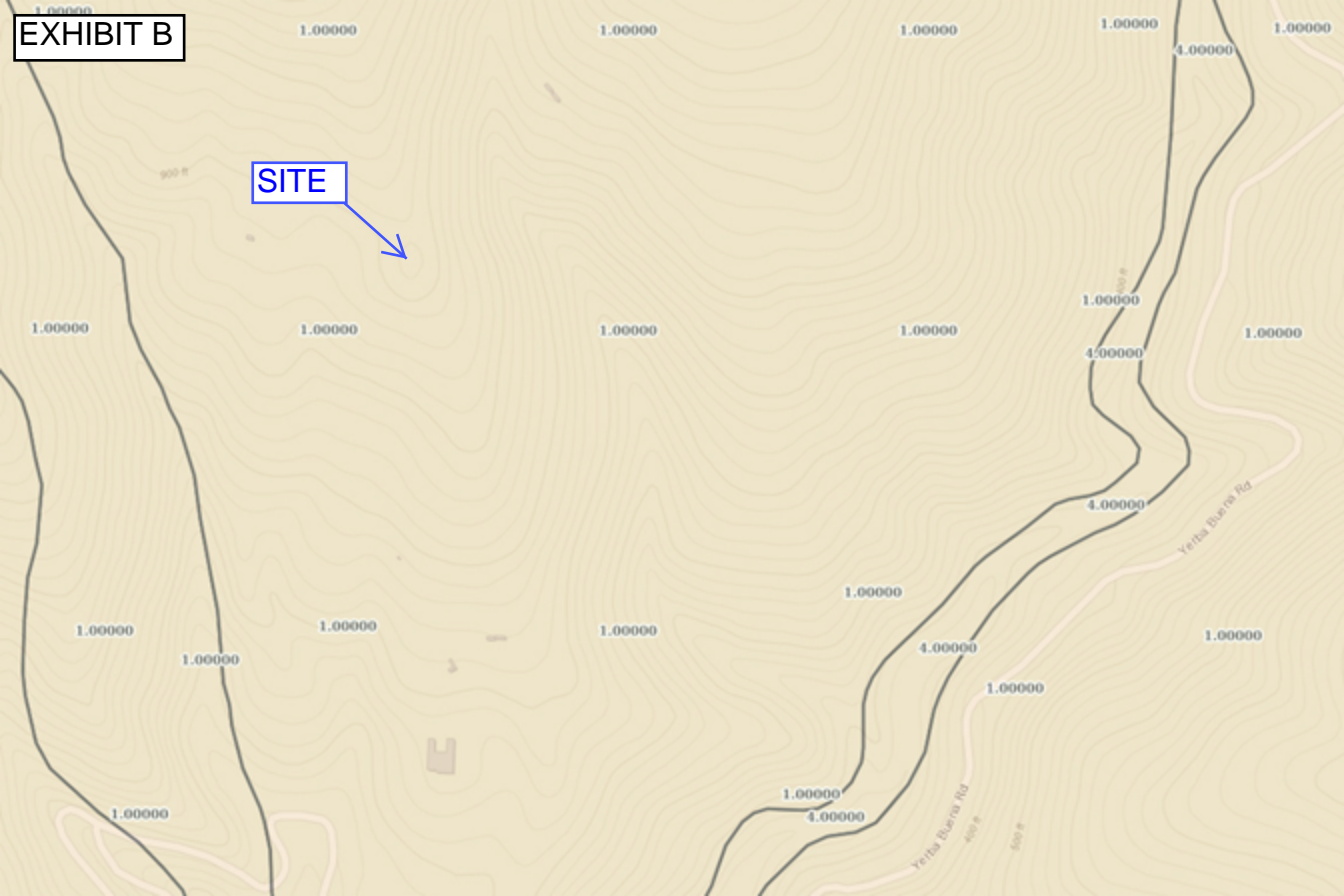
$$Q_{\text{PIPE-A}} = 2.02 \text{ cfs (which is greater than 1.58 cfs)}$$

$$Q_{\text{PIPE-B}} = 0.52 \text{ cfs (which is greater than 0.50 cfs)}$$

The pipes on each subarea have the necessary capacity to convey the runoff from a 10-year storm event.



EXHIBIT B



SITE





## APPENDIX A

## EXHIBITS

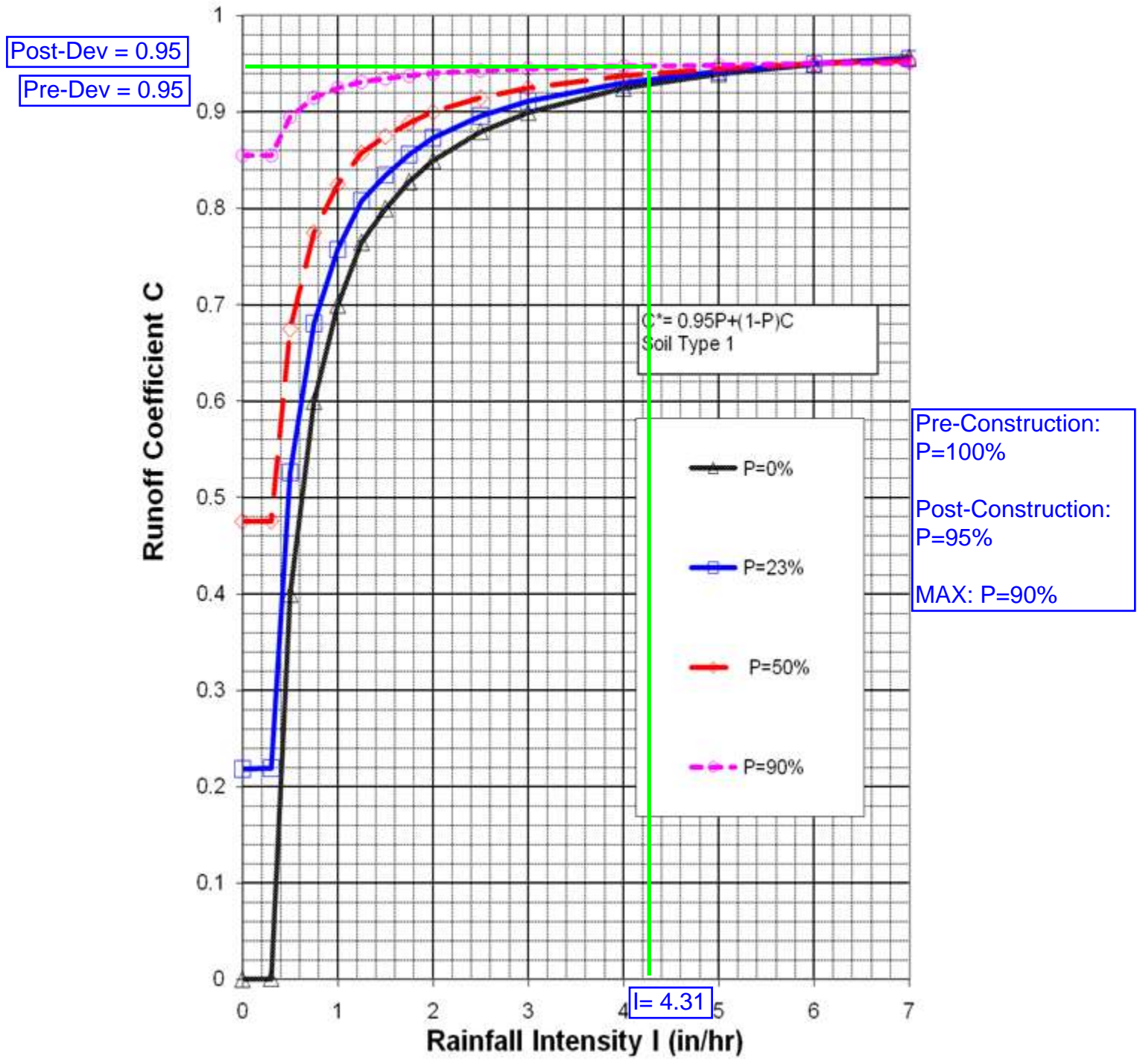
## EXHIBIT 3. LEGACY Tc RAINFALL INTENSITIES

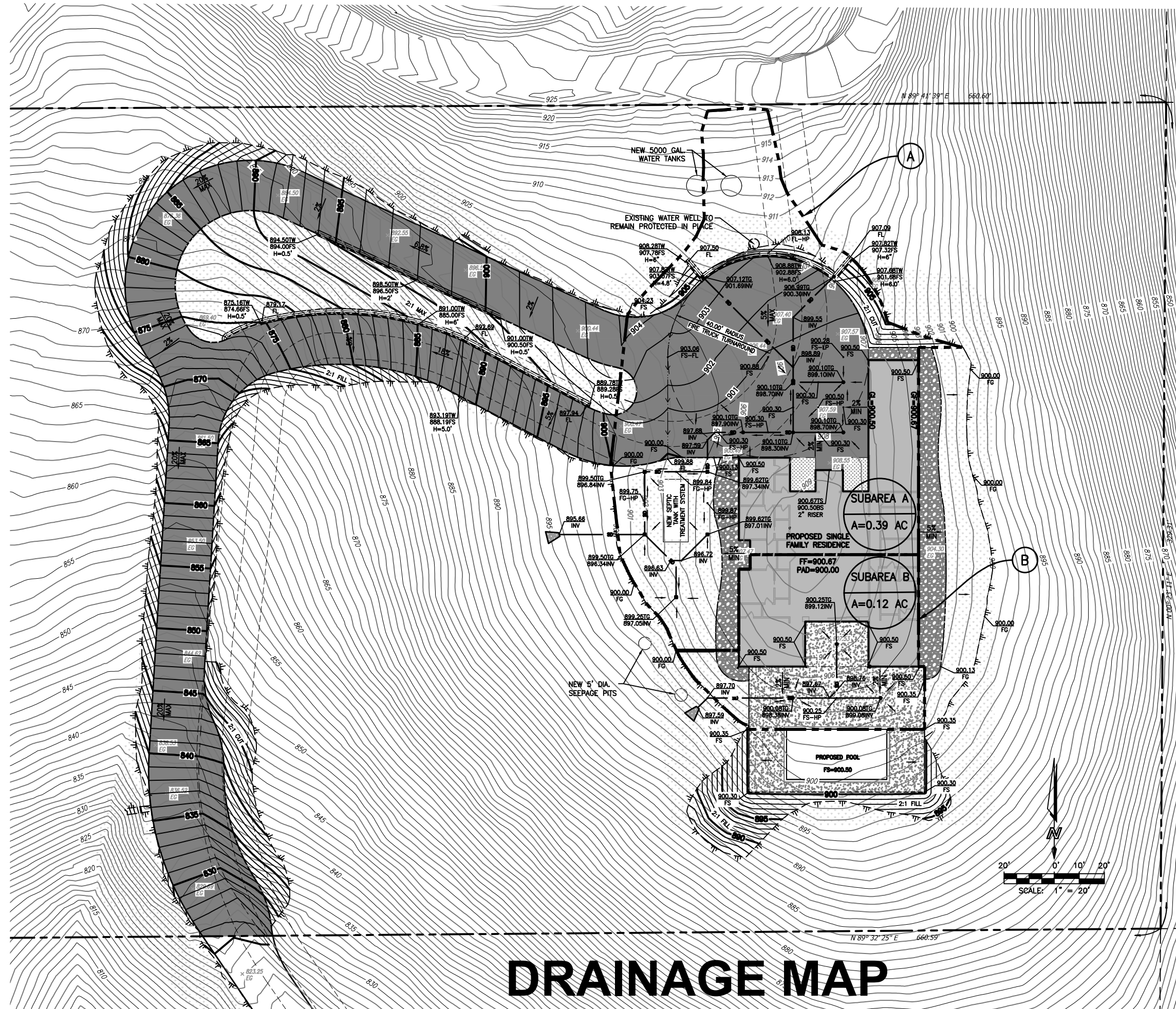
Zone	J	Jp	K	L	J	Jp	K	L	J	Jp	K	L	J	Jp	K	L
Year	10	10	10	10	25	25	25	25	50	50	50	50	100	100	100	100
Cum. Rain (in.)	3.17	4.38	5.53	7.21	3.91	5.28	6.41	8.81	5.0	6.0	8.0	11.0	7.0	6.66	10.6	15.0
Tc (min)	Rainfall Intensity (in/hr)															
5	2.16	2.16	3.72	4.31	2.64	3.34	4.27	4.94	2.94	3.79	4.55	5.58	3.23	4.06	5.10	6.11
6	2.02	2.01	3.40	3.90	2.52	2.94	3.80	4.39	2.80	3.34	4.10	5.05	2.90	3.55	4.59	5.43
7	1.86	1.90	3.09	3.56	2.30	2.65	3.45	3.99	2.55	3.01	3.77	4.63	2.67	3.19	4.23	4.95
8	1.74	1.82	2.86	3.30	2.14	2.58	3.19	3.69	2.36	2.93	3.52	4.28	2.50	2.99	3.95	4.58
9	1.63	1.76	2.68	3.07	1.99	2.44	2.99	3.45	2.21	2.77	3.33	4.00	2.36	2.87	3.74	4.30
10	1.53	1.70	2.52	2.86	1.87	2.29	2.81	3.24	2.08	2.60	3.16	3.76	2.25	2.78	3.57	4.07
11	1.45	1.64	2.40	2.70	1.76	2.17	2.66	3.07	1.95	2.46	3.02	3.56	2.13	2.67	3.39	3.88
12	1.38	1.59	2.29	2.56	1.66	2.07	2.53	2.92	1.85	2.35	2.90	3.39	2.02	2.58	3.23	3.72
13	1.33	1.55	2.20	2.44	1.58	1.98	2.43	2.80	1.76	2.25	2.80	3.25	1.94	2.49	3.10	3.59
14	1.28	1.51	2.12	2.34	1.52	1.90	2.34	2.70	1.68	2.16	2.72	3.13	1.86	2.42	2.99	3.47
15	1.23	1.47	2.04	2.25	1.46	1.84	2.26	2.60	1.62	2.09	2.62	3.02	1.80	2.36	2.89	3.37
16	1.18	1.43	1.98	2.18	1.40	1.78	2.18	2.50	1.56	2.02	2.54	2.92	1.73	2.29	2.79	3.25
17	1.14	1.39	1.92	2.11	1.36	1.73	2.12	2.42	1.50	1.96	2.47	2.83	1.67	2.22	2.70	3.14
18	1.11	1.35	1.86	2.04	1.31	1.68	2.06	2.34	1.45	1.90	2.41	2.75	1.61	2.16	2.62	3.05
19	1.07	1.32	1.82	1.99	1.27	1.63	2.01	2.28	1.41	1.86	2.35	2.68	1.56	2.11	2.55	2.96
20	1.04	1.29	1.77	1.94	1.24	1.60	1.96	2.22	1.37	1.81	2.29	2.62	1.52	2.07	2.49	2.88
21	1.02	1.26	1.73	1.90	1.20	1.55	1.91	2.17	1.33	1.76	2.23	2.55	1.48	2.03	2.43	2.82
22	0.99	1.23	1.68	1.85	1.17	1.51	1.87	2.12	1.30	1.72	2.17	2.49	1.44	1.99	2.36	2.76
23	0.97	1.21	1.65	1.82	1.14	1.48	1.83	2.07	1.27	1.68	2.12	2.44	1.41	1.95	2.31	2.70
24	0.95	1.19	1.62	1.78	1.12	1.44	1.79	2.03	1.24	1.64	2.07	2.39	1.38	1.92	2.26	2.65
25	0.93	1.16	1.58	1.75	1.09	1.41	1.76	1.99	1.21	1.61	2.03	2.34	1.35	1.89	2.22	2.60
26	0.90	1.14	1.56	1.72	1.07	1.39	1.73	1.96	1.18	1.57	1.98	2.29	1.32	1.86	2.17	2.56
27	0.88	1.13	1.53	1.68	1.05	1.36	1.70	1.92	1.16	1.54	1.94	2.25	1.29	1.83	2.13	2.51
28	0.87	1.11	1.50	1.66	1.03	1.34	1.67	1.89	1.14	1.52	1.90	2.21	1.27	1.80	2.09	2.46
29	0.85	1.09	1.48	1.63	1.01	1.31	1.64	1.87	1.12	1.49	1.87	2.17	1.24	1.77	2.05	2.42
30	0.83	1.08	1.46	1.61	0.99	1.29	1.61	1.84	1.10	1.47	1.84	2.13	1.22	1.74	2.02	2.38

# APPENDIX A

# EXHIBITS

### EXHIBIT 6A. LEGACY RUNOFF COEFFICIENT CURVE- SOIL 1 (NRCS TYPE D)





# DRAINAGE MAP

## APPENDIX A

## EXHIBITS

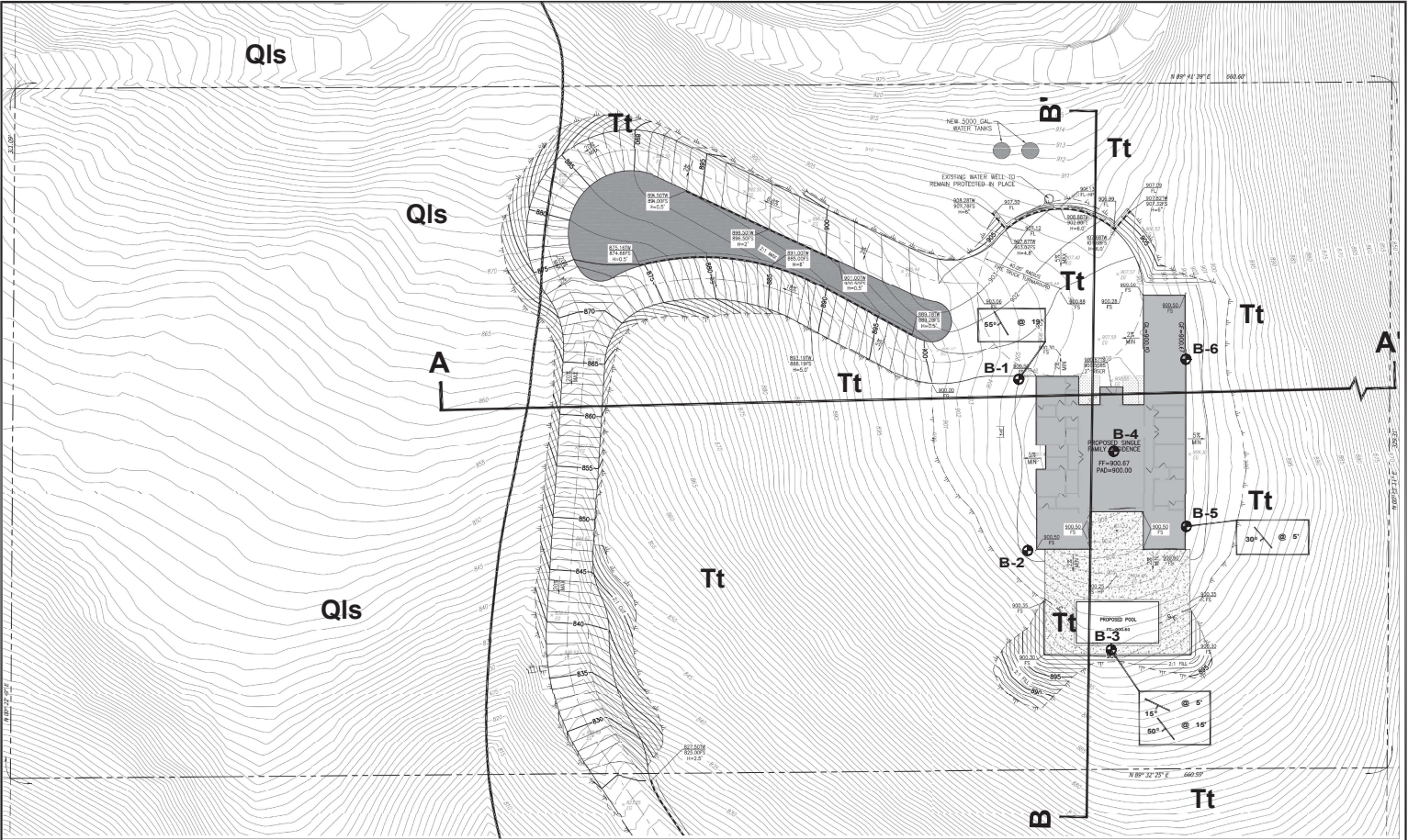
## EXHIBIT 21. DESIGN STORM RATIOS

Category (1)	2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	200-yr	500-yr
Precipitation	0.43	0.61	0.73	0.88	1.00	1.11	Not Analyzed	Not Analyzed
Undeveloped- HMS & HSPF, Updated VCRat	0.043	0.144	0.262	0.484	0.711	1.000	1.345	1.952
Developed HMS & HSPF, Updated VCRat	0.166	0.330	0.464	0.660	0.882	1.000	1.191	1.502
Undeveloped- Legacy VCRat (2)	0.043	0.144	0.362	0.484	0.711	1.000	1.345	1.952
Developed Legacy VCRat (2)	0.166	0.330	0.567	0.660	0.882	1.000	1.191	1.502
<b>Q<sub>10</sub> Factor</b>	<b>0.29</b>		<b>1.00</b>		<b>1.56</b>	<b>1.76</b>		
Casitas Dam Outflow	0.005	0.030	0.048	0.110	0.143	1.000	1.191	1.448
Coyote Ck below Dam	0.005	0.100	0.200	0.400	0.580	1.000	1.191	1.416
Piru Ck Below Dam	0.031	0.042	0.061	0.136	0.805	1.000	1.183	1.463

Note (1): Ratios cannot be used for watersheds with detention basins or water storage dams affecting more than 10% of the area except for those developed specifically for dam outflow (Casitas and Piru).

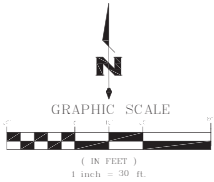
Note (2): VCRat ratios provided for reference only as current practice is to run the model using the correct Tc's and rainfall for all storms required for design studies. In rare cases it may be necessary to use the multipliers in VCRat studies such as estimating 10-yr peaks from Soil Type 7 in the J' zone.

Note (3): Calleguas Watershed VCRat models have specific ratios that can be provided on request.



**GEOLOGIC LEGEND**

- Q1s** LANDSLIDE (per DIBBLEE)
- Tt** TOPANGA FORMATION (Siltstone and Sandstone)
- B-1** APPROXIMATE LOCATION OF EXPLORATORY BORING
- STRIKE AND DIP OF BEDDING
- GEOLOGIC CROSS-SECTION



<b>PLATE 1</b>		<b>GOLD COAST GEOSERVICES, INC.</b>	
<b>GEOTECHNICAL MAP</b>			
APN 700-0-060-100, YERBA BUENA ROAD, MALIBU			
DATE: 02-28-2022	SIZE: C	CLIENT: WEISBERG	REV:
FILE NO: GC22-013278	SCALE: 1" = 30'	DRAWN BY: IM	APPROVED BY: SJH
5251 VERDUGO WAY, SUITE 1 • CAMARILLO, CA 93012 • (805) 484-8070			
PREPARED BY: <b>CHRIS NELSON &amp; ASSOCIATES, INC.</b> SURVEYORS AND ENGINEERS		APPROVED: COUNTY OF VENTURA DATE: _____ BY: _____ DEVELOPMENT & INSPECTION SERVICES	
COUNTY OF VENTURA PUBLIC WORKS AGENCY DEVELOPMENT & INSPECTION SERVICES		CONCEPTUAL GRADING PLAN YERBA BUENA PROPERTY COUNTY OF VENTURA APN: 700-0-060-100	
DESCRIPTION OF REVISION RCE DATE APP. APP. DATE		SHEET NO. 2 OF 2 DRAWING NO.	

DESCRIPTION OF REVISION	RCE	DATE	APP.	APP. DATE

PL22-0082 Yerba Buena SFD GHG - Ventura County APCD Air District, Annual

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied**

**PL22-0082 Yerba Buena SFD GHG  
Ventura County APCD Air District, Annual**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Single Family Housing	1.00	Dwelling Unit	0.32	4,880.00	3

**1.2 Other Project Characteristics**

<b>Urbanization</b>	Urban	<b>Wind Speed (m/s)</b>	2.6	<b>Precipitation Freq (Days)</b>	31
<b>Climate Zone</b>	8	<b>Operational Year</b>	2024		
<b>Utility Company</b>	Southern California Edison				
<b>CO2 Intensity (lb/MW hr)</b>	390.98	<b>CH4 Intensity (lb/MW hr)</b>	0.033	<b>N2O Intensity (lb/MW hr)</b>	0.004

**1.3 User Entered Comments & Non-Default Data**

- Project Characteristics -
- Land Use - per applicant
- Construction Phase - per applicant
- Grading -
- Architectural Coating - per APCD Rule 74.2, Architectural Coatings
- Energy Use - per applicant, solar panels will power home's electric needs

Table Name	Column Name	Default Value	New Value
tblArchitecturalCoating	EF_Nonresidential_Exterior	100.00	50.00
tblArchitecturalCoating	EF_Nonresidential_Interior	100.00	50.00
tblArchitecturalCoating	EF_Residential_Exterior	100.00	50.00
tblArchitecturalCoating	EF_Residential_Interior	75.00	50.00

County of Ventura  
Initial Study/ Mitigated Negative Declaration  
Case No. PL22-0082  
Attachment 9 - CalEEMod Greenhouse Gases for Air Quality Impact Model for PL22-0082

PL22-0082 Yerba Buena SFD GHG - Ventura County APCD Air District, Annual

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied**

tblConstructionPhase	NumDays	100.00	330.00
tblConstructionPhase	NumDays	10.00	0.00
tblConstructionPhase	NumDays	2.00	30.00
tblConstructionPhase	PhaseEndDate	3/8/2023	1/24/2024
tblConstructionPhase	PhaseEndDate	10/14/2022	10/2/2022
tblConstructionPhase	PhaseEndDate	10/19/2022	11/28/2022
tblEnergyUse	NT24E	6,155.97	0.00
tblEnergyUse	T24E	53.28	0.00
tblLandUse	LandUseSquareFeet	1,800.00	4,880.00

**2.0 Emissions Summary**

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PL22-0082 Yerba Buena SFD GHG - Ventura County APCD Air District, Annual

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied**

**2.2 Overall Operational**

**Mitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area																0.0124
Energy																1.5697
Mobile																8.3754
Waste																0.6186
Water																0.3213
<b>Total</b>																<b>10.8973</b>

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
<b>Percent Reduction</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

**3.0 Construction Detail**

**Construction Phase**

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	10/3/2022	10/2/2022	5	0	
2	Site Preparation	Site Preparation	10/15/2022	10/17/2022	5	1	
3	Grading	Grading	10/18/2022	11/28/2022	5	30	

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4	Building Construction	Building Construction	10/20/2022	1/24/2024	5	330
5	Paving	Paving	3/9/2023	3/15/2023	5	5
6	Architectural Coating	Architectural Coating	3/16/2023	3/22/2023	5	5

**Acres of Grading (Site Preparation Phase): 0.5**

**Acres of Grading (Grading Phase): 22.5**

**Acres of Paving: 0**

**Residential Indoor: 9,882; Residential Outdoor: 3,294; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 0 (Architectural Coating – sqft)**

**OffRoad Equipment**

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	1.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	2	6.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Grading	Graders	1	6.00	187	0.41
Grading	Rubber Tired Dozers	1	6.00	247	0.40
Grading	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Building Construction	Cranes	1	4.00	231	0.29
Building Construction	Forklifts	2	6.00	89	0.20
Building Construction	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Paving	Cement and Mortar Mixers	4	6.00	9	0.56
Paving	Pavers	1	7.00	130	0.42
Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48







































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**4.0 Operational Detail - Mobile**

**4.1 Mitigation Measures Mobile**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e	
Category	tons/yr										MT/yr						
Mitigated																	8.3754
Unmitigated																	8.3754

**4.2 Trip Summary Information**

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Single Family Housing	9.44	9.54	8.55	25,772	25,772
Total	9.44	9.54	8.55	25,772	25,772

**4.3 Trip Type Information**

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Single Family Housing	10.80	7.30	7.50	32.90	18.00	49.10	86	11	3

**4.4 Fleet Mix**

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Single Family Housing	0.548670	0.058343	0.171689	0.130773	0.027316	0.007545	0.011806	0.006161	0.000681	0.000392	0.029028	0.000637	0.006958





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**5.3 Energy by Land Use - Electricity**

**Unmitigated**

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Single Family Housing	1608.84				0.2868
<b>Total</b>					<b>0.2868</b>

**Mitigated**

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Single Family Housing	1608.84				0.2868
<b>Total</b>					<b>0.2868</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**





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**6.2 Area by SubCategory**

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e	
SubCategory	tons/yr										MT/yr						
Architectural Coating																	0.0000
Consumer Products																	0.0000
Hearth																	0.0000
Landscaping																	0.0124
<b>Total</b>																	<b>0.0124</b>

**7.0 Water Detail**

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**7.1 Mitigation Measures Water**

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	Total CO2	CH4	N2O	CO2e
Category	MT/yr			
Mitigated				0.3213
Unmitigated				0.3213

**7.2 Water by Land Use**

**Unmitigated**

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Single Family Housing	0.065154 / 0.0410754				0.3213
<b>Total</b>					<b>0.3213</b>

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**7.2 Water by Land Use**

Mitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Single Family Housing	0.065154 / 0.0410754				0.3213
<b>Total</b>					<b>0.3213</b>

**8.0 Waste Detail**

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**8.1 Mitigation Measures Waste**

Category/Year

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated				0.6186
Unmitigated				0.6186

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**8.2 Waste by Land Use**

**Unmitigated**

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Single Family Housing	1.23				0.6186
<b>Total</b>					<b>0.6186</b>

**Mitigated**

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Single Family Housing	1.23				0.6186
<b>Total</b>					<b>0.6186</b>

**9.0 Operational Offroad**

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Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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**10.0 Stationary Equipment**

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**Fire Pumps and Emergency Generators**

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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## ATTACHMENT 10 - WORKS CITED

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