



Planning Director Staff Report Hearing on September 28, 2023

County of Ventura • Resource Management Agency

800 S. Victoria Avenue, Ventura, CA 93009 • (805) 654-2478 • www.vcrma.org/divisions/planning

Agmalian Planned Development Permit Case No. PL17-0081

A. PROJECT INFORMATION

1. **Request:** The applicant requests approval of a Planned Development (PD) Permit for the construction of 5 dwellings on the project site (Case No. PL17-0081¹).
2. **Applicant/Property Owner:** Artak Agmalian, 5225 Weller Dr. Woodland Hills, CA 91367
3. **Decision-Making Authority:** Pursuant to the Ventura County Non-Coastal Zoning Ordinance (NCZO) (Section 8105-4 and Section 8111-1.2 et seq.), the Planning Director is the decision-maker for the requested PD Permit.
4. **Project Site Size, Location, and Parcel Number:** The 1.09 acre project site is located on undeveloped land adjacent to Topa View Terrace in the unincorporated Ventu Park neighborhood of Thousand Oaks. The project site is located approximately 303 feet from the intersection of Topa View Terrace and Kathleen Drive. Rudolph Road abuts the project site at the eastern property line, and Topa View Terrace abuts the project site at the western property line. The Tax Assessor's Parcel Numbers that constitute the project site are 673-0-150-300, 673-0-150-400, 673-0-150-410, 673-0-150-420, 673-0-150-640, 673-0-150-770, 673-0-150-790, 673-0-150-800, 673-0-150-810, and 673-0-150-820 (Exhibit 2).
5. **Project Site Land Use and Zoning Designations (Exhibit 2):**
 - a. Countywide General Plan Land Use Map Designation: Existing Community-Urban Residential
 - b. Thousand Oaks Area Plan Land Use Designation: Urban Residential 2-4 DU/AC (2-4 Dwelling Units per Acre)
 - c. Zoning Designation: RA-1 ac/SRP (Rural Agriculture, 1-acre minimum lot size, Scenic Resource Protection Overlay Zone)

¹ Parcel Map Waiver Lot Line Adjustment Case No. PL15-0078 was a request by the applicant to merge cabin site nos. 94, 95, 96 (APNs 673-0-150-775 and 673-0-150-815) into one lot and cabin site nos. 97, 98 and 99 into one lot (APNs 673-0-150-795 and 673-0-150-825). This application was withdrawn on February 11, 2020, as the Lot Line Adjustment was no longer required, and the applicant agreed to a condition of approval to be included in Planned Development Permit Case No. PL17-0081 that would require him to obtain the approval of a Lot Elimination Subdivision prior to construction. This type of subdivision would re-subdivide the property by eliminating Lot 96 and Lot 97 and adding their territory to Lots 94 and 95 and Lots 98 and 99 respectively.

6. Adjacent Zoning and Land Uses/Development (Exhibit 2):

Location in Relation to the Project Site	Zoning	Land Uses/Development
North	RA-1 ac/SRP and (OS-20 ac/SRP) Open Space 20 acres minimum lot size/Scenic Resource Protection Overlay Zone	Residential development
East	RA 1 ac/SRP and OS 20 ac/SRP	Residential development and undeveloped land
South	RA 1 ac/SRP and	Residential development and undeveloped land
West	OS 20 ac/SRP	Residential development and undeveloped land

7. History: On June 16, 2017, the applicant submitted a Planned Development (PD) Permit application (Case No. PL17-0081) to construct five single-family dwellings and abate a grading violation (Notice of Noncompliance, Case No. GP15-0042). The violation included grading in a County designated Scenic Resource Protection Zone and a designated waterway or wetland, which created unstable areas that are subject to erosion, impede site drainage and may cause a safety hazard. On March 20, 2019, the application was deemed complete. Ventura County prepared an initial study and determined the previous unpermitted grading and proposed development would impact 1.31 acres of sensitive upland vegetation communities consisting of Chaparral Shrublands. Recommended mitigation measure MM BIO-5 was developed to mitigate for the loss of 1.31 acres. The applicant would be required to coordinate with a public agency or land conservation organization and prepare, fund and implement a Habitat Mitigation Plan (HMP) to restore Chaparral Shrublands communities at an off-site location due to the fact there would be no onsite areas to restore following construction of the project. On September 30, 2019, the Applicant signed the Mitigation Measure Consent Agreement agreeing to implement MMs BIO-1 through BIO-7. A Streambed Alteration Agreement from California Department of Fish and Wildlife (CDFW) was also required to mitigate for impacts to the on-site drainage (MM BIO-4).

Planning staff worked with the Applicant and his biologist to identify alternatives resulting in a reduced project of two dwelling units. On February 9, 2022, a revised site plan was submitted by Ms. Barringer, the Applicant's consulting biologist, that reduced the number of dwelling units from five to two.

On May 27, 2022, the applicant sent Ms. Boero, the case planner, an email disputing the grading violation and stated that the Ventura County Fire Protection District instructed the applicant to remove all vegetation from the site.

In accordance with Ventura County Fire Department Standard 515 Defensible Space and Fuel Modification Zones, Section 1.4.1 Clearance Area, property owners are required to maintain only the portion of the defensible space zone that

falls upon their property. If the required defensible space zone crosses property lines, then each affected property owner is responsible only for the portion that occurs on their property, regardless of which property the building is located upon. On June 22, 2022, Ms. Boero contacted the applicant via email correspondence explaining that the grading activities that occurred in 2015 resulted in vegetation removal beyond the required fuel modification of 100 feet from existing (offsite) structures and that only the vegetation removed outside of the required fuel modification area will need to be restored.

There have been numerous communications, emails and letters that have occurred on March 14, 2022, May 4, 2022, June 28, 2022, July 26, 2022, August 2, 2022 and September 2, 2022 discussing environmental review, an abridged project, and requesting how the Applicant would like to proceed.

On January 26, 2023, Planning staff notified the applicant of his options with regard to the proposed project (Exhibit 3). These included: (1) submittal of a written request to continue processing the project as proposed; (2) submittal of a written request to continue processing the project with a revised project description (i.e., reducing the number of dwelling units from five to two) or any other project description changes; or (3) submittal of a written request to withdraw the permit application for further processing. Staff also informed the applicant of his outstanding balance for the PD permit and requested a response by March 1, 2023.

On February 22, 2023, the applicant notified staff that he would proceed with the "reduced project" option 2 (i.e., two dwelling units), and submit a revised project description, updated plans, and technical reports, on or before May 18, 2023. On March 21, 2023, Planning Division staff contacted the applicant via letter that full payment of the outstanding balance and the revised project documentation will still need to be submitted by May 18, 2023, and if this information is not received, the County will initiate the provisions of the NCZO Section 8111-2.9.4, which allows the County, after a hearing, to deny an application based on the applicant's failure to pay said fees and charges (Exhibit 4). To date, the applicant has not submitted any of the required documentation or paid the outstanding balance for Case No. PL17-0081.

- 8. Project Description:** The applicant requests that a PD permit be granted that would authorize the construction of five single-family dwellings on each lot.² Construction of five single-family dwellings would include the following design specifications.

² Refer to Footnote No. 1 for a discussion of the legal lot status for the proposed project.

Design Specifications

Dwelling No.	Size square feet (sq. ft.)	APN	No. of Stories
1	6,158	673-0-150-400, -410 and -420	3
2	3,704	673-0-150-300 and -640	3
3	3,518	673-0-150-800 and -300	3
4	4,231	673-0-150-810 and -770	3
5	4,483	673-0-150-790 and -820	2

Approximately 796 cubic yards of cut and 2,150 cubic yards of fill will be required to construct the dwellings and on-site infrastructure, which includes installation of two all-weather driveways, a driveway turnaround to serve dwellings no. 1 through 3, and water and sewer connections to the City of Thousand Oaks.

Access to proposed single-family dwelling nos. 1 through 3 will be made available through the installation of a 20-foot-wide, all-weather access road that connects to Topa View Terrace Road (a private road). A retaining wall is proposed to be constructed along the western side of the road adjacent to Topa View Terrace and along a portion of the eastern side of this road adjacent to dwelling no. 1. Access to proposed single-family dwellings nos. 4 and 5 will be made available through the installation of a 24-foot-wide, all-weather access road that connects to Kathleen Drive by means of Rudolph Road. This road (Rudolph Road) is a private easement, which the applicant has obtained the right to use in order to access dwelling nos. 4 and 5. A retaining wall is proposed to be constructed along the eastern side of Rudolph Road and along a portion of the western side of this road.

Retaining walls will be constructed throughout the project site in order to further stabilize the steep vertical and horizontal cuts that are proposed as part of the grading plan for the subject project (Exhibit 3). A retaining wall is also proposed adjacent to the western property line of proposed dwelling no.4 in order to protect the natural drainage that is located on site and separates dwelling nos. 1 through 3 from dwelling nos. 4 and 5.

Water and sewer service³ will be provided by City of Thousand Oaks. (Exhibit 5).

³ Ventura Local Action Formation Commission (LAFCo) has determined that the project site is located outside of the City of Thousand Oaks' municipal boundaries, but within the City's sphere of influence. The area is also not contiguous with the City's boundaries. Ventura LAFCo action is required for this project for the City of Thousand Oaks to provide water and sewer service to the site, pursuant to Government Code Section 56133(a). Both the City and Ventura LAFCo must approve an Out of Agency Service Agreement (OASA) for water and sewer service in order for the project to be implemented.

B. CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) COMPLIANCE

Pursuant to CEQA (Public Resources Code Section 21000 et seq.) and the CEQA Guidelines (Title 14, California Code of Regulations, Division 6, Chapter 3, Section 15000 et seq.), the California Environmental Quality Act (CEQA) does not apply to a public agency's denial or disapproval of a project. (PRC, § 21080(b)(5)). As discussed in Section C below, the Planning Division is recommending denial of the proposed project as applicable billed fees and charges have not been paid by the applicant (Section 8111-2.9.4 of the Ventura County NCZO). Therefore, based on the foregoing information, the project complies with the requirements of the CEQA Guidelines.

C. PD PERMIT FINDINGS AND SUPPORTING EVIDENCE

The Planning Director must make certain findings in order to deny a PD Permit pursuant to Section 8111-2 of the Ventura County NCZO. The ability to make the required findings is evaluated below.

- 1. Section 8111-2.9.4 of the Ventura County NCZO states that *...while the County may choose not to stop processing an application for which the applicable billed fees and charges have not been paid, the County may, after a hearing, deny such application based on the applicant's failure to pay said fees and charges. Such fees shall include those costs associated in processing any environmental documents that might be required as a result of an application.***

The Ventura County NCZO authorizes residential development in the Scenic Resource Protection overlay zone with a discretionary PD Permit (Section 8105-4 of the Ventura County NCZO). The Ventura County NCZO further authorizes grading in excess of 1,000 square feet with the granting of a PD Permit.

On June 16, 2017, the Applicant submitted a PD Permit application (Case No. PL17-0081) to construct five single-family dwellings, and abate a grading violation (Notice of Noncompliance, Case No. GP15-0042).

As noted above in Section A.7 of this staff report, since April 5, 2021, Planning staff has been requesting clarification on the project description through several meetings, written correspondence, and telephone conversations between the applicant and Planning staff.

On February 22, 2023, the applicant requested that the Planning Division continue processing the application but failed to submit a revised project description, updated plans, technical reports, and pay the outstanding balance on or before May 18, 2023. Therefore, pursuant to Ventura County NCZO Section 8111-2.9, the Ventura County Planning Division is denying the Applicant's request for PD Permit Case No. PL17-0081 for defaulting on an outstanding balance in the amount of \$4,544.03.

As of the date of this staff report, the Applicant has not provided any correspondence subsequent to the March 21, 2023, letter or provided any payment in reference to Case No. PL17-0081. Therefore, pursuant to Section 8111-2.9, of the Ventura County NCZO, Planning staff recommends that PD Permit Case No. PL17-0081 be denied.

D. PLANNING DIRECTOR HEARING NOTICE, PUBLIC COMMENTS, AND JURISDICTIONAL COMMENTS

The Planning Division provided public notice regarding the Planning Director hearing in accordance with the Government Code (Section 65091), Ventura County NCZO (Section 8111-3.1). On September 18, 2023, the Planning Division mailed notice to owners of property within 300 feet of the property on which the project site is located. On September 18, 2023, the Planning Division placed a legal ad in the *Ventura County Star*.

The project site is located within the City of Thousand Oaks' Sphere of Influence. Therefore, on June 30, 2017, the Planning Division notified the City of Thousand Oaks of the proposed project and requested the City of Thousand Oaks to submit any comments. On July 13, 2017, the City of Thousand Oaks provided the comments regarding the proposed project (Exhibit 6). Following the Planning Director Hearing, Planning staff will notify the City of Thousand Oaks of the final decision on the proposed project.

E. RECOMMENDED ACTIONS

Based upon the analysis and information provided above, Planning Division Staff recommends that the Planning Director take the following actions:

1. **CERTIFY** that the Planning Director has reviewed and considered this staff report and all exhibits thereto, and has considered all comments received during the public comment process;
2. **FIND** that the project is statutorily exempt from CEQA pursuant to section 21080(b)(5) of the PRC;
3. **FIND** that the applicant failed to comply with Section 8111-2.9.4 of the Ventura County NCZO based on the factual reasons and substantial evidence presented in this staff report and the entire record;
4. **DENY** Planned Development Permit Case No. PL17-0081 in its entirety; and
5. **SPECIFY** that the Clerk of the Planning Division is the custodian, and 800 S. Victoria Avenue, Ventura, CA 93009 is the location, of the documents and materials that constitute the record of proceedings upon which this decision is based.

The decision of the Planning Director is final unless appealed to the Planning Commission within 10 calendar days after the permit has been approved, conditionally approved, or denied (or on the following workday if the 10th day falls on a weekend or holiday). Any aggrieved person may file an appeal of the decision with the Planning Division. The Planning Division shall then set a hearing date before the Planning Commission to review the matter at the earliest convenient date.

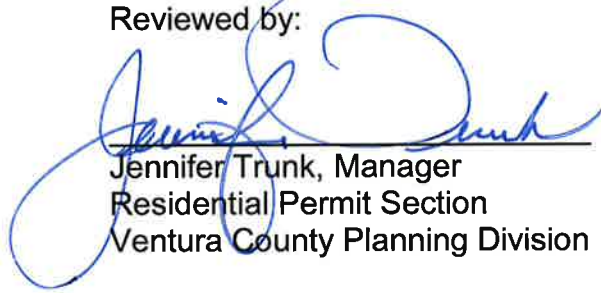
If you have any questions concerning the information presented above, please contact Kristina Boero at (805) 654-2467 or kristina.boero@ventura.org.

Prepared by:



Kristina Boero, Senior Planner
Residential Permit Section
Ventura County Planning Division

Reviewed by:



Jennifer Trunk, Manager
Residential Permit Section
Ventura County Planning Division

EXHIBITS

- Exhibit 2 Maps
- Exhibit 3 January 26, 2023 Letter from Jennifer Trunk to Artak Agmalian
- Exhibit 4 March 21, 2023 Letter from Jennifer Trunk to Artak Agmalian
- Exhibit 5 Project Plans
- Exhibit 6 July 13, 2017 City of Thousand Oaks comments



Ventura County, California
 Resource Management Agency
 GIS Development & Mapping Services
 Map Created on 09-01-2023
 Source: Vexcel 2022

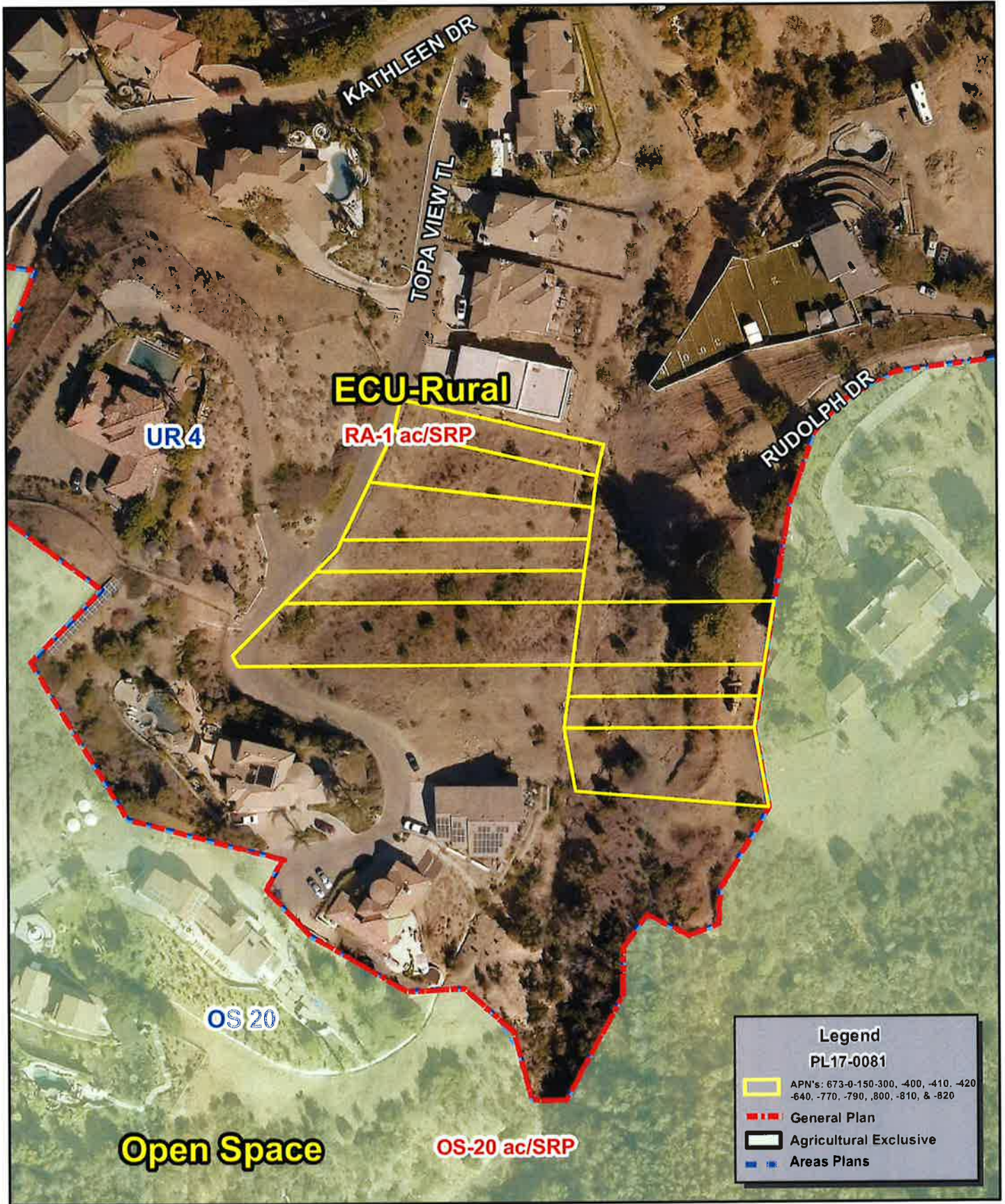


County of Ventura
 Planning Director Hearing
 PL17-0081
 Exhibit 2 - Maps



Disclaimer: This Map was created by the Ventura County Resource Management Agency, Mapping Services - GIS which is designed and operated solely for the convenience of the County and related public agencies. The County does not warrant the accuracy of this map and no decision involving a risk of economic loss or physical injury should be made in reliance thereon.







COUNTY of VENTURA

RESOURCE MANAGEMENT AGENCY
DAVE WARD
Planning Director

SUSAN CURTIS
Assistant Planning Director

January 26, 2023

Artak Agamalian
5225 Weller Dr.
Woodland Hills, CA 91367

Subject: Planned Development Permit Case No. PL17-0081
Topa View Terrace, Ventu Park Estates
Assessor's Parcel Numbers 673-0-150-405, 415, 425, 645, 305, 805, 795,
825, 775 and 815

Dear Mr. Agmalian:

The Planning Division has not received a formal response from our repeated telephone and written requests seeking clarification on the processing of your permit application.

Therefore, the purpose of this letter is to notify you of your options for the continued processing of this permit. Please note, a "hold" has been placed on your account which has an outstanding balance of unpaid invoices in excess of \$3,500 (late fees are not included in this amount). Consequently, staff cannot continue processing your permit until you have paid this outstanding balance. Item No. 5 on the Discretionary Project Reimbursement Agreement that you signed states that if any invoices are not paid within 30 days of the billing, the County may either stop processing the permit application, or after conducting a hearing, deny the permit request altogether.

The Planning Division requests that you respond to this letter no later than March 1, 2023, with a requested course of action for this application from the options listed below:

- 1) You may submit a written request to continue processing your project as proposed;
- 2) You may submit a written request to continue processing your project with a revised project description (i.e., reducing the number of dwelling units from five to two) or any other project description changes. Planning Division staff will review this submittal to identify additional information that may be required to process your permit under this revised project description; or
- 3) You may submit a written request to withdraw your permit application for further processing.

County of Ventura
Planning Director Hearing
PL17-0081
Exhibit 3 - January 26, 2023 Letter from Jennifer Trunk to
Artak Agmalian

If you choose one of the above options, please send your request via email or letter addressed to your Case Planner, Kristina Boero and reference Planned Development Permit, Case No. PL17-0081.

Please note, for all options listed above you are still responsible for payment of all outstanding permit processing fees pursuant to Ventura County Non-coastal Zoning Ordinance (NCZO) Section 8111-2.9. Planning Division staff cannot continue processing your application until you provide full payment of your outstanding balance, and the hold has been removed from your account.

NCZO Section 8111-2.9.4 states the following:

While the County may choose not to stop processing an application for which the applicable billed fees and charges have not been paid, the County may, after a hearing, deny such application based on the applicant's failure to pay said fees and charges. Such fees shall include those costs associated in processing any environmental documents that might be required as a result of an application.

If you fail to respond to this letter by March 1, 2023 the County will initiate the provisions of the NCZO Section 8111-2.9.4 - Failure to Pay which allows the County, after a hearing, to deny your application for further processing.

Application History

Below you will find a summary of the Planning Divisions attempts to successfully process this permit.

On June 16, 2017, a Planned Development Permit application (Case No. PL17-0081) was submitted to construct five single-family dwellings and abate a grading violation (Notice of Noncompliance, Case No. GP15-0042).

On March 20, 2019, the application was deemed complete for processing.

On September 30, 2019, you signed the Mitigation Measure Consent Agreement which requires off-site compensatory mitigation for the loss of 1.31 acres of sensitive upland vegetation communities consisting of Chaparral Shrublands. The mitigation requires you to coordinate with a public agency or land conservation organization to prepare, fund and implement a Habitat Mitigation Plan (HMP) that must include restoring the plant communities noted above at an off-site location. You are also required to obtain a Streambed Alteration Agreement from California Department of Fish and Wildlife (CDFW) to mitigate for impacts to the on-site drainage that occurred in 2015 when the site was denuded, and the drainage was filled in.

On April 5, 2021, a meeting was held between you, Planning staff and CDFW to discuss the proposed project and the status of 2015 and 2018 Streambed Alteration Agreements that you filed with CDFW. Planning staff and CDFW requested an

amended Initial Study Biological Assessment (ISBA) that addresses impacts to the on-site drainage from previous disturbance and from proposed development. Further, in order to comply with General Plan Policy COS-1.11 (stated below), discretionary development must be sited 100 feet from wetland habitats unless the ISBA indicates a reduced setback will not impact the wetland.

General Plan Policy COS-1.11:

The County shall require discretionary development to be sited 100 feet from wetland habitats, except as provided below. The 100-foot setback may be increased or decreased based upon an evaluation and recommendation by a qualified biologist and approval by the decision making body based on factors that include, but may not be limited to, soil type, slope stability, drainage patterns, the potential for discharges that may impair water quality, presence or absence of endangered, threatened or rare plants or animals, direct and indirect effects to wildlife movement, and compatibility of the proposed development with use of the wetland habitat area by wildlife. Discretionary development that would have a significant impact on a wetland habitat shall be prohibited unless mitigation measures are approved that would reduce the impact to a less than significant level. Notwithstanding the foregoing, discretionary development that would have a significant impact on a wetland habitat on land within a designated Existing community may be approved in conjunction with the adoption of a statement of overriding considerations by the decision-making body.

On August 27, 2021, your consulting biologist, Debra Barringer, provided an updated ISBA and an updated site plan for the five-dwelling units and a reduced setback from the drainage. Pursuant to General Plan policy COS-1.11, your biologist explained that the drainage showed little evidence of recent flows and had minimal, old traces of bed and bank present during the field survey of the property, and the reduced setback was warranted.

On October 25, 2021, Planning staff, CDFW and your biologist met to discuss the status of the Streambed Alteration Agreements. CDFW confirmed that the 2015 Agreement expired. The 2018 Agreement is still valid pending the location of an off-site property in the County with acreage and the specific habitat required for restoration. This would require you to purchase an off-site property to be donated to a third party (such as a public conservation agency or mitigation bank) to preserve in perpetuity. On December 17, 2021, your biologist confirmed with your permit case planner Ms. Boero that there are no mitigation banks available that meet the acreage and the specific habitat type required for restoration.

On January 12, 2022, Ms. Boero contacted you and your biologist via email correspondence to explain that if you are proposing to construct the five dwelling units, an off-site location for restoration must be secured. If an off-site location cannot be secured, Planning staff would take the application forward for summary denial as the proposed development would be inconsistent with General Plan Policy COS-1.11 and significant impacts to biological resources would not be mitigated.

On January 31, 2022, Ms. Boero received an email correspondence from your biologist, requesting clarification on whether the restoration areas can be both off-site and on-site with the proposed five dwelling units. Ms. Boero responded that the proposed restoration plan to mitigate the loss of habitat cannot be accommodated onsite with the proposed five lot subdivision.

On February 9, 2022, a revised site plan was submitted by your biologist that reduces the number of dwelling units from five to two (Attachment 1, Revised Site Plan).

On May 27, 2022, you sent Ms. Boero an email disputing the grading violation and stated that the Ventura County Fire Protection District instructed you to remove all vegetation from the site.

On June 6, 2022, Planning staff met with you to discuss the proposed project and Ventura County Fire Protection District fuel modification requirements. During this meeting you indicated that the Ventura County Fire Protection District instructed you to clear the site of vegetation and that you will not agree to complete the off-site mitigation set forth in MND Mitigation Consent Agreement because there has not been any violation for unauthorized grading and vegetation removal.

On June 22, 2022, Ms. Boero contacted you via email correspondence relaying the fact that the Ventura County Fire Protection District requires fuel modification for a distance of 100 feet from existing structures, not the entire site. Ms. Boero also explained that only the vegetation removed outside of the required fuel modification area will need to be restored. An updated site plan that includes the acreage to be restored on-site, the number of dwelling units that could be constructed on-site within previously disturbed areas and the required fuel modification distances for your proposed dwelling units must be included on a site plan and submitted to the Planning Division.

On September 2, 2022, Ms. Boero contacted you via telephone and email stating that since Planning staff had not heard from you since June 22, 2022, Planning staff would either take the project forward for summary denial, or you could withdraw the application.

In addition to the numerous communications and conversations noted above, County staff have had additional discussions with you regarding the revised site plan, off-site and on-site compensatory mitigation requirements and clarification as to whether you were reducing your proposed project to two dwelling units. These communications occurred on March 14, 2022, May 4, 2022, June 28, 2022, July 26, 2022, and August 2, 2022.

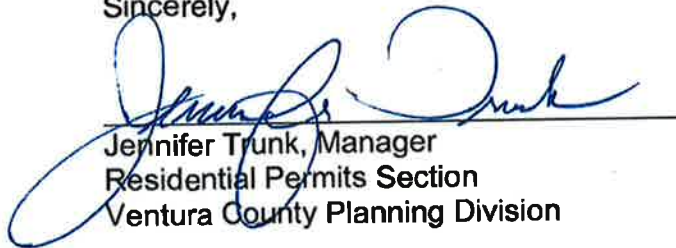
As of the date of this letter, we have received no response from you regarding our repeated attempts seeking clarification of this revised site plan. On May 5, 2022, the County received an email from your biologist indicating that she can no longer work on your project as she has not been paid for past work (Attachment 2, email

communication from Debra Berringer). She acknowledged in her email that she provided you with the revised site plan (Attachment 1). Per the request from Debra Berringer the County has ceased communication with your biologist.

As discussed above, if you fail to respond to this letter by March 1, 2023 the County will initiate the provisions of the NCZO Section 8111-2.9.4 - Failure to Pay and schedule a Planning Director hearing to deny your application for further processing. You will be billed for Planning Division staff time to prepare a hearing package, public noticing and conducting the hearing.

If you have any questions about this letter, please contact Kristina Boero at (805) 654-2467 or kristina.boero@ventura.org.

Sincerely,



Jennifer Trunk, Manager
Residential Permits Section
Ventura County Planning Division

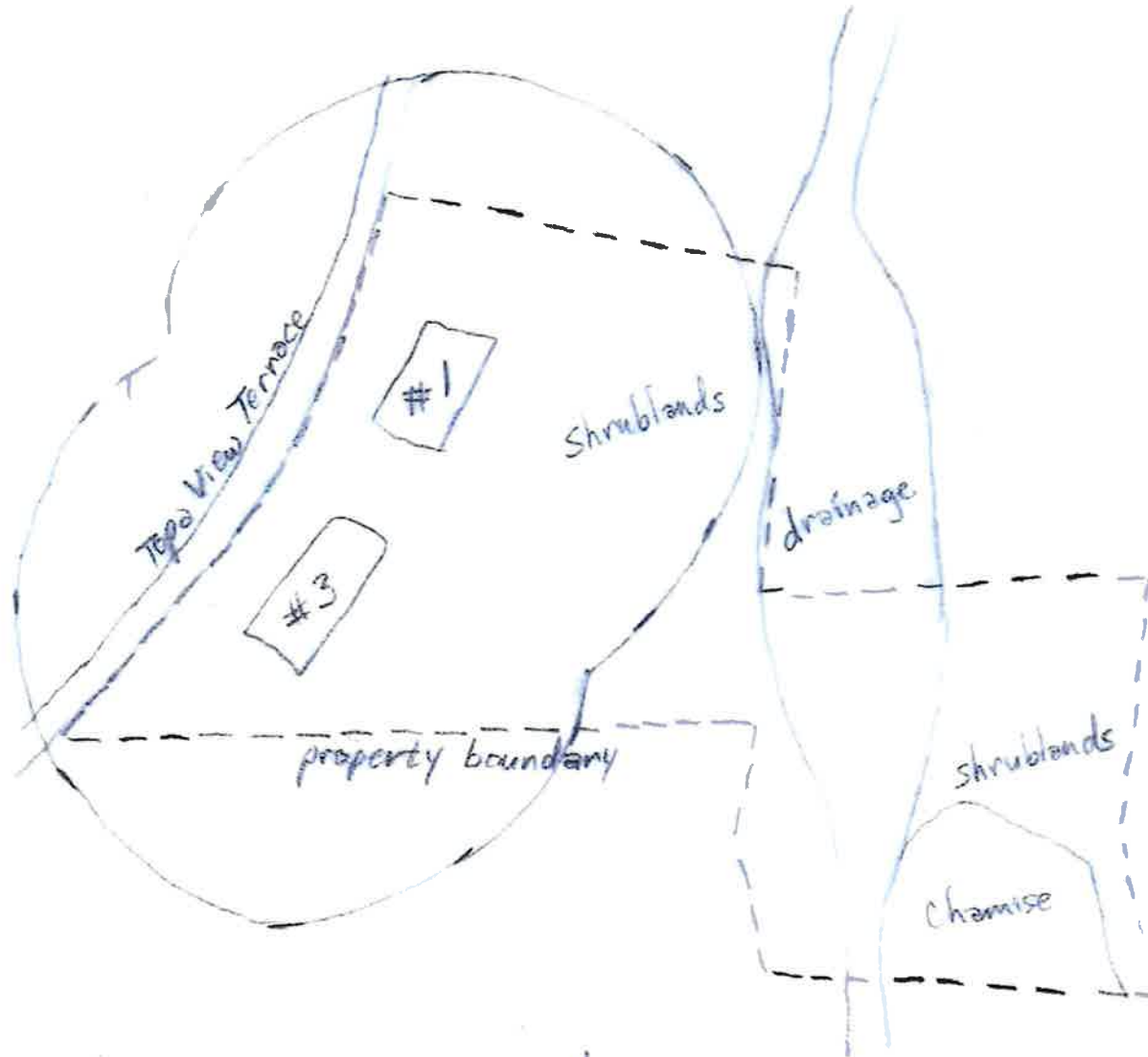
Attachments:

- Attachment 1 Revised Site Plan dated February 9, 2022
- Attachment 2 May 5, 2022, email communication from Debra Berringer

C:

artakagmalian@gmail.com (Applicant)
agmalianartak@gmail.com (Applicant)
Public Works Agency Engineering Services – Jim O'Tousa
RMA Operations – Anne Clayton
File

Agamation - Topa View Terrace



Boero, Kristina

From: Debra Barringer <dbarringer98@hotmail.com>
Sent: Thursday, May 5, 2022 9:48 AM
To: Boero, Kristina
Subject: Re: Meeting May 26th Agmalian

WARNING: If you believe this message may be malicious use the Phish Alert Button to report it or forward the message to Email.Security@ventura.org.

Kristina,

I wanted to let you know that I can no longer work on this project as Artak owes me over \$2500 from past work I did that has not been paid. I did supply him with a design plan for 2 houses.

Thanks,
Debra

Barringer Biological Services
Ventura, CA
303-880-0308
Dbarringer98@hotmail.com

From: Boero, Kristina <Kristina.Boero@ventura.org>
Sent: Wednesday, May 4, 2022 12:59 PM
To: Artak Agamalian <artakagamalian@gmail.com>
Cc: Debra Barringer <dbarringer98@hotmail.com>; Trunk, Jennifer <Jennifer.Trunk@ventura.org>
Subject: Meeting May 26th Agmalian

Hi Artak,

Per our phone conversation yesterday, are you available Thursday, May 26th at 9 am or 1 pm to come in to discuss the project? Planning needs to confirm what the project is now proposed to be... a three dwelling project or a two dwelling project? It is understood that a 5 dwelling project is no longer proposed.

Please let me know which time on the 26th works for you. Thanks!

Kristina Roodsari Boero, M.P.P.A. | Senior Planner
Residential Permits Section
kristina.boero@ventura.org

Ventura County Resource Management Agency | Planning Division
P. 805.654.2467 | F. 805.654.2509
800 S. Victoria Ave., L #1740 | Ventura, CA 93009-1740



COUNTY of VENTURA

RESOURCE MANAGEMENT AGENCY
DAVE WARD
Planning Director

SUSAN CURTIS
Assistant Planning Director

March 21, 2023

Artak Agamalian
artakagamalian@gmail.com
agamalianartak@gmail.com

Subject: Planned Development Permit Case No. PL17-0081
Topa View Terrace, Ventu Park Estates
Assessor's Parcel Numbers (APNs) 673-0-150-405, 415, 425, 645, 305,
805, 795, 825, 775 and 815

Dear Mr. Agmalian:

The Planning Division received your email dated February 22, 2023, with a request to continue processing a revised project that would involve merging APNs 673-0-150-405, -415 and -425, which are under your ownership, and the development of two dwelling units instead of a tract map and the development of five dwelling units on all of the APNs listed above (Attachment 1). The Planning Division has granted your request to submit a revised project description, updated plans, and technical reports, on or before May 18, 2023.

Note, you are still responsible for payment of all outstanding permit processing fees pursuant to Ventura County Non-coastal Zoning Ordinance (NCZO) Section 8111-2.9 which to date are in the sum of \$4,544.03. Planning Division staff cannot continue processing your application until you provide full payment of your outstanding balance, and the hold has been removed from your account.

If you do not submit the revised project documentation and fail to pay your outstanding balance by May 18, 2023, the County will initiate the provisions of the NCZO Section 8111-2.9.4 (stated below). You will be billed for Planning Division staff time to prepare a hearing package, public noticing and conducting the hearing.

Conversely, if you decide to not submit revised project documentation, you may withdraw the application by email or letter, however, you will still be responsible for payment of the outstanding balance of \$4,544.03.

NCZO Section 8111-2.9.4 states the following:

While the County may choose not to stop processing an application for which the applicable billed fees and charges have not been paid, the County may, after a hearing, deny such application based on the applicant's failure to pay said fees and charges.

County of Ventura
Planning Director Hearing
PL17-0081

Exhibit 4 - March 21, 2023 Letter from Jennifer Trunk to Artak Agmalian

(805) 654-2481 •

vcrma.org

Such fees shall include those costs associated in processing any environmental documents that might be required as a result of an application.

If you have any questions about this letter, please contact Kristina Boero at (805) 654-2467 or kristina.boero@ventura.org.

Sincerely,



Jennifer Trunk, Manager
Residential Permits Section
Ventura County Planning Division

Attachments:

Attachment 1 February 22, 2023 email communication from Artak Agmalian to Kristina Boero

C:
Public Works Agency Engineering Services – Jim O'Tousa
RMA Operations – Anne Clayton
File

Boero, Kristina

From: Artak's Food Channel <artakagamalian@gmail.com>
Sent: Wednesday, February 22, 2023 3:59 PM
To: Boero, Kristina
Subject: Re: Status letter PL17-0081 Topa View Terrace

WARNING: If you believe this message may be malicious use the Phish Alert Button to report it or forward the message to Email.Security@ventura.org.

2) You may submit a written request to continue processing your project with a revised project description (i.e., reducing the number of dwelling units from five to two) or any other project description changes. Planning Division staff will review this submittal to identify additional information that may be required to process your permit under this revised project description; or

Hi Kristina I will accept option #2 thoo drawing not 5

i have a lawsuit going on with my ex partner i have a court date on may 18 i will not be able to provide you project description plans before may 18 please advise.

On Thu, Jan 26, 2023 at 10:23 AM Boero, Kristina <Kristina.Boero@ventura.org> wrote:

Hello Artak,

Please see the attached letter and provide a response to me by no later than March 1st. If you have any questions, please let me know.

Kristina Roodsari Boero, M.P.P.A. | Senior Planner

Residential Permits Section

kristina.boero@ventura.org

Ventura County Resource Management Agency | Planning Division

P. 805.654.2467 | F. 805.654.2509

800 S. Victoria Ave., L #1740 | Ventura, CA 93009-1740

Visit the Planning Division website at vcrma.org/planning

For online permits and property information, visit [VC Citizen Access](#)

Attachment 1 February 22, 2023 email communication from Artak Agmalian to Kristina Boero



Respectfully yours
Artak Agamalian
(818)370-8145
artakagamalian@gmail.com

New Single Family Residences Topa View Properties Thousand Oaks, California

project:
**NEW SINGLE FAMILY
 RESIDENCES
 TOPA VIEW TERRACE
 THOUSAND OAKS, CA**
 for:
 Alan Aguilera & Aron Montoya

prepared by

Kevin Chan
 1957 Lee Street
 Simi Valley, California
 93065

in cooperation
 with the
 City of Thousand Oaks

email:
 kevnc11@cox.net

fax:
 805 442 1218

consultant(s)

date description by

designer: KC
 drafter:
 checker:

sheet title

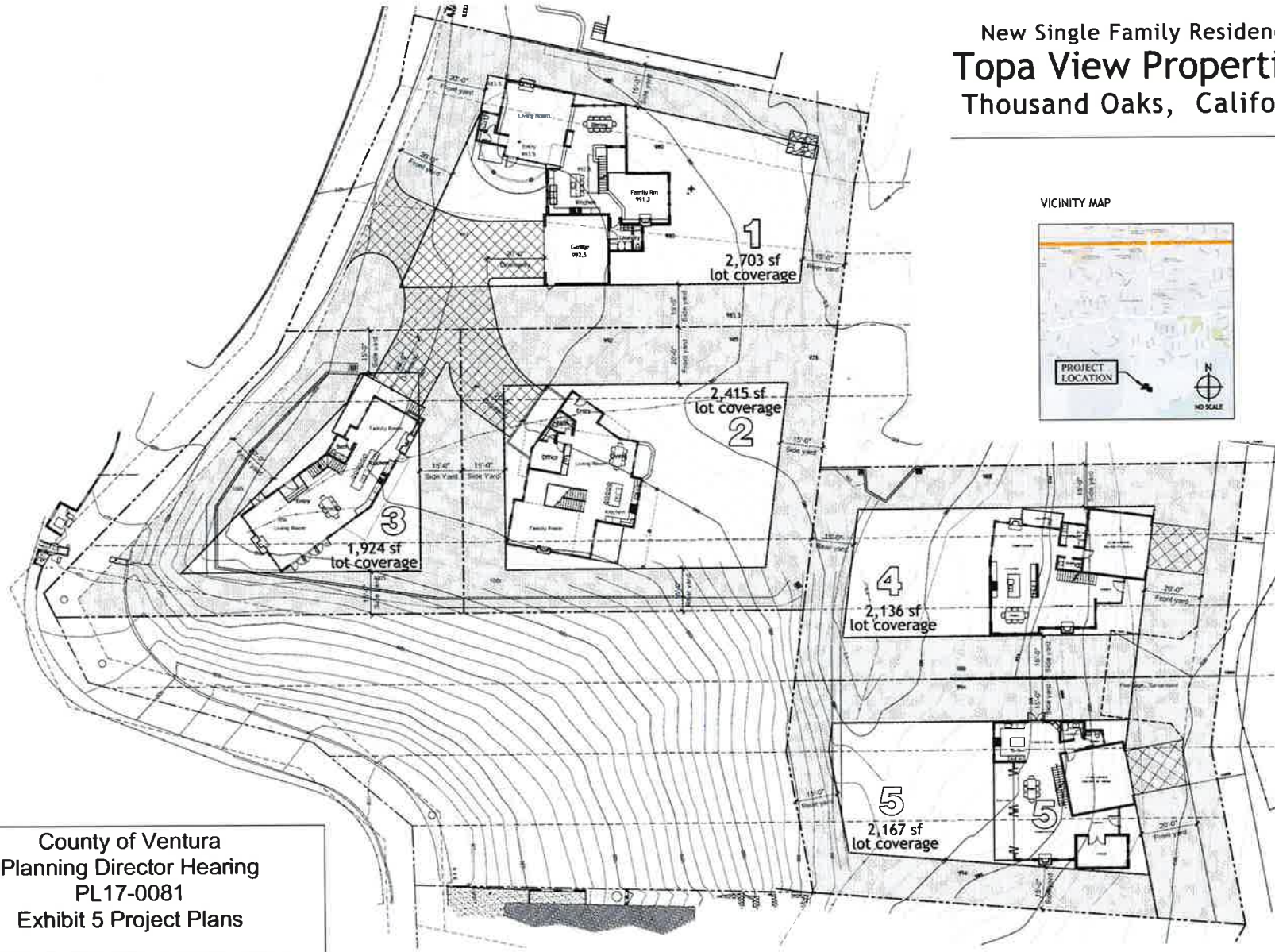
**PROPOSED
 SITE PLAN**

scale: date
 1/8"=1'-0" 7/26/21

project number

sheet number

A-0



VICINITY MAP

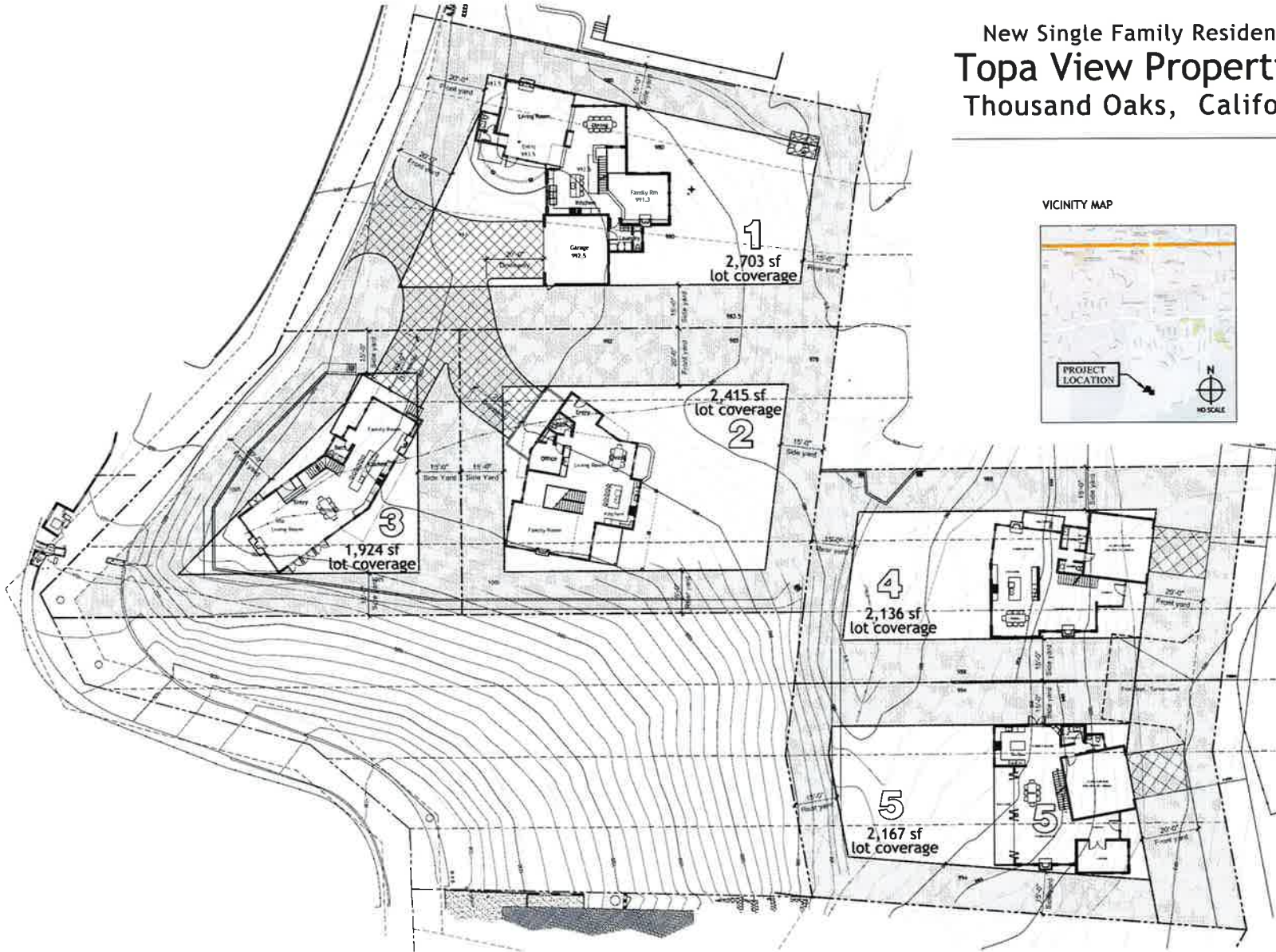


County of Ventura
 Planning Director Hearing
 PL17-0081
 Exhibit 5 Project Plans

PROPOSED SITE PLAN
 SCALE: 1/8"=1'-0"



New Single Family Residences Topa View Properties Thousand Oaks, California



VICINITY MAP



PROPOSED SITE PLAN

SCALE: 1/16"=1'-0"



PROJECT
NEW SINGLE FAMILY
RESIDENCES
TOPA VIEW TERRACE
THOUSAND OAKS, CA
for:
Artel Agencies & Assoc. Meridian

prepared by

Kevin Chan
1957 Leo Street
Serra Valley, California
93065

telephone
818 613 1388

email
kevin.c@artelinc.com

fax
805 842 4238

consultant(s)

date/description by

designer JCS
drafter
checker

sheet title

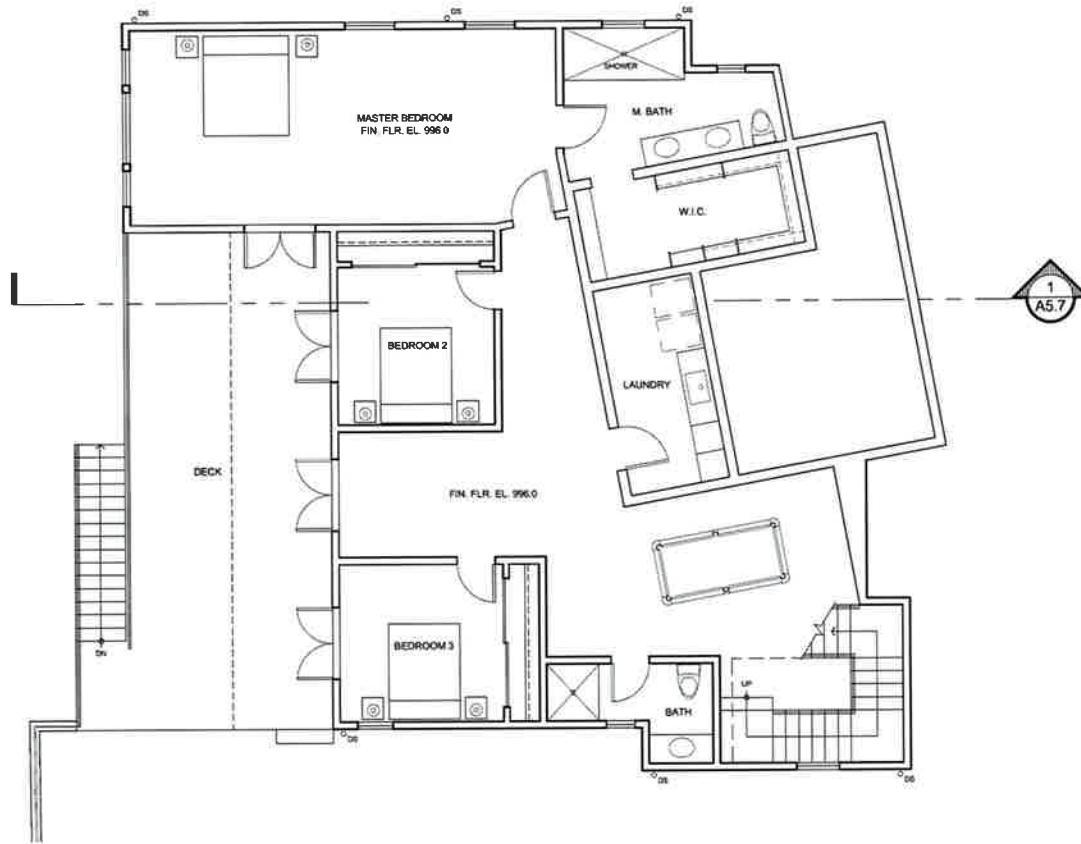
PROPOSED
SITE PLAN

scale 1/16"=1'-0"
date 7/26/21
project number

sheet number

A-0

sheet _____ of _____



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



project
NEW SINGLE FAMILY RESIDENCES
 TOPA VIEW TERRACE
 THORNBARK OAKS, CA
 for:

prepared by

Kevin Chan
 1857 Lee Street
 San Valley, California
 92685

telephone:
 949.613.1986

email:
 kevinc11@soval.n.com

fax:
 949.542.1236

consultant(s)

△ date/description by

designer KC
 drafter
 checker

sheet title

HOUSE #5
1ST FLOOR PLAN

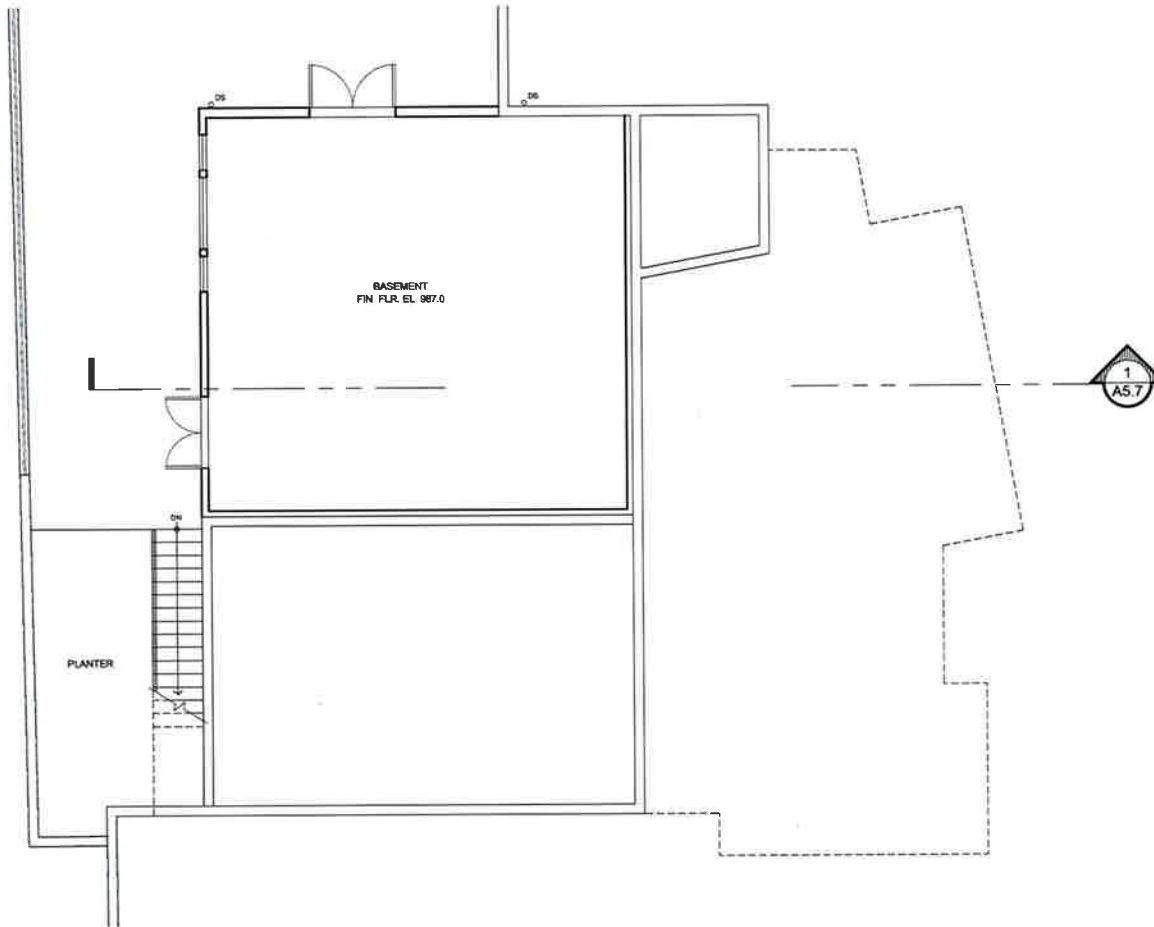
scale date
 1/4"=1'-0" 1/3/17
 project number

5

sheet number

A-5.3

sheet _____ of _____



BASEMENT PLAN
SCALE: 1/4"=1'-0"



project
**NEW SINGLE FAMILY
 RESIDENCES**
 TOPA VIEW TERRACE
 THOUSAND OAKS, CA
 for:

prepared by

Kevin Chen
 1957 Lee Street
 Simi Valley, California
 93065

telephone
 818 613 1868

email:
 kavin11@icloud.com

fax:
 805 842 1238

consultant(s)

△ date/description by

designer KC
 drafter
 checker

sheet title

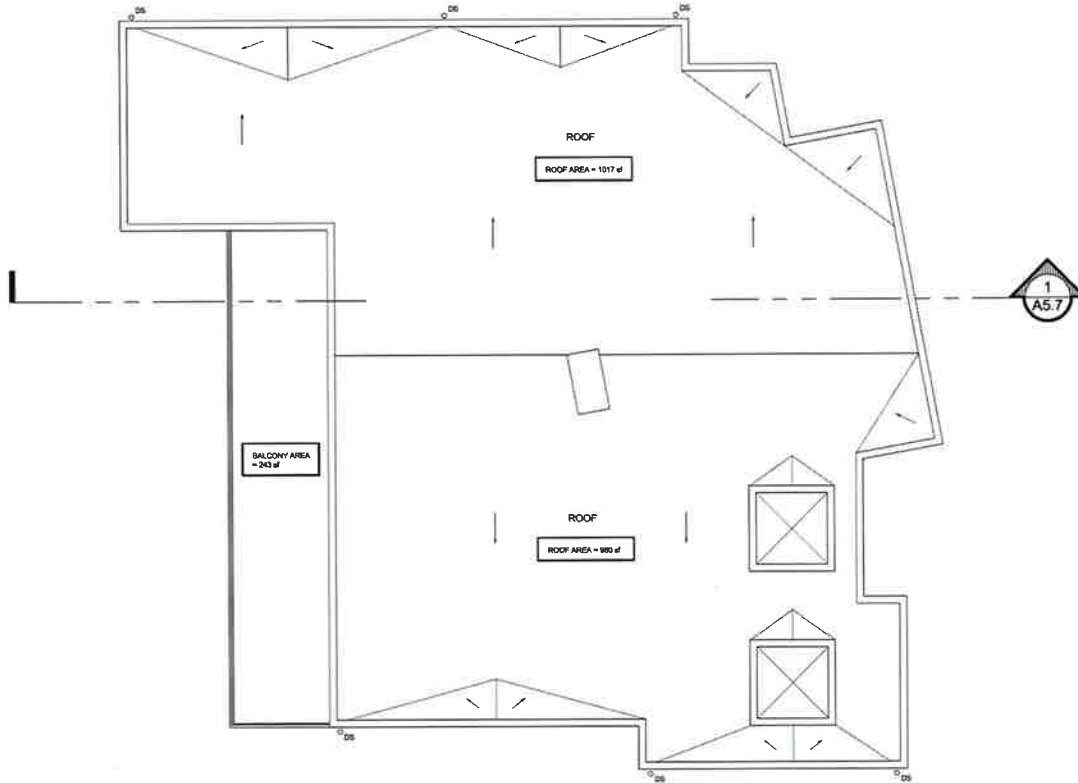
**HOUSE #5
 BASEMENT PLAN**

scale 1/4"=1'-0" date 1/3/17
 project number

5

sheet number

A-5.4
 sheet _____ of _____



ROOF PLAN
SCALE: 1/8"=1'-0"



project
NEW SINGLE FAMILY RESIDENCES
TOPA HIGH DENSITY THOUSAND OAKS, CA
for:

prepared by

Kevin Chen
1067 Lee Street
Simi Valley, California
93065

telephone
818-643-1888

email:
kevin11@ecol m.com

fax:
805-842-1238

consultant(s)

△ date/description by

designer KC

drafter

checker

sheet title

**HOUSE #5
ROOF PLAN**

scale date

1/4"=1'-0" 1/3/17

project number

5

sheet number

A-5.5

sheet _____ of _____

A-5.6

Sheet number

Project number
144-1-07 12/17

Date

House #5

House #5

House #5

Designer

Checker

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

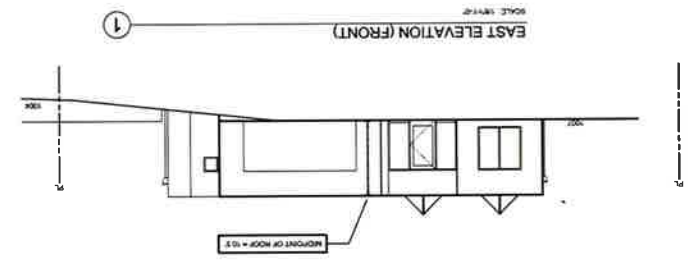
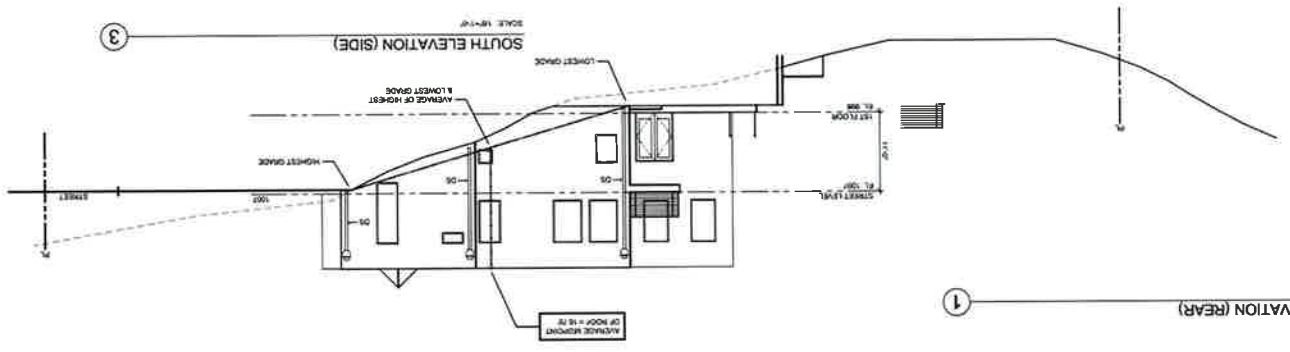
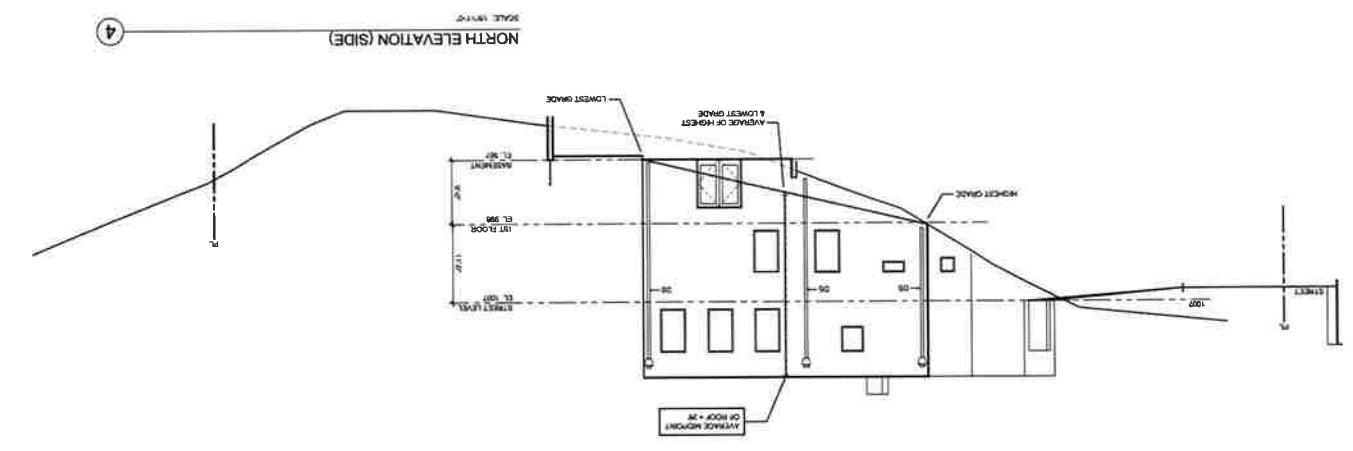
Scale

Scale

Scale

Scale

Scale



Project
NEW SINGLE FAMILY
RESIDENCE
THOUSAND OAKS, CA

Prepared by
Kevin Chan
1877 Lido Street
San Valley, California
90005
Phone: 818 813 1998
Email: kchan18@icloud.com
Fax: 842 1228

Comments

Description by

Designer

Checker

House #5

House #5

House #5

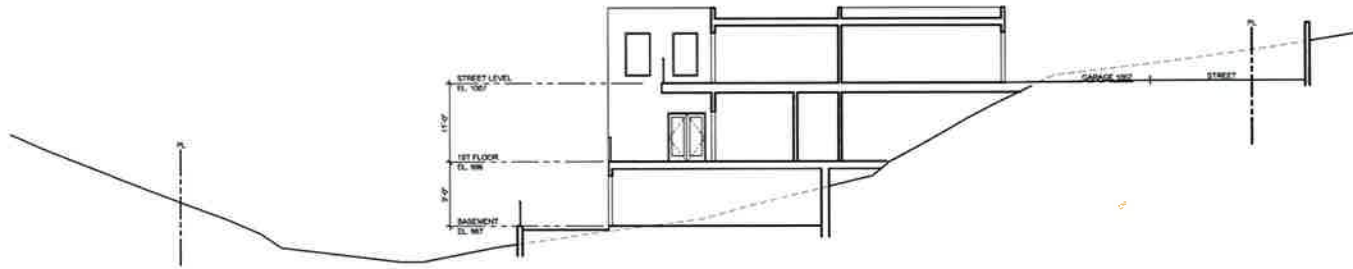
Date

Project number

Sheet number

A-5.6

Sheet of



SECTION
SCALE 1/8"=1'-0"

①

project
**NEW SINGLE FAMILY
 RESIDENCES**
 TOPA VIEW TERRACE
 THURSDAY OAKS, CA
 for:

prepared by

Kevin Chen
 1957 Leno Street
 San Jose, California
 95135

telephone:
 510.513.1888

email:
 kevin11@soocal.fr.com

fax:
 805.842.1236

consultant(s)

△ date/description by

designer KC
 drafter
 checker

sheet title
**HOUSE 05
 SECTION**

scale date
 1/4"=1'-0" 1/3/17
 project number

5

sheet number

A-5.7
 sheet _____ of _____

project
NEW SINGLE FAMILY RESIDENCES
 TOPA VIEW TERRACE
 THOUSAND OAKS, CA
 for:

prepared by

Kevin Chan
 1057 Lee Street
 Simi Valley, California
 93065

telephone
 818.813.1988

email
 kevincl1@social.r.com

fax:
 805.842.1238

consultant(s)

△ date/description by

designer KC
 drafter
 checker

sheet title

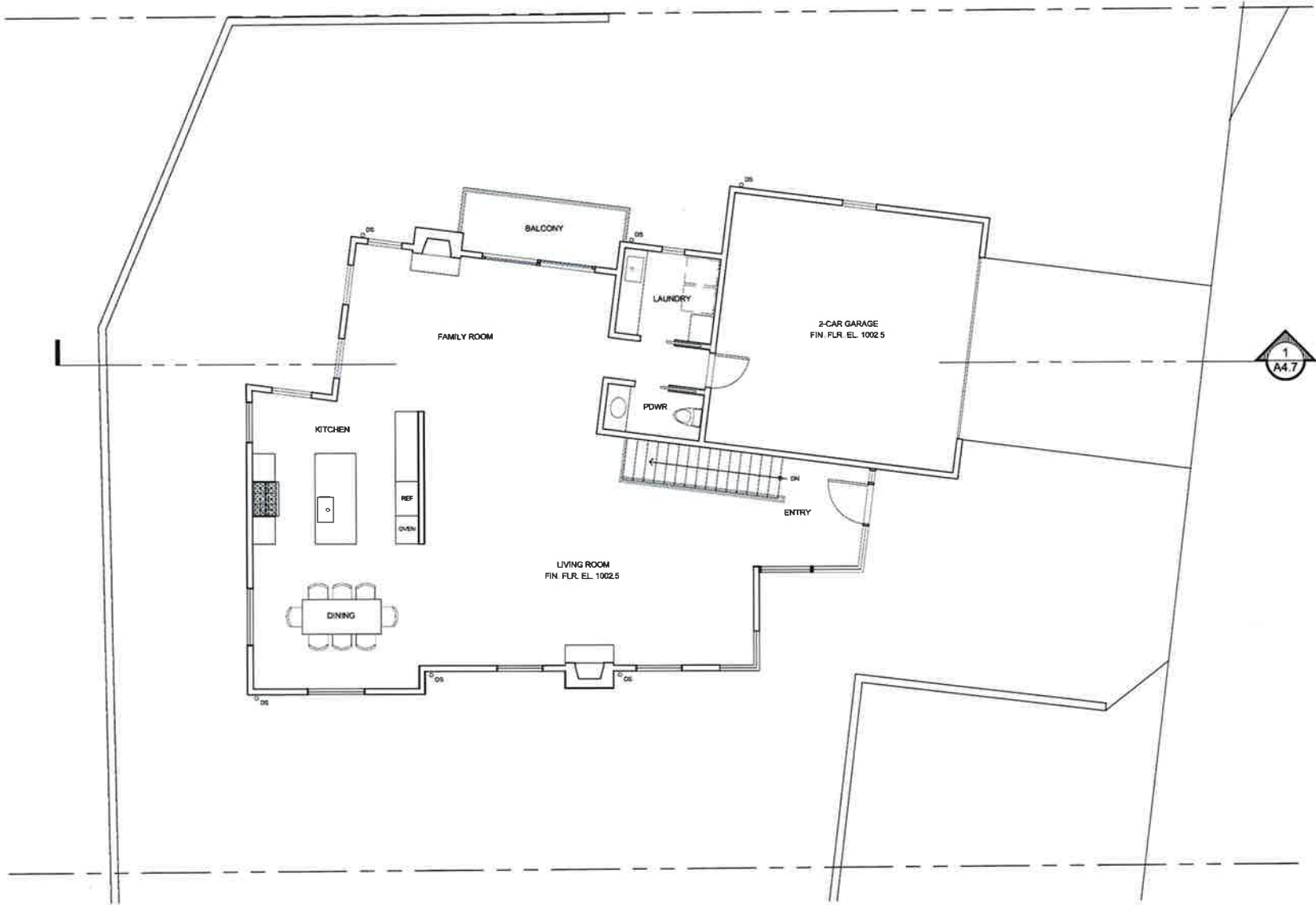
**HOUSE #4
 STREET LEVEL PLAN**

scale date
 1/4"=1'-0" 1/3/17
 project number

4

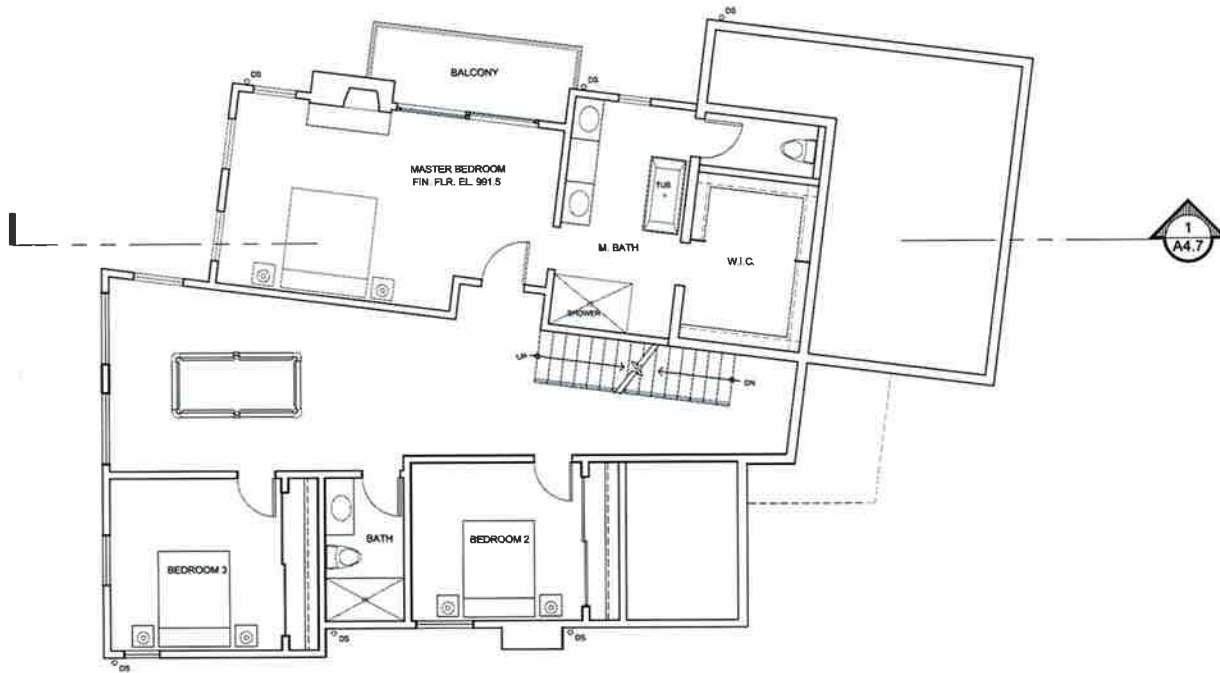
sheet number

A-4.2
 sheet ___ of ___



STREET LEVEL PLAN
 SCALE: 1/4"=1'-0"





FIRST FLOOR PLAN
SCALE 1/4"=1'-0"



project
**NEW SINGLE FAMILY
 RESIDENCES**
 TOPA VIEW TERRACE
 THOUSAND OAKS, CA
 for:

prepared by

Kevin Chen
 1867 Lee Street
 Irvine Valley, California
 92615

telephone:
 918 215 1888

email:
 kchen11@icloud.com

fax:
 805 842 1236

consultant(s)

date/description by

designer KC
 drafter
 checker

sheet title
**HOUSE #4
 1ST FLOOR PLAN**

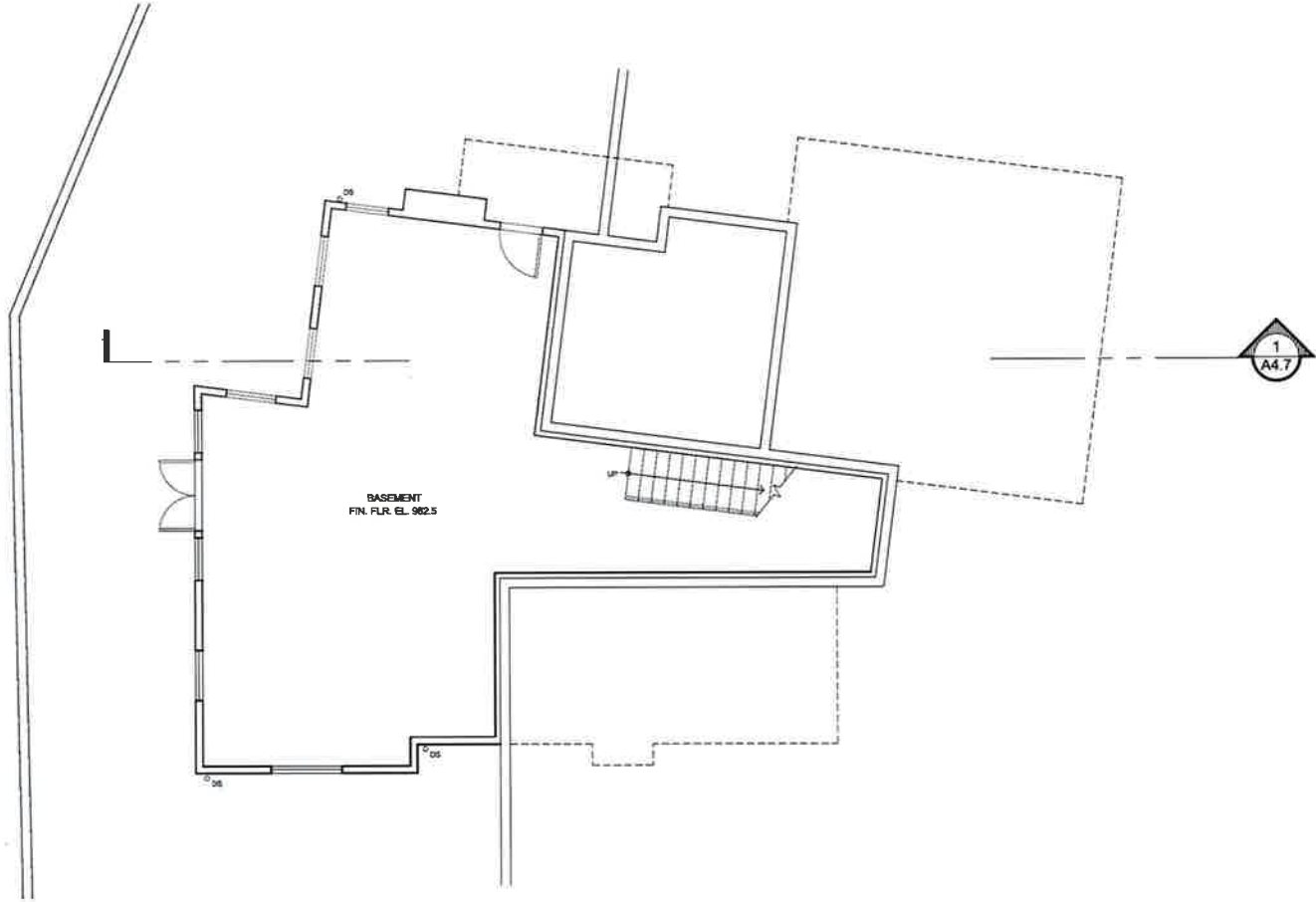
scale date
 1/4"=1'-0" 1/3/17

project number



sheet number

A-4.3
 sheet ___ of ___



BASEMENT PLAN
SCALE: 1/4"=1'-0"



project
NEW SINGLE FAMILY RESIDENCES
 TIPA WEST TRAILHEAD THOUSAND OAKS, CA
 for:

prepared by

Kevin Chen
 1867 Las Street
 Simi Valley, California
 93065

telephone:
 818.515.1882

email:
 kevin11@cox.net

fax:
 805.442.1226

consultant(s)

description by

description	by

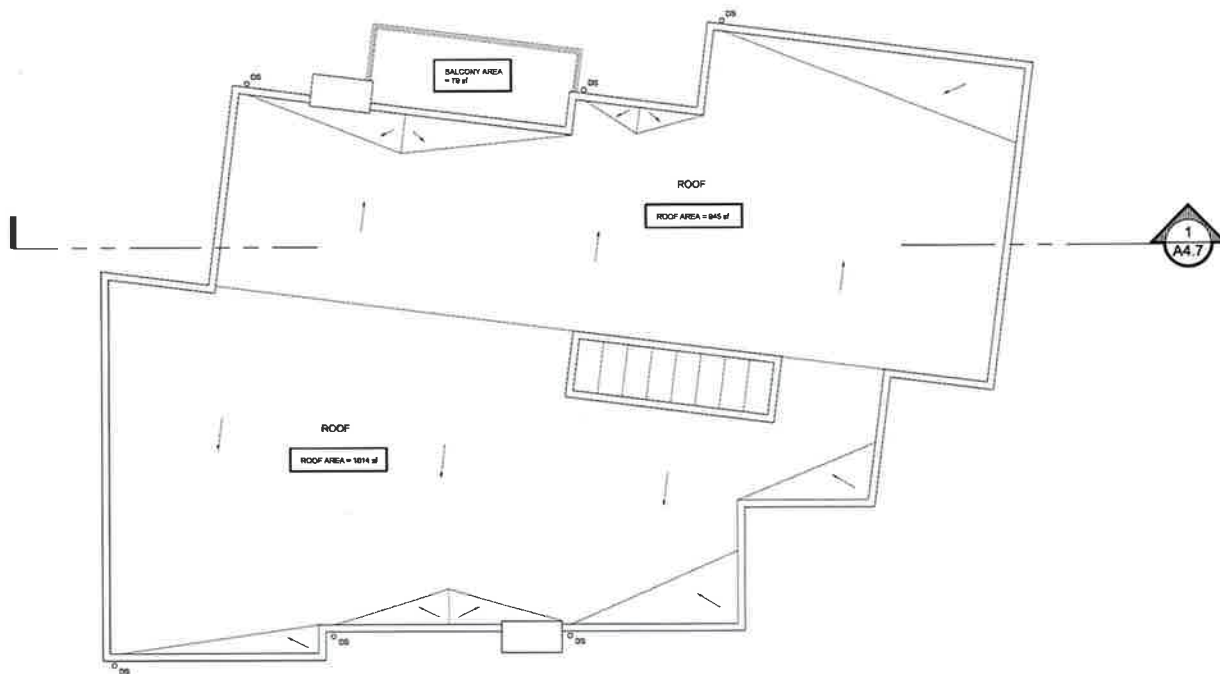
designer KC
 drafter
 checker

sheet title
HOUSE 64
BASEMENT PLAN

scale date
 1/4"=1'-0" 1/31/17
 project number



sheet number
A-4.4
 sheet _____ of _____



ROOF PLAN
SCALE: 1/8"=1'-0"



project
NEW SINGLE FAMILY RESIDENCES
 TOPA WEST TERRACE
 THIRSBARD OAKS, CA
 for:

prepared by
 Kevin Chan
 1967 Lee Street
 San Valley, California
 93065
 telephone:
 818 613-1828
 email:
 kevinc11@roofof.com
 for:
 905 842-1238

consultant(s)

date	description	by

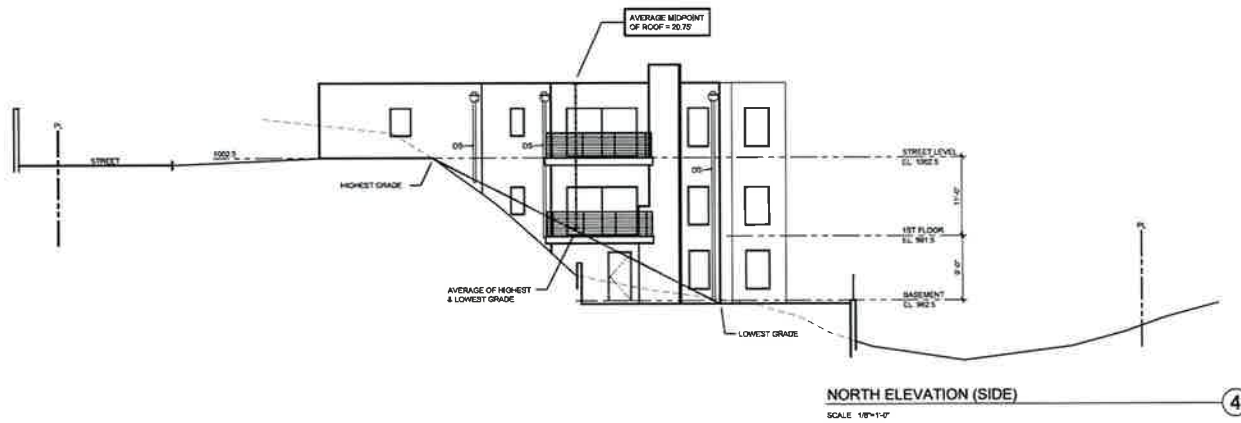
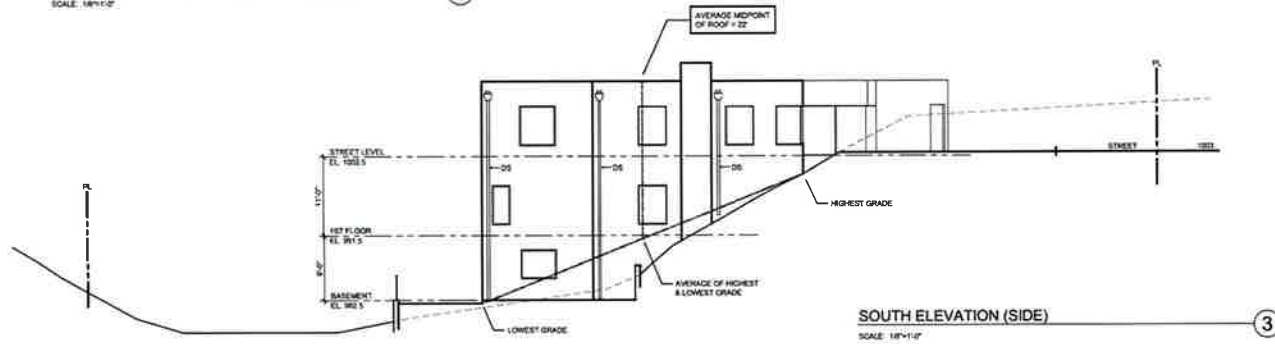
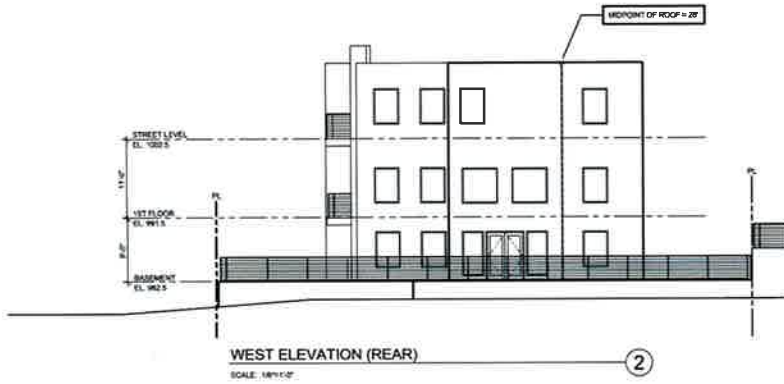
designer KC
 drafter
 checker

sheet title
**HOUSE #4
 ROOF PLAN**

scale date
 1/4"=1'-0" 1/5/17
 project number

sheet number
4

sheet number
A-4.5
 sheet _____ of _____



project
**NEW SINGLE FAMILY
 RESIDENCES**
 TOPA VIEW TERRACE
 THOUSAND OAKS, CA
 for:

prepared by

Kevin Chan
 1957 Lee Street
 Simi Valley, California
 92686

telephone
 818 613 1980

email:
 kevin11@earthlink.net

fax:
 805 842 1238

consultant(s)

△ date/description by

designer KC
 drafter
 checker

sheet title

**HOUSE #4
 ELEVATIONS**

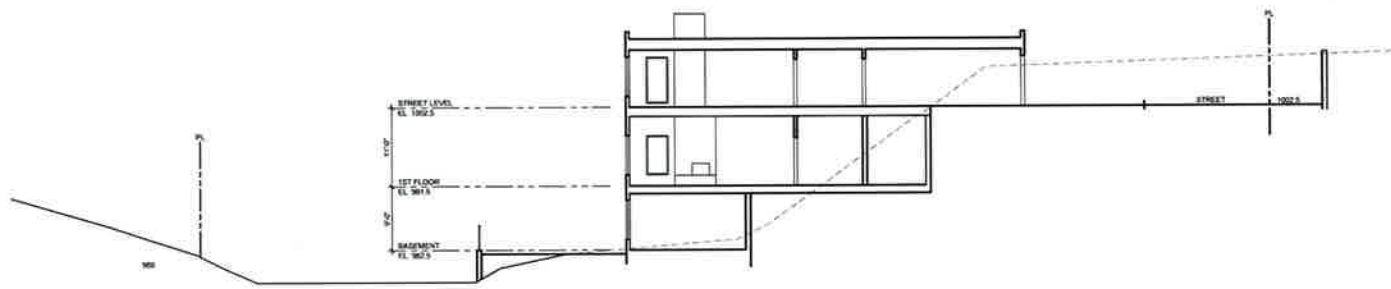
scale 1/8"=1'-0" date 1/3/17
 project number

4

sheet number

A-4.6

drawn of



SECTION
SCALE: 1/8"=1'-0"

①

project
**NEW SINGLE FAMILY
RESIDENCES**
TOPA VIEW TERRACE
THOUSAND OAKS, CA
for:

prepared by

Kevin Chan
1957 Lee Street
Sun Valley, California
93095

telephone:
818-513-1288

email:
kevin11@ucsf.com

fax:
805-842-1236

consultant(s)

△ date/description by

designer KC
drafter
checker

sheet title

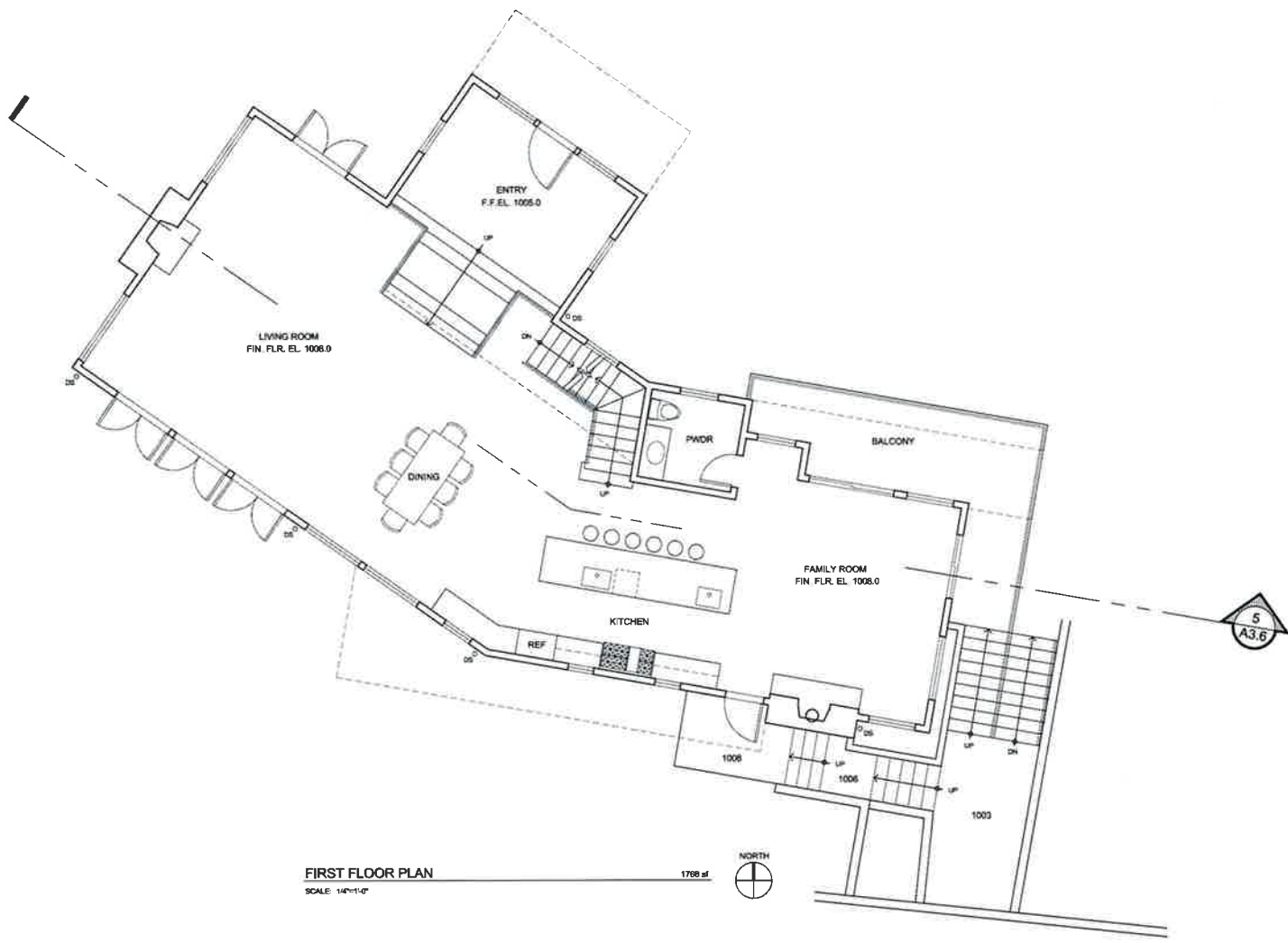
**HOUSE #4
SECTION**

scale date
1/8"=1'-0" 1/3/17
project number

4

sheet number

A-4.7
sheet of



FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0" 1768 sf

project
NEW SINGLE FAMILY RESIDENCES
 TOPA VIEW COURSE
 THOUSAND OAKS, CA
 for:

prepared by
 Kevin Chan
 1957 Lee Street
 Simi Valley, California
 90080
 telephone
 818.513.1988
 email
 kavin11@soval.ir.com
 fax
 805.642.1238

consultant(s)

△	date/description	by

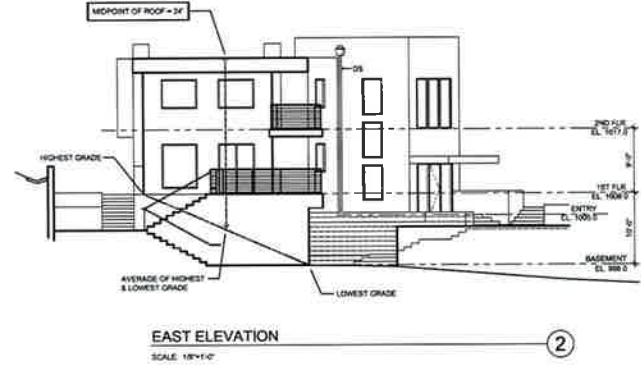
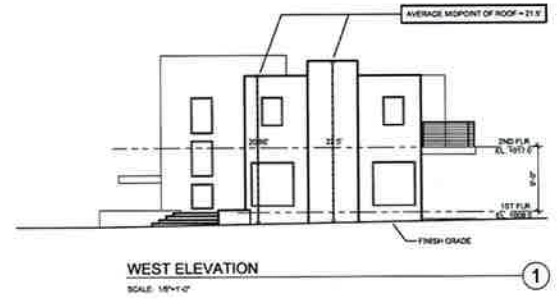
designer KC
 drafter
 checker

sheet title
HOUSE #3
1ST FLOOR PLAN

scale 1/4"=1'-0" date 1/3/17
 project number

sheet number
3

A-3.3
 sheet ___ of ___



project
NEW SINGLE FAMILY RESIDENCES
 TOPA VIEW TERRACE
 THOUSAND OAKS, CA
 for:

prepared by
 Kevin Chen
 1967 Lee Street
 Simi Valley, California
 93065
 telephone
 818 613 1980
 email
 kavin11@socialr.com
 fax
 805 842 1238

consultant(s)

date/description by

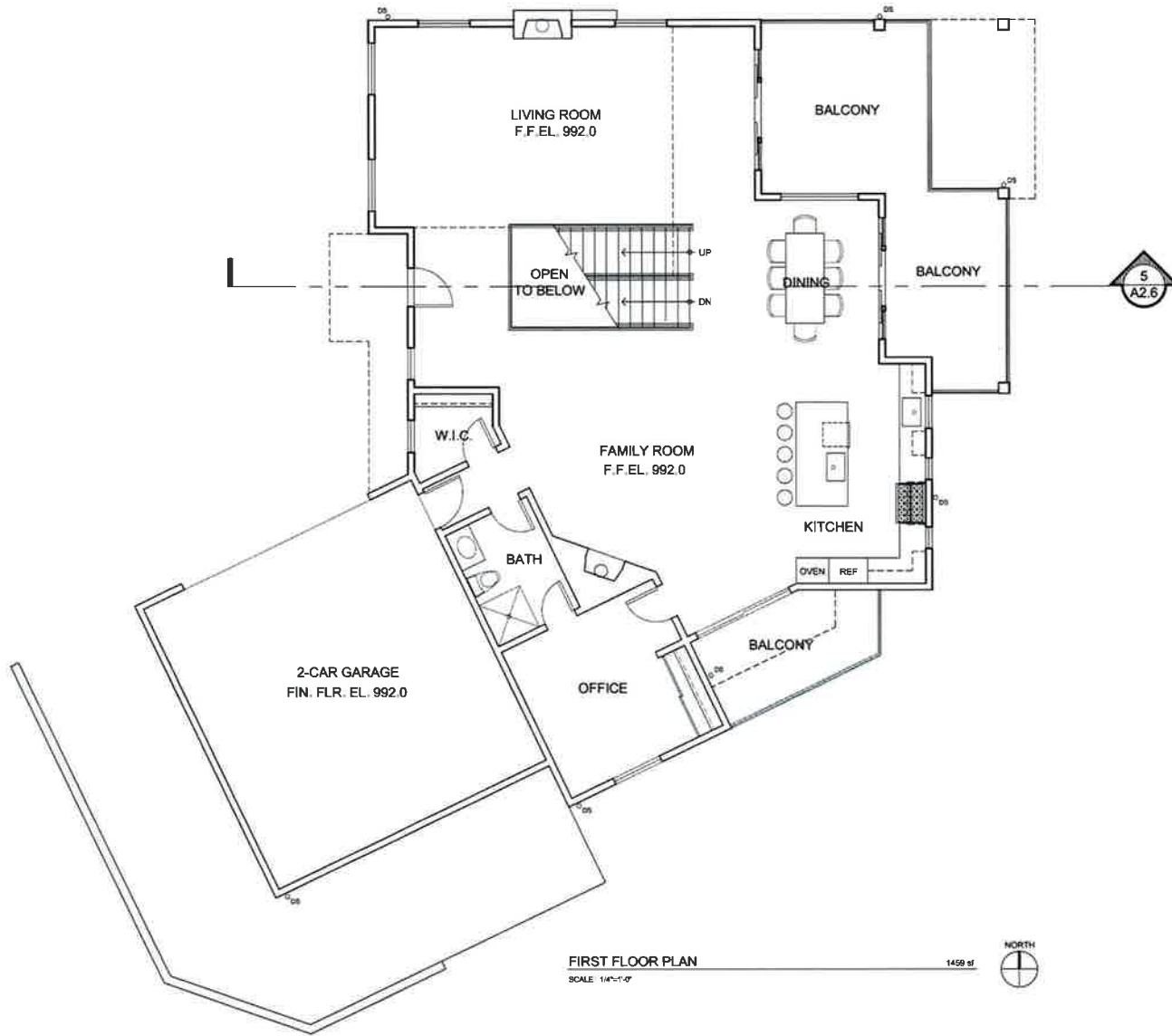
designer KC
 drafter
 checker

sheet title
HOUSE 63 ELEVATIONS & SECTION

scale 1/8"=1'-0"
 date 1/3/17
 project number

3
 sheet number

A-3.6
 sheet of



project
NEW SINGLE FAMILY RESIDENCES
 TOPA VIEW RESIDENCE
 THOUSAND OAKS, CA
 for:

prepared by

Kevin Chan
 1957 Lee Street
 Simi Valley, California
 90065
 telephone
 818.513.1968
 email
 kevinr11@soocal.ir.com
 fax
 805.542.1238

consultant(s)

△ date/description by

designer KC
 drafter
 checker

sheet title

HOUSE #2
1ST FLOOR PLAN

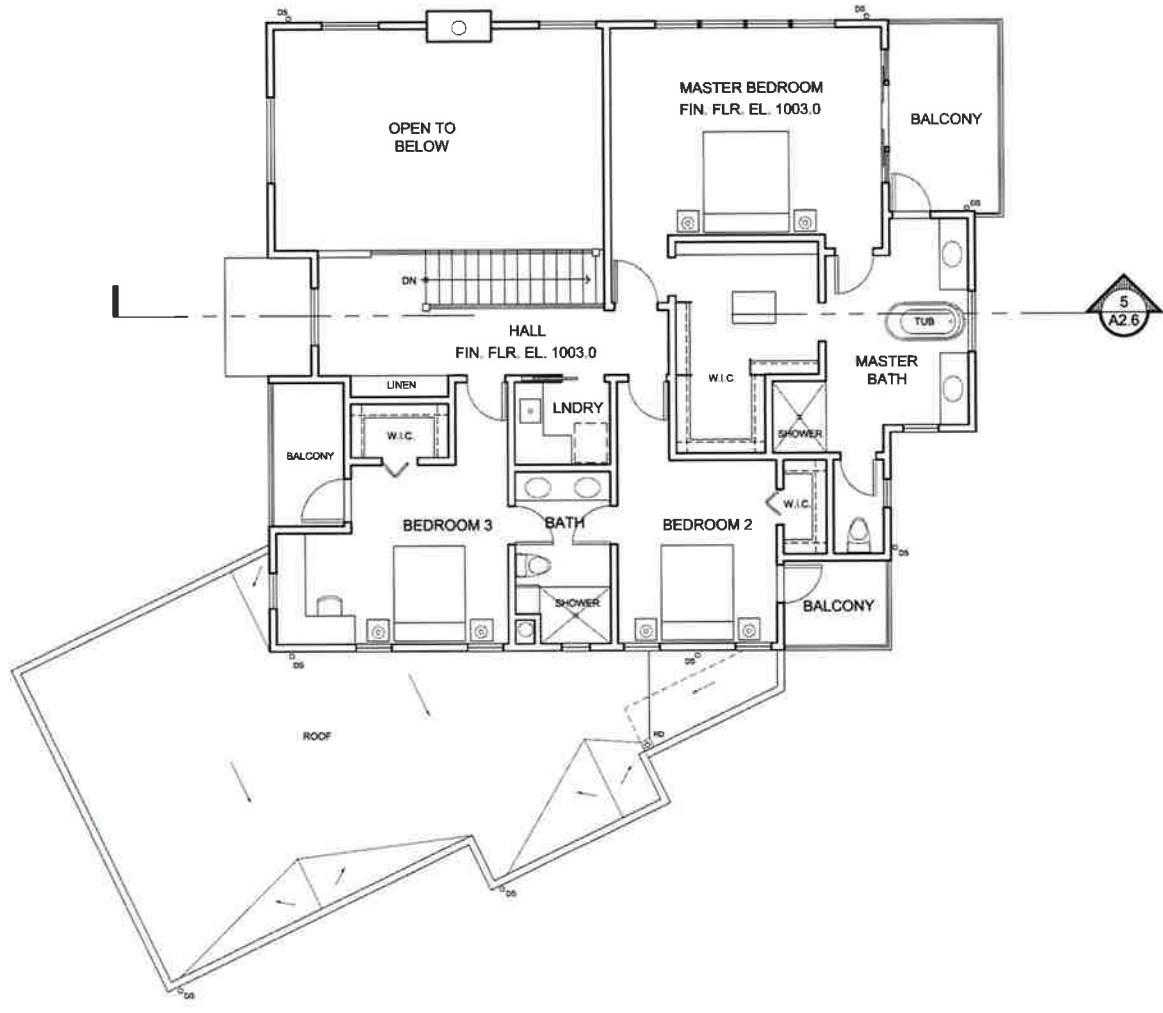
scale date
 1/4"=1'-0" 1/3/17
 project number

2

sheet number

A-2.3

sheet ___ of ___



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"
1459 sq.



project
NEW SINGLE FAMILY RESIDENCES
 TOPA VIEW TERRACE
 THURSDAY OAKS, CA
 floor:

prepared by

Kevin Chan
 1957 Lee Street
 Simi Valley, California
 93065

telephone
 818.513.1988

email
 kevinc11@social.ir.com

fax
 805.842.1238

consultant(s)

date/description	by

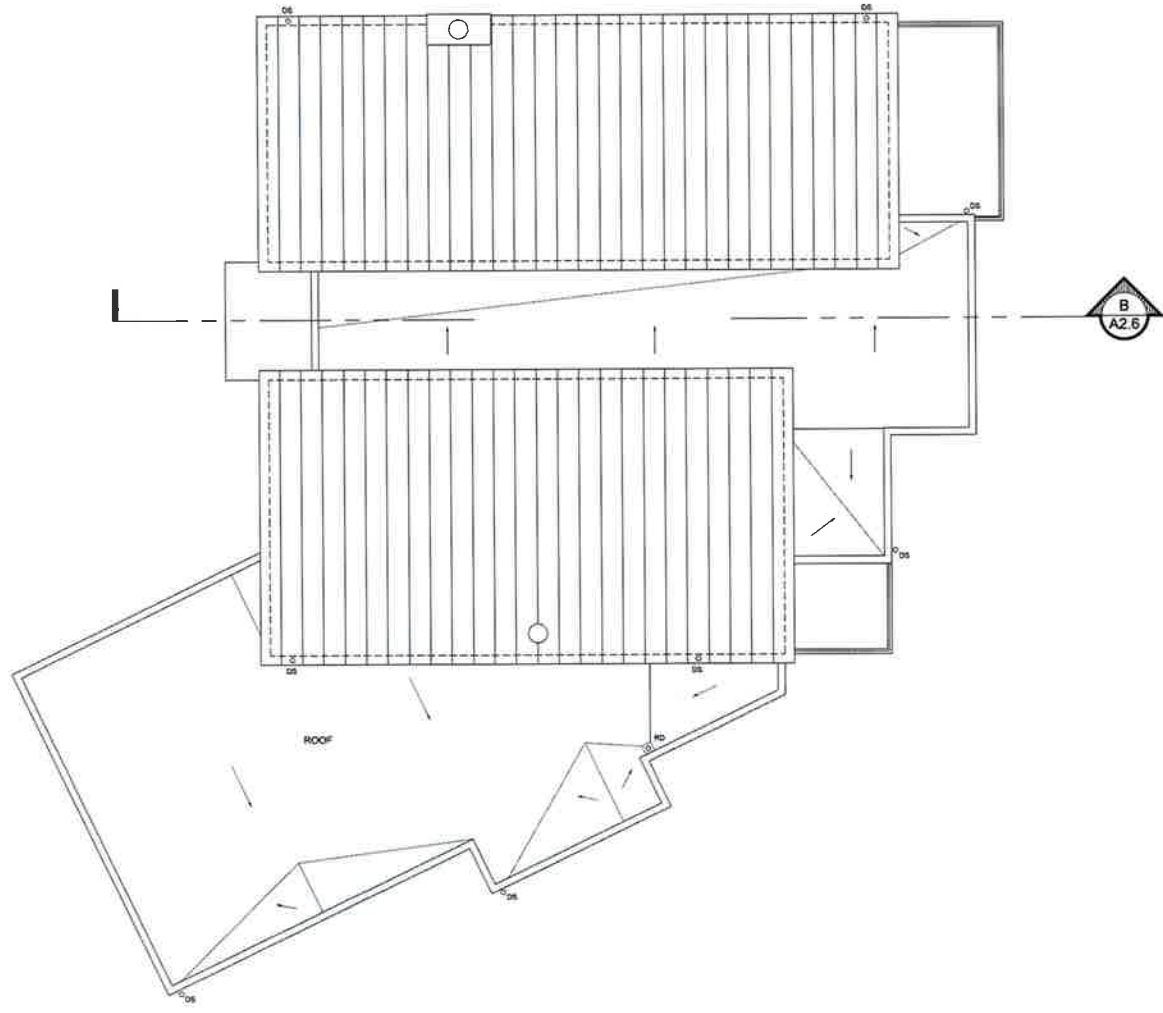
designer KC
 drafter
 checker

sheet title
HOUSSE 02
2ND FLOOR PLAN

scale date
 1/4"=1'-0" 1/3/17
 project number

2
 sheet number

A-2.4
 sheet of



ROOF PLAN
SCALE: 1/4"=1'-0"

1442 of



project
**NEW SINGLE FAMILY
 RESIDENCES**
 TOPA VIEW TRAILHEAD
 THOUSAND OAKS, CA
 for:

prepared by

Kevin Chan
 1827 Lee Street
 Simi Valley, California
 93065
 telephone:
 818 613 1889
 email:
 kavin14@soocal.r.com
 fax:
 805 942 1238

consultant(s)

△ description by

designer KC
 drafter
 checker

sheet title

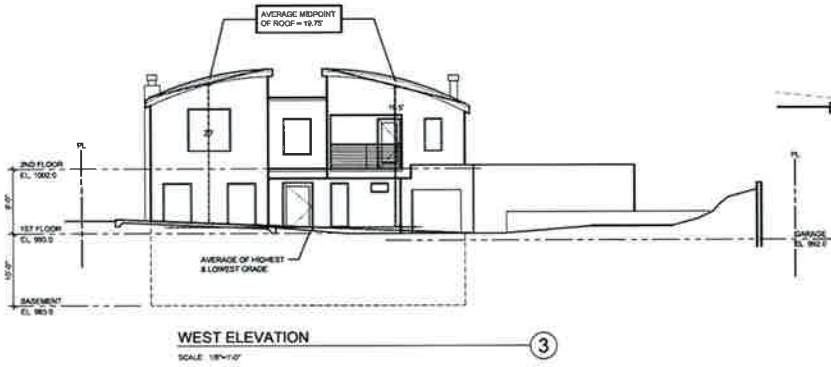
**NOISE 62
 ROOF PLAN**

scale date
 1/4"=1'-0" 1/3/17
 project number

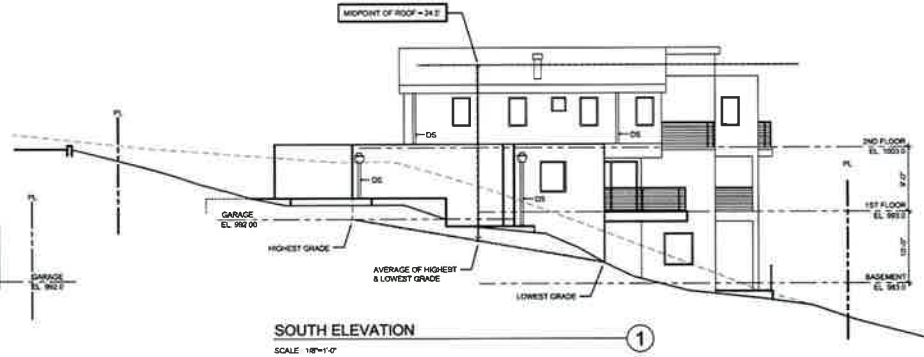
2

sheet number

A-2.5
 sheet of



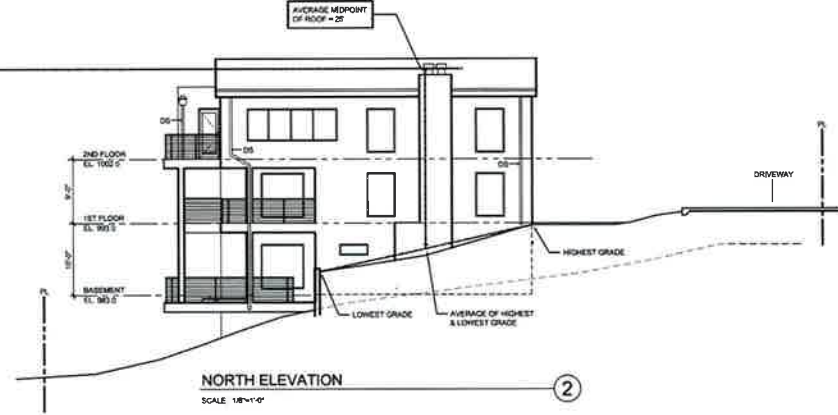
WEST ELEVATION
SCALE: 1/8"=1'-0"



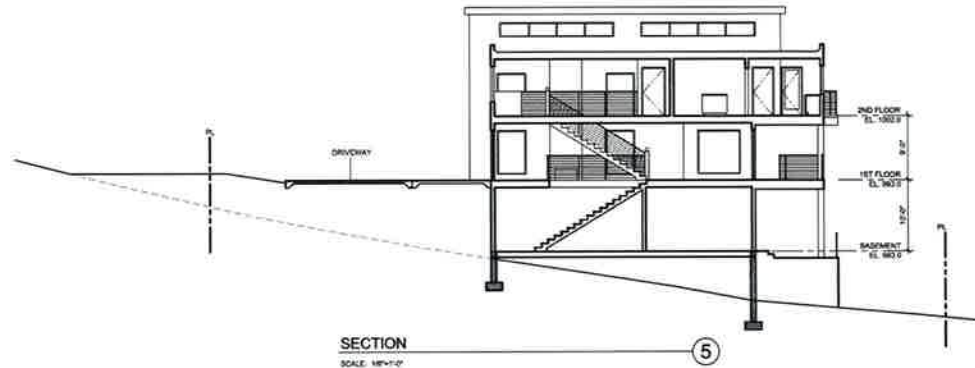
SOUTH ELEVATION
SCALE: 1/8"=1'-0"



EAST ELEVATION
SCALE: 1/8"=1'-0"



NORTH ELEVATION
SCALE: 1/8"=1'-0"



SECTION
SCALE: 1/8"=1'-0"

project
**NEW SINGLE FAMILY
RESIDENCES**
TOLAK VIEW TERRANCE
THOUSAND OAKS, CA
for:

prepared by

Kevin Chan
1967 Lee Street
Simi Valley, California
93065

telephone
818.613.1888

email
kevinc11@cox.net

fax
805.842.1238

consultant(s)

date/description by

designer KC
drafter
checker

sheet title

**HOUSE #2
ELEVATIONS
& SECTION**

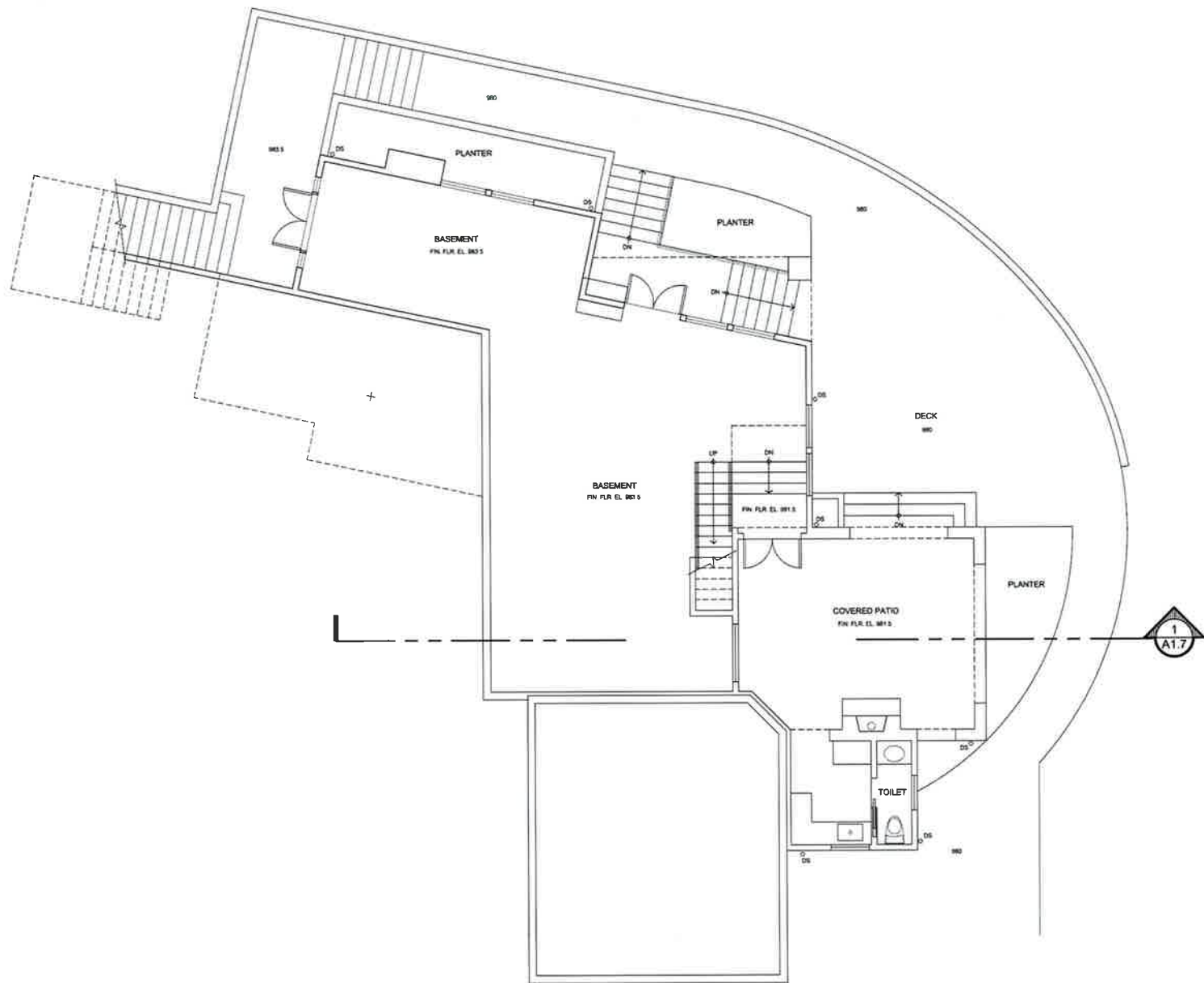
scale 1/4"=1'-0"
date 1/3/17
project number

2

sheet number

A-2.6

sheet of



project
NEW SINGLE FAMILY RESIDENCES
 TRINA MEIER PRODUCTIONS
 THOUSAND OAKS, CA
 for:

prepared by

Kevin Chan
 1857 Las Street
 San Jose Valley, California
 95065
 telephone
 518 613 1989
 email
 kchan11@cox.net
 fax:
 925.242 1238

consultant(s)

△ @description by

designer KC
 drafter
 checker

sheet title

**HOUSE 01
 BASEMENT PLAN**

scale 1/4"=1'-0"
 date 1/3/17
 project number

1

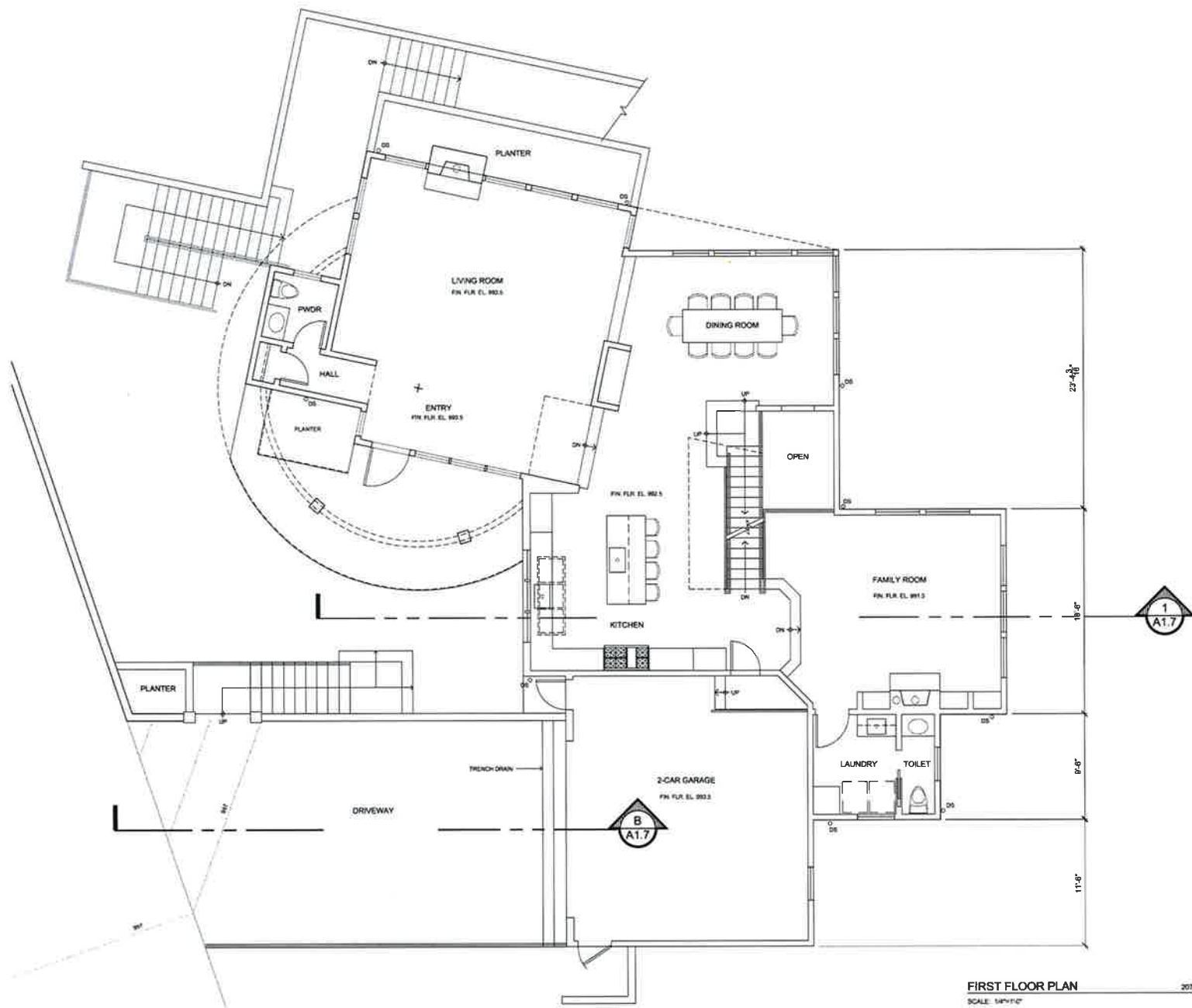
sheet number

A-1.2

sheet _____ of _____



BASEMENT PLAN



FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"
 2073 sf



Project
NEW SINGLE FAMILY RESIDENCES
 TOPA VIEW TERRACE
 THOUSAND OAKS, CA
 for:

prepared by
 Kevin Chen
 1827 Lee Street
 Simi Valley, California
 93065
 telephone
 818 813 1988
 email
 kevin11@soocal.com
 fax:
 805 842 1236

consultant(s)

△ date/description by

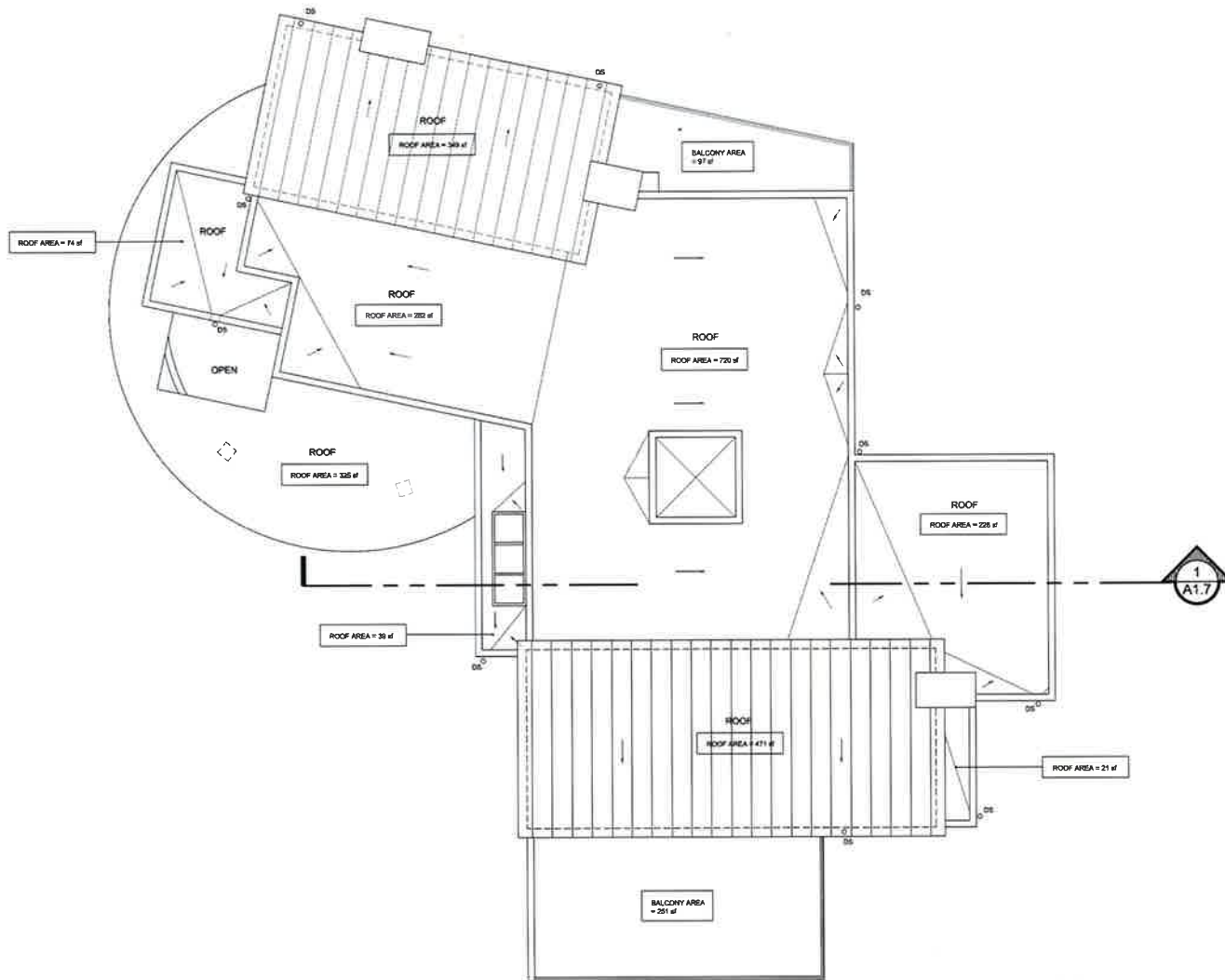
designer KC
 drafter
 checker

sheet title
HOUSE 01
1ST FLOOR PLAN

scale 1/4"=1'-0"
 date 1/3/17
 project number

1
 sheet number

A-1.3
 sheet ___ of ___



ROOF PLAN
SCALE: 1/4"=1'-0"



project
**NEW SINGLE FAMILY
 RESIDENCES**
 TOPA VIEW TERRACE
 THOUSAND OAKS, CA
 for:

prepared by

Karen Chan
 1907 Lee Street
 Simi Valley, California
 93065

telephone
 818.613.1999

email
 kavinr11@aol.com

fax
 805 642 1236

consultant(s)

△ date/description by

designer KC
 drafter
 checker

sheet title

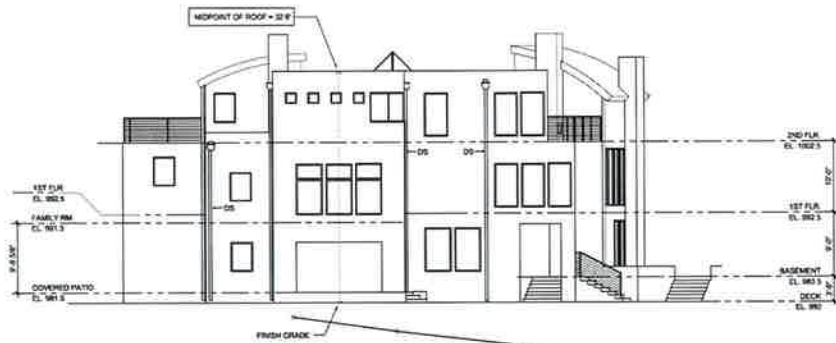
**NOISE #1
 ROOF PLAN**

scale date
 1/4"=1'-0" 1/3/17
 project number

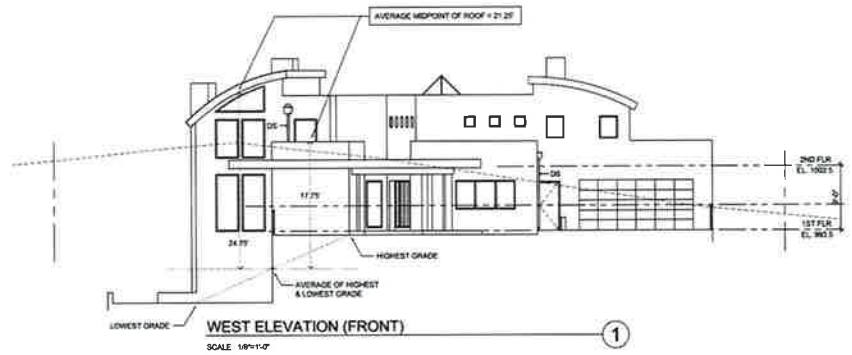
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sheet number

A-1.5
 sheet ___ of ___



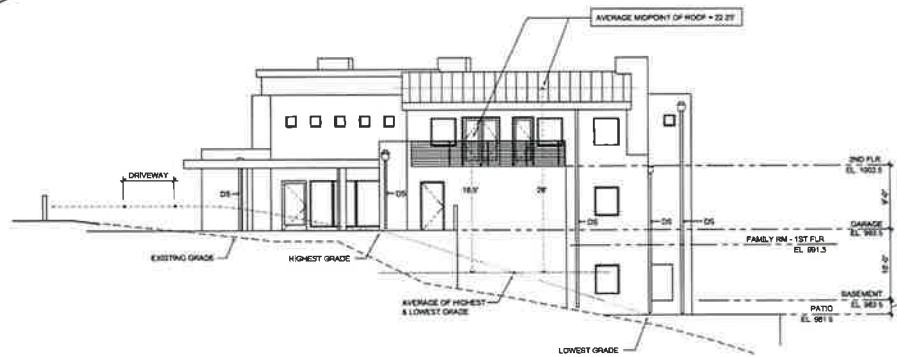
EAST ELEVATION (REAR)
SCALE: 1/8"=1'-0"



WEST ELEVATION (FRONT)
SCALE: 1/8"=1'-0"



NORTH ELEVATION (SIDE)
SCALE: 1/8"=1'-0"



SOUTH ELEVATION (SIDE)
SCALE: 1/8"=1'-0"

project
NEW SINGLE FAMILY RESIDENCES
TUPA NEW THOROUGH THOUSAND OAKS, CA
for:

prepared by

Kevin Chan
1857 Lee Street
Simi Valley, California
93065

telephone:
818 613.1988

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kevinc11@coxall.net

fax:
805 842.1256

consultant(s)

△ date/description by

designer KC
drafter
checker

sheet title

HOUSE #1 ELEVATIONS

scale 1/8"=1'-0" date 1/3/17
project number

1

sheet number

A-1.6

sheet of

project
NEW SINGLE FAMILY RESIDENCES
 TOPA VIEW TERRACE
 THOUSAND OAKS, CA
 for:

prepared by

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 92686

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 kavin11@icad.com

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designer KC
 drafter
 checker

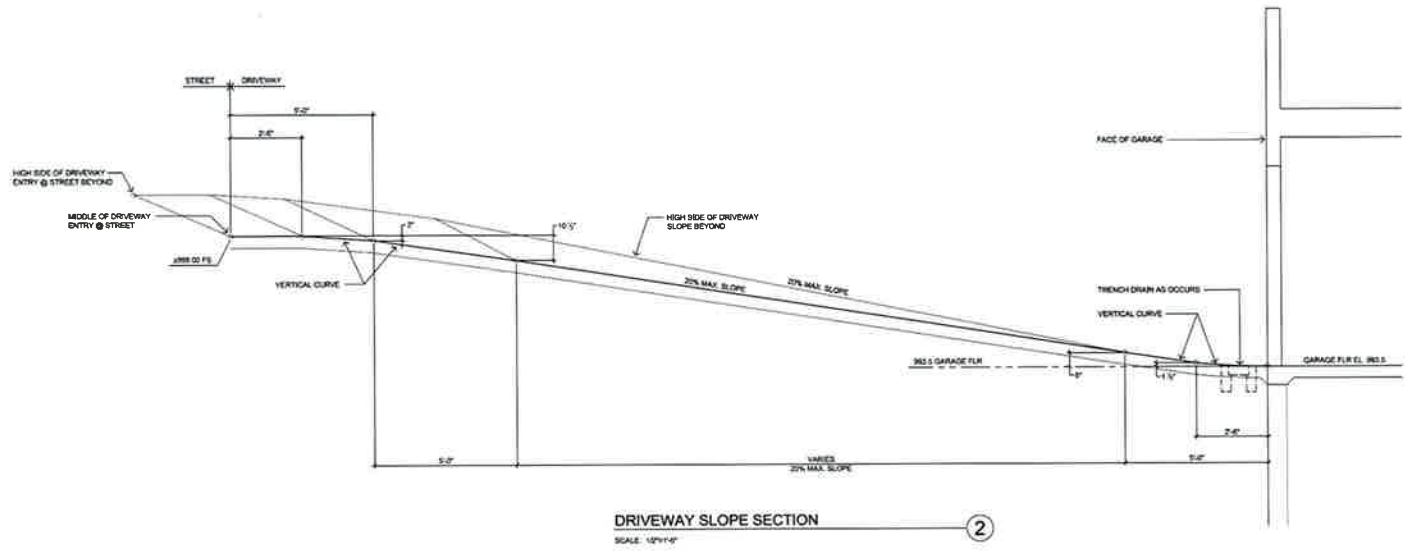
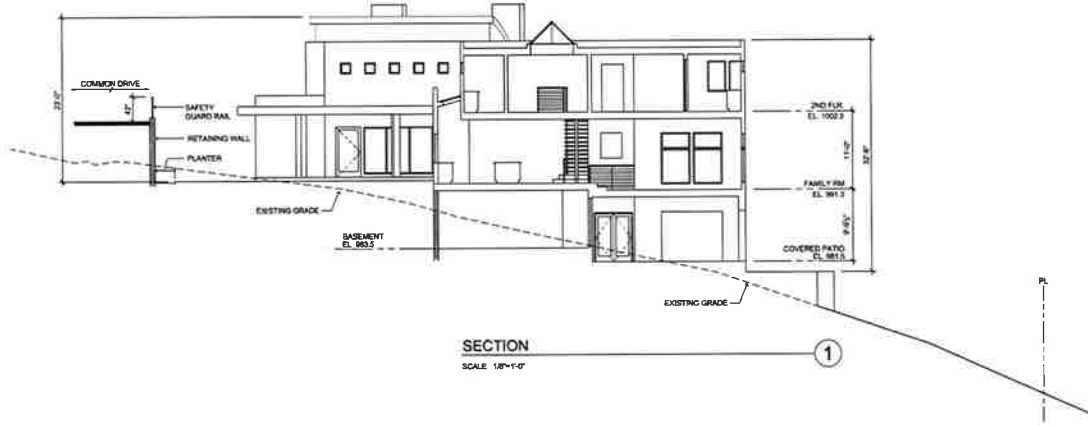
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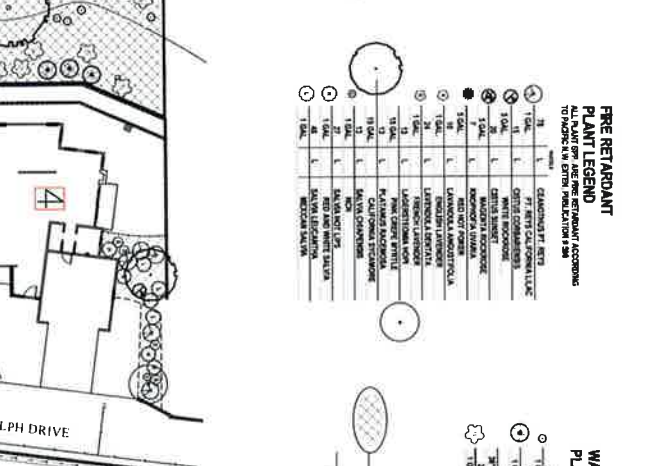
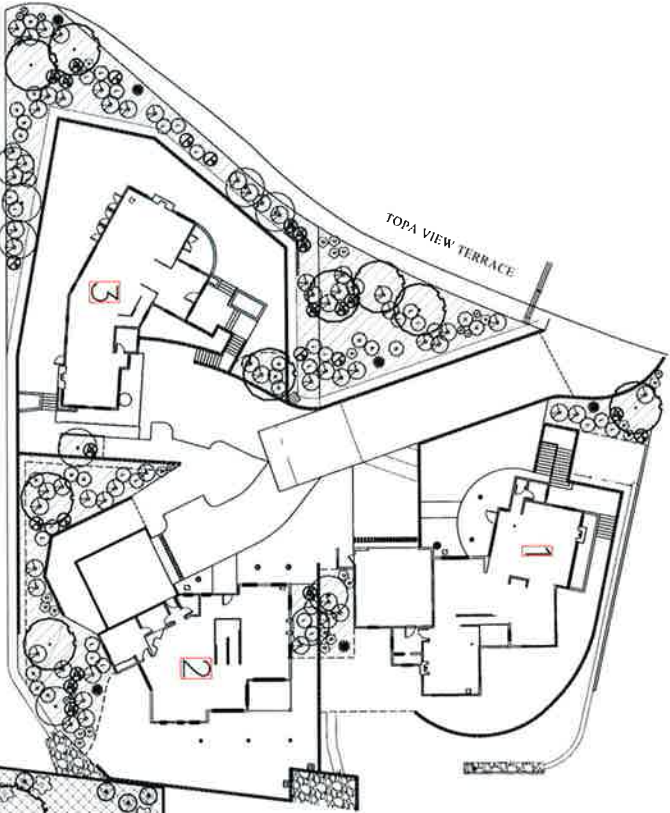
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 date 1/31/17
 project number

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sheet number

A-1.7
 sheet of





WATERSHED RESTORATION AREA

FIRE RETARDANT PLANT LEGEND
ALL PLANT SPECIES ARE FIRE RETARDANT ACCORDING TO CALIFORNIA FIRE CODE SECTION 909

SYMBOL	PLANT SPECIES
1	CELANOPELUS SP.
2	FRUITING CALIFORNIA LILAC
3	GREY PINNACLES
4	GREY PINNACLES
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WATERSHED PLANT LEGEND

SYMBOL	PLANT SPECIES
1	AGAVE PALM
2	AGAVE PALM
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6	AGAVE PALM
7	AGAVE PALM
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GROUND COVER LEGEND

SYMBOL	GROUND COVER SPECIES
1	HYDRANGEA
2	HYDRANGEA
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6	HYDRANGEA
7	HYDRANGEA
8	HYDRANGEA
9	HYDRANGEA
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94	HYDRANGEA
95	HYDRANGEA
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98	HYDRANGEA
99	HYDRANGEA
100	HYDRANGEA

Planting Notes
 1. All plantings shall be installed in accordance with the landscape plan and specifications.
 2. All plantings shall be installed in accordance with the landscape plan and specifications.
 3. All plantings shall be installed in accordance with the landscape plan and specifications.
 4. All plantings shall be installed in accordance with the landscape plan and specifications.
 5. All plantings shall be installed in accordance with the landscape plan and specifications.
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 8. All plantings shall be installed in accordance with the landscape plan and specifications.
 9. All plantings shall be installed in accordance with the landscape plan and specifications.
 10. All plantings shall be installed in accordance with the landscape plan and specifications.

Hydraulic Notes

SYMBOL	PLANT SPECIES
1	AGAVE PALM
2	AGAVE PALM
3	AGAVE PALM
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100	AGAVE PALM

PLANTING PLAN

CITY OF THOUSAND OAKS
 LANDSCAPE PLANTING AND
 IRRIGATION PLAN APPROVAL

COMMUNITY DEVELOPMENT

BY: PUBLIC WORKS

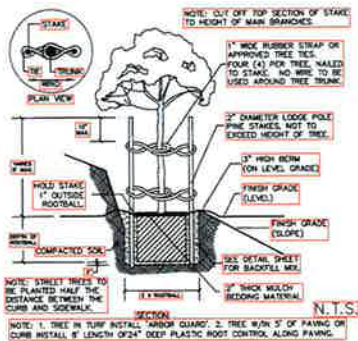
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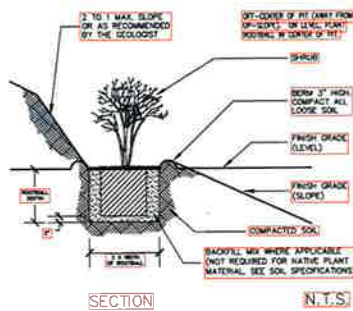
NOTE: PRIOR TO STARTING INSTALLATION A PLUMBING PERMIT MUST BE OBTAINED

NOT FOR CONSTRUCTION

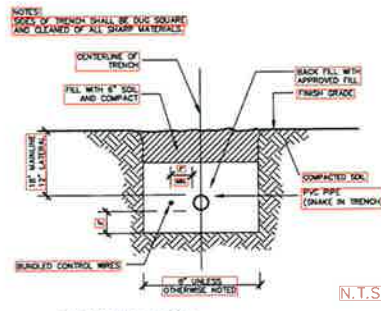
<p>Design By: DD Drawn By: DD Date: 06/27/2018 Scale: 1/20" = 1'-0" Sheet Title: _____</p> <p>L2</p> <p>Sheet 2 of 8</p>	<p>TOPA VIEW PROPERTIES OWNER; ARTAK AGAMALIAN 5225 WELLER DRIVE WOODLANDHILLS, CA 818 370 8145 artakagamalian@gmail.com</p>	<p>DAVE DAVIDSON & ASSOC. 895 West Calle Circulo Camarillo, CA 93010 Phone: (805) 312 5892 Email: jrceidavidson@gmail.com</p>	<p>REVISION</p>	<p>DATE</p>



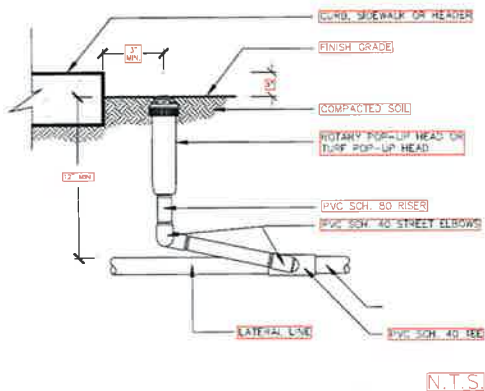
A TREE STAKING



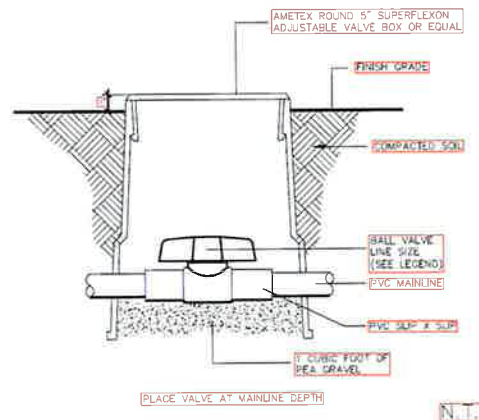
B SHRUB PLANTING



D TRENCH



I POP-UP SPRAY HEAD



G BALL VALVE

CITY OF THOUSAND OAKS
IRRIGATION PLAN APPROVAL

COMMUNITY DEVELOPMENT
BY _____ DATE _____

PUBLIC WORKS
BY _____ DATE _____

NOTE: PRIOR TO STARTING CONSTRUCTION, THE CITY ENGINEER MUST BE NOTIFIED AND PERMIT MUST BE OBTAINED.

NOT FOR CONSTRUCTION

#	REVISION	DATE

DAVE DAVIDSON & ASSOC.
895 West Calle Circulo
Camarillo, CA 93010
Phone: (805) 372 8982
Email: jrdavidson@gmail.com

TOPA VIEW PROPERTIES
OWNER: ARTAK AGAMALIAN
5225 WELLER DRIVE
WOODLANDHILLS, CA
818 370 8145 artakagamalian@gmail.com



NORTH

Design By: DD
Date: 06/27/2018
Scale: 1/20" = 1'-0"
Sheet Title:

L 5

Sheet 5 of 8

PLANTING and IRRIGATION DETAILS

MAWA for LOT 1
MAXIMUM APPLIED WATER ALLOWANCE

HYDROZONE INFORMATION TABLE: LOW USE				
hydrozone	zone	irrig method	area(sq)	% of ls area
valves A, B	In	sprink	1,620	100%

$(ET_{0.62} \times 62 \times LA) - MAWA$

$46.1 \times 62 \times (55 \times 3,620) - 0 = 56,900 \text{ gal}$

Maximum Applied Water Allowance = 56,900 gal/year

MAWA for LOT 2
MAXIMUM APPLIED WATER ALLOWANCE

HYDROZONE INFORMATION TABLE: LOW USE				
hydrozone	zone	irrig method	area(sq)	% of ls area
valves A, C	In	sprink	6,190	100%

$(ET_{0.62} \times 62 \times LA) - MAWA$

$46.1 \times 62 \times (55 \times 6,190) - 0 = 97,300 \text{ gal}$

Maximum Applied Water Allowance = 97,300 gal/year

MAWA for LOT 3
MAXIMUM APPLIED WATER ALLOWANCE

HYDROZONE INFORMATION TABLE: LOW USE				
hydrozone	zone	irrig method	area(sq)	% of ls area
valves A, B	In	sprink	4,090	100%

$(ET_{0.62} \times 62 \times LA) - MAWA$

$46.1 \times 62 \times (55 \times 4,090) - 0 = 64,300 \text{ gal}$

Maximum Applied Water Allowance = 64,300 gal/year

MAWA for LOT 4
MAXIMUM APPLIED WATER ALLOWANCE

HYDROZONE INFORMATION TABLE: LOW USE				
hydrozone	zone	irrig method	area(sq)	% of ls area
valves A, B	In	sprink	6,120	100%

$(ET_{0.62} \times 62 \times LA) - MAWA$

$46.1 \times 62 \times (55 \times 6,120) - 0 = 96,200 \text{ gal}$

Maximum Applied Water Allowance = 96,200 gal/year

MAWA for LOT 5
MAXIMUM APPLIED WATER ALLOWANCE

HYDROZONE INFORMATION TABLE: LOW USE				
hydrozone	zone	irrig method	area(sq)	% of ls area
valves A, B	In	sprink	7,060	100%

$(ET_{0.62} \times 62 \times LA) - MAWA$

$46.1 \times 62 \times (55 \times 7,060) - 0 = 111,000 \text{ gal}$

Maximum Applied Water Allowance = 111,000 gal/year

ETWU for LOT 1
ESTIMATED TOTAL WATER USE

LOW USE

$(ET_{0.62} \times 62 \times LA) - ETWU$

$46.1 \times 62 \times (980) = 41,800 \text{ gal}$

Estimated Total Water Use = $\frac{67}{100} \times 41,800 =$ 41,800 gallons per year

Estimated Total Water Use = 41,800 gallons per year

ETWU for LOT 1
ESTIMATED TOTAL WATER USE

LOW USE

$(ET_{0.62} \times 62 \times LA) - ETWU$

$46.1 \times 62 \times (1,670) = 71,240 \text{ gal}$

Estimated Total Water Use = $\frac{67}{100} \times 71,240 =$ 71,240 gallons per year

Estimated Total Water Use = 71,240 gallons per year

ETWU for LOT 1
ESTIMATED TOTAL WATER USE

LOW USE

$(ET_{0.62} \times 62 \times LA) - ETWU$

$46.1 \times 62 \times (1,110) = 47,350 \text{ gal}$

Estimated Total Water Use = $\frac{67}{100} \times 47,350 =$ 47,350 gallons per year

Estimated Total Water Use = 47,350 gallons per year

ETWU for LOT 1
ESTIMATED TOTAL WATER USE

LOW USE

$(ET_{0.62} \times 62 \times LA) - ETWU$

$46.1 \times 62 \times (1,660) = 70,820 \text{ gal}$

Estimated Total Water Use = $\frac{67}{100} \times 70,820 =$ 70,820 gallons per year

Estimated Total Water Use = 70,820 gallons per year

ETWU for LOT 1
ESTIMATED TOTAL WATER USE

LOW USE

$(ET_{0.62} \times 62 \times LA) - ETWU$

$46.1 \times 62 \times (1,910) = 81,480 \text{ gal}$

Estimated Total Water Use = $\frac{67}{100} \times 81,480 =$ 81,480 gallons per year

Estimated Total Water Use = 81,480 gallons per year

WATER EFFICIENCY LANDSCAPE WORKSHEET

Reference Evapotranspiration (ET₀) = 46.1

HYDROZONES: each Lot is comprised of one Zone (Low Water Use Plants, Spray Irrigation)	plant factor (PF)	irrig method	irrig Efficiency (IE)	ETAF (PE/IE)	LS area (sq ft)	ETAF x area	ETWU (annual gallons req'd)
LOT 1 LOW USE	1	sprink	75	27	5,820	980	41,800
LOT 2 LOW USE	1	sprink	75	27	8,190	1,670	71,240
LOT 3 LOW USE	1	sprink	75	27	4,090	1,110	47,350
LOT 4 LOW USE	1	sprink	75	27	6,120	1,660	70,820
LOT 5 LOW USE	1	sprink	75	27	7,060	1,910	81,480
Average ETAF (EAs) = 27				total	(A)	(B)	ETWU total
					25,060	7,525	112,690
							MAWA (annual gallons allowed)
							425,700

MAWA GRAND TOTAL (all Lots) 425,700

ETWU GRAND TOTAL (all Lots) 312,690

CITY OF THOUSAND OAKS
LANDSCAPE PLANTING AND
IRRIGATION PLAN APPROVAL

COMMUNITY DEVELOPMENT

BY: _____ DATE: _____

PUBLIC WORKS

BY: _____ DATE: _____

NOTE: PRIOR TO STARTING CONSTRUCTION, A PERMIT MUST BE OBTAINED

NOT FOR CONSTRUCTION

#	REVISION	DATE

DAVE DAVIDSON & ASSOC.
895 West Calle Circulo
Camarillo, CA 93010
Phone: (805) 312-8822
Email: jrcdavidson@gmail.com

TOPA VIEW PROPERTIES
OWNER: ARTAK AGAMALIAN
5225 WELLER DRIVE
WOODLANDHILLS, CA
818 370 8145 artakagamalian@gmail.com

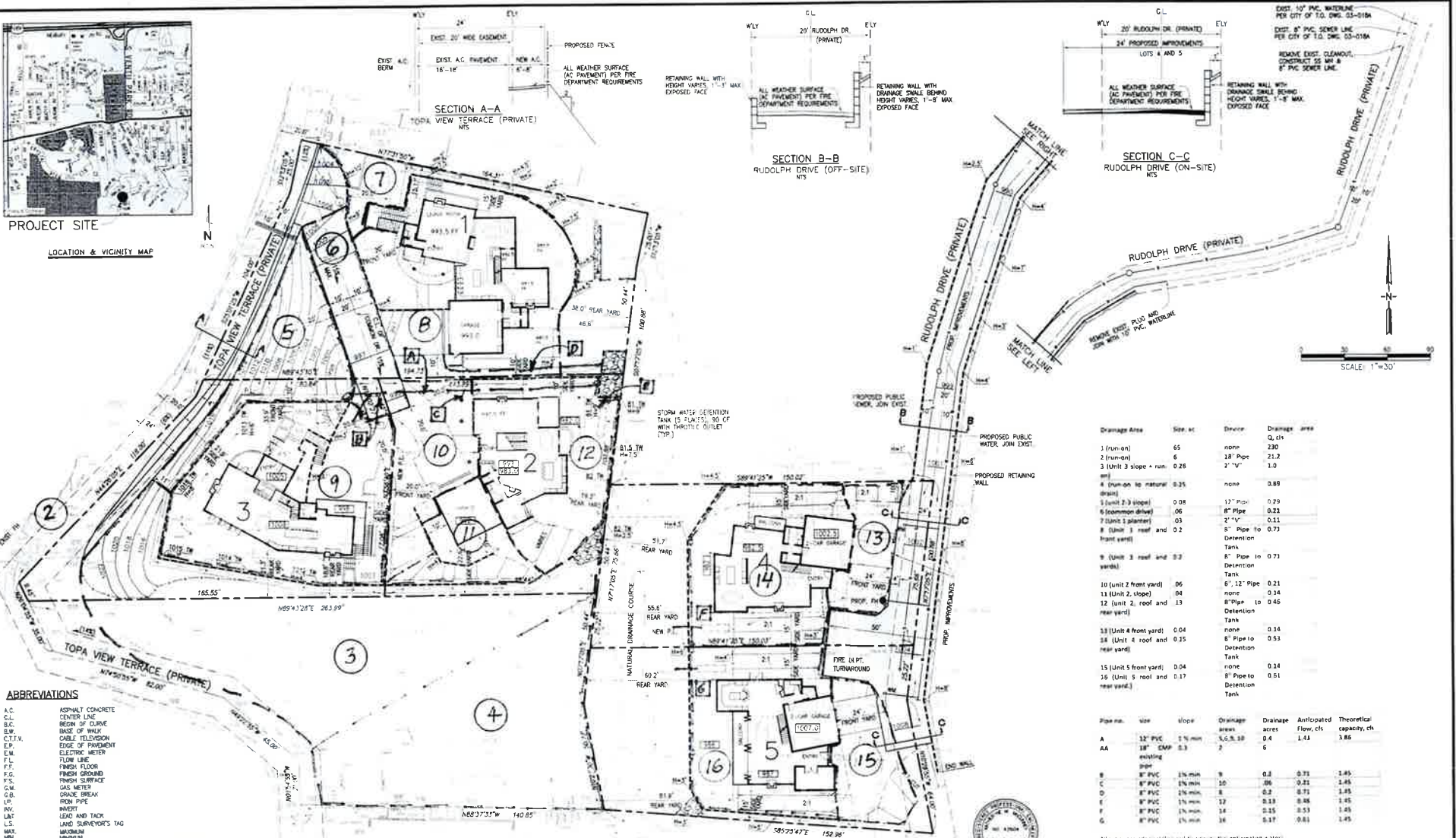


Design By: DD
Drawn By: DD
Date: 06/27/2018
Scale: 1/20" = 1'-0"
Sheet Title:

WATER EFFICIENCY CALCULATIONS



PROJECT SITE
LOCATION & VICINITY MAP



- ABBREVIATIONS**
- A.C. ASPHALT CONCRETE
 - C.L. CENTER LINE
 - B.C. BEGIN OF CURVE
 - B.W. BASE OF WALK
 - C.T.V. CABLE TELEVISION
 - E.P. EDGE OF PAVEMENT
 - E.M. ELECTRIC METER
 - F.L. FLOW LINE
 - F.F. FINISH FLOOR
 - F.S. FINISH SURFACE
 - G.M. GAS METER
 - G.B. GROUND BREAK
 - I.P. IRON PIPE
 - INV. INVERT
 - LAND LEAD AND TACK
 - L.S. LAND SURVEYOR'S TAG
 - M.W. MANHOLE
 - M.W. MANHOLE
 - P.A. PLASTER AREA
 - P.P. POWER POLE
 - P.L. PROPERTY LINE
 - P.L.P. PROPERTY LINE PROD
 - R.E. REGISTERED ENGINEER
 - R.C.E. REGISTERED CIVIL ENGINEER
 - S.D.M.H. STORM DRAIN MANHOLE
 - S.M.H. SEWER MANHOLE
 - S.L.P.B. STREET LIGHT PULL BOX
 - T. TRANSFORMER
 - T.C. TOP OF CURB
 - T.P. TOP OF PILLAR
 - T.S. TOP OF STEP
 - T.S.P.B. TRAFFIC SIGNAL PULL BOX
 - W.F. WOODEN FENCE
 - W.I.F. WROUGHT IRON FENCE
 - W.M. WATER METER
 - W.V. WATER VALVE
 - W.V.C. WATER VALVE COVER

- LEGEND**
- EXISTING SEWER MANHOLE
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING POWER POLE
 - EXISTING FIRE HYDRANT
 - EXISTING POWER POLE
 - EXISTING SIGN
 - EXISTING WATER VALVE
 - EXISTING TRAFFIC SIGNAL
 - CENTER LINE
 - PROPERTY LINE
 - PROPOSED RAIN BARREL (2 PER LOT)
 - PROPOSED STORM WATER DETENTION TANK, 90 OF WITH THROTTLE OUTLET (1 PER LOT)
 - EXISTING WATERLINE
 - EXISTING SEWER LINE
 - EXISTING GAS LINE
 - EXISTING FENCE
 - PROPOSED FENCE
 - PROPOSED WATER
 - PROPOSED GAS
 - PROPOSED RETAINING WALL

Drainage Area	Size ac	Drainage	Drainage area
			Q, cfs
1 (run-on)	65	none	230
2 (run-on)	6	18" Pipe	21.2
3 (Unit 3 slope + run)	0.28	2" PVC	1.0
4 (run-on to natural drain)	0.35	none	0.89
5 (Unit 2 slope)	0.08	12" Pipe	0.29
6 (scammon drive)	0.06	8" Pipe	0.21
7 (Unit 1 planter)	0.03	2" PVC	0.11
8 (Unit 1 roof and 0.2 front yard)	0.2	8" Pipe to Detention Tank	0.73
9 (Unit 3 roof and 0.2 yards)	0.2	8" Pipe to Detention Tank	0.71
10 (Unit 2 front yard)	0.6	6", 12" Pipe	0.21
11 (Unit 2, slope)	0.04	none	0.14
12 (Unit 2, roof and rear yard)	0.13	8" Pipe to Detention Tank	0.45
13 (Unit 4 front yard)	0.04	none	0.14
14 (Unit 4 roof and rear yard)	0.35	8" Pipe to Detention Tank	0.53
15 (Unit 5 front yard)	0.04	none	0.14
16 (Unit 5 roof and rear yard)	0.17	8" Pipe to Detention Tank	0.51

Pipe no.	Size	Slope	Drainage area	Drainage	Anticipated Flow, cfs	Theoretical capacity, cfs
A	12" PVC	1% min	5,6,5,18	0.4	1.41	3.86
AA	18" CMP	0.3	existing	6		
B	8" PVC	1% min	9	0.2	0.71	1.95
C	8" PVC	1% min	15	0.6	0.21	1.45
D	8" PVC	1% min	8	0.2	0.71	1.95
E	8" PVC	1% min	12	0.33	0.86	1.45
F	8" PVC	1% min	14	0.35	0.53	1.08
G	8" PVC	1% min	16	0.17	0.61	1.45



APN'S: 673-0-150-300, -400, -410, -420, -640, -770, -780, -790, -800

<p>PREPARED FOR:</p> <p>ARTAK AGAMALIAN 5225 WELLS DRIVE WOODLAND HILLS, CA (818) 370-8145</p>	<p>PREPARED BY: CIVIL FORMATIONS Consulting Civil Engineers 155 GRANADA STREET, SUITE J CERRITOS, CA 94510 (818) 464-4880 CELL: (805) 468-2208 kath@civiformations.com</p>	<p>DRAINAGE AREA MAP</p> <p>TOPA VIEW PROPERTIES VENTU PARK ESTATES</p> <p>6-12-18 SHEET 1 OF 1</p>
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New Single Family Residences Topa View Properties Thousand Oaks, California

project
**NEW SINGLE FAMILY
 RESIDENCES
 TOPA VIEW TERRACE**
 THOUSAND OAKS, CA
 KSI
 ARCH: Aparajith & Arjan Mistry

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colou, RMB(1)

△ definition by

designer
 drafter
 checker

sheet title

**PROPOSED
 SITE PLAN**

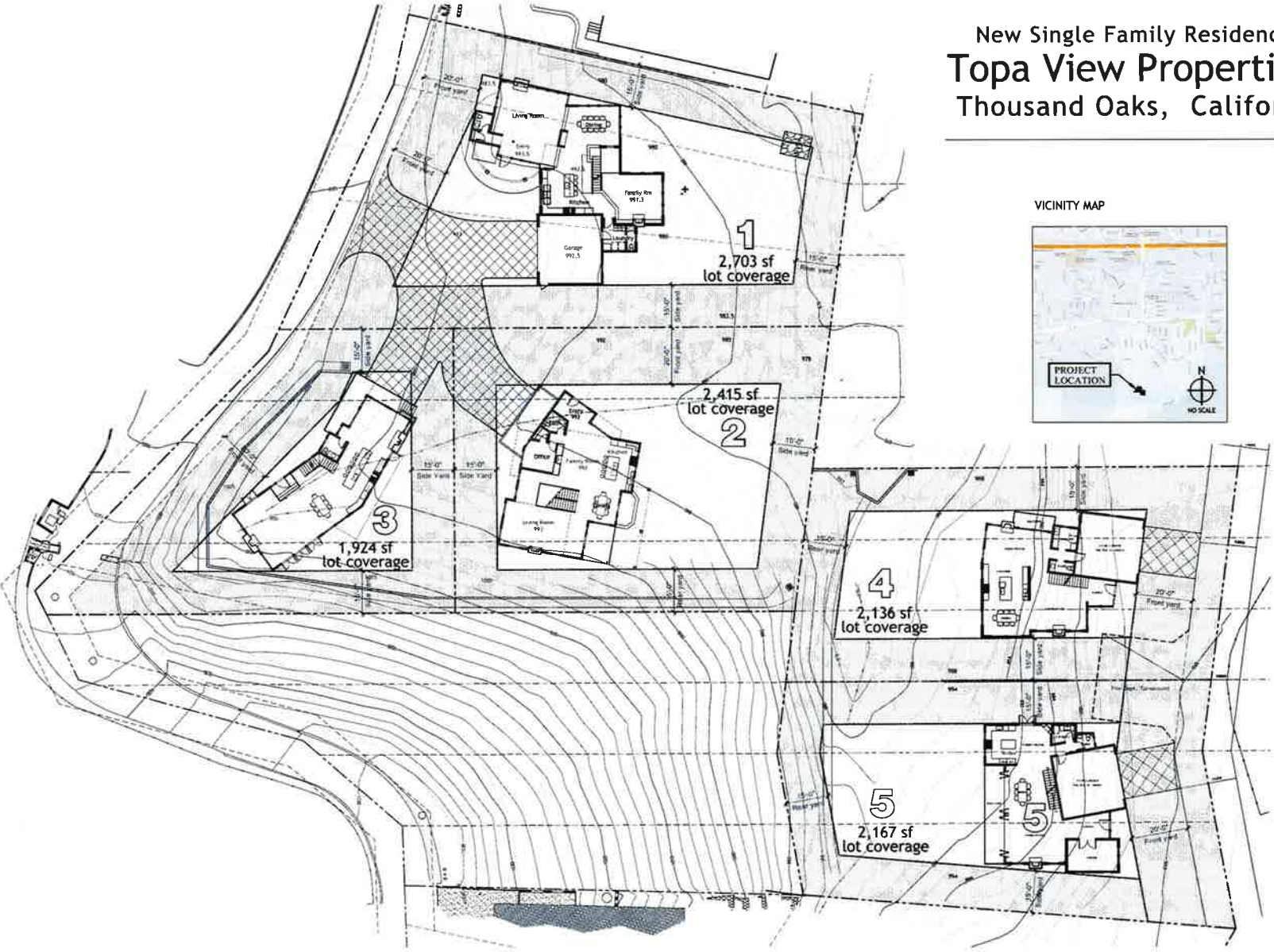
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 1/16"=1'-0" 7/26/21
 project number

sheet number

A-0

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VICINITY MAP



PROPOSED SITE PLAN
 SCALE 1/16"=1'-0"





Community Development Department

2100 Thousand Oaks Boulevard • Thousand Oaks, CA 91362
Planning Division • Phone 805/449.2323 • Fax 805/449.2350 • www.toaks.org
Building Division • Phone 805/449.2500 • Fax 805/449.2575 • www.toaks.org

Mark A. Towne
Community Development Director

July 13, 2017

Kristina Boero, Associate Planner
County of Ventura Resource Management Agency
Planning Division
800 South Victoria Avenue L#1740
Ventura, CA 93009

Subject: Review of New Project Application No. PL17-0081;
APN Nos. 673-0-150-405, 415, 425, 305, 645, 805, 815, 775, 795 and 825;
City Case No. IRC 2017-70291

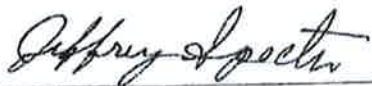
Dear Ms. Boero:

This is in response to your request to review application PL17-0081, a request to build 5 dwellings on Topa View Terrace. This project is within the Upper Ventu Park area of the Thousand Oaks Area Plan. We respectfully offer the following comments:

1. Implement Land Use Goal No. 6 described in Section 3.1.1. of the Thousand Oaks Area Plan. This goal calls for the County to support the Guidelines for Orderly Development, especially those policies which state that land use and development standards and capital improvement requirements should not be less than those imposed by the City. City standards and guidelines included the following restrictions:
 - a. Grading of slopes that exceed 25%
 - b. Manufactured slopes that exceed 25 feet in height.
 - c. Buildings above 25 feet in average height
 - d. Retaining walls above 6 feet in height
2. Apply the building coverage standards in Figure 4 (Building Intensity/Population Density Standards Summary Table- Public Open Space/Open Space) of the Thousand Oaks Area Plan. The site is located within the UR 4 Urban Residential (2-4 DU/AC) land use designation. According to Figure 4, the maximum building coverage in the UR 4 designation is 35%, except that nonconforming lots of less than one acre, maximum building coverage shall be as specified, or 2,500 sq. ft., plus 1 square foot of building area for each 4,596 sq. ft. of lot area over 5,000 sq. ft., whichever is greater.

County of Ventura
Planning Director Hearing
PL17-0081
Exhibit 6 - July 13, 2017 City of Thousand Oaks comments

3. Apply the open space/recreation area standard, described in Sec. 5.1.2 of the Thousand Oaks Area Plan, which sets minimum percentage of the site to be preserved based on the slope of the site.
4. Implement Objective 2 as described in Sec. 5.3.2 of the Thousand Oaks Area Plan, "encourage only minimal grading which relates to the natural contour of the land, and which will round off, in a natural manner, sharp angles at the top and ends of cuts and fill slopes, and which does not result in a "staircase" or "terrace" effect."
5. Comply with the standards described in Sec. 5.3.7 Scenic Resource Protection Overlay Zone. The property is within the RA-1ac/SRP zoning classification.
6. This project will require water and sewer service from the City of Thousand Oaks. Therefore, the developer will need to enter into an Out of Area Service Agreement(s) with the City of Thousand Oaks. The City must request approval from Ventura County Local Agency Formation Commission. A standard condition of approval for an out of agency service agreement is recordation of an agreement by the landowner consenting to annex the territory. This agreement is binding on the future owners of the property.



Jeffrey Specter, Senior Planner

