



Planning Director Staff Report Hearing on June 20, 2024

County of Ventura • Resource Management Agency

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MIRCETIC CONDITIONAL USE PERMIT AND PLANNED DEVELOPMENT (PD) PERMIT CASE NO. PL23-0009

A. PROJECT INFORMATION

1. **Request:** The applicant requests approval of a Conditional Use Permit (CUP) and Planned Development (PD) Permit to authorize development of a single-family dwelling, an accessory dwelling unit (ADU), residential accessory structures, and structures accessory to an animal husbandry use. The PD Permit would authorize non-habitable residential accessory structures to cumulatively exceed 2,000 square feet (sq. ft.) and the development of five structures within a Surface Water Feature in the Habitat Connectivity and Wildlife Corridor (HCWC) Overlay Zone. The CUP would authorize animal husbandry accessory structures to exceed 2,000 sq. ft (Case No. PL23-0009).
2. **Applicant:** Keeley Mircetic, 11820 Topa Vista Road, Santa Paula, CA 93060
3. **Property Owner:** Neda Mircetic Revocable Trust, 8828 Tacoma Street, Ventura, CA 93004
4. **Applicant's Representative:** Erik Nagy, Jensen Design and Survey, 1672 Donlon Street, Ventura, CA 93003
5. **Decision-Making Authority:** Pursuant to the Ventura County Non-Coastal Zoning Ordinance (NCZO) (Section 8105-4 and Section 8111-1.2 et seq.), the Planning Director is the decision-maker for the requested CUP and PD Permit.
6. **Project Site Size, Location, and Parcel Number:** The 5.66-acre project site is located at 11820 Topa Vista Road, approximately 700 feet south of State Route 150 (Ojai-Santa Paula Road) in the unincorporated Upper Ojai Valley area of Ventura County. The Tax Assessor's parcel number for the parcel that constitutes the project site is 037-0-080-115 (Exhibit 2).
7. **Project Site Land Use and Zoning Designations (Exhibit 2):**
 - a. Countywide General Plan Land Use Map Designation: Rural
 - b. Ojai Valley Area Plan Land Use Map Designation: Rural Residential, 5-10 Acre Minimum Parcel Size

- c. Zoning Designation: RE-5 ac. / HCWC (Rural Exclusive, 5-Acre Minimum Parcel Size / Habitat Connectivity and Wildlife Corridor)

8. Adjacent Zoning and Land Uses/Development (Exhibit 2):

Location in Relation to the Project Site	Zoning	Land Uses/Development
North	RE-5 ac. / HCWC	Single-Family Dwellings; Residential Accessory Structures; Animal Keeping
East	OS-10 ac. / HCWC ¹	Single-Family Dwellings; Residential Accessory Structures
South	RE-5 ac. / HCWC	Vacant Land
	OS-10 ac. / HCWC ¹	Single-Family Dwellings, Residential Accessory Structures
West	RE-5 ac. / HCWC	Single-Family Dwelling
	M1-10,000 sq. ft. / HCWC ²	Oil and Gas Extraction, Processing, and Storage

9. History: The subject property is within the boundaries of the Ojai Oil and Gas Field, the field where the first production oil in Ventura County was drilled in 1866. After the County adopted the first Zoning Ordinance (Ord. No. 412) in 1947, pre-existing oil and gas extraction operations were required to obtain a Special Use Permit, later renamed as a Conditional Use Permit (CUP). In 1948, the County issued CUP No. 15, which allowed for oil and gas extraction throughout nearly 14 square miles (sq. mi.) of the Upper Ojai Valley and Sulphur Mountain areas. CUP No. 15 encompasses more than 200 oil and gas wells, which are managed by more than two dozen operators. Some of these wells remain active; some are idle and have not produced for more than five years; others have been formally plugged and abandoned. The project site includes three wells that are covered under CUP No. 15:

- Ojai Well No. 1 – CalGEM API No. 04-111-21905. Current Status: Plugged and Abandoned. Depth, established date, and operator are unknown. Plugged 2006.
- Ojai Well No. 26 – CalGEM API No. 04-111-00943. Current Status: Plugged and Abandoned. Depth: 1,090 ft. Operated by Carbon California. Established 1909. Plugged 1985.
- Ojai Well No. 27 – CalGEM API No. 04-111-00952. Current Status: Active. Depth: 1,012 ft. Operated by Thompson Oil Co., Inc. Established 1910. CalGEM records indicate this well may have been idle since 1988.

¹ Open Space, 10-Acre Minimum Parcel Size / Habitat Connectivity and Wildlife Corridor

² Industrial Park, 10,000 Sq. Ft. Minimum Parcel Size / Habitat Connectivity and Wildlife Corridor

Twelve additional wells are within 500 ft. of the project site's boundaries. Of these, six are plugged and abandoned, four are idle, and two are active.

The subject parcel was created by deed in 1954. A Certificate of Compliance has since been recorded (No. CC-23-02-1579, recorded at Instrument No. 2023-000030984). According to assessment records, a house was constructed on the property around 1960; however, the Planning Division was unable to locate permit records for it. The house was subsequently destroyed in the 2017 Thomas Fire. Zoning Clearances were issued for a porch addition in 1961 (File No. ZC 8209) and a detached accessory building in 1962 (File No. ZC 8735). Neither of these structures remain on the property.

Based on review of aerial imagery and permitting records, the Planning Division determined that several structures were established without the benefit of permits:

- Between 2006 and 2007, a 2,780 sq. ft. accessory structure was constructed in the southeast corner of the parcel.
- Between 2007 and 2008, a 1,320 sq. ft. carport or shade structure was constructed adjacent to the then-extant house.
- Between 2008 and 2009, a 105 sq. ft. shed was installed.
- Between 2012 and 2014, a 426 sq. ft. shed was installed. A 64 sq. ft. addition was made to this structure in 2022, and it was converted into a dwelling.
- In 2022, five open shade structures, totaling 3,408 sq. ft. were constructed. Additionally, an 88 sq. ft. shed, a 160 sq. ft. shipping container, and two equine grooming stations totaling 416 sq. ft. were placed on the property.

The ordinance establishing the HCWC overlay zone was adopted and took effect in 2019. The ordinance specifies that a PD Permit is required for any development occurring within a "surface water feature," which is defined to include any area within 200 ft. of streams, creeks, or wetlands. Unnamed tributaries to Sisar Creek run through the northern portion of the subject parcel and on the adjacent parcels to the south and east. As a result, approximately 64 percent (~ 3.63 acres) of the parcel lies within a designated surface water feature. Development in these areas requires PD Permit approval.

In August 2022, in response to a complaint, the Code Compliance Division issued the applicant a Notice of Violation (File No. CV22-0510) for construction of several structures³ without permits. The applicant is now seeking to abate this violation by retroactively permitting these structures.

The principal use on the project site is presently animal husbandry. The property currently accommodates ten horses, each of which measure more than 58 inches

³ The unpermitted structures are listed as Nos. 2 through 14 in Table 1, below.

at the withers.^{4,5} The NCZO classifies these horses would as “large equines,” which equate 1.0 animal units each, for a total of 10 animal units. The parcel is zoned RE and sized at 5.66 acres, which allows a maximum of 11.8 animal units before a CUP is required (see NCZO § 8107-2.5.2)⁶.

All uses and structures are clustered on the portion of the site south of the tributary to Sisar Creek. The northern 2.1 acres of the project site remains undeveloped.

10. Project Description: The applicant requests a Conditional Use Permit (CUP) and Planned Development (PD) Permit be granted to legalize the unpermitted construction of 11 structures.⁷

Through PD Permit approval, an existing single-family dwelling (SFD) (490 sq. ft.) would be authorized within a surface water feature in the HCWC overlay zone.⁸ The applicant proposes to construct a new single-family dwelling of 1,493 sq. ft.⁹ and to convert this structure to an accessory dwelling unit (ADU).¹⁰ The new SFD would be located outside of the surface water feature and can be permitted through Zoning Clearance approval. Therefore, it is outside of the scope of this entitlement.

The PD Permit would also authorize non-habitable structures accessory to the single-family dwelling to exceed a cumulative total of 2,000 sq. ft.¹¹ These include a detached garage of 2,780 sq. ft., a shipping container of 160 sq. ft., and two sheds of 88 sq. ft and 105 sq. ft. each (total 3,133 sq. ft.). All residential accessory structures are under 15 feet in height except for the garage, which has a height of 21 feet.

The CUP would authorize accessory structures for animal husbandry to exceed a cumulative total of 2,000 sq. ft. This includes six animal husbandry structures of 2,352 sq. ft., 1,320 sq. ft., 240 sq. ft., 240 sq. ft., 288 sq. ft., and 288 sq. ft., each (totaling 4,728 sq. ft.).¹² Two animal shade structures, each of 208 sq. ft., were

⁴ Sourced from an email from Keeley Mircetic, dated February 16, 2023.

⁵ NCZO § 8107-2.5.1 sets the number of animal units for each adult equine on the basis of its height “at the withers,” another term for shoulder blades. Small horses (< 36”) are 0.3 animal units. Medium horses (36” – 58”) are 0.5 animal units. Large horses (>58”) are 1.0 animal unit.

⁶ For the RE zone, a parcel may have up to 3 animal units for the first 25,000 sq. ft. in area, plus one animal unit for every additional 25,000 sq. ft. of area.

⁷ The site would involve a total of 14 structures. The proposed SFD and two existing grooming stations are outside of the scope of this CUP and PD Permit, because these structures are permissible with a Zoning Clearance.

⁸ See Table 1, Structure No. 2.

⁹ See Table 1, Structure No. 1.

¹⁰ For the purposes of this report, the newly proposed SFD, which is outside the scope of this permit, is referred to as the “SFD,” while the principal SFD, which will be re-designated as an ADU upon construction of the new SFD, is referred to as the “ADU.”

¹¹ See Table 1, Structure Nos. 3 through 6.

¹² See Table 1, Structure Nos. 7 through 12.

also constructed without permits.¹³ Because these structures are not permanently anchored to the ground and comply with NCZO § 8017-34, they can be authorized with a Zoning Clearance, and are outside the scope of this entitlement. All animal husbandry accessory structures are under 15 ft. in height except for one (Animal Husbandry Accessory Structure No. 3), which is 19 ft. tall.

The project site is within the Habitat Connectivity and Wildlife Corridor (HCWC) overlay zone. The CUP and PD Permit would also legitimize the unpermitted construction of five structures within a “surface water feature”: the ADU, garage, one of the sheds, and two of the animal husbandry structures.

Table 1: Structures to Be Permitted

#	E/N	Label	Classification	Size (sq. ft.)	SWF	Permit Level
1	(N)	Single-Family Dwelling (SFD) ¹⁴	SFD	1,493	No	ZC
2	(E)	ADU ¹⁵	ADU	490	Yes	PD
<i>Total Dwelling Area</i>				1,983		
3	(E)	Garage	Building Not for Human Habitation, Accessory to SFD	2,780	Yes	PD
4	(E)	Shed No. 1		88	No	PD
5	(E)	Shed No. 2		105	Yes	PD
6	(E)	Shipping Container		160	No	PD
<i>Total for Non-Habitable SFD Accessory Area</i>				3,133		
7	(E)	Animal Husbandry Accessory Structure No. 1	Animal Husbandry Accessory ¹⁶	1,320	No	CUP
8	(E)	Animal Husbandry Accessory Structure No. 2		288	Yes	CUP
9	(E)	Animal Husbandry Accessory Structure No. 3		288	Yes	CUP
10	(E)	Animal Husbandry Accessory Structure No. 4		2,352	No	CUP
11	(E)	Animal Husbandry Accessory Structure No. 5		240	No	CUP
12	(E)	Animal Husbandry Accessory Structure No. 6		240	No	CUP
<i>Total for Animal Husbandry Accessory</i>				4,728		

¹³ See Table 1, Structure Nos. 13 and 14.

¹⁴ The proposed SFD is not subject to CUP or PD Permit approval, as it can be authorized through Zoning Clearance approval (NCZO § 8105-4) and is not located within the designated surface water feature.

¹⁵ The proposed ADU would function as the principal SFD until the proposed SFD is constructed.

¹⁶ Though these structures are proposed to be used for shade in support of the principal animal husbandry use, these structures cannot be classified as “animal shade structures” under the NCZO, because they do not meet the criteria in NCZO § 8107-34. As such, they are classified as accessory structures related to an animal husbandry use.

Table 1: Structures to Be Permitted

#	E/N	Label	Classification	Size (sq. ft.)	SWF	Permit Level
13	(E)	Grooming Station No. 1	Animal Shade Structure	208	No	ZC
14	(E)	Grooming Station No. 2		208	No	ZC
<i>Total for Animal Shade Structures</i>				416		

Notes

- E/N – Indicates if structures is (E)xisting or (N)ew
- SWF – Indicates if structure is within a Surface Water Feature
- Permit Level – ZC = Zoning Clearance; PD = PD Permit; CUP = Conditional Use Permit

The single-family dwelling and ADU will be within 500 ft. of approximately 16 existing oil wells that are part of CUP No. 15. The nearest well (Ojai Well No. 24) would be approximately 169 ft. southwest of the home and approximately 261 ft. southwest of the ADU; however, this well has been plugged and abandoned.¹⁷ The nearest active well (Ojai Well No. 27) would be approximately 267 ft. north of the proposed single-family dwelling and 344 ft. north of the ADU. The applicant has requested a reduced 100-ft. oil well setback pursuant to Non-Coastal Zoning Ordinance (NCZO) § 8106-6.3.

Access to the site is provided by Topa Vista Road, a private road that connects to State Route 150 (Ojai - Santa Paula Road). Sisar Mutual Water Company provides water to the project site. Wastewater will be handled through onsite wastewater treatment systems (OWTS). Earthwork is estimated to be less than 50 cubic yards. No off-site improvements are proposed. (Exhibit 3).

B. CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) COMPLIANCE

Pursuant to CEQA (Public Resources Code Section 21000 et seq.) and the CEQA Guidelines (Title 14, California Code of Regulations, Division 6, Chapter 3, Section 15000 et seq.), the proposed project is subject to environmental review.

The State Legislature through the Secretary for Resources has found that certain classes of projects are exempt from CEQA environmental impact review because they do not have a significant effect on the environment. These projects are declared to be categorically exempt from the requirement for the preparation of environmental impact documents. The proposed development consists of the legalization of several accessory structures that have already been constructed without permits. The project qualifies for a Class 3 (New Construction or Conversion of Small Structures) Categorical Exemption, because the proposal consists entirely of “[o]ne single-family residence, or a secondary

¹⁷ CUP No. 15 remains active until 2028. During that time, an abandoned well could theoretically be redrilled and reactivated; however, because the well is within 500 ft. of the ADU and proposed SFD, this could only occur if the owner and all adult occupants of the affected dwellings grant the mineral rights holder a waiver (NCZO § 8107-5.6.25).

dwelling unit in a residential zone” (CEQA Guidelines § 15303(a)) and “[a]ccessory (appurtenant) structures including garages [and] carports....” (CEQA Guidelines § 15303(e)). Therefore, the project is determined not to have a significant effect on the environment pursuant to CEQA Guidelines Section 15303.

Further, the project will not trigger any of the exceptions to the exemptions listed under CEQA Guidelines Section 15300.2. The project site does not include sensitive biological resources, as evidenced by the Initial Study Biological Assessment (ISBA) (see Exhibit 6). Though several of the structures are within the designated “surface water feature” the project biologist concluded that no significant environmental impact resulted for the following reasons:

- All development occurred in areas that were previously disturbed. The construction of the structures did not require a removal of native vegetation.
- No sensitive species were observed on the property, and no suitable habitat for sensitive species was present in the areas where structures were built.
- The structures do not constrain or inhibit wildlife movement along the two tributaries of Sisar Creek.
- Sufficient setbacks from wetland areas have been provided.

Considering these features, the proposed project aligns with the purpose of the HCWC overlay zone, which is to minimize impacts on wildlife migration and to preserve the integrity of surface water features (see NCZO § 8104-7.7).

No unusual circumstances are present that would suggest the potential for the project to result in a significant environmental effect. The project would not be visible from a scenic highway (e.g., State Route 150), and no historical resources or hazardous waste sites are within the vicinity of the project site. Therefore, no further environmental review is required.

Because the project falls within the Class 3 categorical exemption and the exclusions in CEQA Guidelines Section 15300.2 do not apply, this project is categorically exempt pursuant to Section 15303 of the CEQA Guidelines.

C. CONSISTENCY WITH THE GENERAL PLAN / OJAI VALLEY AREA PLAN

The proposed project has been analyzed and determined to be consistent with all applicable General Plan and Ojai Valley Area Plan policies. A consistency analysis which evaluates the project’s consistency with the policies of the General Plan is included as Exhibit 5 of this Staff Report.

D. ZONING ORDINANCE COMPLIANCE

The proposed project is subject to the requirements of the Ventura County NCZO.

Pursuant to the Ventura County NCZO Section 8105-4, the proposed use is allowed in the RE zone district with the granting of both a CUP and a PD Permit. A CUP is necessary to authorize structures accessory to an animal husbandry use with a cumulative size over 2,000 sq. ft. but no more than 5,000 sq. ft. A PD Permit is necessary to authorize detached structures accessory to a single-family dwelling that are not designated for human habitation and have a total size of more than 2,000 sq. ft. Upon the granting of the CUP and PD Permit, the proposed project will comply with the requirements of the Ventura County NCZO.

The proposed project includes the construction and use of structures that are subject to the development standards of the Ventura County NCZO Section 8106-1.1. Table 2 lists the applicable development standards and a description of whether the proposed project complies with the development standards.

Table 2 –Development Standards Consistency Analysis

Development Standard	Zoning Ordinance Requirement	Complies?
Minimum Lot Area (Gross) <i>(NCZO § 8106-1)</i>	10,000 sq. ft.	Yes. 5.66 acres
Maximum Percentage of Building Coverage <i>(NCZO § 8106-1.4.1.1.5)</i>	25 percent (61,637 sq. ft.)	Yes. 4 percent (9,844 sq. ft.)
Front Setback <i>(NCZO § 8106-1)</i>	20 ft.	Yes. The closest structure (Animal Husbandry Accessory Structure No. 2) is 23.79 ft. away.
Side Setback <i>(NCZO § 8106-1)</i>	5 ft.	Yes. The closest structure (Animal Husbandry Accessory Structure No. 5) is 22.51 ft. away.
Rear Setback <i>(NCZO § 8106-1)</i>	15 ft.	Yes. The closest structure (ADU) is 20.33 ft. away.
Minimum Setback to Non-Habitable Structure <i>(NCZO § 8106-6.1)</i>	6 ft.	No – Conditioned for Compliance. All structures maintain a minimum separation of 6 ft, with the following exceptions: (1) Shed No. 1 is approximately 3 ft. from Grooming Station No. 1; (2) the shipping container is approximately 3 ft. from Grooming Station No. 2; and (3) the shipping container and Shed No. 1 are approximately 5 ft. apart. To rectify this, a condition of approval will require that the structures be relocated so as to provide a minimum 6 ft. separation (see Exhibit 4, Condition No. 18).
Minimum Setback between Dwellings <i>(NCZO § 8106-6.1)</i>	10 ft.	Yes. The SFD and ADU would be 105 ft. apart.

Table 2 –Development Standards Consistency Analysis

Development Standard	Zoning Ordinance Requirement	Complies?
Minimum Setback to Existing Oil/Gas Well Site (NCZO § 8106-6.3)	500 ft.	No – Reduction Requested. The nearest existing oil wells would be 169 ft. (plugged and abandoned) and 267 ft. (active) from the proposed SFD. A reduced setback of 100 ft. is allowed if the applicant records an acknowledgement of the reduced setback on title. Recordation of this acknowledgement is a condition of approval (see Exhibit 4, Condition No. 19).
Maximum Height – SFD (NCZO § 8106-1)	25 ft. ¹⁸	Yes. The proposed dwelling would have a maximum height of 12.5 ft.
Maximum Height – Accessory Structures (NCZO §§ 8106-1; 8106-7.4)	15 ft. ¹⁹	Yes. All accessory structures would have a maximum height of 15 ft., except for the Garage (21 ft.) and Animal Husbandry Accessory Structure No. 1. (19 ft.). Both structures are at least 20 ft. from all property lines and are under the maximum allowable height for a principal structure (i.e., 25 feet).

The proposed ADU, animal husbandry, and animal shade structure uses, and the removal of protected trees to accommodate these structures are subject to the special use standards of the Ventura County NCZO § 8107-2. Table 3 lists the applicable special use standards and a description of whether the proposed project complies with each standard.

Table 3 –Special Use Standards Consistency Analysis

Special Use Standard	Zoning Ordinance Requirement	Complies?
ADUs		
Minimum Side and Rear Setback (NCZO § 8107-1.7.5(e)(2))	4 ft.	Yes. The ADU's closest setback is 20.33 ft. from the rear property line.
Maximum Size (NCZO § 8107-1.7.5(g)(2))	1,200 sq. ft.	Yes. 490 sq. ft.
Maximum Height (NCZO § 8107-1.7.5(d)(1)(a))	16 ft.	Yes. 10.5 ft.

¹⁸ The height limit can be increased to 35 ft. for structures that are set back at least 20 ft. from all property lines.

¹⁹ Pursuant to NCZO § 8106-7.4, the maximum height of an accessory structure may be increased up to the maximum allowable height of the principal structure if the accessory structure maintains a minimum 20-ft. setback from all property lines. Through discretionary permit approval, such structures may be authorized to exceed the height of the principal structure as well.

Table 3 –Special Use Standards Consistency Analysis

Special Use Standard	Zoning Ordinance Requirement	Complies?
Animal Husbandry		
Maximum Animal Units <i>(NCZO § 8107-2.5.2)</i>	11.8 units	Yes. The animal husbandry use involves 10 large equines, which amounts to 10.0 animal units.
Animal Keeping – Minimum Setback from Off-Site Dwellings <i>(NCZO §§ 8107-2.2.2; 8107-2.5.1)</i>	40 ft.	Yes. The closest off-site residence is 172 ft. from Animal Husbandry Accessory Structure No. 3.
Animal Shade Structures²⁰		
Anchoring <i>(NCZO § 8107-34)</i>	Must not be anchored in the ground or attached to a structure that is.	Yes. The Grooming Station shade structures are not anchored in the ground and can be easily disassembled. They are not attached to other structures. The open shade structures that are anchored are treated as animal husbandry accessory structures.
Mobilehomes and Manufactured Housing		
Construction Year <i>(NCZO § 8107-1.3.1)</i>	1976 or later.	Yes. The existing ADU and the proposed SFD are both manufactured after 1976.
Exterior Siding <i>(NCZO § 8107-1.3.3)</i>	Siding extends to ground or top of foundation.	Yes. The siding on the existing ADU extends, and the SFD's siding will extend, to the top of foundation.
Tree Protection Regulations		
Ministerial Tree Permit <i>(NCZO § 8107-25.6(i))</i>	Up to 3 oaks may be removed to accommodate reasonable access.	Yes. Review of aerial imagery indicates that two protected oaks were removed in 2007 to accommodate construction of the garage. No prior tree permits to accommodate reasonable access have been issued for this property.
Offsets <i>(NCZO § 8107-25.10(b))</i>	Required for discretionary tree permits or for any tree removal or alteration that cannot be retroactively legalized.	Yes. Because the unauthorized removal of protected trees to accommodate construction of an unpermitted structure cannot be legalized under the Tree Protection Regulations, the applicant will be required to offset the removal through replacement or payment of in-lieu fees (Exhibit 4, Condition No. 23).

²⁰ These standards apply only to the two Grooming Station structures (Nos. 13 and 14 in Table 1). Pursuant to NCZO § 8107-34, structures that do not meet these standards may still be constructed under other use categories in NCZO § 8105-4. Based on this, the other shade structures (Nos. 7 through 12 in Table 1), which have permanent foundations and supporting members, are being permitted as accessory structures in support of the animal husbandry use.

The proposed project is located within a Habitat Connectivity and Wildlife Corridor (HCWC) Overlay Zone and, therefore, is subject to the standards of the Ventura County NCZO § 8109-4.8. The following are applicable HCWC Overlay Zone standards and a description of whether the proposed project complies with those standards.

1. **Outdoor Lighting:** *The following standards apply to outdoor lighting:*

- a. **Prohibited Lighting** (NCZO § 8109-4.8.2.3): *Blinking, flashing, rotating lights; luminaires along a lot's perimeter (other than security lighting); and uplighting of landscapes is prohibited.*
- b. **Shielding and Direction** (NCZO § 8109-4.8.2.4(b)(1)): *Lighting is to be "fully shielded and directed downward in a manner that avoids trespass of light onto adjacent properties."*
- c. **Maximum Height** (NCZO § 8109-4.8.2.4(b)(2)): *Maximum heights of outdoor lighting fixtures are as follows:*
 - *Attached to structure: 15 ft.*
 - *Attached to fence: fence height*
 - *Freestanding – Along walkway: 2 ft.*
 - *Freestanding – Other: 20 ft.*
- d. **Lighting Color / Chromaticity** (NCZO § 8109-4.8.2.4(b)(3) and (5)): *"The correlated color temperature of all outdoor lighting shall not exceed 3,000 Kelvin," except for security lighting "[i]f required for proper functioning of a security camera."*
- e. **Maximum Output** (NCZO §8109-4.8.2.4(b)(4) and (5)): *"All outdoor lighting... shall have a maximum output of 850 lumens per luminaire," except the following maximum output standards apply to the following types of lighting fixtures:*
 - *Driveway and walkway lighting: 100 lumens per luminaire*
 - *Security lighting: 2,600 lumens per luminaire, with deactivation by motion sensor after 10 minutes (5 minutes within a surface water feature).*

Staff Analysis: The applicant has not provided details on existing or proposed outdoor lighting. Existing lighting appears to consist of four wall-mounted lights on the ADU, a wall-mounted light on the garage, two lights on the pillars of a masonry wall, and string lighting adjacent to the storage container. As a condition of project approval, the applicant will be required to supply a lighting plan that shows the location, image/schematic, mounting height, purpose, hours of operation, lighting output, and lighting color for each outdoor luminaire (Exhibit 4, Condition No. 20). By applying this condition, the project will comply with the HCWC outdoor lighting standards.

2. **Wildlife Impermeable Fencing** (NCZO § 8109-4.8.3.6): *“Wildlife impermeable fencing that forms an enclosed area on lots zoned Open Space (OS) or Agricultural Exclusive (AE)” shall “not exceed 10 percent of the gross lot area.”*

Staff Analysis: The project site is zoned RE and is not subject to the 10 percent limitation on enclosure by wildlife impermeable fencing. Therefore, this standard is inapplicable.

3. **HCWC Guidelines** (NCZO § 8109-4.8.3.8(b)): *“The following shall apply whenever a discretionary permit... is required to authorize development pursuant to” the HCWC standards.”*

- a. **Location:** *“Development should be sited outside [surface water features and wildlife crossing structure buffer zones] to the extent feasible.”*

Staff Analysis: The proposed project would legalize 13 existing structures that were constructed without the benefit of permits. All but five of the structures are located outside of the designated surface water feature. Additionally, the proposed single-family dwelling would also be outside of the surface water feature. All structures are more than 200 ft. from a wildlife crossing structure, the nearest of which (Koenigstein Road at Sisar Creek) is approximately 2,000 ft. east of the project site.

Five structures were constructed within the surface water feature without the benefit of permits. The locations where these structures were placed had historically been used for animal husbandry purposes and were devoid of native vegetation. All structural development has been clustered on the south side of the tributary to Sisar Creek that bisects the property. The area north of the tributary remains in its natural state. As a result, the project biologist has concluded that there would be no significant effect on wildlife migration.

Because the locations of the structures were historically subject to disturbance and are sufficiently setback from wetland areas, the development being authorized is generally compatible with the purpose of the HCWC overlay zone. The HCWC standards are intended to minimize development impacts on wildlife migration and to preserve the functions of surface water features: i.e., providing wildlife habitat and serving as migration corridors.

The affected structures have already been constructed in locations which do not impair wildlife movement. There are no alternative locations on the subject property that would be more appropriate for these structures with respect to the objectives of the HCWC overlay zone. Based on these factors, it would be infeasible to require that the structures be moved.

Therefore, the project aligns with this guideline.

- b. **Impact Minimization:** *“Development should be sited to minimize disturbance to biological resources, landscaping, and undeveloped areas.”*

Staff Analysis: All the structures on the site are located in areas that have been subject to ground disturbance for more than 20 years. Review of aerial imagery shows that these locations were historically used for pastures, grazing, and other animal husbandry activities. Based on this, the construction of these structures would have resulted in minimal disturbance to biological resources or landscaping.

Of the five structures located within the surface water feature, two (Garage and Shed No. 2) have been on the site for more than 15 years. Similarly, the ADU (originally constructed as a shed) has been on the site for approximately nine years. As discussed in the ISBA (see Exhibit 6), the continued existence and use of these structures would not result in disturbance of biological resources. Animal Husbandry Accessory Structure Nos. 1 and 2 were more recently constructed. These structures are unenclosed and would not interfere with wildlife movement.

Therefore, the project aligns with this guideline.

- c. **Open Space:** *“Development should be sited to provide the largest possible contiguous undeveloped portion of land.”*

Staff Analysis: Upon completion of the project, the site’s principal uses will include animal husbandry and a single-family dwelling. Several accessory structures are also associated with these uses. As the site accommodates horses, additional area is dedicated to associated facilities such as paddocks and open arenas. All uses and structures are concentrated in the southern 3.6 acres of the project site, leaving the northern 2.1 acres of the parcel undeveloped.

Therefore, the project aligns with this guideline.

- d. **Wildlife Movement:** *“Wildlife impermeable fencing should be sited and designed to minimize potential impacts to wildlife movement.”*

Staff Analysis: The project site includes a mix of fencing, some of which is permeable and some of which is impermeable to wildlife, as defined in the NCZO. Only one small area, an approximately 850 sq. ft. yard adjacent to the ADU, is fully enclosed by wildlife impermeable fencing. The remainder of the property is either enclosed by permeable fencing or only partially enclosed with impermeable fencing. Present fencing consists of the following:

Wildlife Impermeable Fencing

- A six-foot-tall masonry wall on both sides of the front gate along the western property line. It was constructed between 2012 and 2014, prior to the adoption of the HCWC ordinance.

- A five-foot-tall wire mesh fence along the entire southern property line. This fence appears to have been in place for more than 20 years.
- A five-foot-tall masonry wall, constructed between 2012 and 2014 to form a partially enclosed yard area for the original home (since destroyed in the 2017 Thomas Fire). Though this wall is impermeable, it does not form an enclosure, as there are multiple gaps.

Wildlife Permeable Fencing

- A five-foot-tall pipe fence consisting of three segments: (1) along the eastern property line from the southern property line up to the tributary; (2) along the western property line from the southern property line to the wall near the front gate; and (3) along the western property line from the wall near the front gate to the northern property line.
- Several pipe corrals within the property, which are used for animal husbandry purposes and are no taller than five feet.

The northern property line and the eastern property line north of the tributary are not fenced. No new fencing is proposed as part of this project.

Therefore, the project aligns with this guideline.

E. PD PERMIT AND CUP FINDINGS AND SUPPORTING EVIDENCE

The Planning Director must make certain findings in order to grant a CUP and PD Permit pursuant to Section 8111-1.2.1.1a of the Ventura County NCZO. The ability to make the required findings is evaluated below.

- 1. The proposed development is consistent with the intent and provisions of the County's General Plan and of Division 8, Chapters 1 and 2, of the Ventura County Ordinance Code [Section 8111-1.2.1.1a.a].**

Based on the information and analysis presented in Sections C and D of this staff report, the finding that the proposed development is consistent with the intent and provisions of the County's General Plan and of Division 8, Chapters 1 and 2, of the Ventura County Ordinance Code can be made.

- 2. The proposed development is compatible with the character of surrounding, legally established development [Section 8111-1.2.1.1a.b].**

The 5.66-acre project site is located in the Upper Ojai Valley in an area the General Plan designates as Rural and the Ojai Valley Area Plan designates as Rural Residential with a 5-10 acre minimum parcel size. The site is zoned Rural Exclusive (RE), which is a zone intended "to provide for and maintain rural residential areas in conjunction with horticultural activities, and to provide for a limited range of institutional uses which are compatible with and complementary

to rural communities.” (NCZO § 8104-2.2). The surrounding neighborhood consists primarily of rural residential development intermixed with animal husbandry and crop production. Parcel sizes vary from 0.25 to over 100 acres. Oil and gas wells are common throughout the area, and an 8.35-acre facility housing tanks, compressors, and other support facilities for oil and gas extraction is just 400 ft. west of the subject site. Oak woodlands are dominant in the higher elevations to the south up towards the Sulphur Mountain ridge, while chaparral vegetation is dominant in the Topa Topa foothills to the north.

The project site is also located in the Habitat Connectivity and Wildlife Corridor (HCWC) overlay zone, which is intended “to preserve functional connectivity for wildlife and vegetation... by minimizing direct and indirect barriers, minimizing loss of vegetation and habitat fragmentation, and minimizing impacts to those areas that are narrow, impacted, or otherwise tenuous with respect to wildlife movement.” (NCZO § 8104-7.7). The site is part of the Castaic-Sierra Madre Wildlife Corridor. An unnamed tributary to Sisar Creek runs through the northern portion of the site, and a second tributary runs just beyond the site’s southern and eastern boundaries. A wildlife crossing along Sisar Creek at Koenigstein Road near State Route 150 provides connectivity between Sulphur Mountain and the Topa Topas.

The proposed project consists of legitimizing 11 structures which were constructed without the appropriate land use permits.²¹ The project site is currently used for animal husbandry. The applicant is seeking to authorize an existing structure to serve as a principal SFD. Subsequently, the applicant will construct a new SFD and convert the prior SFD into an ADU. The project would recognize the existing structures as accessory structures in support of these principal uses. The applicant has requested a PD Permit to allow residential accessory structures to exceed a cumulative size of 2,000 sq. ft. and a CUP to exceed a cumulative size of 2,000 sq. ft. for animal husbandry accessory structures. Additionally, PD Permit approval is needed to authorize the unpermitted construction that occurred within a surface water feature.

The animal husbandry and single-family dwelling uses, and their associated accessory structures, would be compatible with surrounding development in the Upper Ojai Valley. Homes and equestrian ranches are common in the area. All structures are one story, and all but two are 15 ft. or less in height. No structure is closer than 20 ft. to any property line. The animal husbandry use satisfies the maximum allowable animal unit standard. The ADU (490 sq. ft.) and proposed single-family dwelling (1,493 sq. ft.) are smaller than average and appear aesthetically compatible with surrounding development.

The largest structure on the property is the garage, at 2,780 sq. ft. and with a height of 21 ft. The building, which is clad in corrugated steel, appears barn-like and is

²¹ Of the 13 structures constructed without permits, two do not require discretionary permit approval and are outside of the scope of this permit (see Structure Nos. 13 and 14 in Table 1, above).

painted with earthtones (green and tan). The roof is low-pitched with a deep overhang. Since the garage was constructed (between 2007 and 2008), oak trees have established and grown to maturity adjacent to its north, south, and east facades. This provides partial screening when viewed from the adjacent parcels. Though the garage is relatively large, it is not uncommon to see this type of structure in the Upper Ojai Valley. For example, the neighboring parcel to the west contains a similar metal accessory building.

As discussed in Exhibit 5, Section No. 1 (Land Use, Design, and Community Character), the proposed project does not involve a change in use that would create land use conflicts with surrounding properties. Additionally, the project will not generate significant new traffic or introduce visually incompatible development. Therefore, the accessory structures are consistent with the rural residential character of the Upper Ojai Valley.

Based on the discussion above, this finding can be made.

3. The proposed development would not be obnoxious or harmful, or impair the utility of neighboring property or uses [Section 8111-1.2.1.1a.c].

The development being authorized under this CUP and PD Permit is already existing and consists of uses that are permissible in the RE zone. Residential accessory structures are generally used for parking, storage, offices, art studios, recreation rooms, and other such uses that are associated with residential dwellings. Accessory structures for animal husbandry are generally used for stables, feed and tack storage, shaded paddocks, grooming, etc. Because the number of animals on the project site complies with limitations in the NCZO, and these limitations are intended to minimize the risk of nuisance conditions arising, the use of the animal husbandry buildings would not be obnoxious or harmful to neighboring properties or otherwise inhibit their use.

Water is supplied by Sisar Mutual Water Company and wastewater is handled with OWTS. As discussed in Exhibit 5, Section Nos. 10 (Water Conservation), 11 (Transportation and Circulation), and 19 (Noise), the project has been analyzed for impacts to groundwater, transportation, and noise. No new significant impacts were identified. The project does not interfere with surrounding residential uses and will not result in a significant increase in traffic generation. Existing public services are adequate to serve the project along with pending and approved developments in the Upper Ojai Valley area. As discussed in Section D of this staff report, the project will comply with building coverage and property line setback standards for the RE zone. Therefore, the project would not be obnoxious, harmful, or impair the utility of neighboring properties or uses.

Based on the discussion above, this finding can be made.

4. The proposed development would not be detrimental to the public interest, health, safety, convenience, or welfare [Section 8111-1.2.1.a.d].

As discussed in Section C of this staff report, Section No. 12 (Public Utilities, Facilities, and Services), adequate public resources and infrastructure are available to serve the proposed project. Fire flow and emergency response times are adequate. The Ventura County Fire Protection District (VCFPD) reviewed this project and requested that it be conditioned to require compliance with applicable fire safety standards (Exhibit 4, Condition Nos. 34 through 50).

Based on the discussion above, this finding can be made.

5. The proposed development, if allowed by a Conditional Use Permit, is compatible with existing and potential land uses in the general area where the development is to be located [Section 8111-1.2.1.a.e].

Though the residential accessory structures do not require CUP approval, the animal husbandry accessory structures do. As discussed in Finding E.1 and in Section C of this staff report (see Exhibit 5, Section No. 1 – Land Use, Design, and Community Character), animal husbandry is a common use on rural residential properties in the Upper Ojai Valley. All animal husbandry-oriented structures and facilities are sufficiently set back from off-site residences, with the nearest such home being over 150 ft. away from the nearest animal husbandry accessory structure / corral. As noted in Section D of this report, the animal husbandry use complies with NCZO § 8107-2 (Standards Relating to Animal Keeping).²² Additionally, the applicant will be required to manage animal waste in a manner that prevents attraction or breeding of vectors (Exhibit 4, Condition No. 25). The site has been used for animal husbandry for several years without any documented complaints or concerns about the use.

Based on the discussion above, this finding can be made.

6. The proposed development will occur on a legal lot [Section 8111-1.2.1.a.f].

The subject parcel was created by deed in 1958, at a time when subdivision by deed was legal. The parcel's legality has been documented through the recordation of a Certificate of Compliance (No. CC-23-02-1579; Instrument No. 2023-000030984).

Based on the discussion above, this finding can be made.

²² The two structures conditioned for compliance with the minimum six-foot setback between buildings are residential accessory structures and are not subject to CUP approval.

7. The proposed development is approved in accordance with the California Environmental Quality Act and all other applicable laws [Section 8111-1.2.1.1a.g].

As discussed in Section B of this report, the proposed project meets the criteria for a Class 3 Categorical Exemption (New Construction or Conversion of Small Structures), which applies to construction of an SFD, as well as to accessory structures. Exceptions to the categorical exemptions do not apply to the project site. As the project is categorically exempt from CEQA, there is no need to prepare an Initial Study.

Based on the discussion above, this finding can be made.

8. Development within any overlay zone having specific development standards must comply with such standards [Section 8111-1.2.1.4 and Article 9].

As discussed in Section D of this report, the project complies with all applicable standards for the HCWC overlay zone. The applicant will be required to submit a lighting plan prior to Zoning Clearance to document consistency with the HCWC outdoor lighting standards (Exhibit 4, Condition No. 20). Wildlife impermeable fencing standards do not apply, as the project site is zoned RE. The project aligns with the guidelines for discretionary permits in the HCWC overlay zone, as set forth in NCZO § 8109-4.8.3.8(b). Therefore, as conditioned, the project will satisfy all applicable HCWC overlay zone requirements.

Based on the discussion above, this finding can be made.

F. PLANNING DIRECTOR HEARING NOTICE, PUBLIC COMMENTS, AND JURISDICTIONAL COMMENTS

The Planning Division provided public notice regarding the Planning Director hearing in accordance with the Government Code (Section 65091), Ventura County NCZO (Section 8111-3.1). On June 4, 2024, the Planning Division mailed notice to owners of property within 300 feet of the property on which the project site is located. On June 7, 2024, the Planning Division placed a legal ad in the *Ventura County Star* and the *Ojai Valley News*.

G. RECOMMENDED ACTIONS

Based upon the analysis and information provided above, Planning Division Staff recommends that the Planning Director take the following actions:

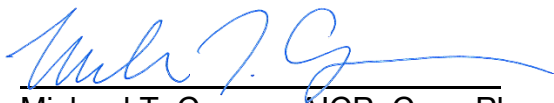
1. **CERTIFY** that the Planning Director has reviewed and considered this staff report and all exhibits thereto, and has considered all comments received during the public comment process;

2. **FIND** that this project is categorically exempt from CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines.
3. **MAKE** the required findings to grant a CUP and PD Permit pursuant to Section 8111-1.2.1.1 of the Ventura County NCZO, based on the substantial evidence presented in Section E of this staff report and the entire record;
4. **GRANT** CUP and PD Permit [Case No. PL23-0009], subject to the conditions of approval (Exhibit 4).
4. **GRANT** a waiver of the minimum 500-ft. setback from existing oil and gas and authorize a minimum setback of 100 ft. for a single-family dwelling and accessory dwelling unit, pursuant to NCZO § 8106-6.3 and subject to the conditions of approval (Exhibit 4).
5. **SPECIFY** that the Clerk of the Planning Division is the custodian, and 800 S. Victoria Avenue, Ventura, CA 93009 is the location, of the documents and materials that constitute the record of proceedings upon which this decision is based.

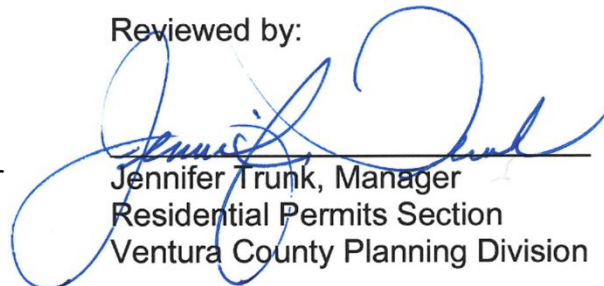
The decision of the Planning Director is final unless appealed to the Planning Commission within 10 calendar days after the permit has been approved, conditionally approved, or denied (or on the following workday if the 10th day falls on a weekend or holiday). Any aggrieved person may file an appeal of the decision with the Planning Division. The Planning Division shall then set a hearing date before the Planning Commission to review the matter at the earliest convenient date.

If you have any questions concerning the information presented above, please contact Michael Conger at (805) 654-5038 or Michael.Conger@ventura.org.

Prepared by:


Michael T. Conger, AICP, Case Planner
Residential Permits Section
Ventura County Planning Division

Reviewed by:


Jennifer Trunk, Manager
Residential Permits Section
Ventura County Planning Division

EXHIBITS

- | | |
|-----------|--|
| Exhibit 2 | Maps |
| Exhibit 3 | Plans |
| Exhibit 4 | Conditions of Approval |
| Exhibit 5 | General Plan Consistency Analysis |
| Exhibit 6 | Initial Study Biological Assessment (ISBA) |
| Exhibit 7 | Geotechnical Report |
| Exhibit 8 | Drainage Report |



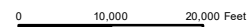
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community



Ventura County, California
Resource Management Agency
GIS Development & Mapping Services
Map created on 05-24-2024



County of Ventura
Planning Director Hearing
Case No. PL23-0009
Exhibit 2 - Maps



Disclaimer: This Map was created by the Ventura County Resource Management Agency, Mapping Services - GIS which is designed and operated solely for the convenience of the County and related public agencies. The County does not warrant the accuracy of this map nor does it involve a risk of economic loss or physical injury should be made in reliance thereon.

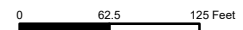




Ventura County, California
 Resource Management Agency
 GIS Development & Mapping Services
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County of Ventura
 Planning Director Hearing
 APN 037-0-080-115
 PL23-0009

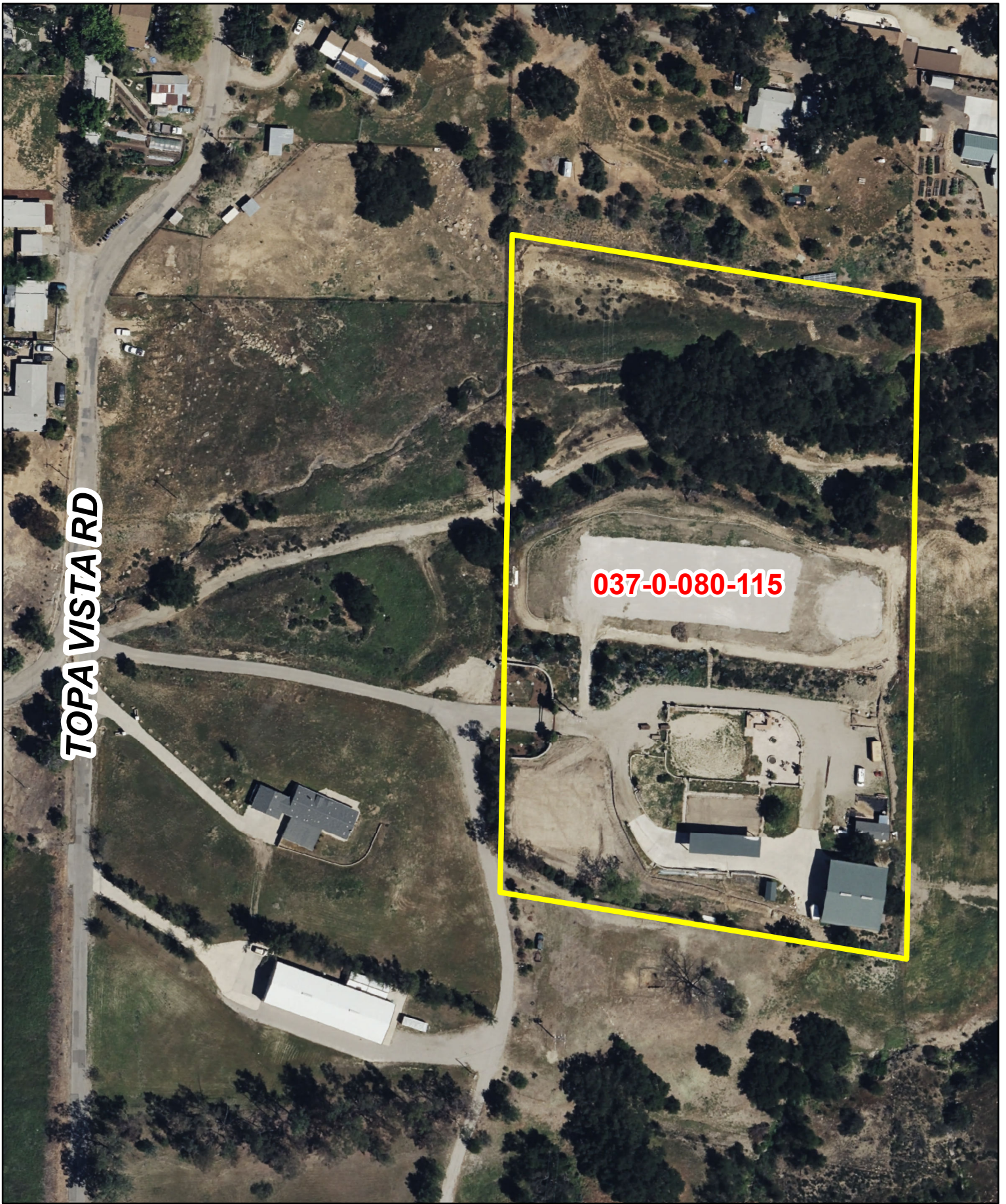


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RH

General Plan & Zoning Map



TOPA VISTA RD

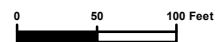
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Ventura County, California
Resource Management Agency
GIS Development & Mapping Services
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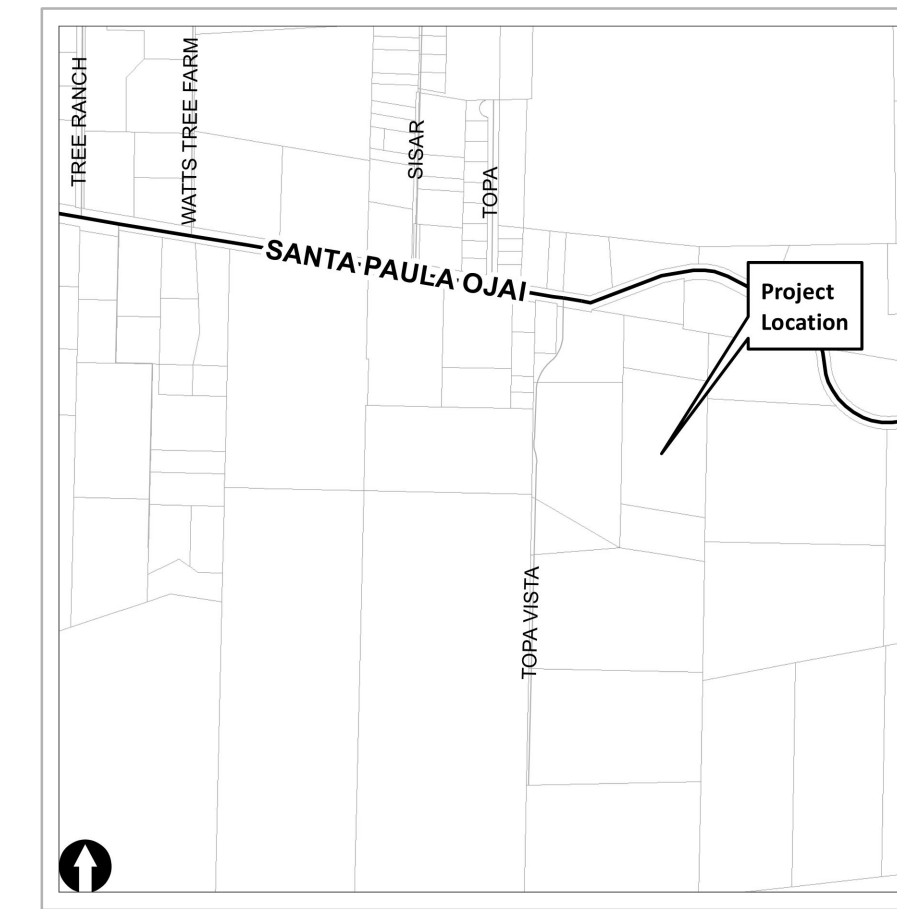
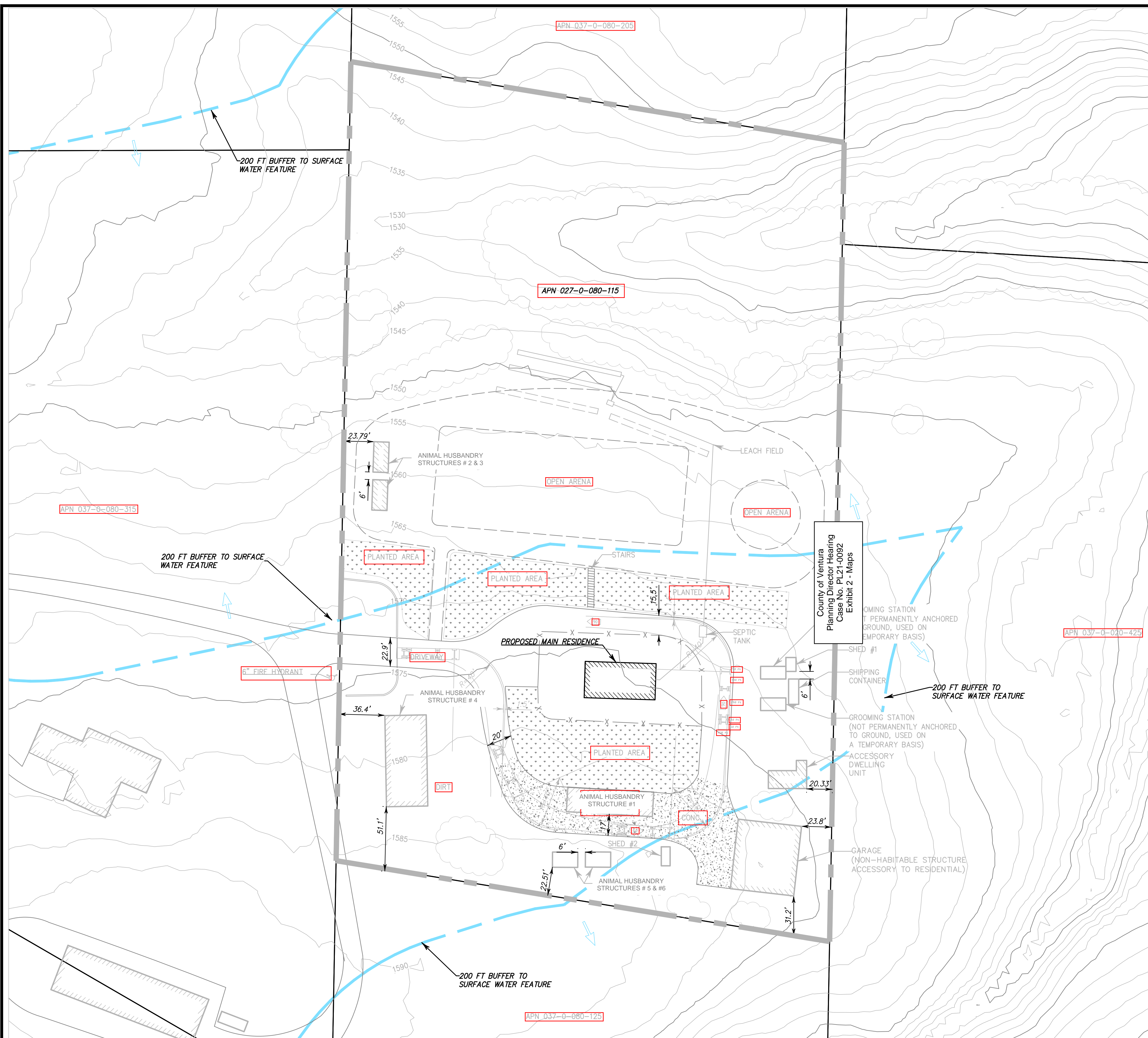
County of Ventura
Planning Director Hearing
PL23-0009
Aerial Photography



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RH



VICINITY MAP
NOT TO SCALE

LAND USE DATA

APN: 037-0-080-115
 ADDRESS: 11820 TOPA VISTA ROAD
 OJAI, CA 93060
 LOT SIZE: 5.66 ACRES (246,550 S.F.)
 APPLICANT/OWNER: KEELEY MIRCETIC
 CONTACT: ERIK NAGY
 JENSEN DESIGN & SURVEY
 (805) 654-6977

ZONING: RE-5 AC/ HCWC

GENERAL PLAN DESIGNATION: RURAL

EXISTING STRUCTURES (NOT RELATED TO ANIMAL HUSBANDRY)

1. GARAGE	2,780 S.F.
2. SHED #1	88 S.F.
3. SHED #2	105 S.F.
4. ACCESSORY DWELLING UNIT	490 S.F.
5. SHIPPING CONTAINER	160 S.F.
SUBTOTAL:	3,623 S.F.

EXISTING STRUCTURES (RELATED TO ANIMAL HUSBANDRY)

1. ANIMAL HUSBANDRY STRUCTURE #1	1,320 S.F.
2. ANIMAL HUSBANDRY STRUCTURE #2 & #3	288 S.F. (EA)
3. ANIMAL HUSBANDRY STRUCTURE #4	2,352 S.F.
4. ANIMAL HUSBANDRY STRUCTURE #5 & #6	240 S.F. (EA)
SUBTOTAL:	4,728 S.F.

PROPOSED STRUCTURES

1. MAIN RESIDENCE	1,493 S.F.
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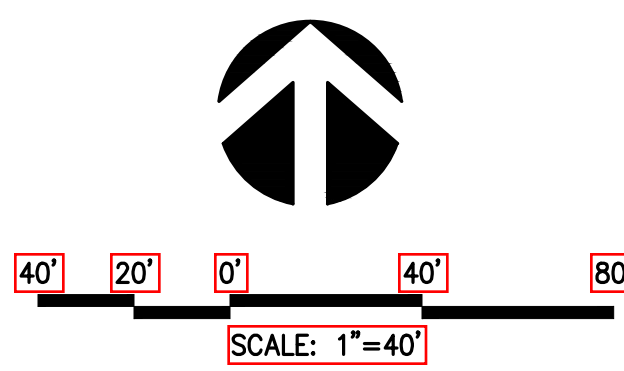
TOTAL LOT COVERAGE: 9,844 S.F. (4.0%)

LEGEND

	PROPERTY BOUNDARY
	SURFACE WATER FEATURE BOUNDARY
	FENCE
	DIRT ROAD
	LANDSCAPE AREA
	CONCRETE

SHEET INDEX

S1.0	PD/ CUP SITE PLAN
S1.2	GARAGE FLOOR/ ROOF PLANS
S1.3	ANIMAL SHADE STRUCTURE PLANS/ ELEVATIONS
S2.1	GARAGE ELEVATIONS
A2.0	ANIMAL HUSBANDRY STRUCTURE #3 FLOOR/ ROOF PLANS
A2.1	ANIMAL HUSBANDRY STRUCTURE #3 ELEVATIONS
A2.2	ANIMAL HUSBANDRY STRUCTURE #1, 2, 4, & 5 PLANS/ ELEVATIONS
A3.0	ACCESSORY DWELLING UNIT FLOOR/ ROOF PLANS
A3.1	ACCESSORY DWELLING UNIT ELEVATIONS
A3.2	SHED #1 & 2 PLANS/ ELEVATIONS
A4.0	MAIN RESIDENCE FLOOR/ ROOF PLANS
A4.1	MAIN RESIDENCE ELEVATIONS



County of Ventura
 Planning Director Hearing
 Case No. PL23-0009
 Exhibit 3 - Plans

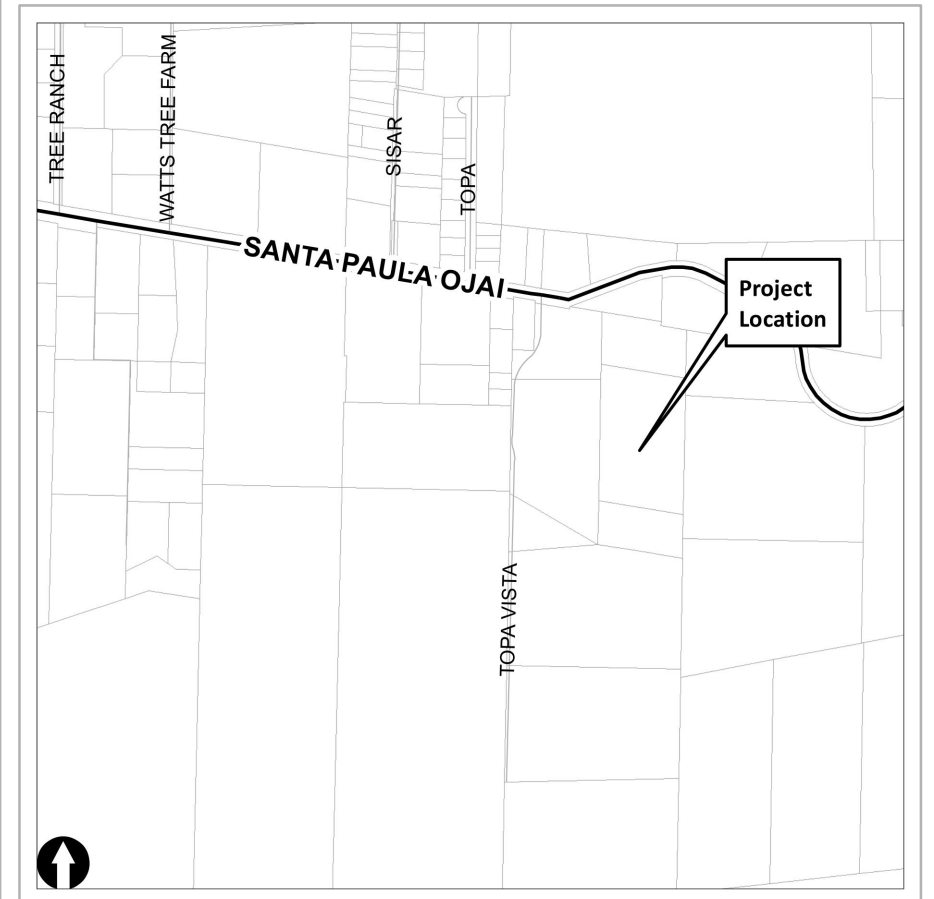
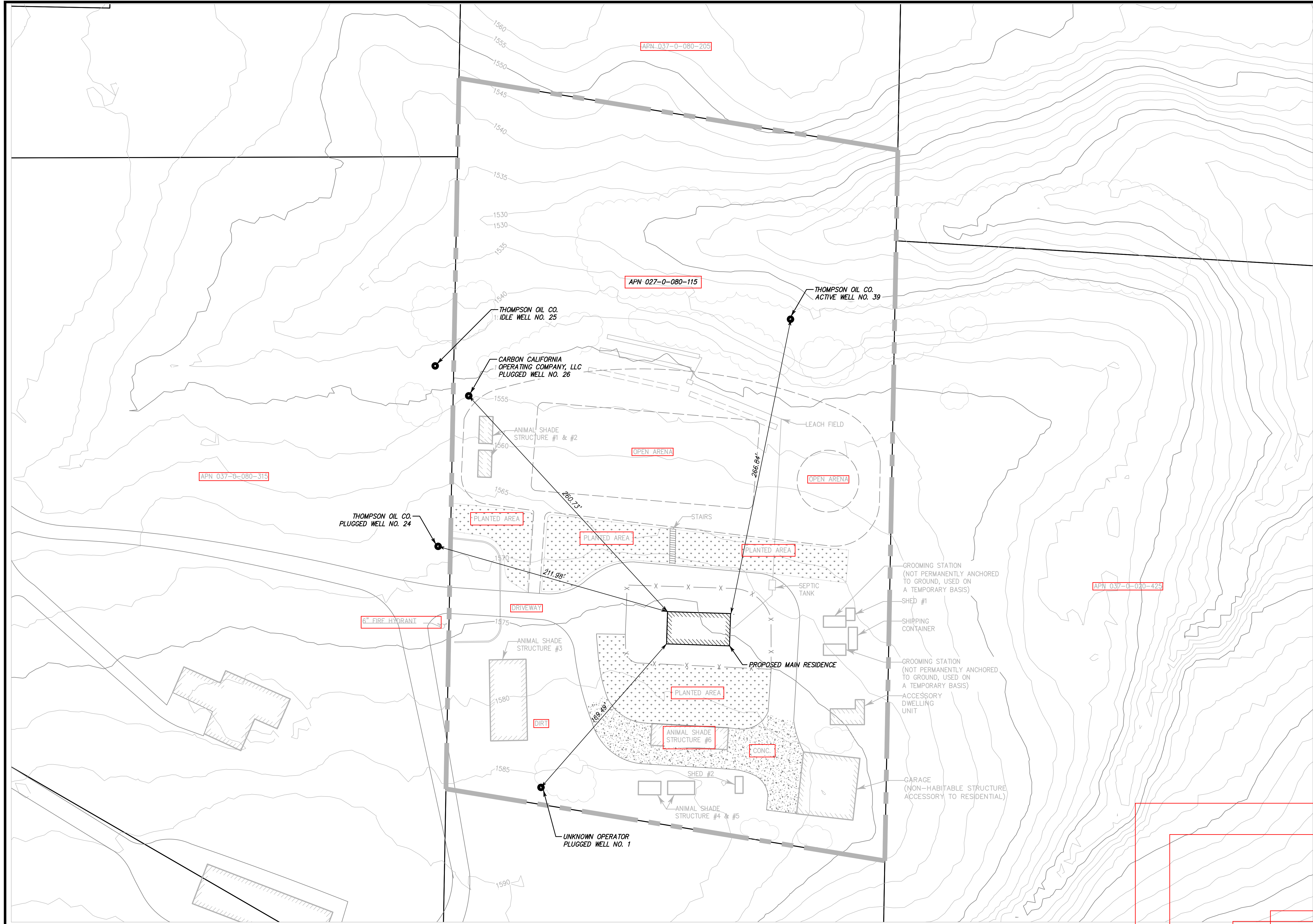
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JENSEN DESIGN & SURVEY, INC.
 1672 DONLON STREET
 VENTURA, CALIF. 93003
 PHONE: 805/654-6977
 FAX: 805/654-6979
 www.jdsurvey.com

SCALE: 1"=40'
 DATE: 11/7/2023
 J.N.: MIR26483
 DWG. NAME: 6483 SITE PLAN.dwg

PD / CUP SITE PLAN
 FOR
 KEELEY MIRCETIC
 11820 TOPA VISTA ROAD
 OJAI
 COUNTY OF VENTURA STATE OF CALIFORNIA

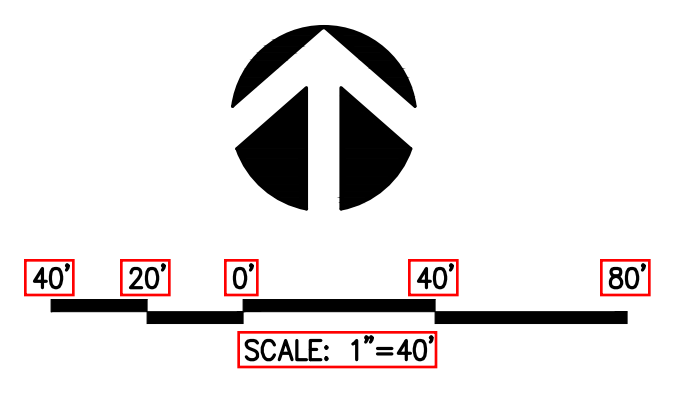
SHEET
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 OF 1



VICINITY MAP
NOT TO SCALE

LEGEND

	PROPERTY BOUNDARY
	WELL SITE
	FENCE
	DIRT ROAD
	LANDSCAPE AREA
	CONCRETE



NOTE:
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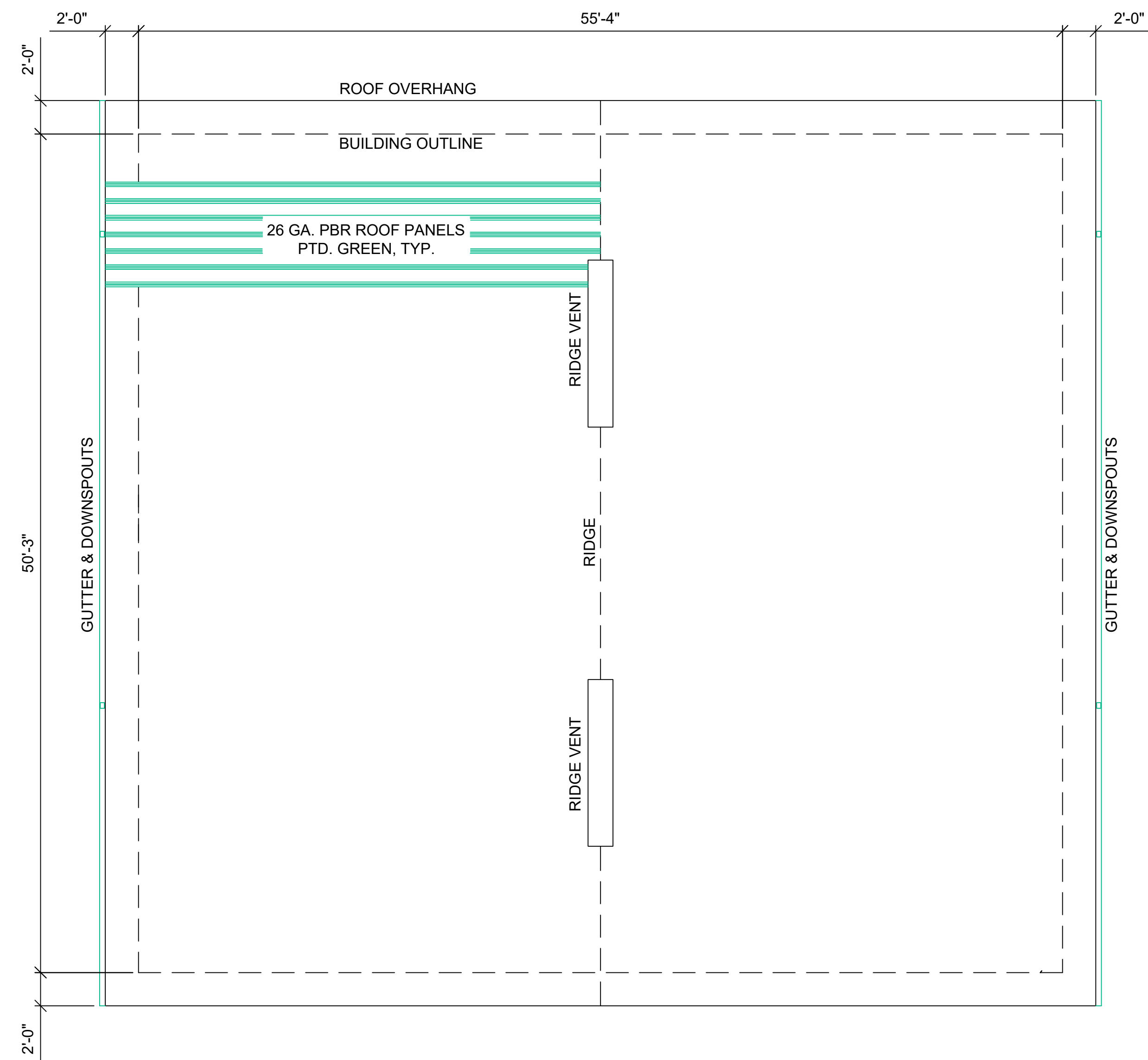
JENSEN DESIGN & SURVEY, INC.
1672 DONLON STREET
VENTURA, CALIF. 93003
PHONE: 805/654-6977
FAX: 805/654-6979
www.jdsdsv.com

SCALE: 1"=40'
J.N.: MIR26483
DATE: 4/12/2024
DWG. NAME: 6483 SITE PLAN - Well Locations

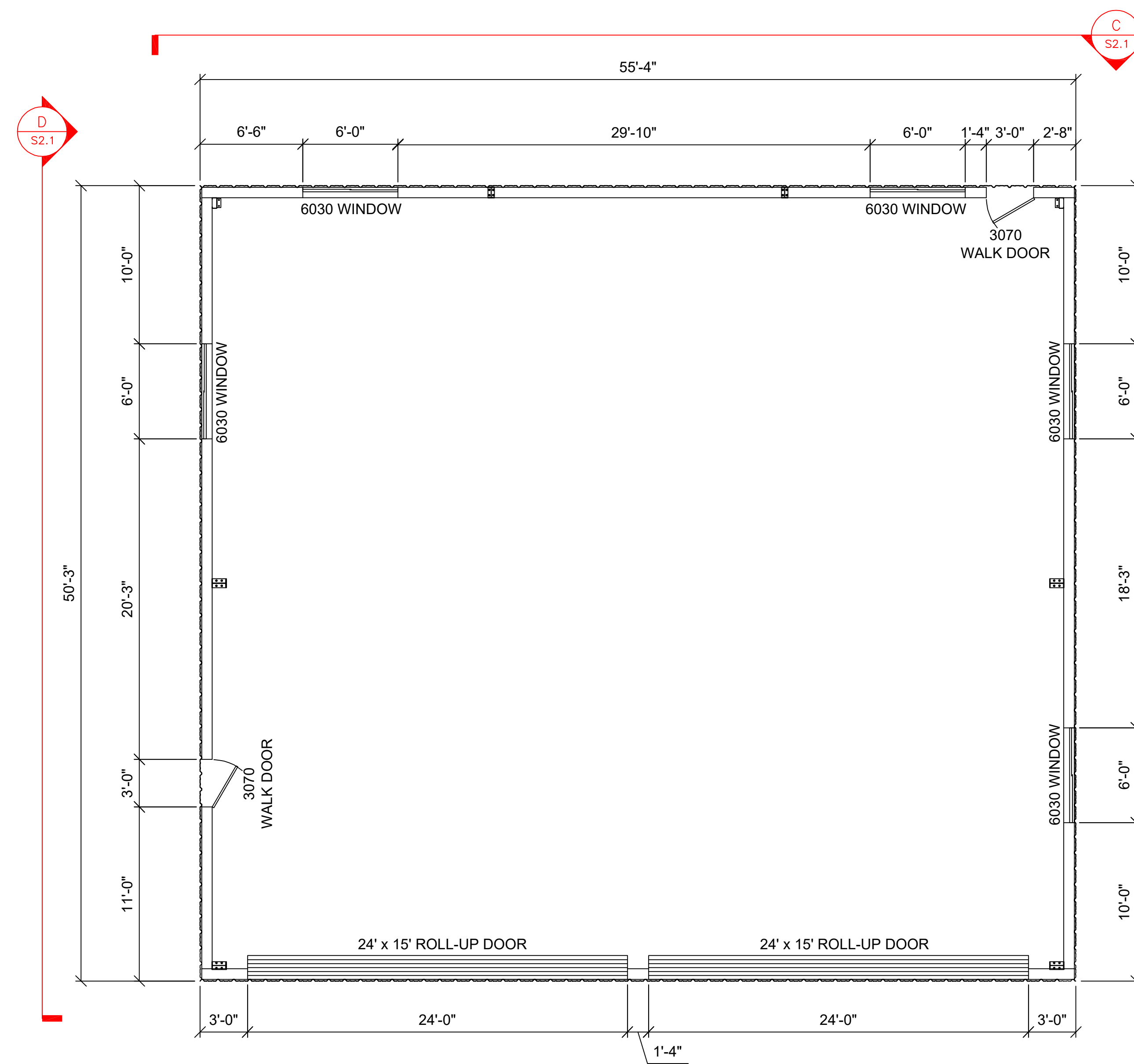
WELL SITE EXHIBIT FOR KEELEY MIRCETIC
11820 TOPA VISTA ROAD
OJAI

SHEET
1.0
OF 1

APR 12 2024 4:28pm mhm/monze



ROOF PLAN



FLOOR PLAN



GARAGE

ATTENTION: DEALER/RECTOR/END USER
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UPON NOTIFYING FCP OF THE MISSING COMPONENTS, FCP WILL MAKE EVERY EFFORT TO DELIVER PARTS TO THE JOB SITE IN A TIMELY MANNER. FCP WILL NOT INCUR ANY COST DUE TO ANY DELAY CAUSED BY MISSING COMPONENTS.

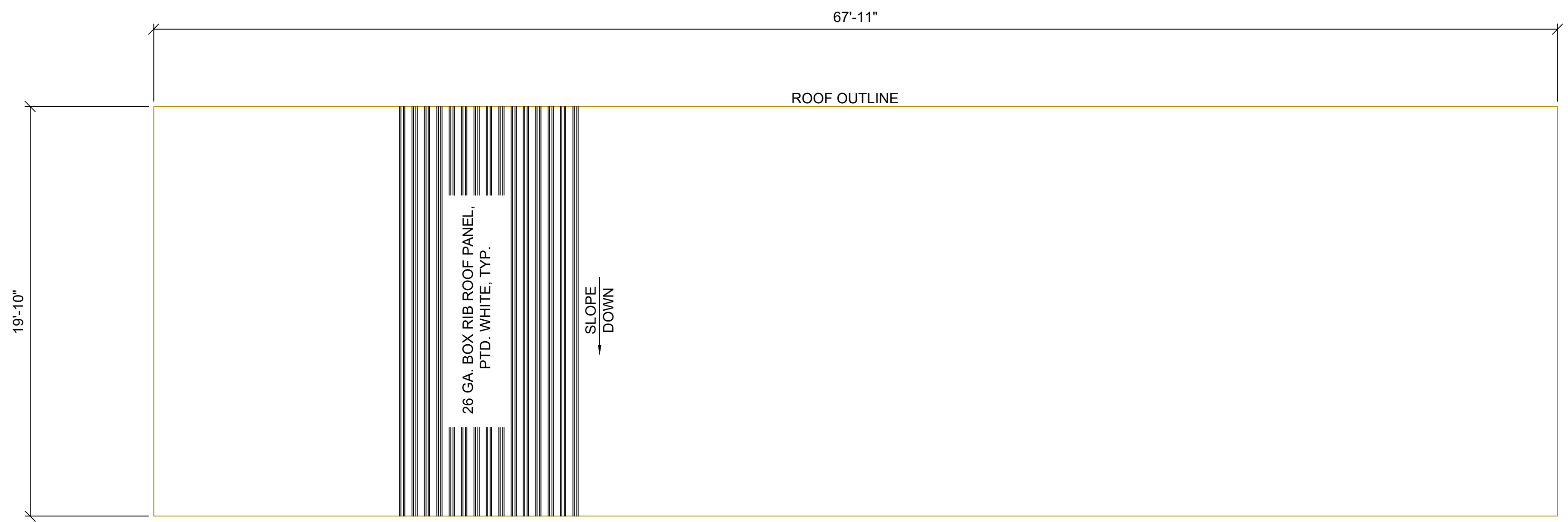
IF A COMPONENT HAS BEEN FABRICATED IN ERROR, FCP MUST BE NOTIFIED IN ORDER TO DETERMINE CORRECTIVE ACTION. FCP WILL NOT BE HELD FINANCIALLY RESPONSIBLE OR LIABLE FOR MISTAKENLY FABRICATED PARTS DUE TO MISINFORMATION SUPPLIED BY THE CUSTOMER AND/OR DEALER. AFTER A MUTUALLY AGREED UPON COST FOR CORRECTING ANY FABRICATION ERRORS, FCP WILL COMMENCE WITH FABRICATION.

ROOF / FLOOR PLAN		DWG. HISTORY/REVISIONS	BY	DATE
PLANNING SUBMITTAL DRAWINGS		D.H.	D.H.	12/12/22
REVISED TITLE		D.H.	D.H.	09/13/23
REVISED TITLE		D.H.	D.H.	11/02/23

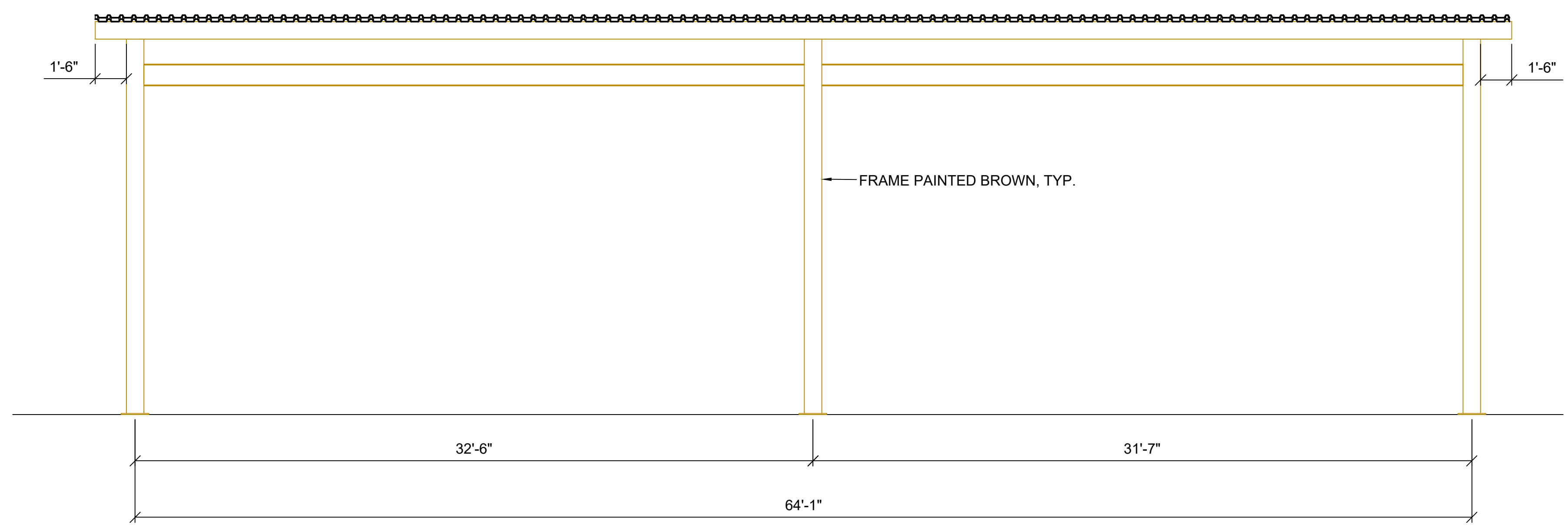
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 CHECK BY:
 PROJECT DATE: 6.28.2021
 CLIENT: MIRCCTIC RESIDENCE
 11820 TOPA VISTA ROAD
 SANTA PAULA, CA 93060

FCP STRUCTURES
 Creative Steel Solutions
 FCP, INC.
 23100 WILDOMAR TRAIL
 WILDOMAR, CA 92595
 (951) 678-4571
 SALES@FCPMEZZANINE.COM
 CA. LICENSE # 847398

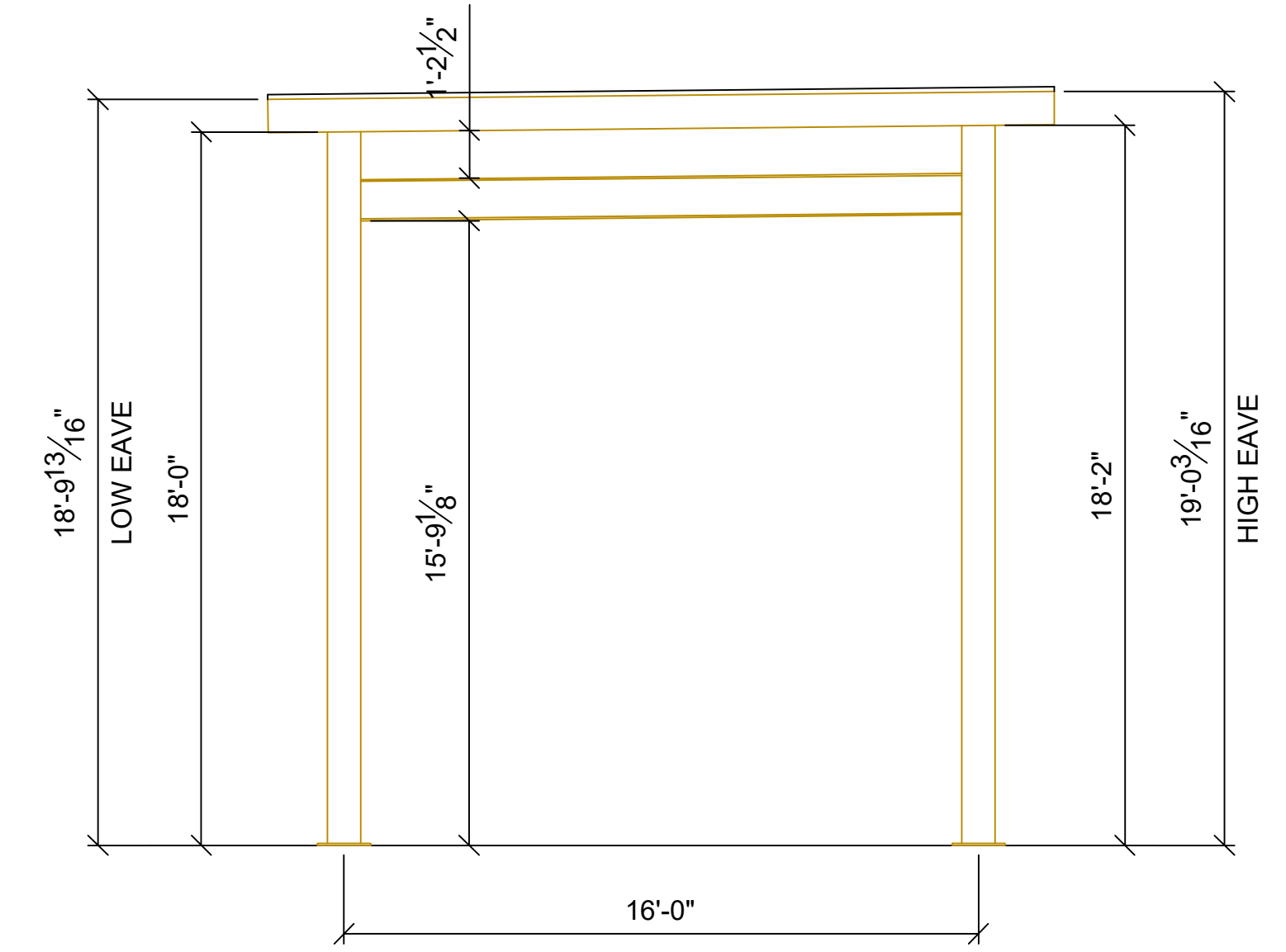
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S1.2
 SHEET 1 OF 3



ROOF PLAN  NORTH



SIDE ELEVATION



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 PERSONS CONSTRUCTING THE SYSTEMS HELD RESPONSIBLE FOR ADHERING TO THE DRAWING DETAILS AND MUST COMPLY TO WORKMANSHIP AND SAFETY STANDARDS SET FORTH BY FCP AND INDUSTRY.
 IT IS THE SOLE RESPONSIBILITY OF THE DEALER/RECTOR/END USER TO INVENTORY MATERIAL ARRIVING AT THE JOB SITE AGAINST ITS PACKING LIST. IF A SHORTAGE EXISTS IT SHOULD BE NOTED ON THE PACKING LIST ALONG WITH NOTIFICATION TO FCP BEFORE CONSTRUCTION COMMENCES.
 UPON NOTIFYING FCP OF THE MISSING COMPONENTS, FCP WILL MAKE EVERY EFFORT TO GET PARTS TO THE JOB SITE IN A TIMELY MANNER. FCP WILL NOT INCUR ANY COST DUE TO ANY DELAY CAUSED BY MISSING COMPONENTS.
 IF A COMPONENT HAS BEEN FABRICATED IN ERROR, FCP MUST BE NOTIFIED IN ORDER TO DETERMINE CORRECTIVE ACTION. FCP WILL NOT BE HELD FINANCIALLY RESPONSIBLE OR LIABLE FOR MISTAKENLY FABRICATED PARTS DUE TO MISINFORMATION SUPPLIED BY THE CUSTOMER AND/OR DEALER. AFTER A MUTUALLY AGREED UPON COST FOR CORRECTING ANY FABRICATION ERRORS, FCP WILL COMMENCE WITH FABRICATION.

DWG. HISTORY/REVISIONS	BY	DATE
PLANNING SUBMITTAL DRAWINGS	D.H.	12.12.22
REVISE TITLE	D.H.	11.08.23

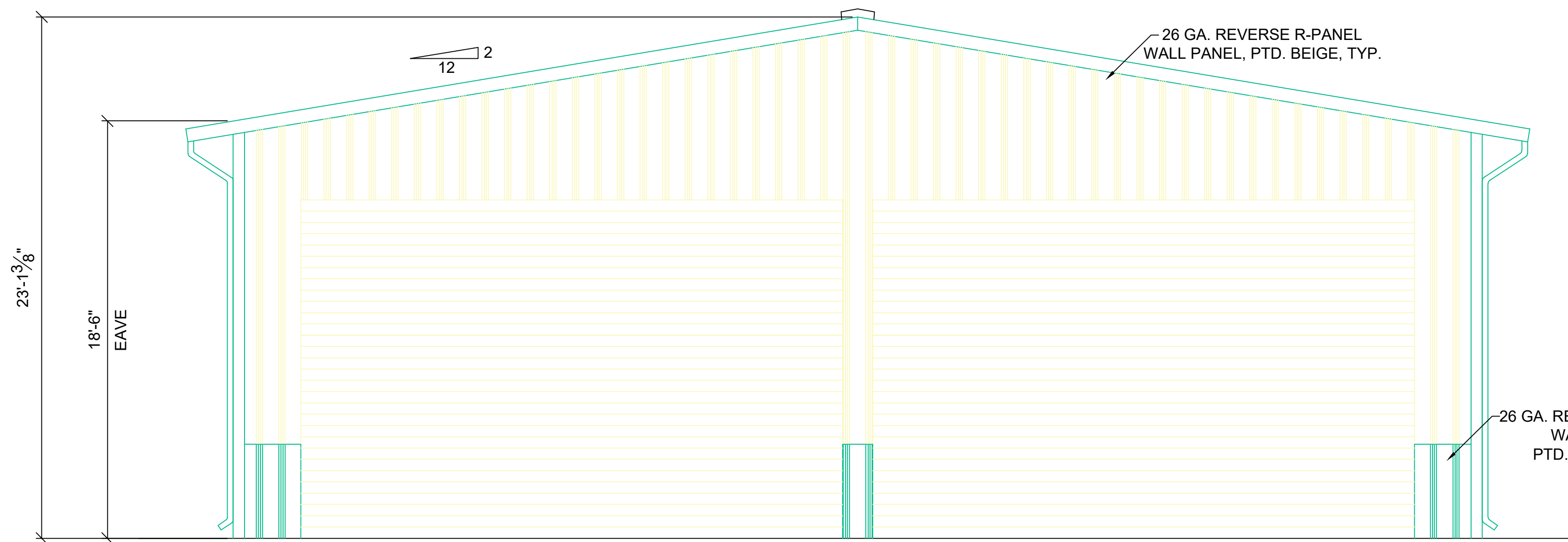
ROOF PLAN & ELEVATIONS	
FILE NO: P26008_Mircetic Residence_Shade Structure_12.12.22.dwg	CHK BY:
SCALE: 1/4" = 1'-0"	DATE: 6.28.2021
DRAWN BY: D.H.	PROJECT: MIRCETIC RESIDENCE
	11820 TOPA VISTA ROAD
	SANTA PAULA, CA 93060



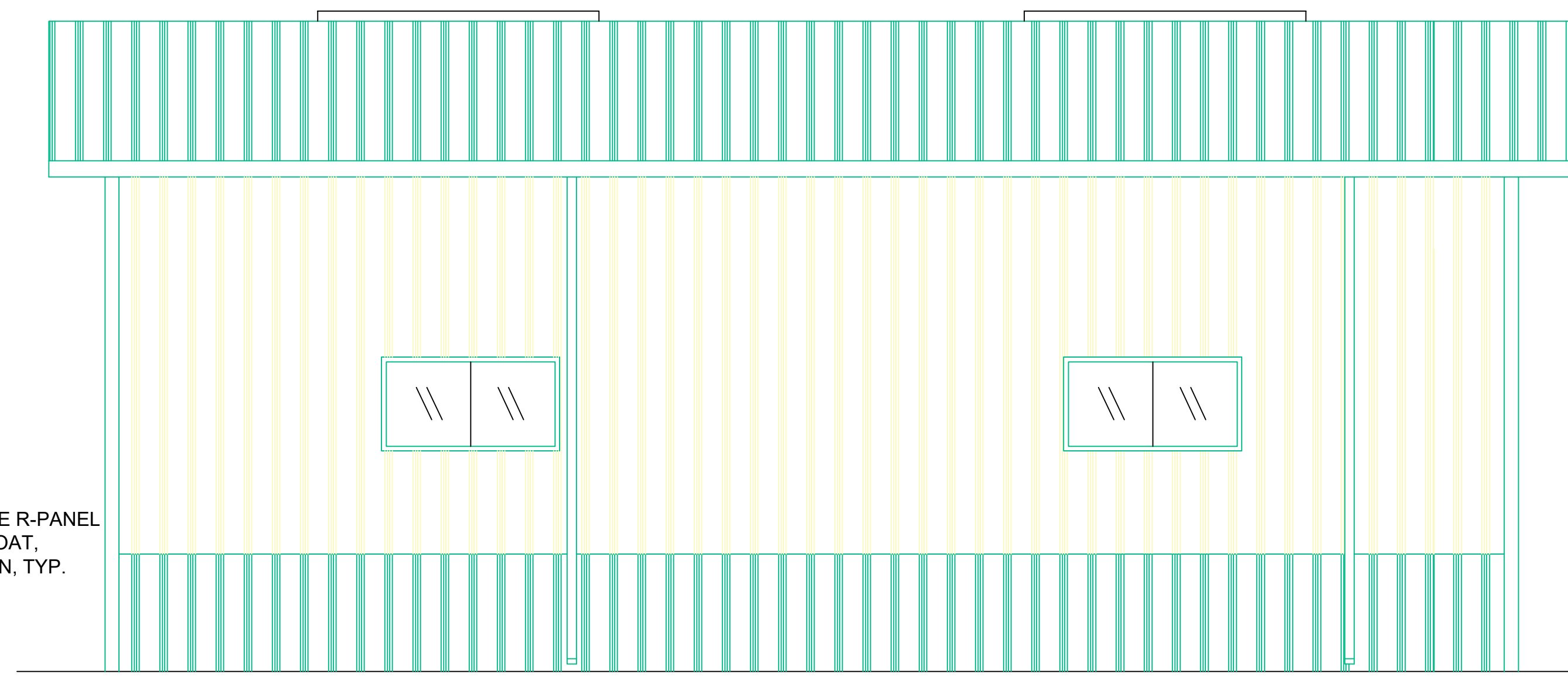
FCP STRUCTURES
 Creative Steel Solutions
 FCP, INC.
 23100 WILDOMAR TRAIL
 WILDOMAR, CA 92595
 (951) 678-4571
 SALES@FCPMEZZANINE.COM
 CA. LICENSE # 847398

ANIMAL HUSBANDRY STRUCTURE

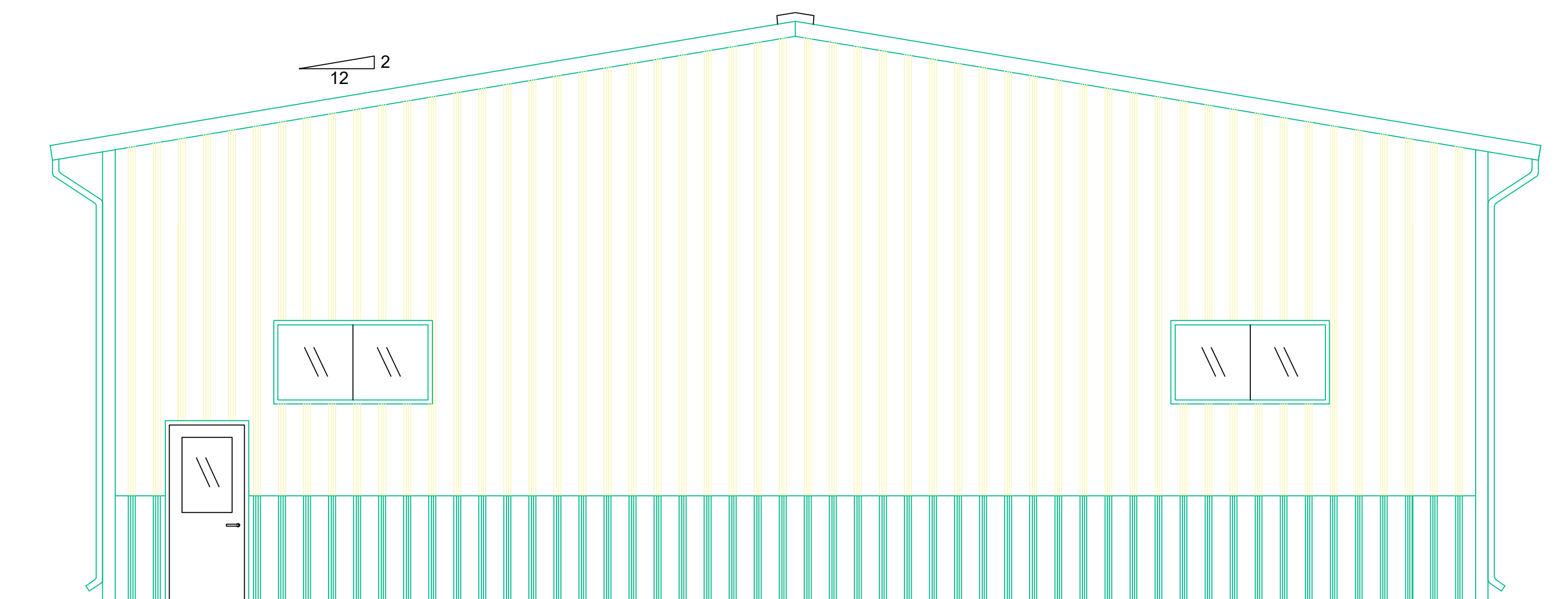
SHEET NUMBER:
S1.3
 SHEET 3 OF 3



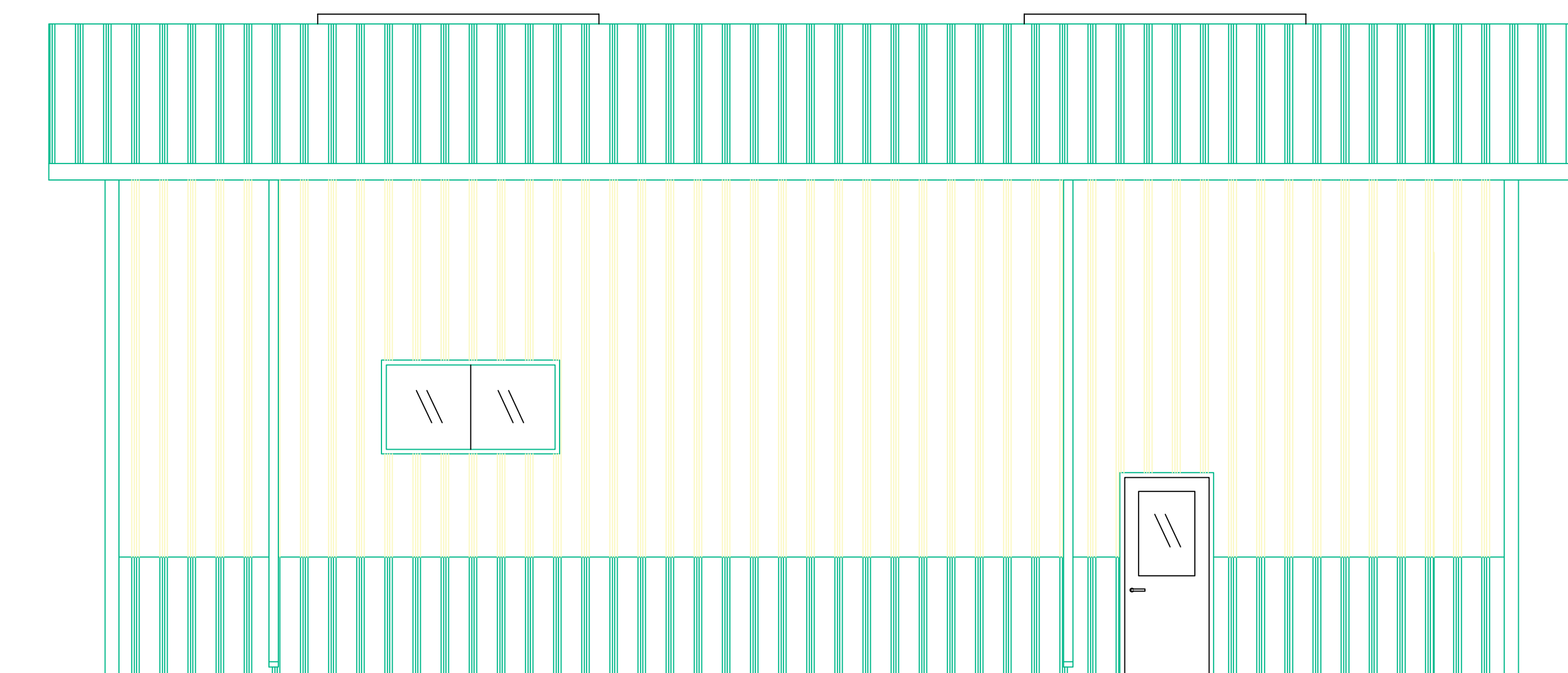
ELEVATION A/ S1.2



ELEVATION B/ S1.2



ELEVATION C/ S1.2



ELEVATION D/ S1.2

GARAGE

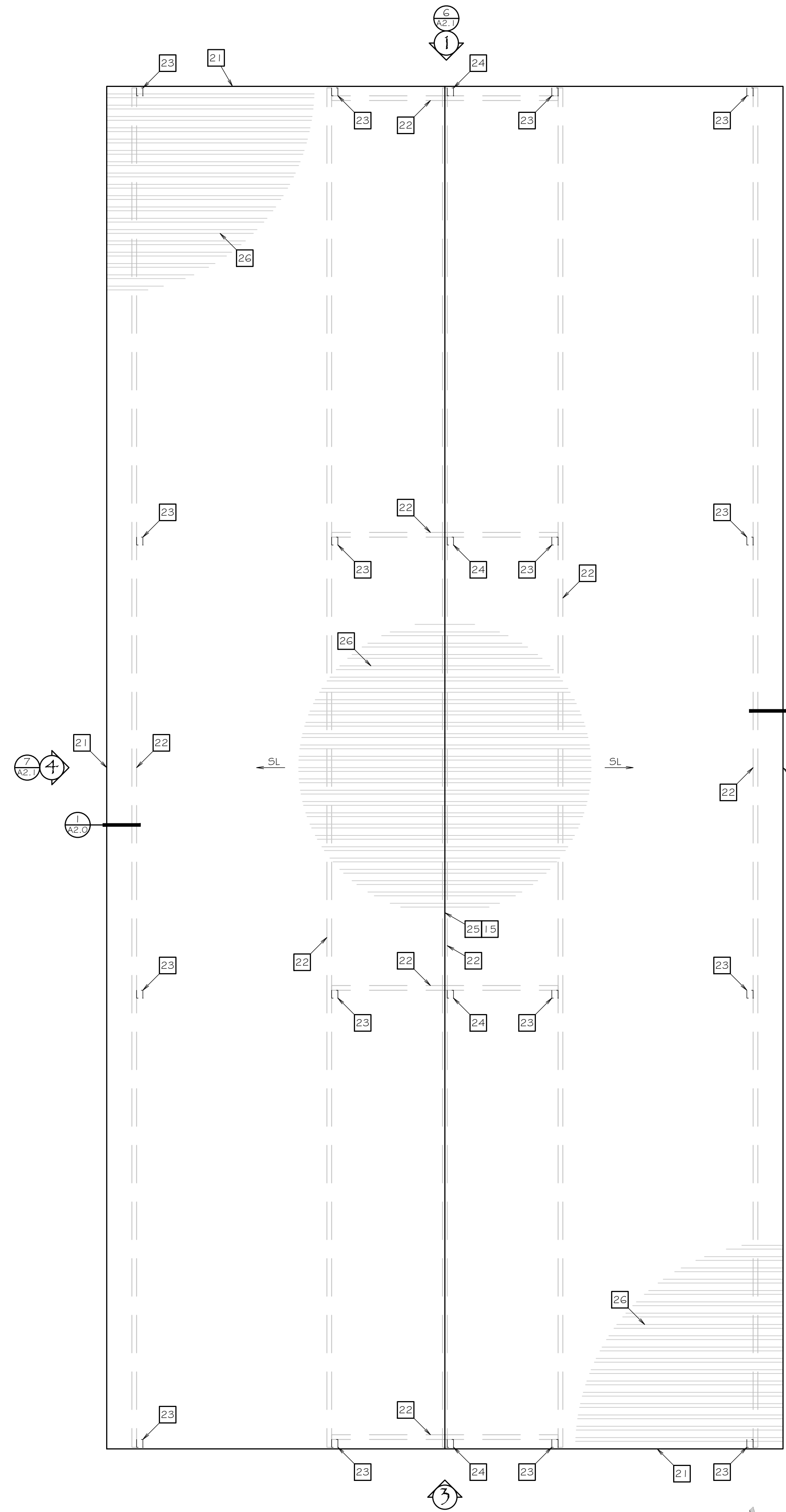
ATTENTION: DEALER/RECTOR/END USER
 THIS DRAWING AND ALL INFORMATION HEREON, REMAINS THE SOLE PROPERTY OF FCP, INC. (FCP). ITS USE IS PROVIDED FOR CONSTRUCTION OF THE SYSTEM DESCRIBED IN THE FCP PROPOSAL AND IS NOT IN ANY WAY TO BE REPLICATED, FABRICATED OR USED FOR ANY OTHER PURPOSE THAN THAT STATED IN OUR AGREEMENT WITHOUT PRIOR WRITTEN APPROVAL BY FCP.
 PERSONS CONSTRUCTING THE SYSTEMS HELD RESPONSIBLE FOR ADHERING TO THE DRAWING DETAILS AND MUST COMPLY TO WORKMANSHIP AND SAFETY STANDARDS SET FORTH BY FCP AND INDUSTRY.
 IT IS THE SOLE RESPONSIBILITY OF THE DEALER/RECTOR/END USER TO INVENTORY MATERIAL ARRIVING AT THE JOB SITE AGAINST ITS PACKING LIST. IF A SHORTAGE EXISTS IT SHOULD BE NOTED ON THE PACKING LIST ALONG WITH NOTIFICATION TO FCP BEFORE CONSTRUCTION COMMENCES.
 UPON NOTIFYING FCP OF THE MISSING COMPONENTS, FCP WILL MAKE EVERY EFFORT TO GET PARTS TO THE JOB SITE IN A TIMELY MANNER. FCP WILL NOT INCUR ANY COST DUE TO ANY DELAY CAUSED BY MISSING COMPONENTS.
 IF A COMPONENT HAS BEEN FABRICATED IN ERROR, FCP MUST BE NOTIFIED IN ORDER TO DETERMINE CORRECTIVE ACTION. FCP WILL NOT BE HELD FINANCIALLY RESPONSIBLE OR LIABLE FOR MISTAKENLY FABRICATED PARTS DUE TO MISINFORMATION SUPPLIED BY THE CUSTOMER AND/OR DEALER. AFTER A MUTUALLY AGREED UPON COST FOR CORRECTING ANY FABRICATION ERRORS, FCP WILL COMMENCE WITH FABRICATION.

DWG. HISTORY/REVISIONS	BY	DATE
PLANNING SUBMITTAL DRAWINGS	D.H.	12/12/22
REVISED TITLE	D.H.	09/13/23
REVISED TITLE	D.H.	11.02.23

ELEVATIONS	SCALE: 1/4" = 1'-0"	DATE: 6.28.2021	CHK BY:
	PROJECT: MIRCETIC RESIDENCE 11920 TOPA VISTA ROAD SANTA PAULA, CA 93060	DRAWN BY: D.H.	

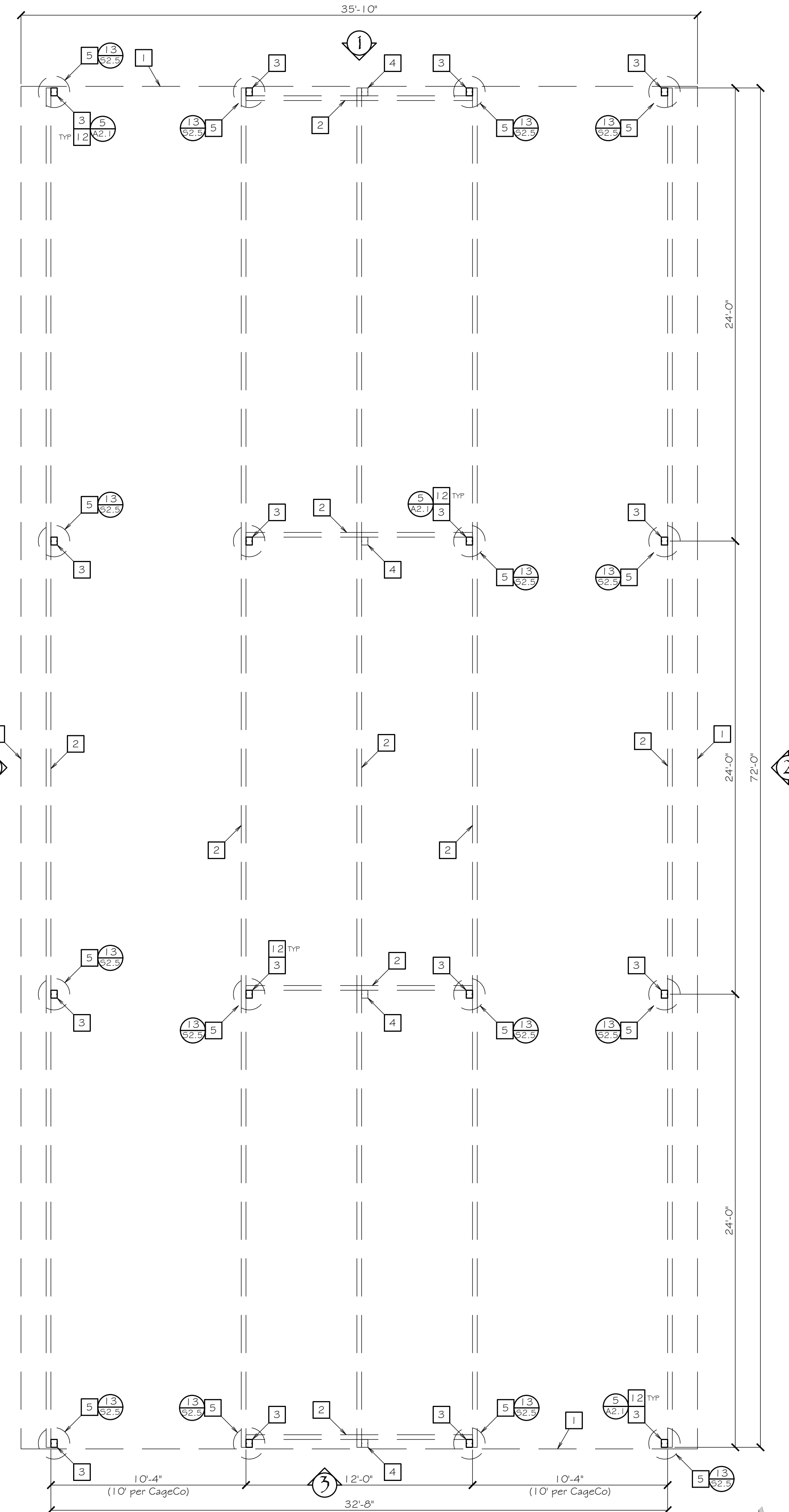
STRUCTURES
 Creative Steel Solutions
 FCP, INC.
 23100 WILDOMAR TRAIL
 WILDOMAR, CA 92595
 (951) 678-4571
 SALES@FCPMEZZANINE.COM
 CA. LICENSE # 847398

SHEET NUMBER:
S2.1
 SHEET 2 OF 3



ANIMAL HUSBANDRY STRUCTURE #3
ROOF PLAN

SCALE: 1/4" = 1'-0"



ANIMAL HUSBANDRY STRUCTURE #3
GROUND LEVEL PLAN

SCALE: 1/4" = 1'-0"
 2,352 sf

GROUND LEVEL KEYNOTES

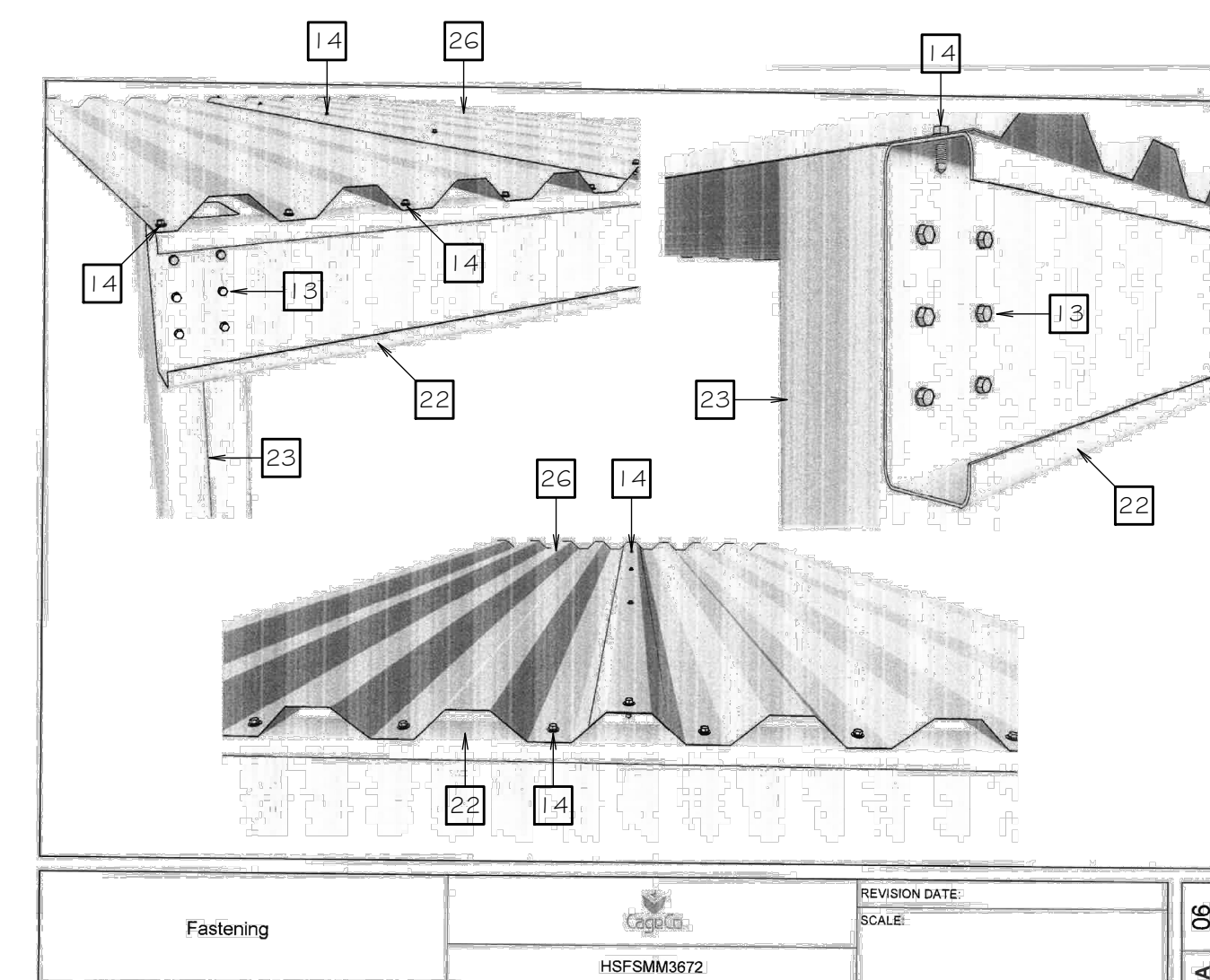
- 1 PERIMETER OF ROOF ABOVE
- 2 8" CEE PURLIN ABOVE
- 3 4x5 METAL POST
- 4 4x5 KING POST ABOVE
- 5 20" Ø (VIF) BURRIED CONCRETE FOOTING

CAGECO NOTES

- PER CageCo HSF5MM3672
- 11 POST HEIGHT MEASUREMENTS INDICATED ON THE PLANS ARE FINISHED HEIGHTS ABOVE GROUND BASED ON A FLAT LEVEL SURFACE. (CageCo pg A03, Note #1)
 - 12 MAINTAIN POST ORIENTATION THROUGHOUT AS INDICATED IN DRAWING. (CageCo pg A03, Note #2)
 - 13 PURLINS TO BE ATTACHED TO POSTS WITH A PATTERN OF MINIMUM OF SIX #14 SELF DRILLING SCREWS ON EACH END. (CageCo pg A04, Note #1)
 - 14 ROOFING TO BE ATTACHED TO PURLINS USING #12 SELF DRILLER SCREW w/ SEALER. SCREWS TO BE PLACED IN EVERY VALLEY. SCREWS TO BE PLACED EVERY 12" ON OVERLAP. (CageCo pg A07, Note #1)
 - 15 RIDGE CAP TO BE PLACED ON RIDGE AND ATTACHED w/ #12 SELF DRILLER SCREW w/ SEALER. (CageCo pg A07, Note #2)

ROOF PLAN KEYNOTES

- 21 PERIMETER OF ROOF
- 22 8" CEE PURLIN BELOW
- 23 4x5 METAL POST BELOW
- 24 4x5 KING POST BELOW
- 25 RIDGE CAP ATTACHED PER CageCo NOTE #15
- 26 BOX RIB METAL ROOF



1 ROOF CONNECTIONS
 CageCo HSF5MM3672

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 e. stuart@solidstruct.com



DATE:

MIRCETIC RESIDENCE and ACCESSORY STRUCTURES
 11820 TOPA VISTA ROAD
 SANTA PAULA, CALIFORNIA
 S.S. PROJECT # S22-1971
 APN: 057-0-080-115

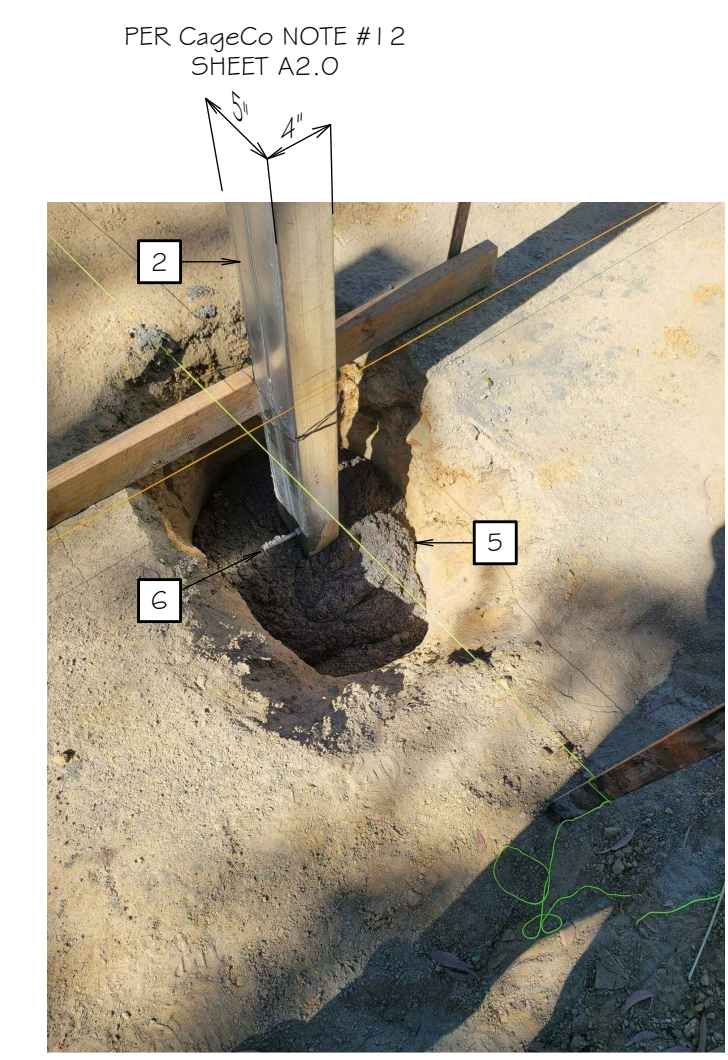
SHEET TITLE:
ANIMAL HUSBANDRY STRUCTURE #3
GROUND LEVEL & ROOF PLANS

REV	DATE
1	-
2	-
3	-

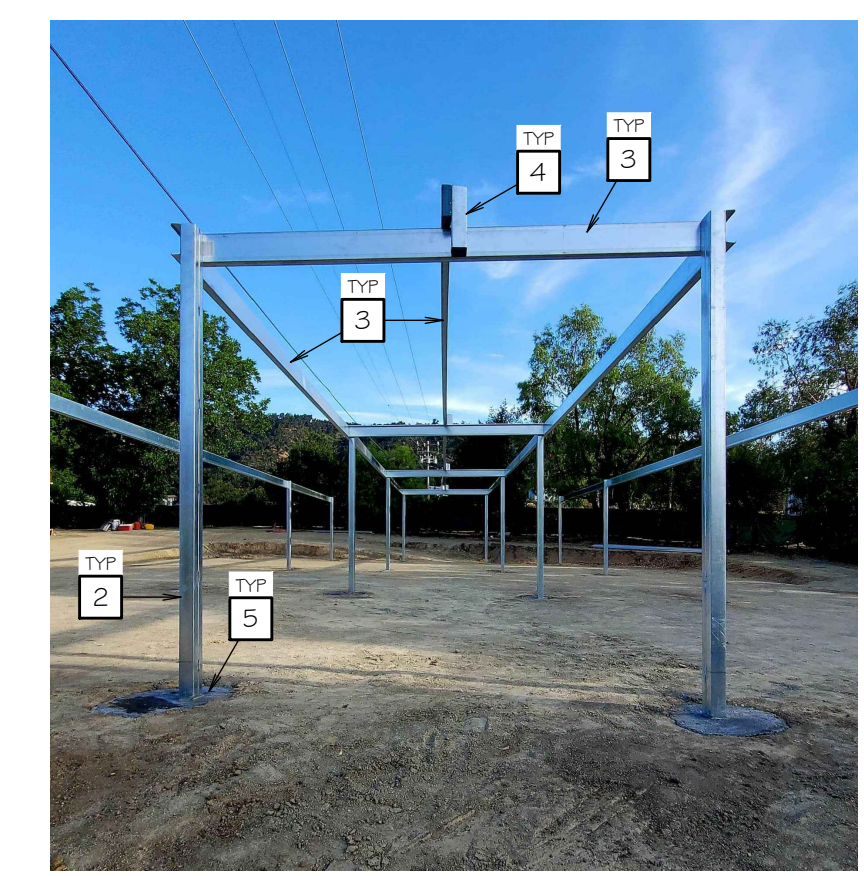
SHEET NUMBER:
A2.0

ELEVATION KEYNOTES

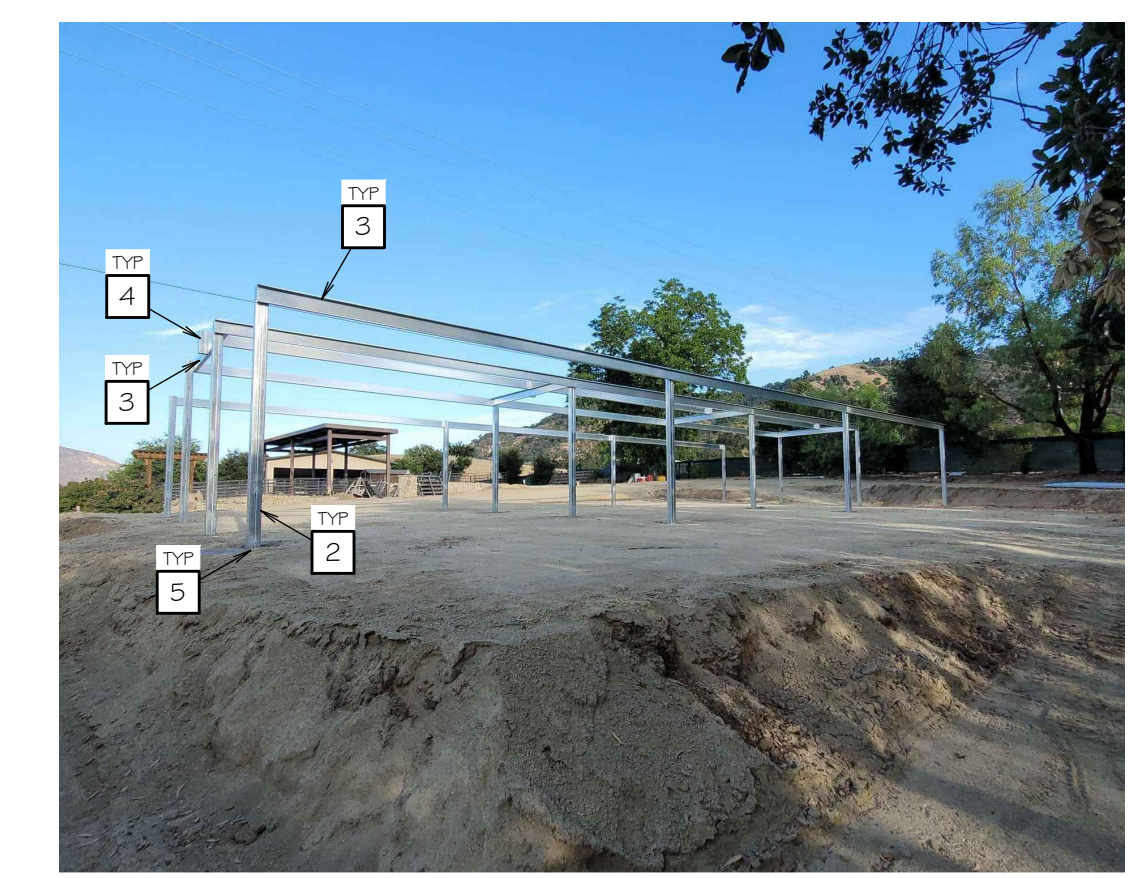
- 1 BOX RIB METAL ROOF
- 2 4x5 METAL POST
- 3 6" CEE PURLIN
- 4 4x5 KING POST
- 5 20" Ø (VIF) BURIED CONCRETE FOOTING
- 6 LOCK BOLT IN PREDRILLED HOLE. BOLT Ø AND HOLE Ø MATCH. EMBEDDED POST.
- 7 RIDGE CAP ATTACHED PER CageCo NOTE #1.5, SHEET A2.0



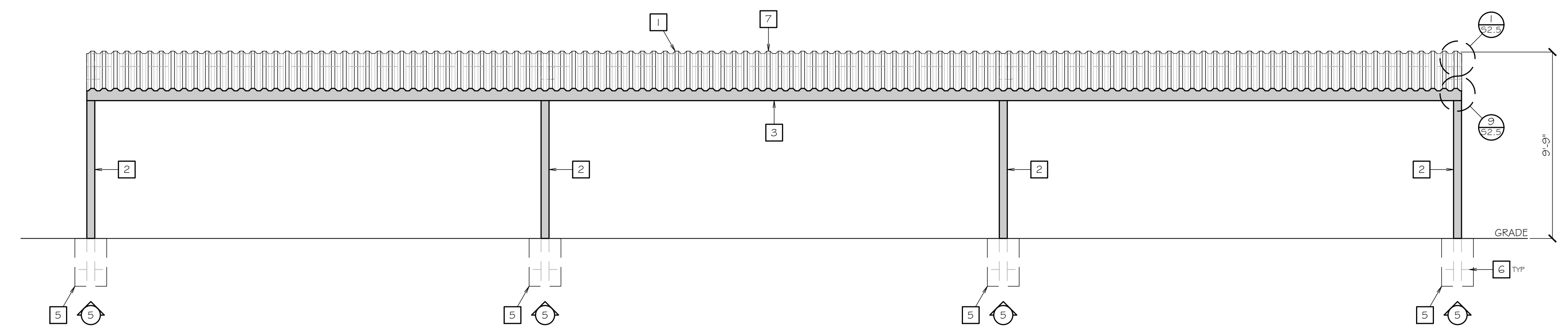
5 CONCRETE FOOTING
AS-BUILT



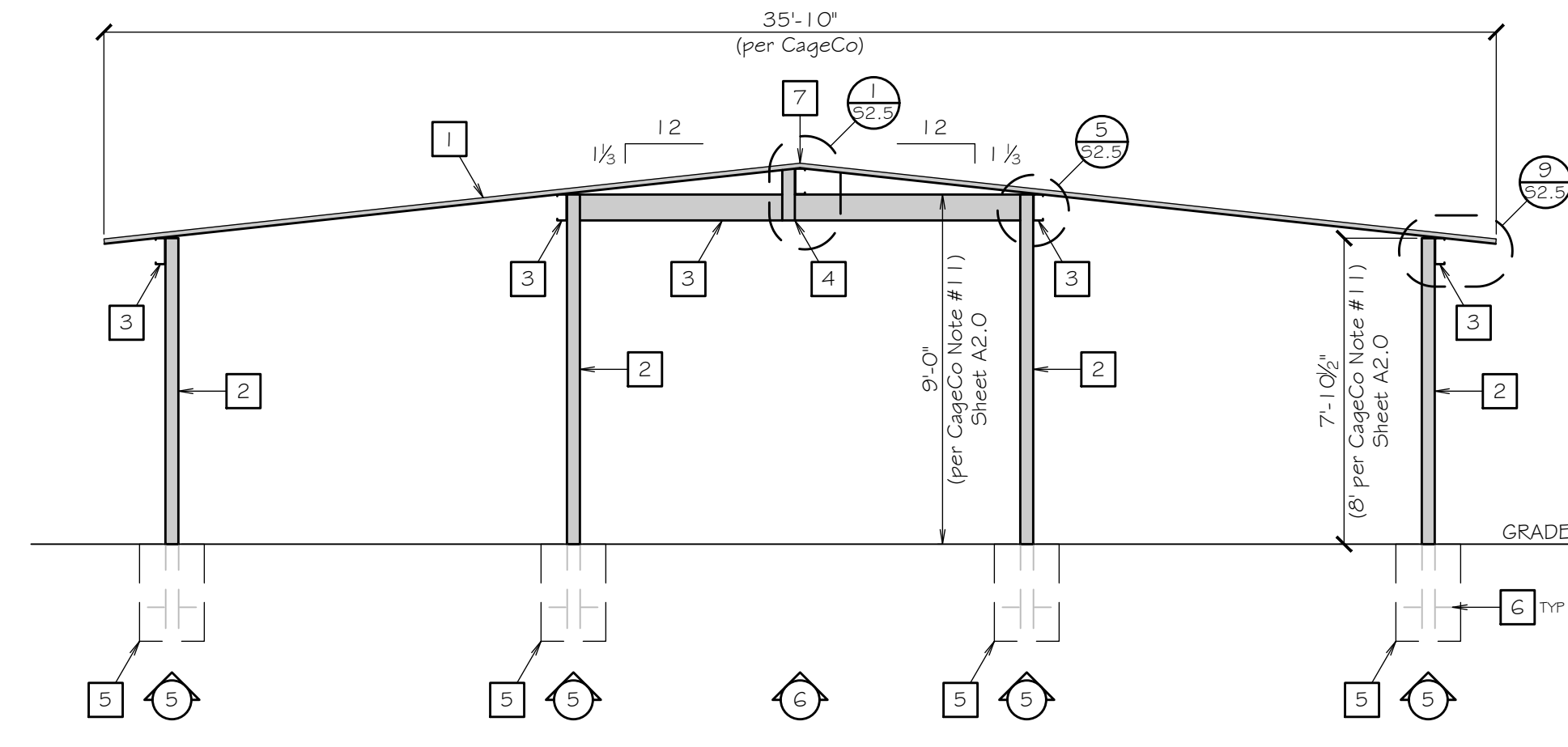
6 NORTH ELEVATION
AS-BUILT



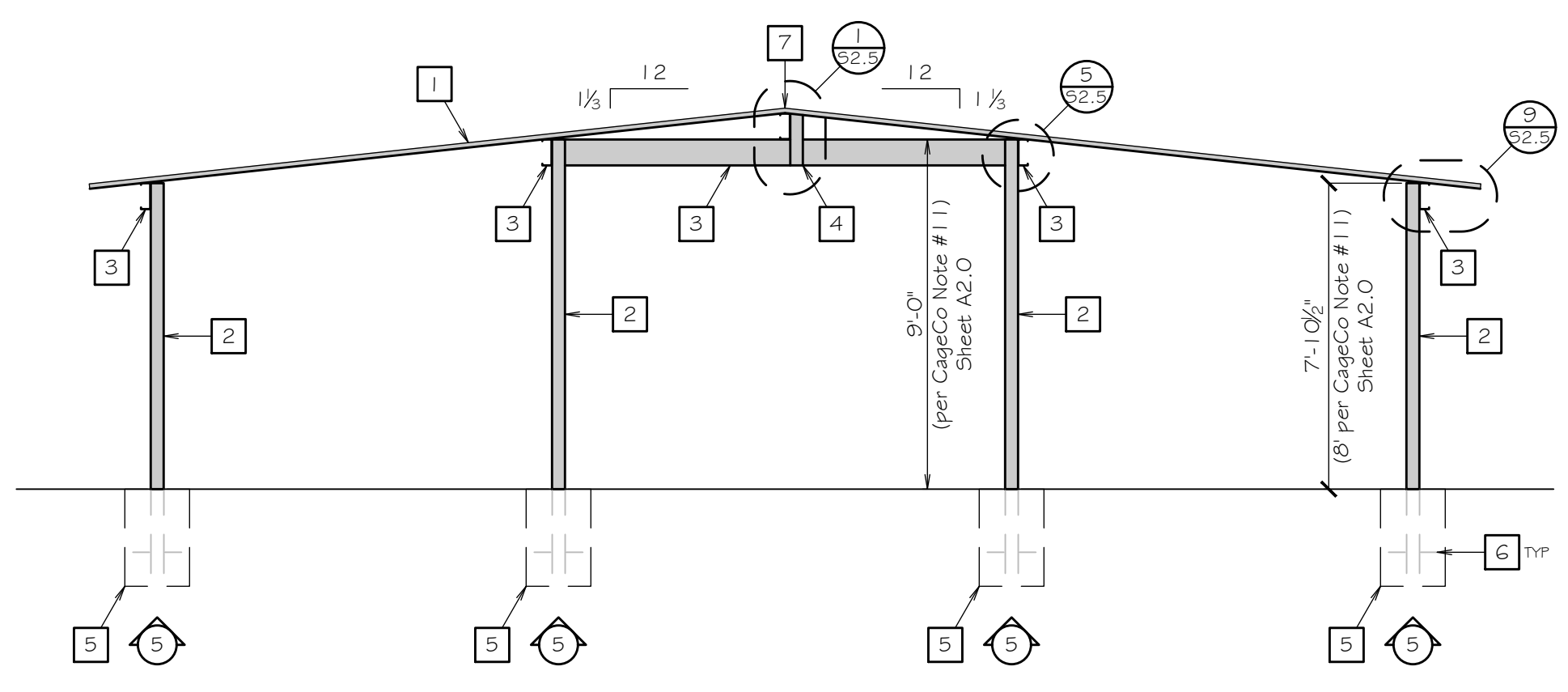
7 WEST ELEVATION
AS-BUILT



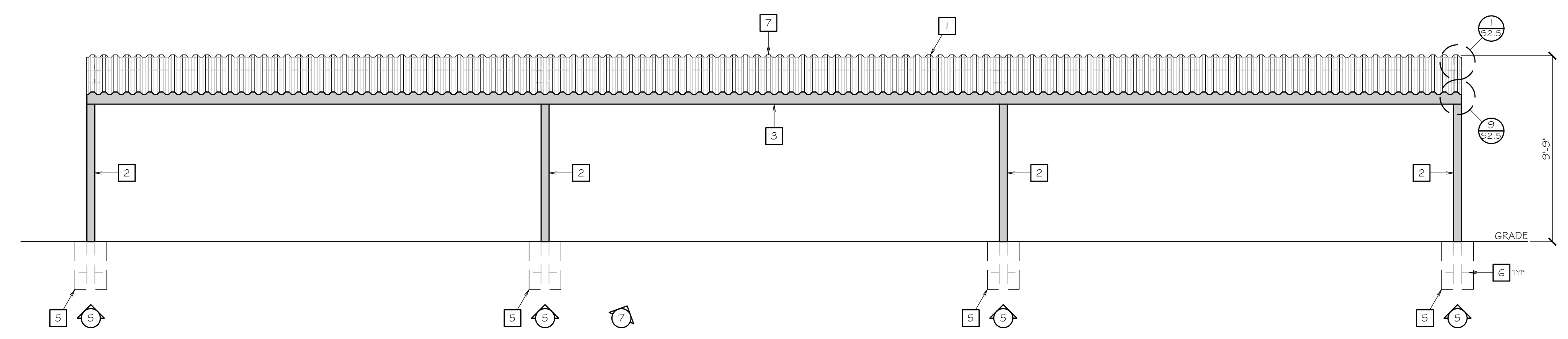
2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

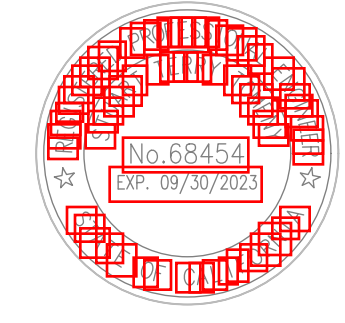


3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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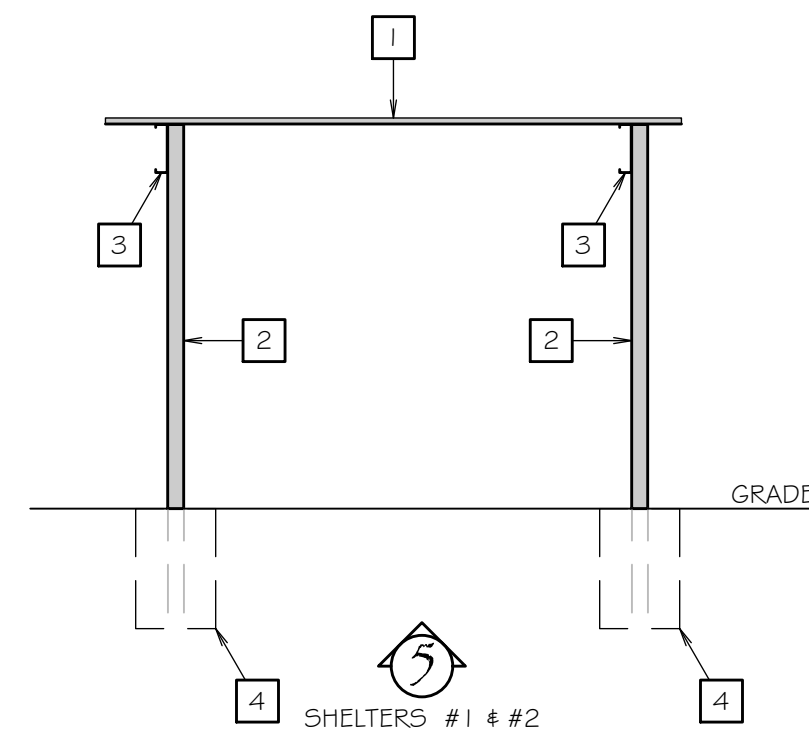
DATE:

MIRCETIC RESIDENCE and
ACCESSORY STRUCTURES
11820 TOPA VISTA ROAD
SANTA PAULA, CALIFORNIA
S.S. PROJECT # 5222-1971
APN: 057-0-080-115

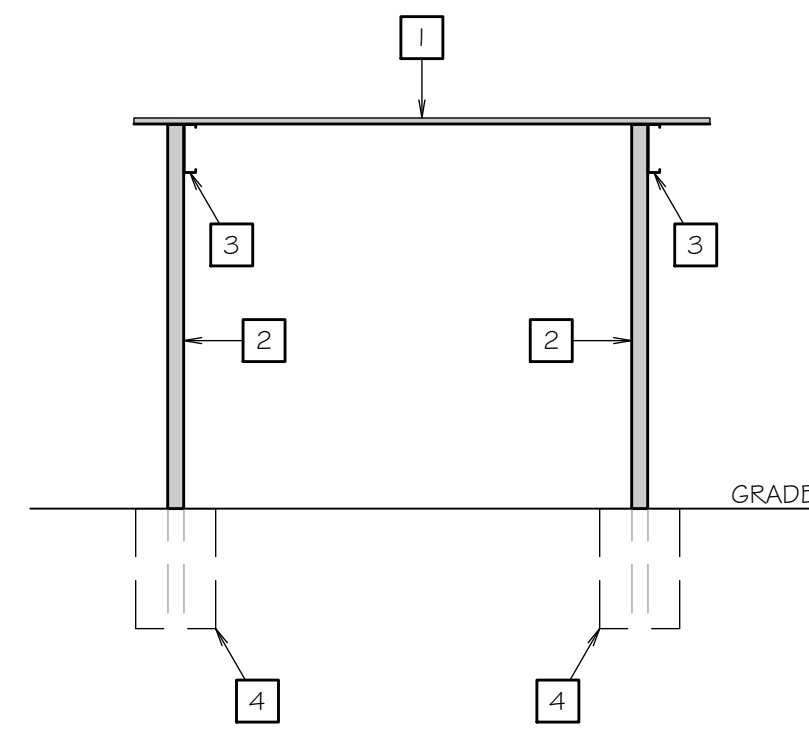
SHEET TITLE:
**ANIMAL HUSBANDRY
STRUCTURE #3**
ELEVATIONS
& DETAILS

REV	DATE
1	-
2	-
3	-

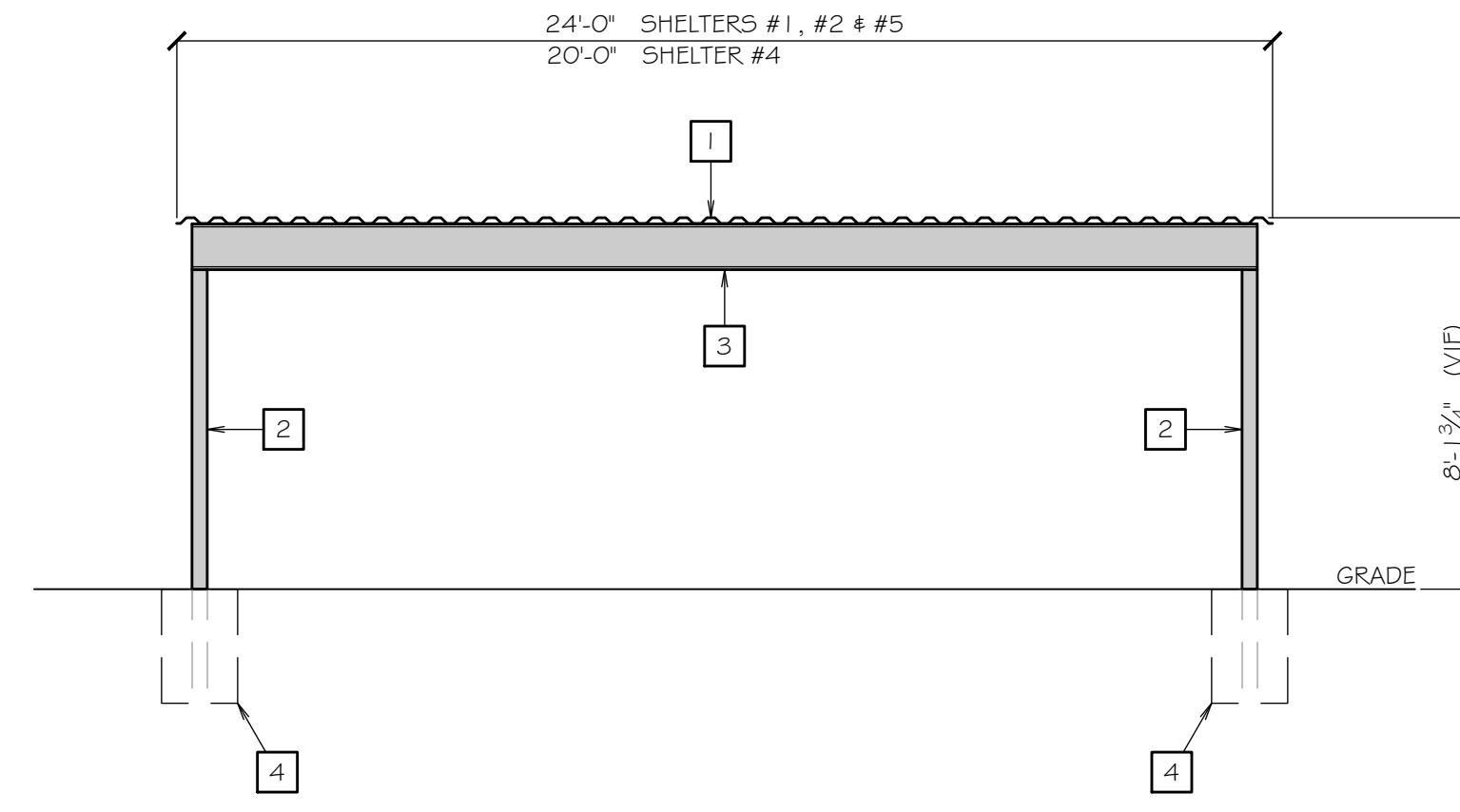
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A2.1



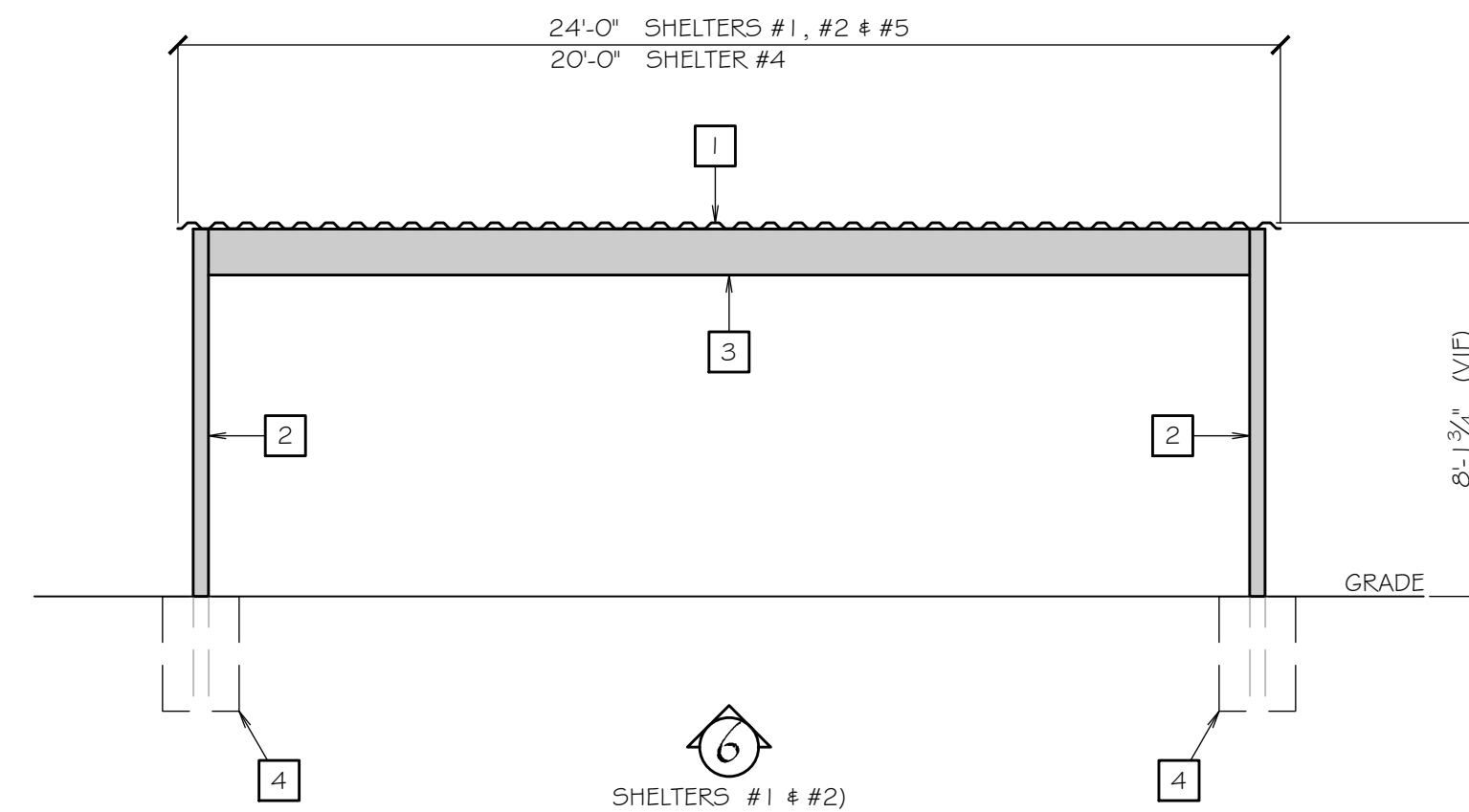
4 WEST ELEVATION (STRUCTURES #4 & #5)
SOUTH ELEVATION SCALE: 1/4" = 1'-0"



2 EAST ELEVATION (STRUCTURES #4 & #5)
NORTH ELEVATION SCALE: 1/4" = 1'-0"



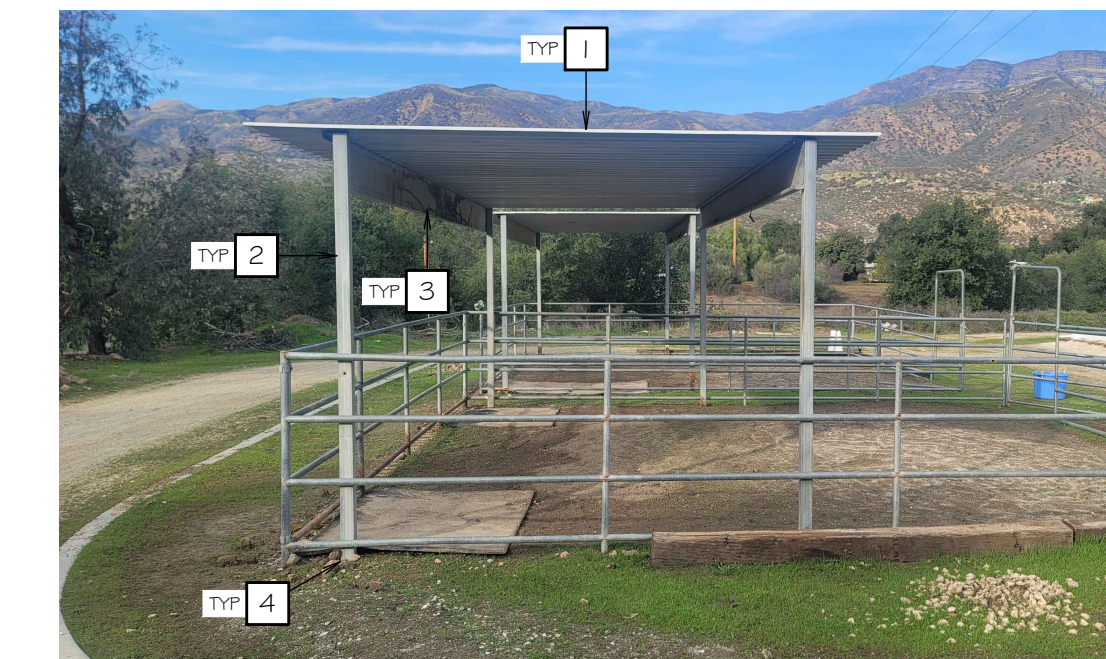
1 NORTH ELEVATION (STRUCTURES #4 & #5)
WEST ELEVATION SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION (STRUCTURES #4 & #5)
EAST ELEVATION SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- 1 BOX RIB METAL ROOF
- 2 4" METAL POST
- 3 12" CEE PURLIN
- 4 20" Ø (V/P) BURIED CONCRETE FOOTING



5 SOUTH ELEVATION
AS-BUILT STRUCTURES #1 & #2



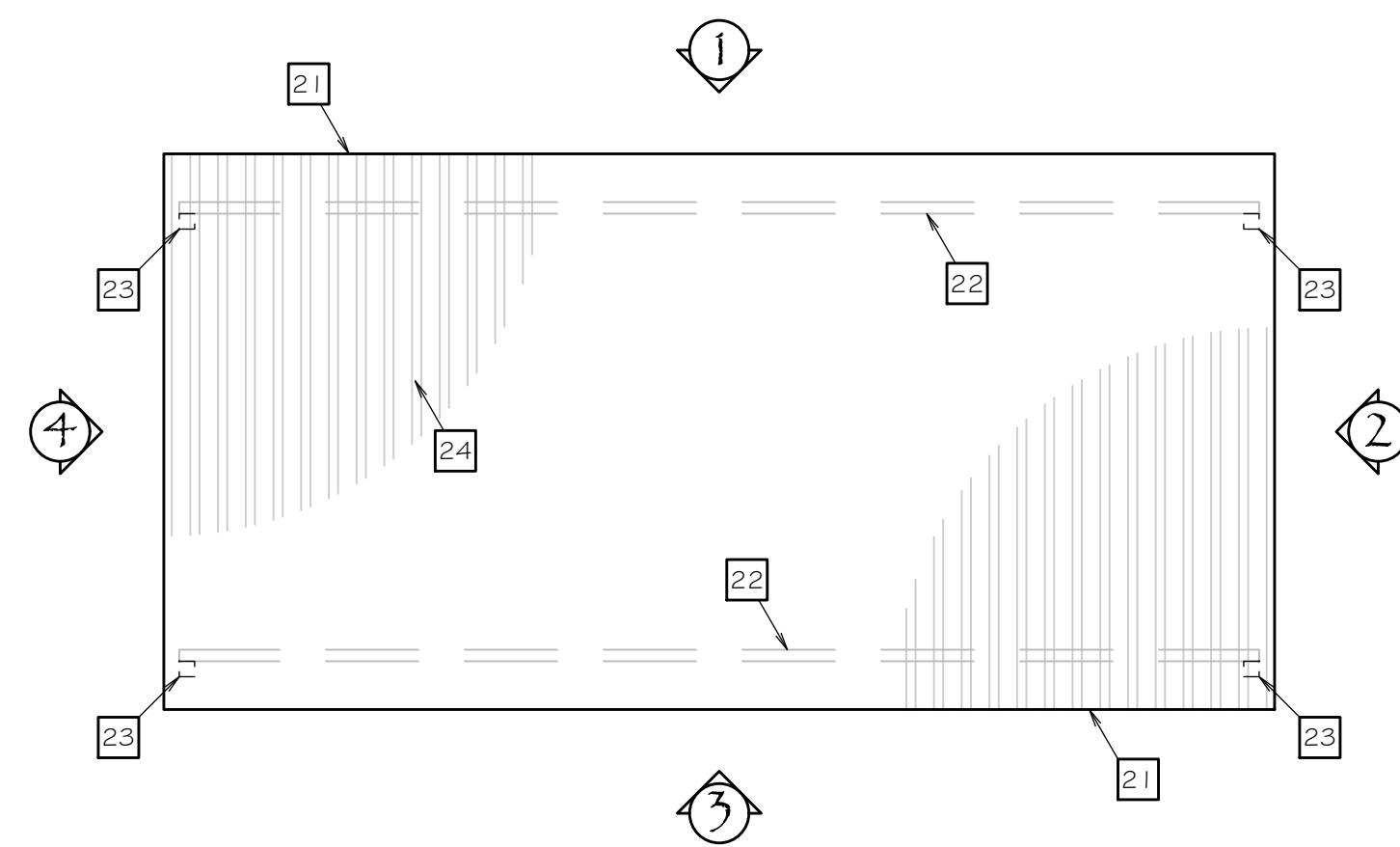
6 EAST ELEVATION
AS-BUILT STRUCTURES #1 & #2

GROUND LEVEL KEYNOTES

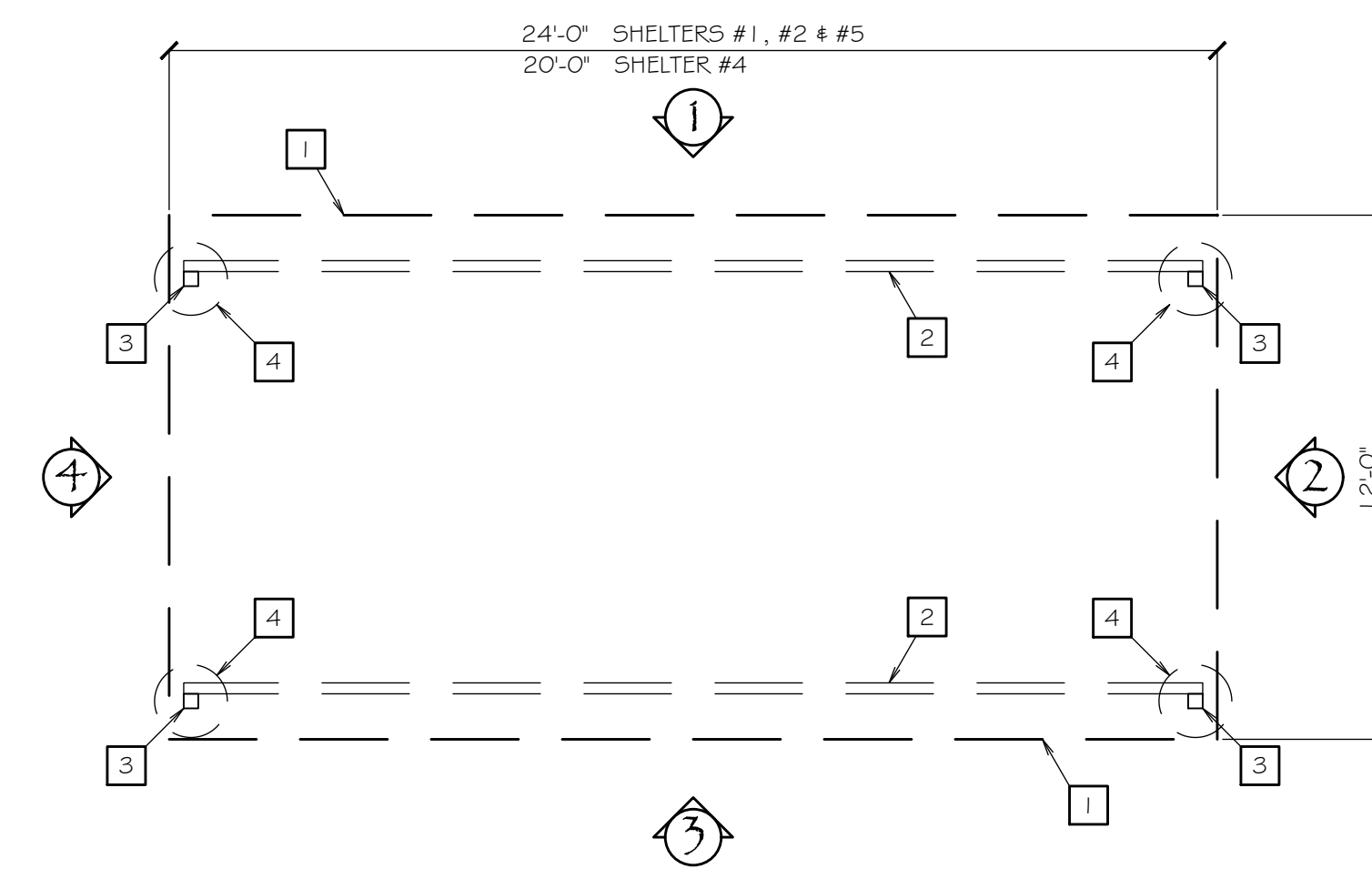
- 1 PERIMETER OF ROOF ABOVE
- 2 12" CEE PURLIN ABOVE
- 3 4" METAL POST
- 4 20" Ø (V/P) BURIED CONCRETE FOOTING

ROOF PLAN KEYNOTES

- 21 PERIMETER OF ROOF
- 22 12" CEE PURLIN BELOW
- 23 4" METAL POST BELOW
- 24 BOX RIB METAL ROOF

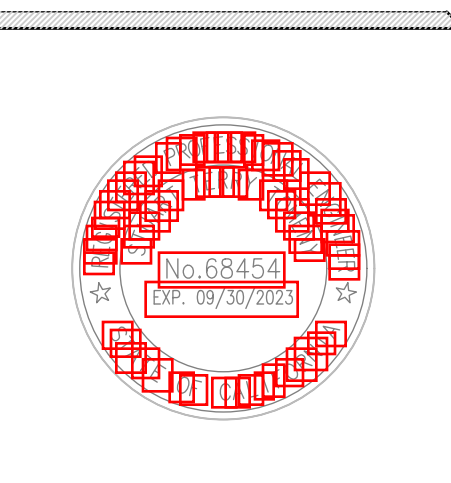


ANIMAL SHADE STRUCTURE (STRUCTURES #1 & #2)
ROOF PLAN SCALE: 1/4" = 1'-0"



ANIMAL SHADE STRUCTURE (STRUCTURES #4 & #5)
GROUND LEVEL PLAN SCALE: 1/4" = 1'-0"

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DATE:

MIRCETIC RESIDENCE and ACCESSORY STRUCTURES
11820 TOPA VISTA ROAD
SANTA PAULA, CALIFORNIA
S.S. PROJECT # 522-1971
APN: 087-0-080-115

SHEET TITLE:
ANIMAL HUSBANDRY STRUCTURE
#1, #2, #4, #5
PLANS & ELEVATIONS

REV	DATE
1	-
2	-
3	-

SHEET NUMBER:
A2.2

TUFF SHED SPECIFICATIONS

PER MANUFACTURER (FOR REFERENCE ONLY)

ROOF CONSTRUCTION:

OUR PROVEN CONSTRUCTION MATERIALS AND METHODS ARE THE SAME ONES USED IN MOST HOMES. THE RAFTERS ARE PRECUT 2X4s POSITIONED OVER THE WALL STUDS AND JOINED AT THE CENTER WITH 2"x4" STEEL TRUSS PLATES ON BOTH SIDES. THIS ASSURES MAXIMUM LOAD CAPACITY AND WEIGHT DISTRIBUTION. GARDEN SERIES BUILDINGS INCLUDE 7/16 OSB ROOF DECKING, WHILE PREMIER AND PREMIER PRO SERIES BUILDINGS GET UPGRADED 7/16 LP PROSTRUCT ROOF DECKING WITH SILVERTECH RADIANT BARRIER TECHNOLOGY. ALL THREE SERIES OF TUFF SHED FACTORY-DIRECT BUILDINGS INCLUDE ROOFING UNDERLAYMENT AS A MOISTURE BARRIER AND A BAKED ENAMEL FORMED STEEL DRIP EDGE AROUND THE PERIMETER OF THE ROOF DECKING TO PROTECT THE EDGE OF THE DECKING FROM WEATHER AND TO SUPPORT THE SHINGLE'S EDGES FROM BREAKAGE. GARDEN AND PREMIER SERIES INCLUDE 25-YEAR GAF ROYAL SOVEREIGN 3-TAB SHINGLES. PREMIER PRO SERIES BUILDINGS GET UPGRADED GAF TIMBERLINE HDZ DIMENSIONAL SHINGLES WITH A MANUFACTURER'S LIMITED LIFETIME WARRANTY. GAF ROOF WARRANTY INFORMATION

WIDTH AND LENGTH:

THE WIDTH IS USUALLY THE FIRST NUMBER SHOWN. A 10X12' BUILDING, FOR EXAMPLE, IS 10' WIDE BY 12' IN LENGTH. THE WIDTH SIDE IS ALWAYS THE ENDWALL, WHICH FEATURES THE POINT WHERE THE ROOF SECTIONS COME TOGETHER AT THE PEAK.

SIDING TYPE:

TUFF SHED USES LP® SMARTSIDE® SIDING AND TRIM AS STANDARD ON OUR BUILDINGS. FOR TUFF SHED PREMIER SERIES® AND PREMIER PRO SERIES(TM) BUILDINGS, WE UPGRADE THE SIDING TO LP® SMARTSIDE SIDING WITH SILVERTECH® RADIANT BARRIER TECHNOLOGY. LP® PRORATED 50-YEAR LIMITED WARRANTY

BUILDING HEIGHTS:

OVERALL BUILDING HEIGHTS VARY BY MODEL, THE WIDTH OF THE BUILDING, AND IF THE CUSTOMER HAS SELECTED ANY UPGRADES THAT IMPACT HEIGHT, SUCH AS ROOF PITCH UPGRADE AND WALL HEIGHT ADDER. YOU CAN FIND STANDARD OVERALL HEIGHTS FOR COMMON WIDTHS IN THE SPECIFICATIONS/SIZES AND PRICES SECTION FOR EACH MODEL.

LOFT LOADS:

A LOFT WITH 24" ON CENTER JOISTS CAN HOLD 30 LBS PER SQUARE FOOT OF TYPICAL STORAGE. CONSULT YOUR TUFF SHED REP AT THE DESIGN PHASE TO INCREASE A LOFT'S WEIGHT CAPACITY FOR OTHER SPECIFIC USE.

FLOOR JOIST LOADS:

OUR SHED FLOORS, WITH 24" OC JOISTS AND SINGLE LAYER TONGUE AND GROOVE FLOOR DECKING, ARE DESIGNED TO SUPPORT 75 POUNDS PER SQUARE FOOT WHEN THE JOISTS ARE PLACED DIRECTLY ONTO CONCRETE OR SOME OTHER FIRM, UNIFORM SURFACE, AND 50 LBS PSF WHEN THE JOISTS ARE PLACED ON CONCRETE LEVELING BLOCKS. WEIGHT CAPACITY CAN BE INCREASED BY ADDING MORE FLOOR JOISTS.

WALL FRAMING SPACING:

STANDARD WALL FRAMING IS 16" ON CENTER ON ALL PRODUCTS EXCEPT THE KEYSTONE SERIES® AND GARDEN SERIES® BUILDINGS, WHICH HAVE 24" ON CENTER WALL FRAMING.

FRAMING TYPE:

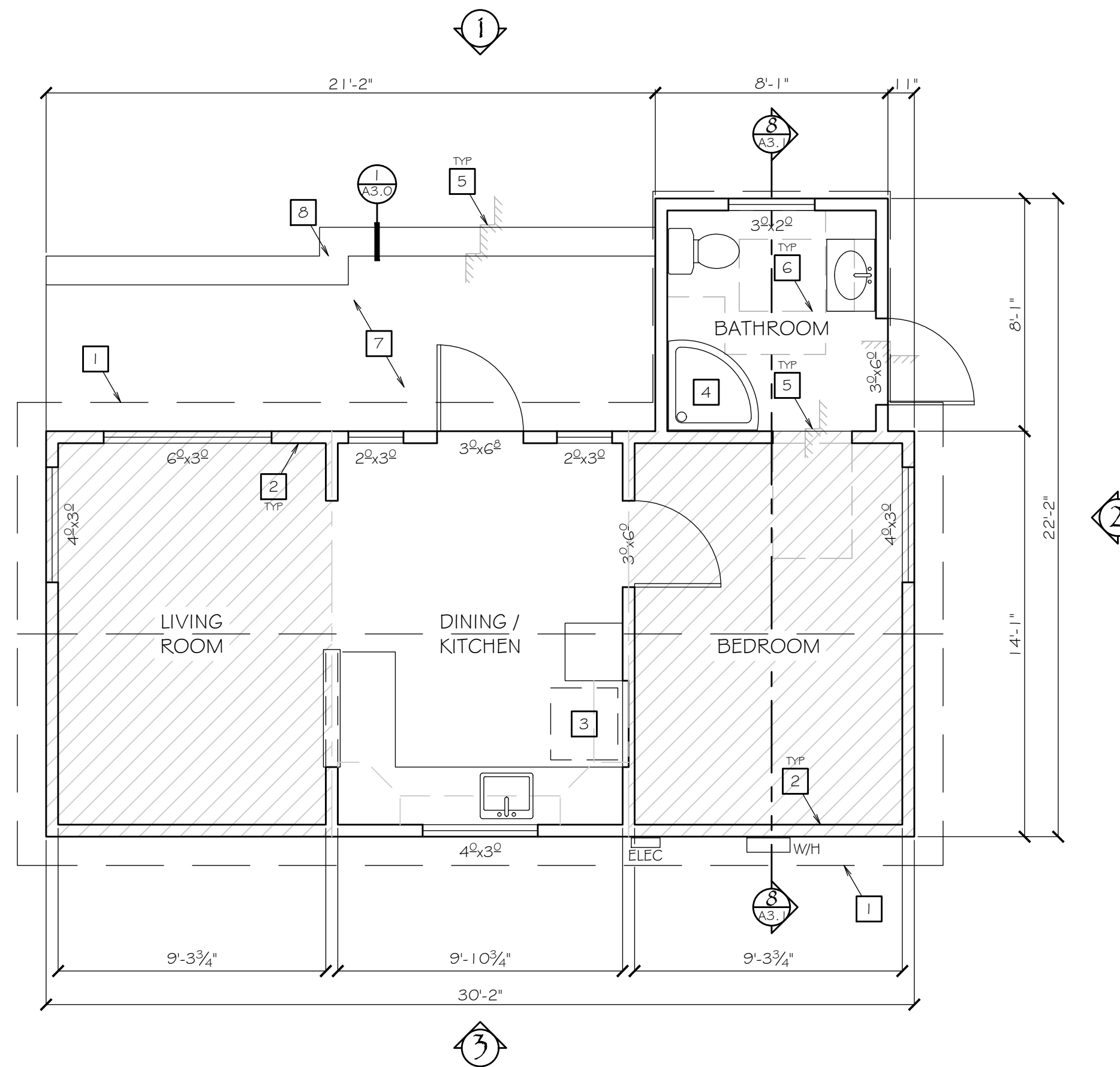
OUR STANDARD WALL FRAMING AND RAFTERS ARE TYPICALLY 2x4 DIMENSIONAL LUMBER. THE SPECIES CAN VARY DEPENDING ON THE REGION. ON LARGER BUILDINGS AND THOSE WITH AN OVERHEAD LOFT, LARGER DIMENSIONAL LUMBER (I.E. 2x6, 2x8, 2x12, ETC.) CAN BE SUBSTITUTED AS NEEDED. CUSTOMERS CAN ALSO ELECT TO UPGRADE THEIR WALL FRAMING FROM 2x4 TO 2x6 TO ACCOMMODATE THE INSULATION THAT THEY PLAN TO ADD AFTER THE BUILDING INSTALLATION.

FLOOR JOIST AND ROOF TRUSS SPACING:

STANDARD SPACING ON FLOOR JOISTS AND TRUSSES IS 24" ON CENTER. WHEN REQUIRED, THE WEIGHT LOAD OF THE ROOF AND/OR FLOOR CAN BE INCREASED WITH ADDITIONAL TRUSSES AND JOISTS.

INTERIOR DIMENSIONS:

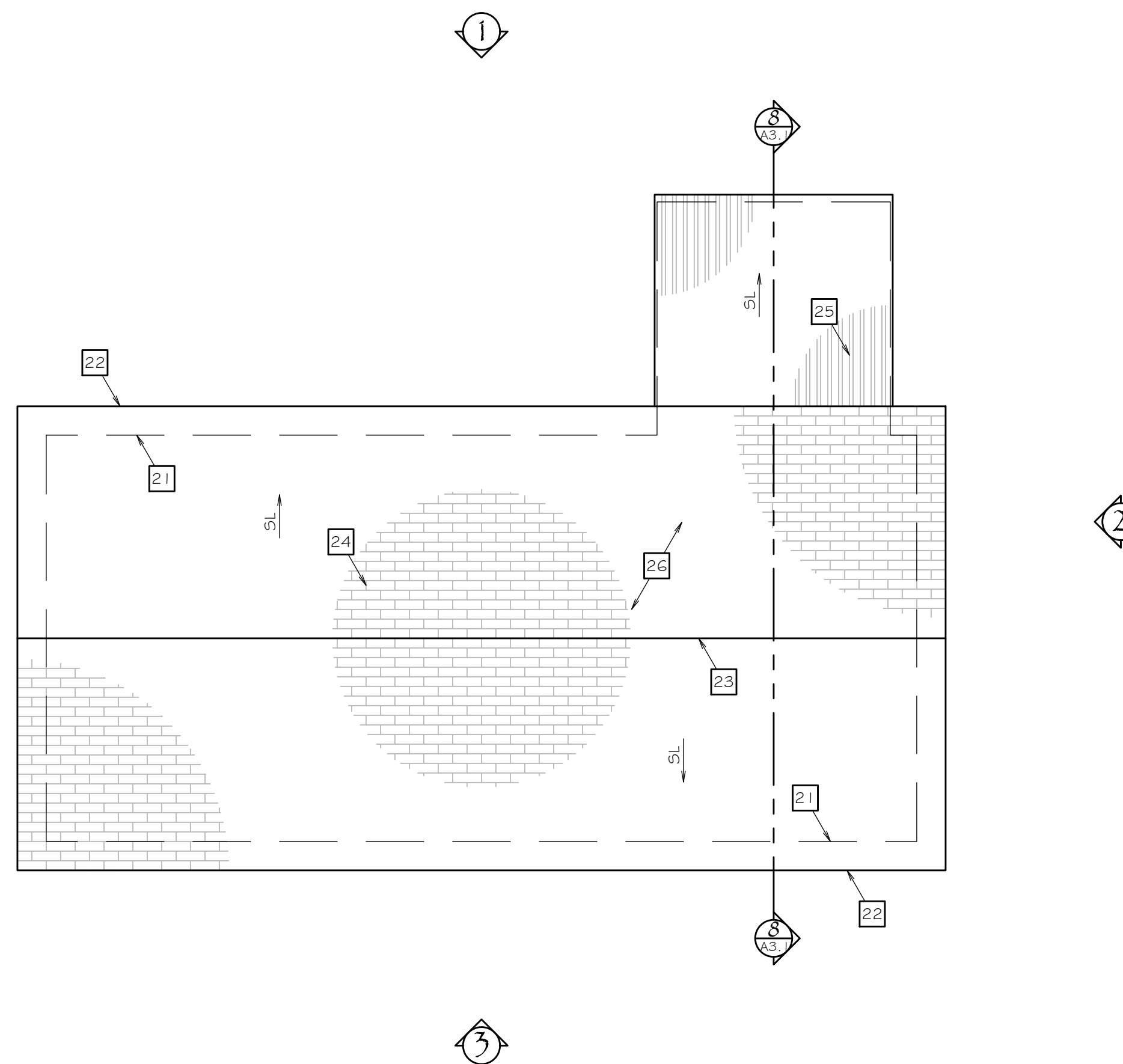
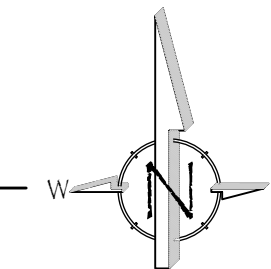
INTERIOR DIMENSIONS (MEASURED FROM THE INSIDE EDGE OF WALL FRAMING OF ONE WALL TO THE INSIDE EDGE OF WALL FRAMING ON THE OPPOSITE WALL) ARE ROUGHLY 7 INCHES SMALLER THAN THE SHED SIZE WHEN USING A STANDARD 2x4 WALL FRAMING. A 10X12' SHED, FOR INSTANCE, HAS A FLOOR AREA THAT MEASURES APPROXIMATELY 9'5" X 11'5".



(E) ACCESSORY DWELLING UNIT FLOOR PLAN

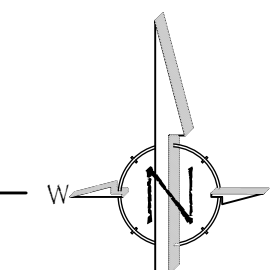
490 sf

SCALE: 1/4" = 1'-0"



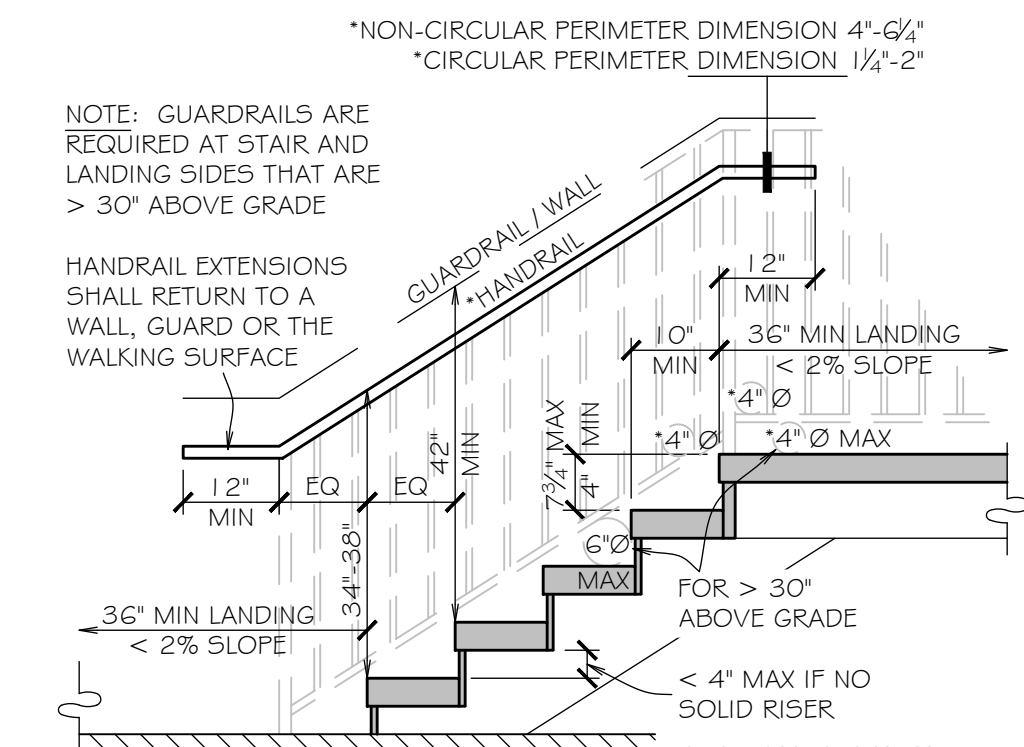
(E) ACCESSORY DWELLING UNIT ROOF PLAN

SCALE: 1/4" = 1'-0"

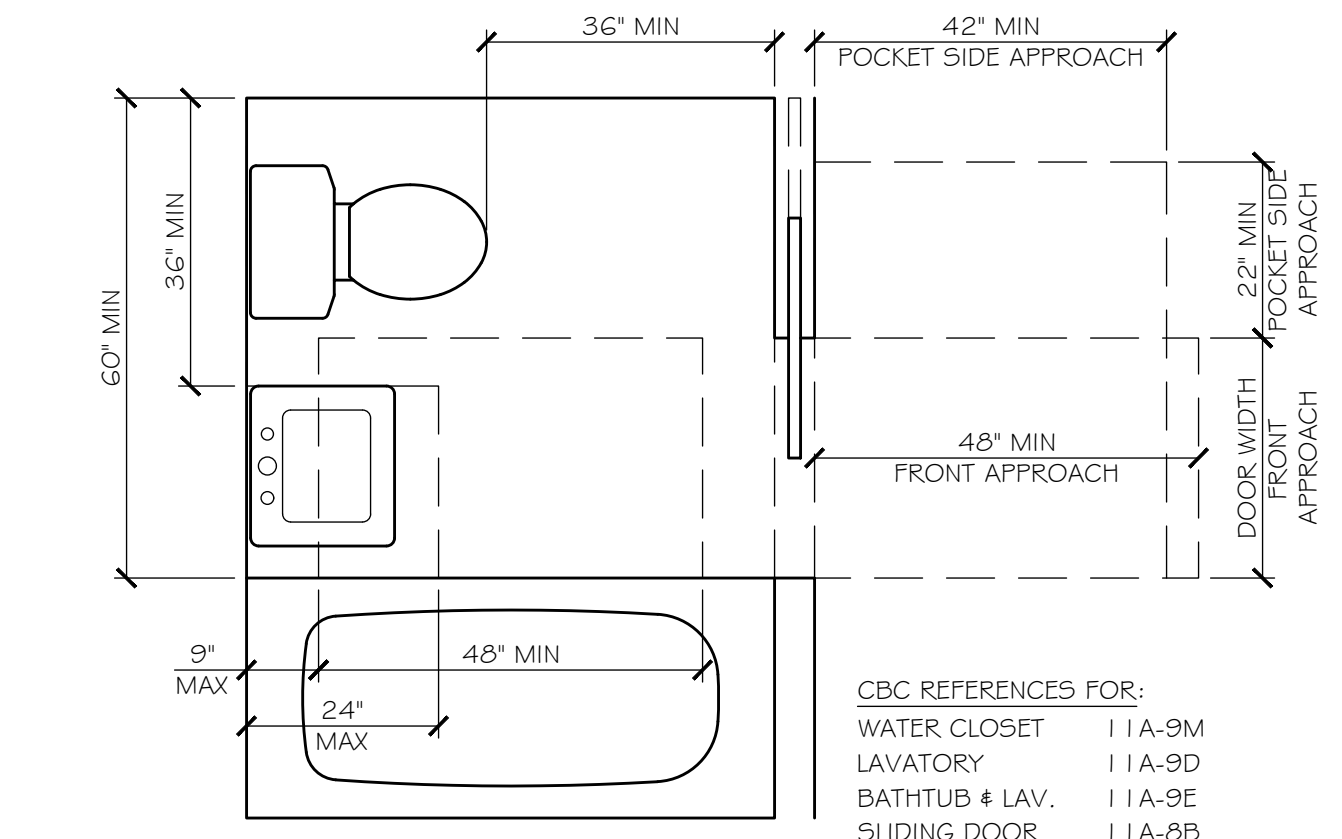


FLOOR PLAN KEYNOTES

- 1 PERIMETER OF ROOF ABOVE
- 2 WALL FRAMING TYPE & SPACING PER TUFF SHED SPECIFICATIONS ON THIS SHEET
- 3 REFRIGERATOR
- 4 SHOWER
- 5 INDICATES STEP, REFER TO DETAIL #1 ON THIS SHEET
- 6 INDICATES CLEAR FLOOR SPACE, REFER TO DETAIL #2 ON THIS SHEET
- 7 WOOD DECK
- 8 STONE BORDER STEP



1 STAIRWAYS
1/2" = 1'-0" per 2022 CRC R311.7 STAIRWAYS



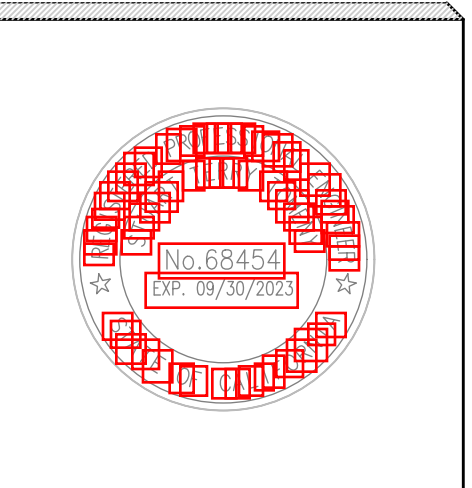
2 TOILET/BATH SPACES
1/2" = 1'-0" per 2022 CBC DIVISION VII FIGURES

ROOF PLAN KEYNOTES

- 21 PERIMETER OF STRUCTURE BELOW
- 22 PERIMETER OF ROOF
- 23 ROOF RIDGE
- 24 COMPOSITION SHINGLE ROOF
- 25 BOX RIB METAL ROOF
- 26 ROOF CONSTRUCTION PER TUFF SHED SPECIFICATIONS ON THIS SHEET

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4125 MARKET ST. #13 VENTURA, CALIF. 95005
PH. (805) 518-4807 FAX. (805) 684-5188
e. stuart@solidstruct.com



DATE:

MIRCETIC RESIDENCE and ACCESSORY STRUCTURES

11820 TOPA VISTA ROAD
SANTA PAULA, CALIFORNIA

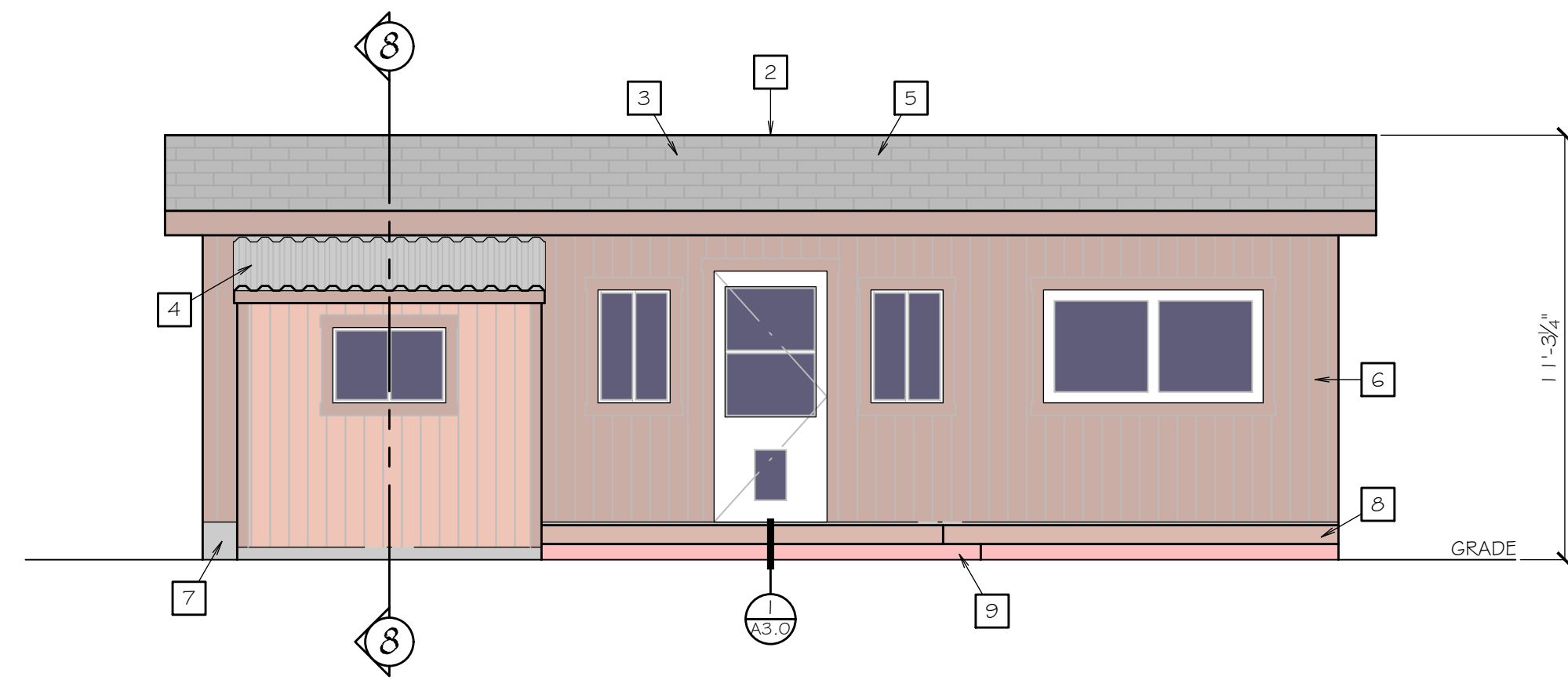
APN: 087-0-080-115 S.S. PROJECT # 5222-1971

SHEET TITLE:
(E) ACCESSORY DWELLING UNIT FLOOR & ROOF PLANS & DETAILS

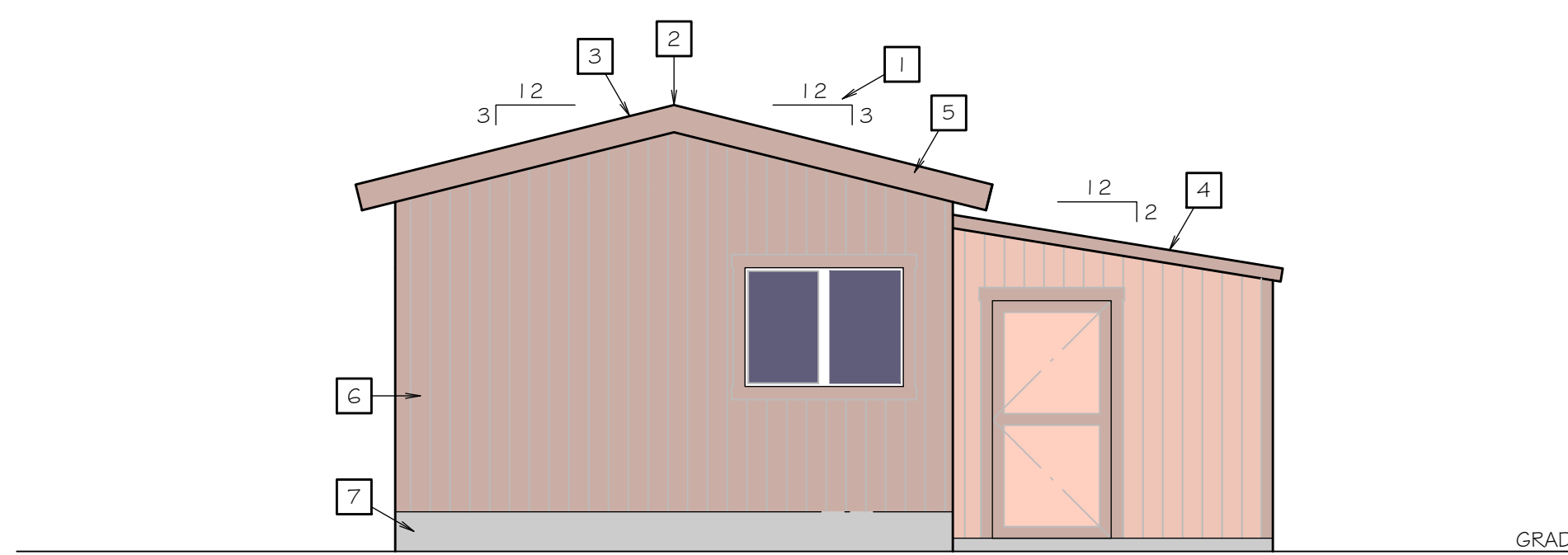
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REV	DATE
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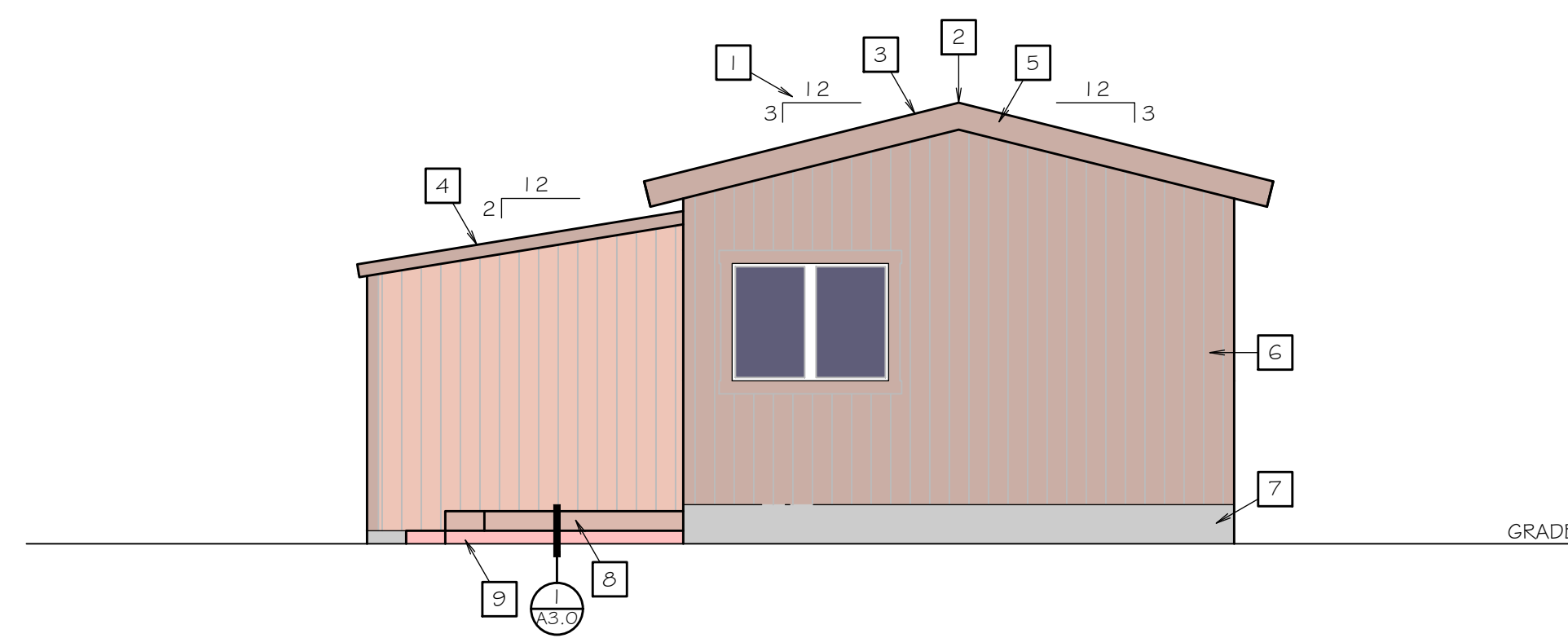
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A3.0



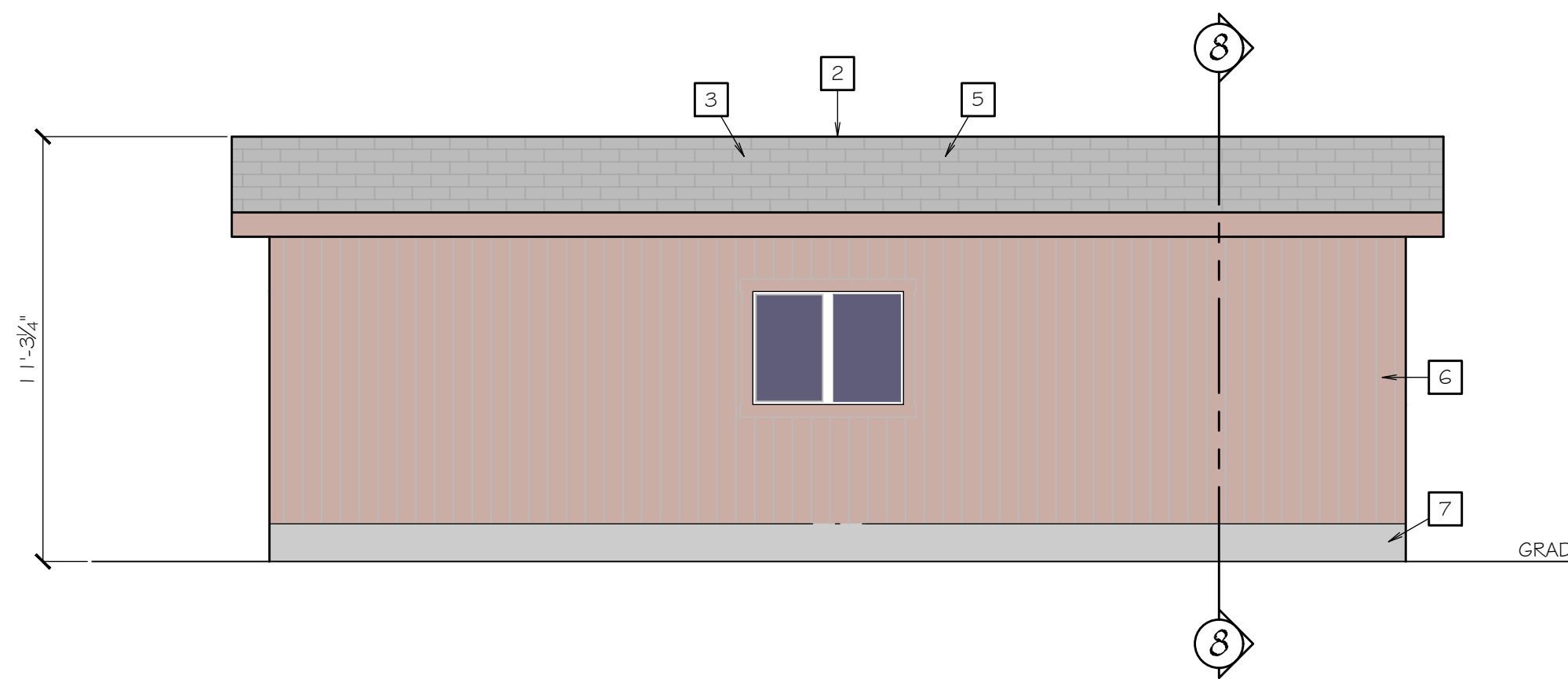
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



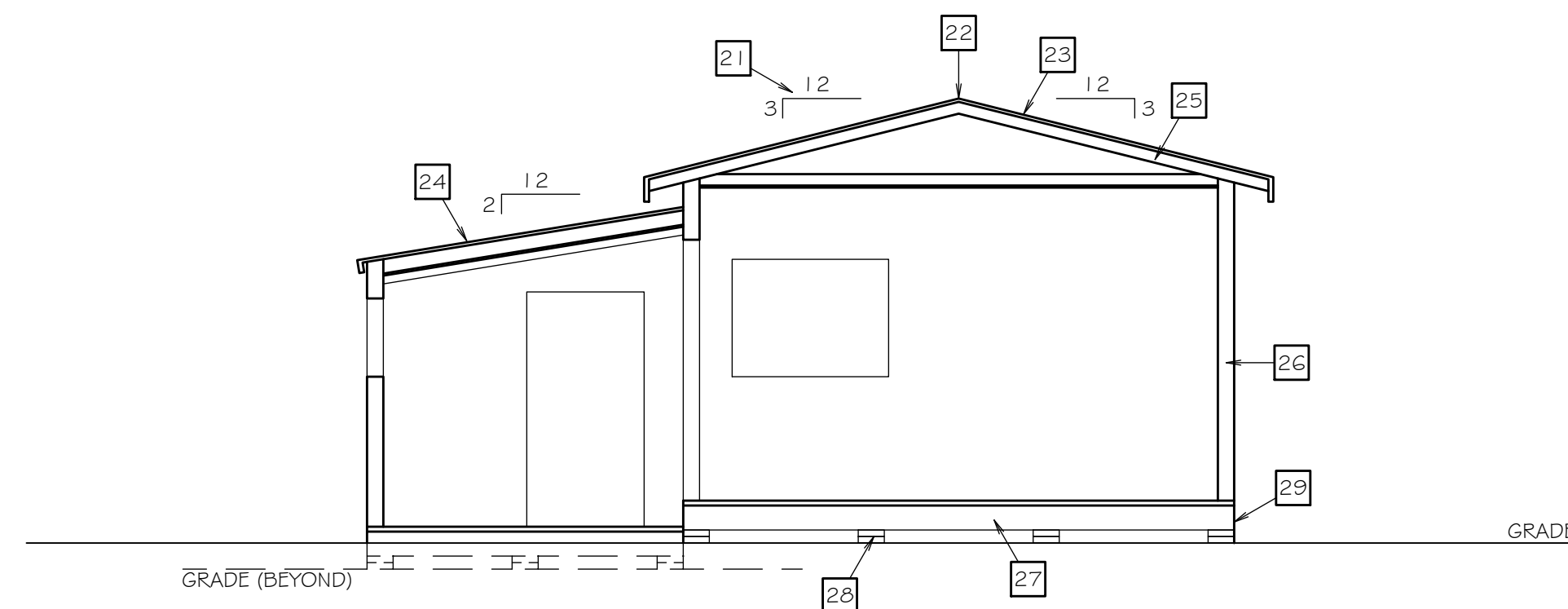
2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



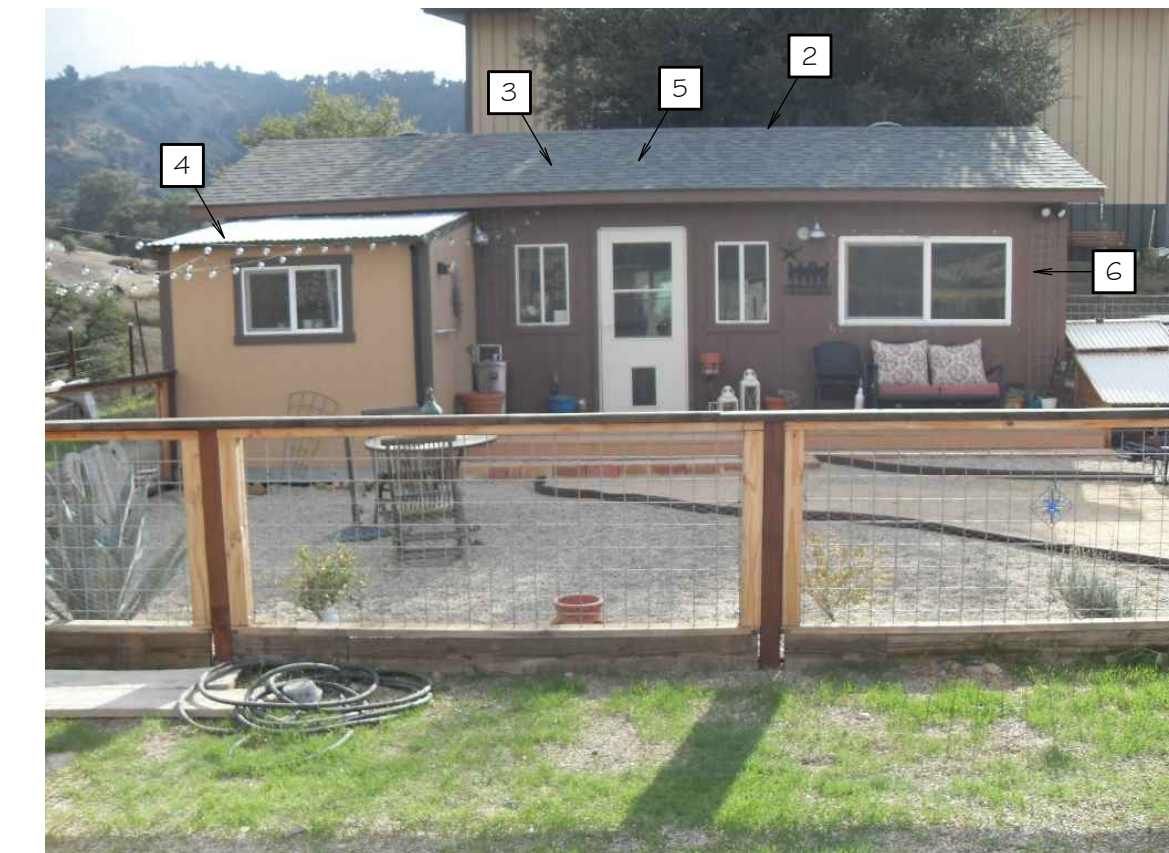
8 CROSS SECTION
SCALE: 1/4" = 1'-0"

SECTION KEYNOTES

- 21 INDICATES ROOF SLOPE
- 22 ROOF RIDGE
- 23 COMPOSITION SHINGLE ROOF
- 24 BOX RIB METAL ROOF
- 25 ROOF CONSTRUCTION PER TUFF SHED SPECIFICATIONS ON SHEET A3.0
- 26 WALL FRAMING PER TUFF SHED SPECIFICATIONS ON SHEET A3.0
- 27 FLOOR JOISTS PER TUFF SHED SPECIFICATIONS ON SHEET A3.0
- 28 CONCRETE LEVELING BLOCKS w/ WOOD SHIMS
- 29 METAL SKIRT

ELEVATION KEYNOTES

- 1 INDICATES ROOF SLOPE
- 2 ROOF RIDGE
- 3 COMPOSITION SHINGLE ROOF
- 4 BOX RIB METAL ROOF
- 5 ROOF CONSTRUCTION PER TUFF SHED SPECIFICATIONS ON SHEET A3.0
- 6 SIDING TYPE PER TUFF SHED SPECIFICATIONS ON SHEET A3.0
- 7 METAL SKIRT
- 8 WOOD DECK
- 9 STONE BORDER STEP



5 NORTH ELEVATION
AS-BUILT



6 EAST ELEVATION
AS-BUILT



7 WEST ELEVATION
AS-BUILT

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DATE:

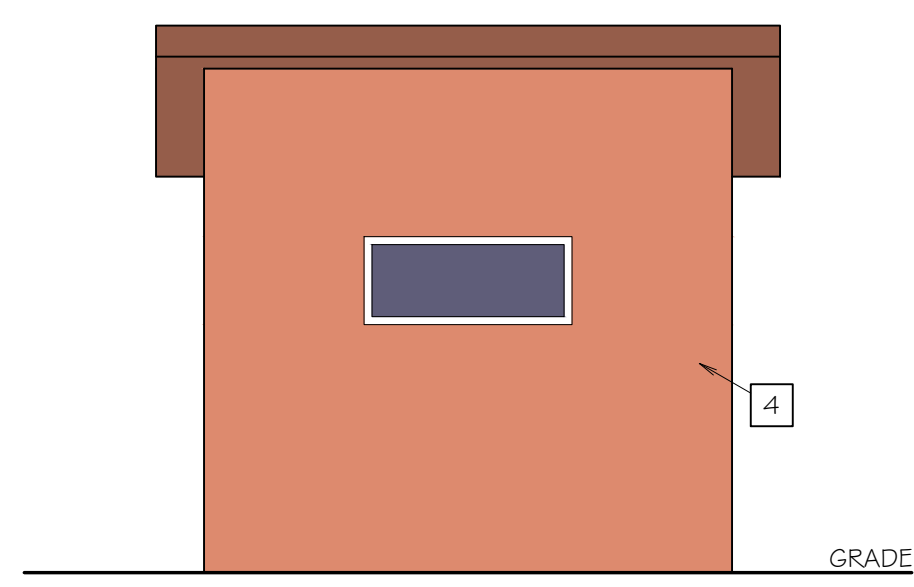
MIRCETIC RESIDENCE and
ACCESSORY STRUCTURES
11820 TOPA VISTA ROAD
SANTA PAULA, CALIFORNIA
APN: 087-0-080-115 S.S. PROJECT # S22-1971

SHEET TITLE:
(E) ACCESSORY
DWELLING UNIT
ELEVATIONS &
CROSS SECTION

REV	DATE
1	-
2	-
3	-

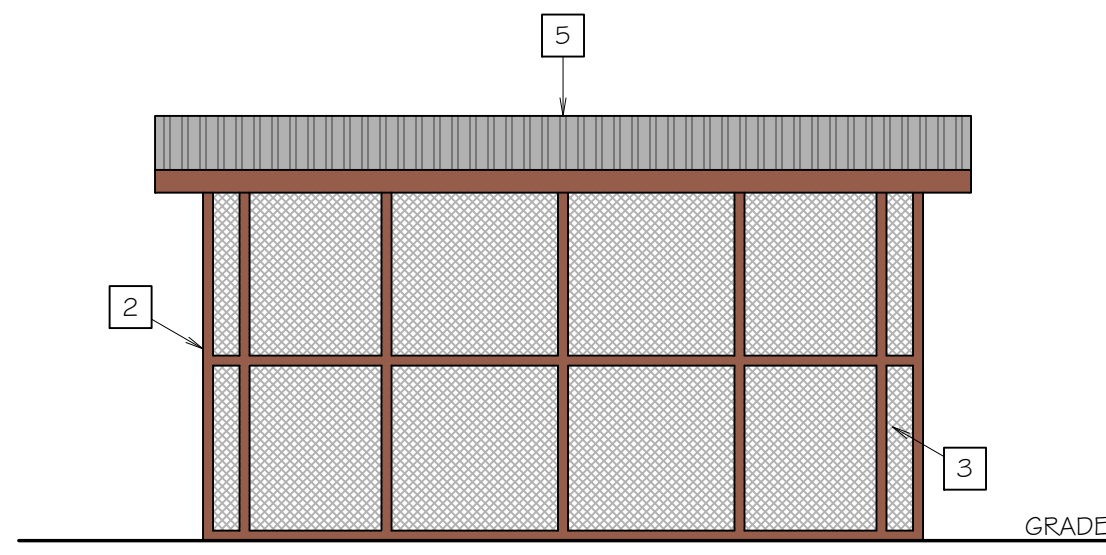
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A3.1

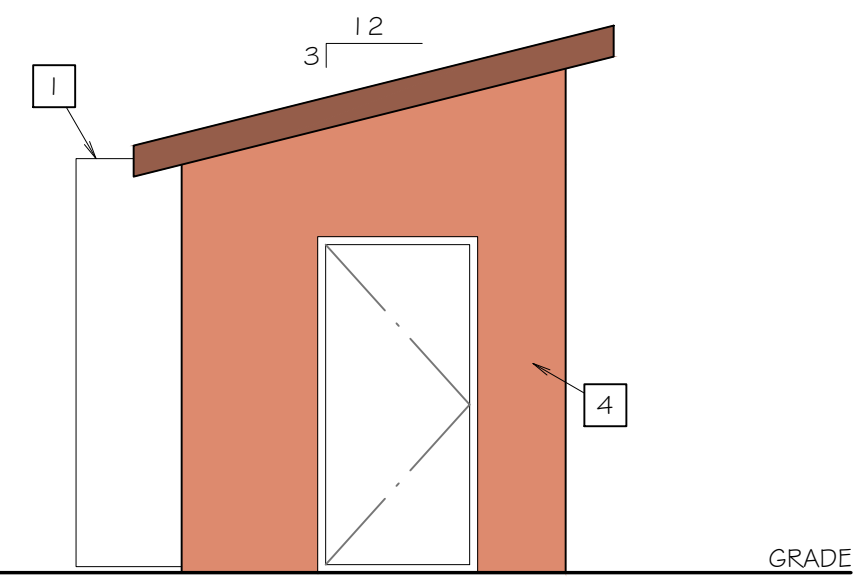


SHED No. 1

WEST ELEVATION

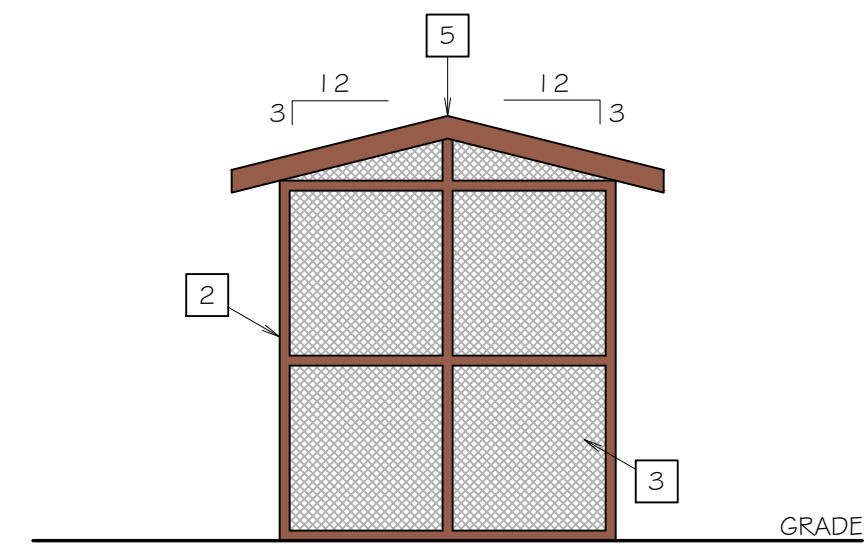


SHED No. 3



SHED No. 1

NORTH ELEVATION



SHED No. 3

ELEVATION KEYNOTES

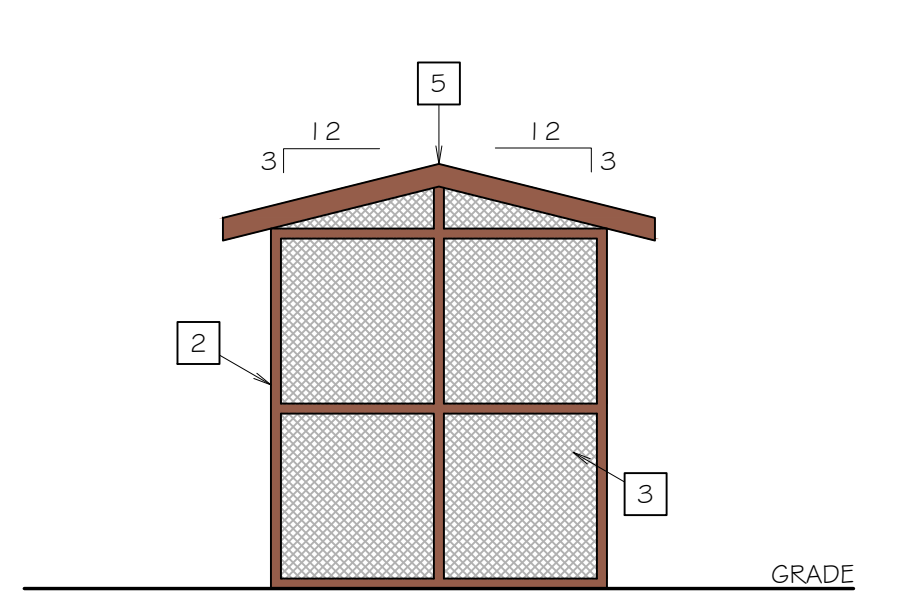
- 1 SHIPPING CONTAINER
- 2 SHED FRAMING
- 3 SCREEN MATERIAL
- 4 PLASTER FINISH
- 5 BOX RIB ROOF

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

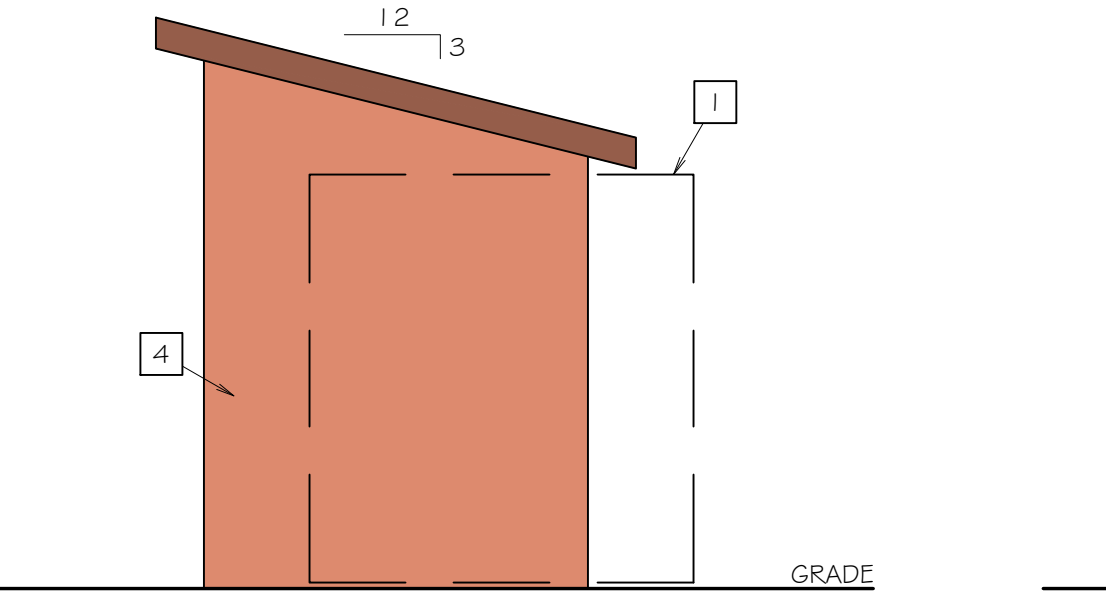


SHED No. 3
NORTH ELEVATION



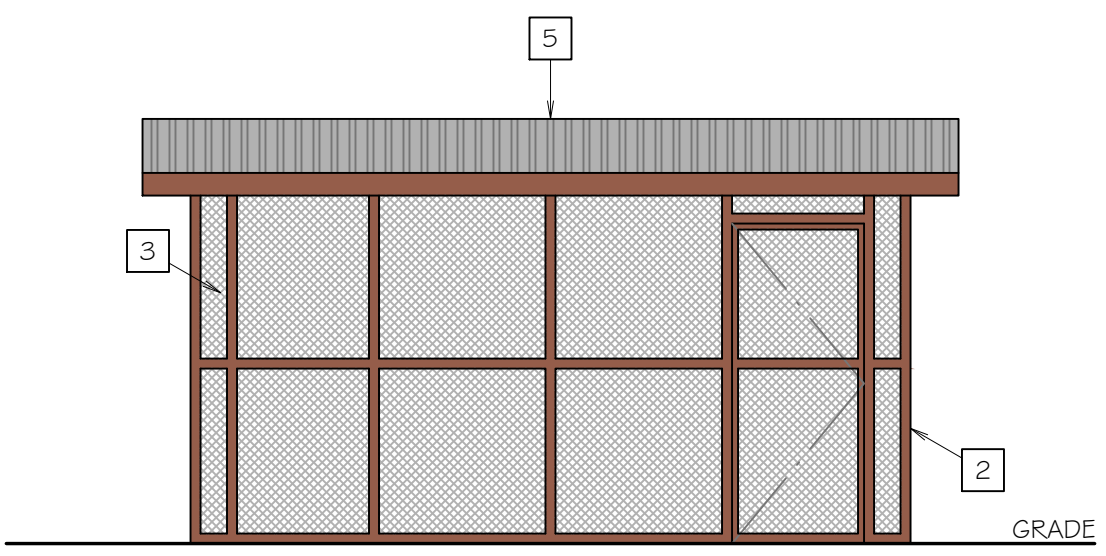
SHED No. 3

SOUTH ELEVATION

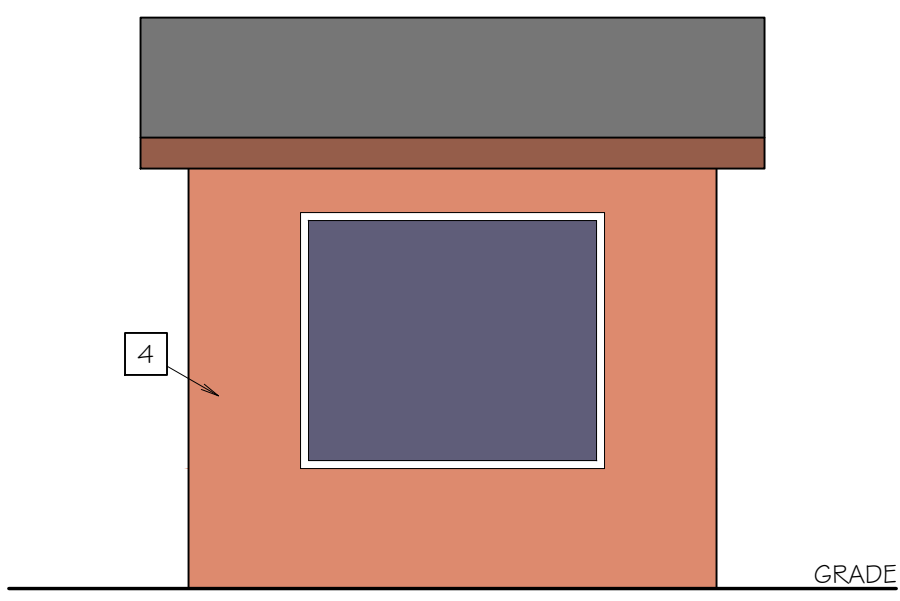


SHED No. 1

EAST ELEVATION



SHED No. 3

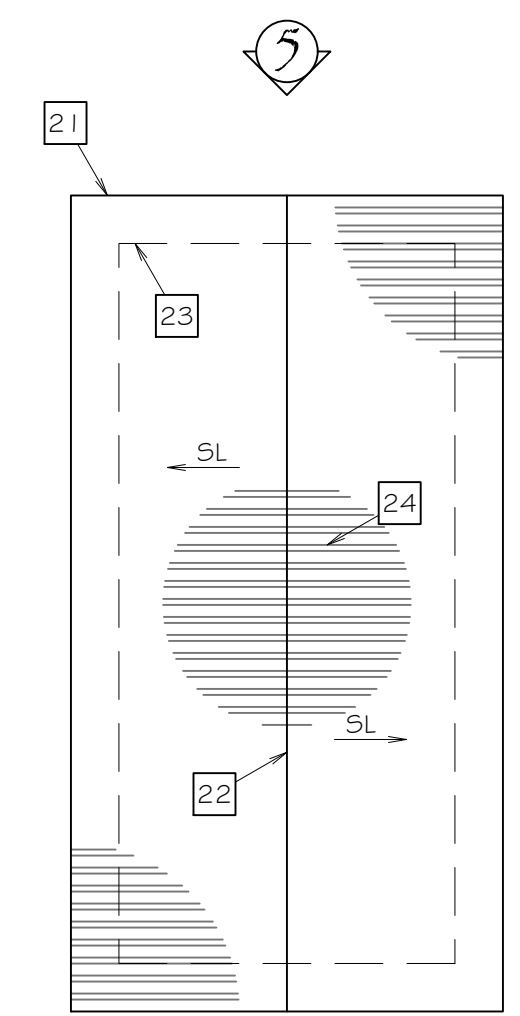


SHED No. 1

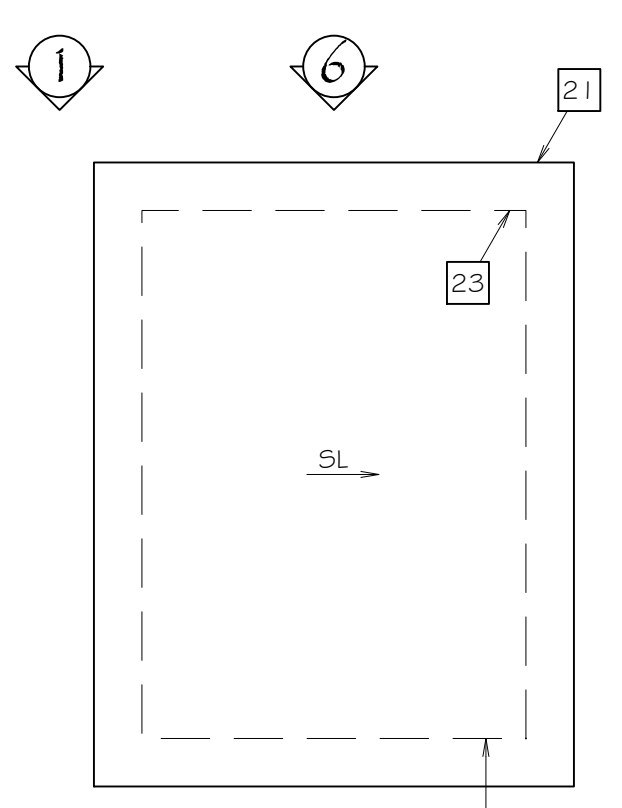
SCALE: 1/4" = 1'-0"

ROOF PLAN KEYNOTES

- 21 PERIMETER OF ROOF
- 22 RIDGE
- 23 PERIMETER OF STRUCTURE BELOW
- 24 BOX RIB ROOF



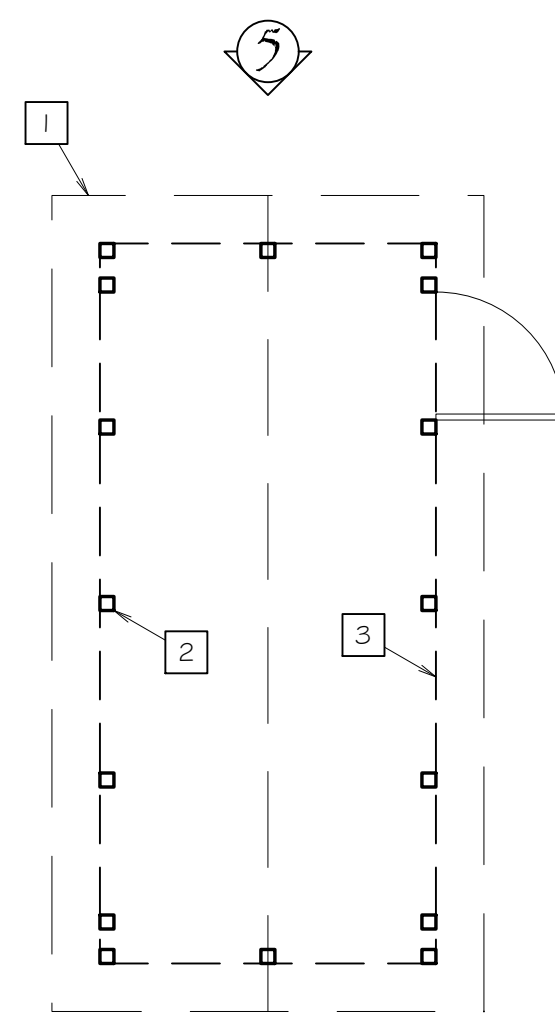
SHED No. 3
7x15'



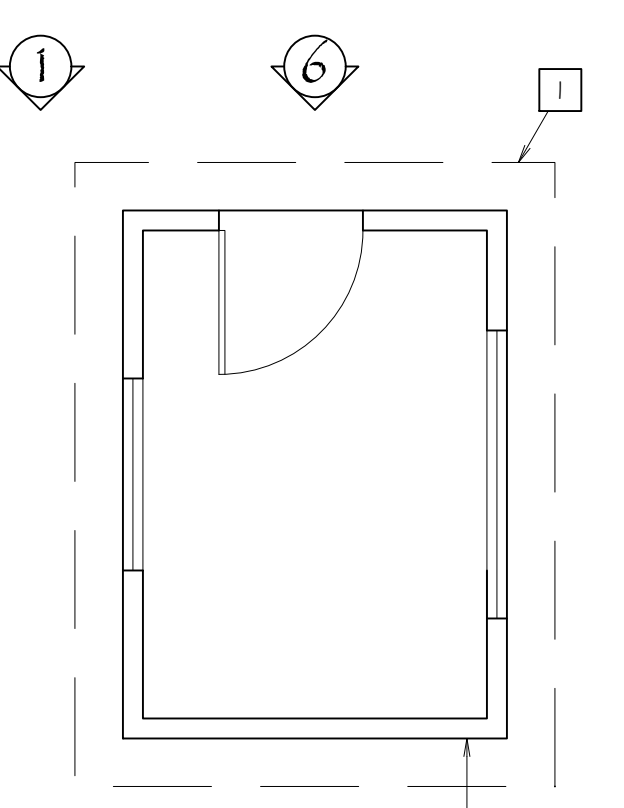
SHED No. 1
8x11'

FLOOR PLAN KEYNOTES

- 1 PERIMETER OF ROOF ABOVE
- 2 SHED FRAMING
- 3 SCREEN MATERIAL



SHED No. 3
7x15'



SHED No. 1
8x11'

EXISTING SHED FLOOR PLANS

SCALE: 1/4" = 1'-0"

EXISTING SHED ROOF PLANS

SCALE: 1/4" = 1'-0"



SHED No. 1
NORTH ELEVATION (SHIPPING CONTAINER BEYOND)



SHIPPING CONTAINER
SOUTH/EAST ELEVATION (SHED No. 1 BEYOND)

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DATE:

MIRCETIC RESIDENCE and
ACCESSORY STRUCTURES
11820 TOPA VISTA ROAD
SANTA PAULA, CALIFORNIA
APN: 057-0-080-115 S.S. PROJECT # 5522-1971

SHEET TITLE:
EXISTING
SHED PLANS &
ELEVATIONS

DATE:

REV	DATE
▲	-
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▲	-

SHEET NUMBER:
A3.2

Set the Home

This chapter describes the process of installing the first section of the home (for single section homes this is the only section) onto the foundation.

- Follow the Steps below:**
- ▼ **STEP 1. PREPARE FOR SET** (p. 35)
 - ▼ **STEP 2. POSITION HOME SECTION** (p. 35)
 - ▼ **STEP 3. LIFT HOME** (p. 35)
 - ▼ **STEP 4. CONSTRUCT PIERS** (p. 37)

STEP 1. PREPARE FOR SET

- Before beginning the home set, complete the following:
- Confirm that the site is properly cleared and graded (see **Prepare the Site**, p. 14).
 - Ensure that the footings are in place and properly located.
 - Install any utilities that will be difficult to install (e.g. those below grade beneath the home) after the home is in place.
 - Secure or remove from the home and properly store all ship loose items (refer to shipping documents for items shipped with the home).
 - Inspect the home interior, exterior and all provided materials, appliances, and equipment. Immediately report any damage or shortages to the manufacturer.
 - The ground moisture retarder must be installed now or after the home is complete. If the retarder is to be installed now, see **Complete Exterior Work**.

- STEP 2. INSTALL GROUND MOISTURE RETARDER** (p. 100) for requirements and then return here.
- For perimeter bearing wall foundations:
- Check that the length and width of the home match with the foundation walls.
 - Check that the two main diagonal measurements of the foundation are equal.
 - Check that the foundation walls and other support points are within 1/4 inch of level between any adjacent piers or any eight foot distance, whichever is less.
 - For multi-section homes, check that each pair of diagonal measurements for each portion of the foundation corresponding to a home section are equal.
 - For multi-section homes, find the electrical bonding lugs on the front or rear outriggers. Reverse them to the inside of the outrigger using star washers so they will be accessible after the home is placed on the foundation walls.
 - If using an H-beam system, remove the frame's shackle hanger if it will interfere with proper placement of the beam.

STEP 2. POSITION HOME SECTION

Position the home section in its final location if possible, move the heaviest section of the home into place first). Then place materials needed to construct support piers near their final locations under the home as determined in **Install Footings**, (p. 19).

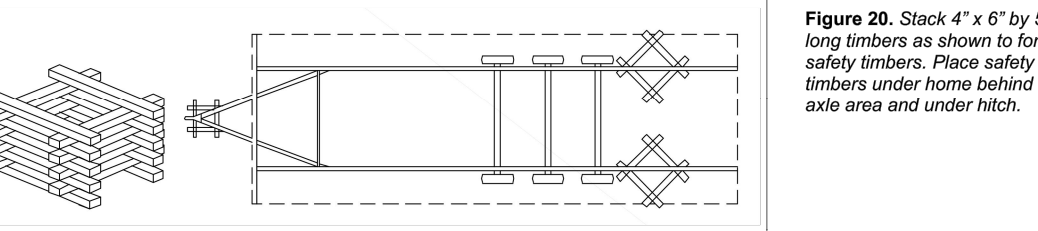
STEP 3. LIFT HOME

There are three primary methods available to place the home on the foundation: jacking, rolling and craning. Jacks, often with roller systems, are typically used for pier and anchor foundations; roller systems are commonly used for crawlspace foundations with load-bearing perimeter walls; and cranes are most commonly used for basement foundations.

- JACKS**
- If jacks are to be used, comply with all jacking safety precautions and the procedure below. Lifting the home with jacks involves potential risks and must be done with utmost care and caution. Failure to follow jacking warnings and procedures may result in serious injury or death. Please read the **Jacking Safety Precautions** before lifting the home with jacks.

- JACKING SAFETY PRECAUTIONS**
- No one should be under the home's I-beams while the jacks are being operated or while the home is supported only on the jacks.
 - Use jacks only for raising the home. Do not rely on the jacks to support the home.
 - If possible, raise the home only on one side so that the other side is in contact with the ground. Leave the hitch connected to the vehicle or other stabilizing equipment.
 - Obey all OSHA regulations.
 - Make sure adequate safety cribbing (Figure 20) is in place whenever the home is placed on jacks.
 - Use a minimum of two commercial quality jacks, each with a rating of at least 12 tons.
 - Jack only on the main chassis I-beam, centering jacks directly under the beam.
 - Do not jack on a seam (joint between flanges of twin I-beams).
 - To distribute the concentrated loads from jacks to I-beam, place a minimum 3/8-inch thick steel plate, a C-channel, a 1 1/2-inch thick hardwood block or a commercial jacking plate, between the main chassis I-beam and the jack head.
 - Locate the jack base on firm ground. Never jack on freshly disturbed soil or where an underground sewer pipe may be located.
 - Use a firm support under the jack base to prevent tipping or settling of the jack. A minimum 15" x 16" or larger wood or rigid fiberglass pad is recommended. Never use concrete blocks as a support for a jack.

- Follow the jacking sequence outlined below to avoid overstressing structural members:
1. **Block wheels.** Block the wheels so the house does not roll.
 2. **Install cribbing.** Install safety cribbing (Figure 20).



3. **Level lengthwise.** Locate one jack at the hitch and level the section lengthwise (such that the front and rear of the section are at the same height).
4. **Locate frame jacks.** Place a minimum of one jack just forward of the first spring hanger and another just behind the last spring hanger of the I-beam on the side of the home that is lowest (making sure not to place jacks where the piers will go). Place jacks no more than 20 feet apart and no more than 20 feet from each end of the I-beam.
5. **Lift the home.** Operating the jacks simultaneously (or sequentially in very small increments), lift the home section until it is slightly higher than the final desired pier height.

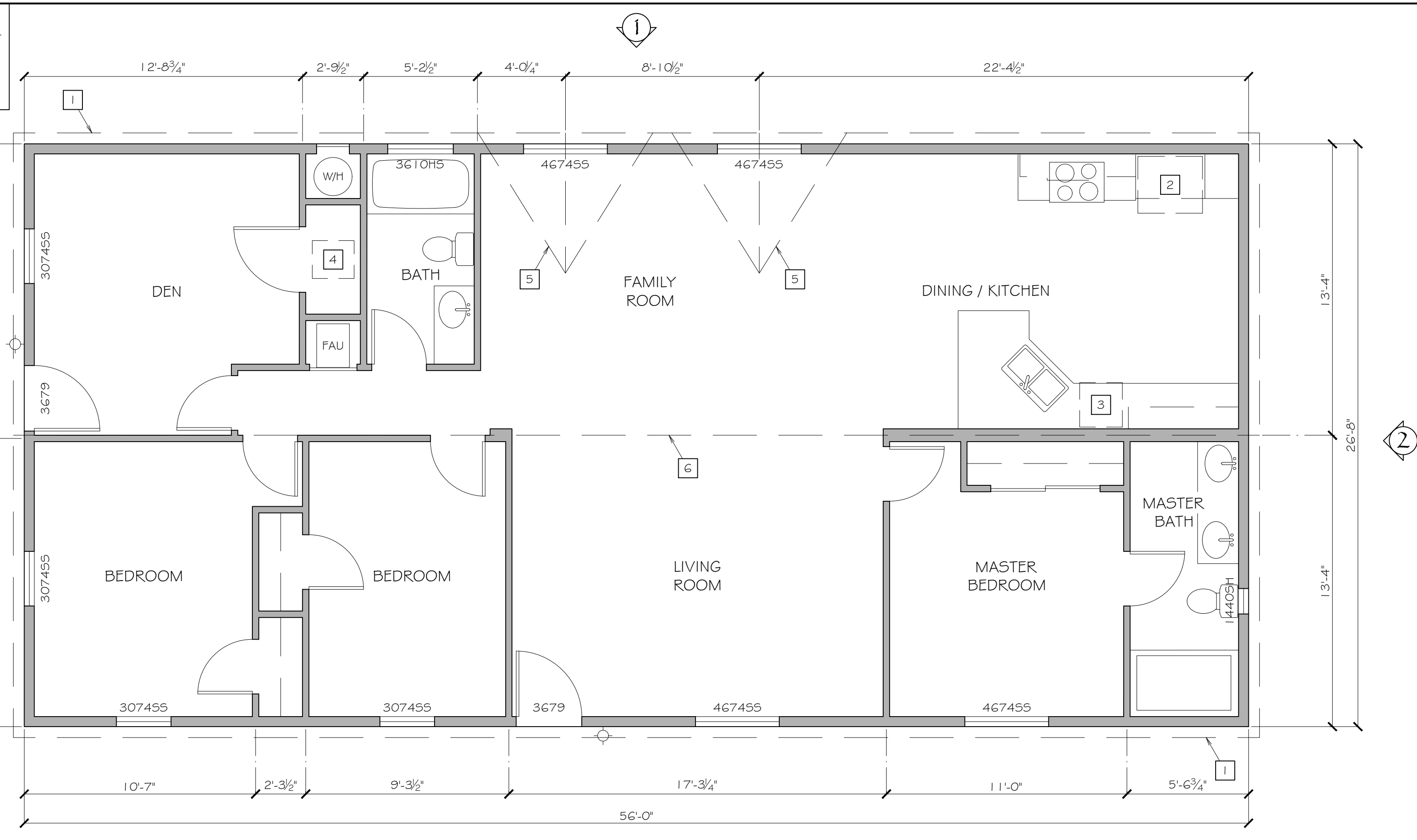
- ROLLER SYSTEMS**
- When using a roller system, comply with the equipment manufacturer's directions and the following sequence:
1. **Establish staging area.** Establish a staging area directly adjacent to one or both sides of the foundation.
 2. **Setup rollers.** Set up the roller system according to the equipment manufacturer's directions.
 3. **Fasten bump blocks.** Temporarily fasten wooden bump blocks on the sill plates at the ends of the foundation to stop the home from rolling at the desired location.
 4. **Roll home.** Roll the home into place over the foundation.
 5. **Remove bump blocks.** Remove the blocks before installing the next section of a multi-section home.

- CRANES**
- When using a crane, follow these guidelines:
- Position the home section(s) and crane (taking the boom reach into consideration) such that they do not have to be repositioned during the set.
 - Use enough properly sized straps to maintain balance of the home and to prevent damage to the structure.
 - Place straps under walls or posts, including temporary posts used to support the opening. Do not position lifting straps under masonry wall openings.
 - Use a properly sized spreader bar to maintain a vertical lift, to avoid placing compression forces on the eaves and to reduce any tendency to slip.
 - Connect a rope to at least one point on the home so it can be controlled while aloft.
 - Make provisions to retrieve the straps/cables after the home is set. If using a crane system, notch the sill plate where the straps will fall. For a sling system, notch and reinforce the home's rim joint to keep the strap from slipping and allow the strap to be removed after the home is set.
 - Always set the home section first from the crane first so that subsequent sections need not be lifted over previously set sections.

- Have the interior foundation supports already been designed and installed as part of an approved load-bearing perimeter wall foundation?
- ▶ **YES,** go to **Complete Multi-Section Set**, (p. 41) or go to **Connect Utilities**, (p. 82) for single section homes.
 - ▶ **NO,** go to **STEP 4. CONSTRUCT PIERS**, (p. 37).

- STEP 4. CONSTRUCT PIERS**
- For the side of the home section that is up on jacks, place piers on footings or pads following the home manufacturer's blocking plan (or lags). If no plan was provided, use the support plan developed in **Install Footings** (p. 19). Start at one end of the home section and work toward the other noting the required pier material specifications and procedure described below.
- Construct piers so as to provide a stable foundation for the home using materials listed in the specifications box below and based on the location of the pier and its height as measured from the top of the footing or pad to the top of the cap. See **Table 14** for pier construction requirements.

NOTE: PAGES 35, 36 & 37 FROM THE FLEETWOOD HOMES INSTALLATION MANUAL ARE PROVIDED HERE FOR REFERENCE ONLY. A COPY OF THIS MANUAL MUST REMAIN WITH THE HOME FOR REFERENCE BY OCCUPANT



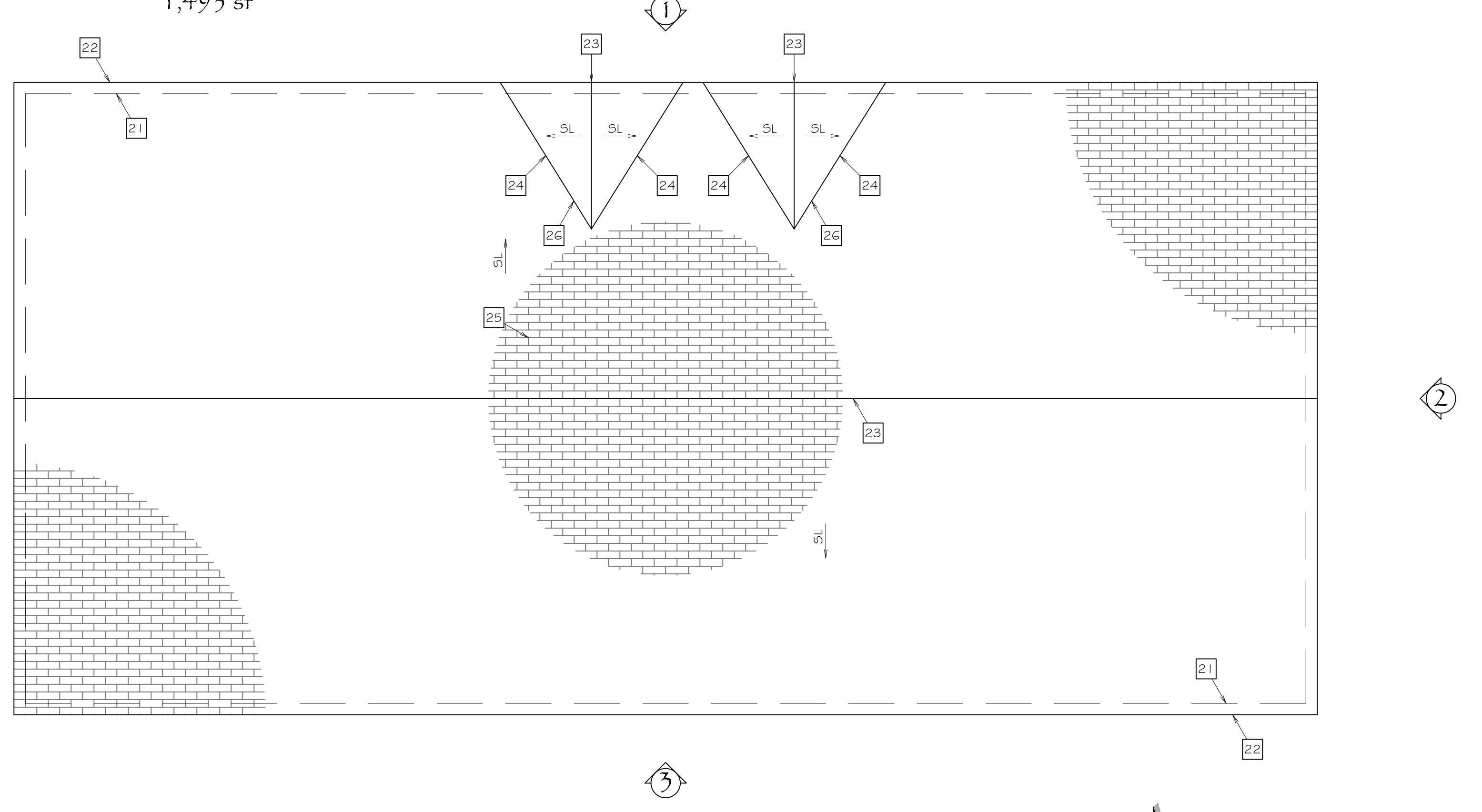
FLOOR PLAN KEYNOTES

- 1 PERIMETER OF ROOF ABOVE
- 2 REFRIGERATOR
- 3 DISHWASHER
- 4 STACKED WASHER / DRYER
- 5 GABLE ROOF ABOVE
- 6 ROOF RIDGE ABOVE

PROPOSED MAIN RESIDENCE FLOOR PLAN

1,493 sf

SCALE: 1/4" = 1'-0"



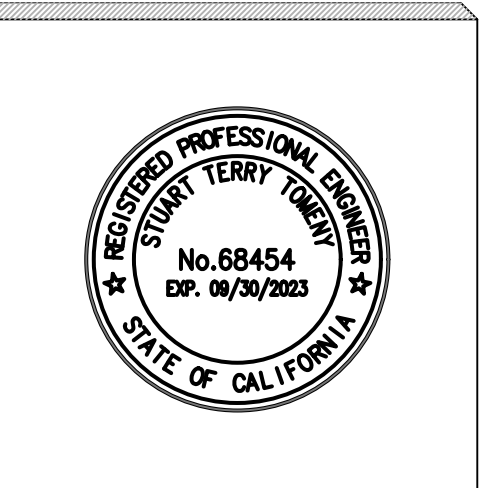
ROOF PLAN KEYNOTES

- 21 PERIMETER OF WALLS BELOW
- 22 PERIMETER OF ROOF
- 23 ROOF RIDGE
- 24 ROOF VALLEY
- 25 COMPOSITION SHINGLE ROOF
- 26 GABLE ROOF

PROPOSED MAIN RESIDENCE ROOF PLAN

SCALE: 1/4" = 1'-0"

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MIRCETIC RESIDENCE and ACCESSORY STRUCTURES
 11820 TOPA VISTA ROAD
 SANTA PAULA, CALIFORNIA
 S.S. PROJECT # 5522-1971
 APN: 037-0-080-115

SHEET TITLE:
PROPOSED MAIN RESIDENCE FLOOR & ROOF PLANS & DETAILS

DATE:

REV	DATE
1	
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SHEET NUMBER:
A4.0

Component	Specification
Concrete Block	Nominal dimensions of at least 8" x 8" x 16"; minimum load 8,000 lbs. conforming to ASTM designation C90, grade N.
Caps	Solid masonry (nominal 4" x 8" x 16"; pre-cast concrete without reinforcement; pressure treated lumber (nominal 2" x 8" x 16"); or steel (minimum 1/2" thick, corrosion protected by a min. of a 10 mil coating of an exterior paint or equivalent).
Spacers	Nominal 2" thick boards.
Shims (also called wedges)	Hardwood, minimum 4" width by minimum 6" length by maximum 1" thick (nominal); plastic must be used with maximum load capacity; used in pairs.
Commercial metal or pre-cast concrete piers	Available in various sizes stamped with maximum load capacity and listed or labeled for the required vertical load capacity, and where required by design, for the appropriate horizontal load capacity.

Pier location	Height	Configuration	Maximum offset top to bottom	Maximum load	Mortar and reinforcement
Frame	Less than 36 in	Single-stack blocks with long side perpendicular to I-beam	5"	8,000 lbs.	Not required
	Between 36 in and 67 in	Double, interlocked blocks	1" (1/4" up to 36" high)	16,000 lbs.	Not required
	Over 67 in	Designed by a registered engineer or registered architect			
Corner	Three or less blocks high	Single-stack blocks with long side parallel to I-beam	5"	8,000 lbs.	Not required
	Over three blocks high up to 67 in	Double, interlocked blocks	1" (1/4" up to 36" high)	16,000 lbs.	Not required
Perimeter	Over 67 in	Designed by a registered engineer or registered architect			
	54 in or less	Single-stack blocks with long side parallel to perimeter rail (70 posts)	5/8" up to 36" high, 1" over 36" high	8,000 lbs.	Not required
Marriage line	54 in or less	Single-stack blocks with long side perpendicular to the marriage line	5/8" up to 36" high, 1" over 36" high	8,000 lbs.	Not required

- * Construct perimeter and marriage line piers over 54 inches according to the requirements for frame piers of the same height.
- Prepare footing surface.** Make sure the footing surface upon which the pier sits is flat and smooth. Before placing the pier on the footing, clean dirt, rocks, or other material off the surface of the footing. For cast-in-place concrete footings, if the footing surface is uneven, create a level, flat surface by placing a treated board on the footing and mortaring on the first block or manufactured pier base, or by placing the first block (or manufactured pier base) on a layer of precast dry sand mortar.
 - Stack blocks.** Stack concrete blocks with their hollow cells aligned vertically. When piers are constructed of blocks stacked side-by-side, orient each layer at right angles to the previous one (Figure 21) and plan blocks so that split caps will be perpendicular to the blocks they rest on and to the I-beam.

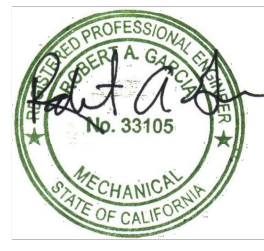


Figure 21. Frame pier construction

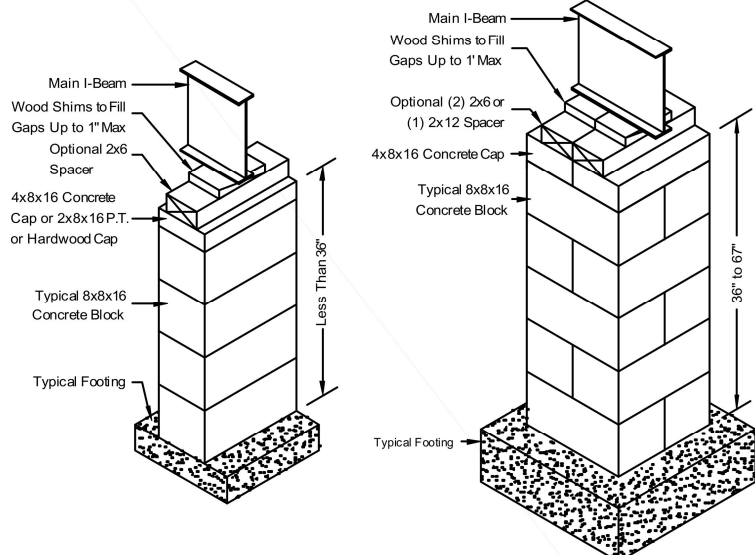
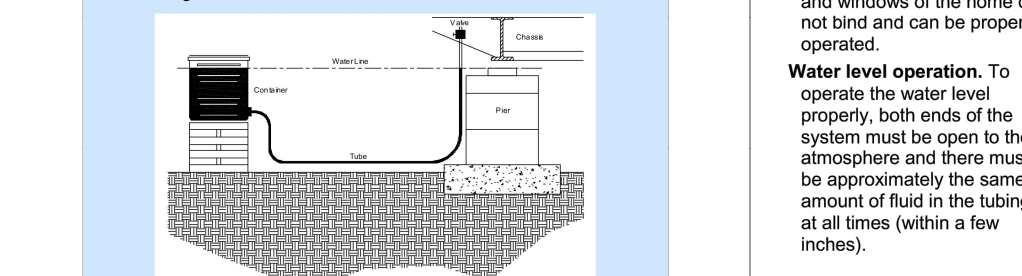


Figure 22. Correct shim placement

Dimensions of masonry perimeter walls. If using a masonry perimeter enclosure, calculate pier heights so that the enclosure can be built using standard unit dimensions (without cutting).



- USING A WATER LEVEL**
A water level is a standard device for leveling the home. The level consists of the following components:
- One container (five gallon bucket or one gallon jug).
 - 150 feet of 1/2 inch diameter plastic tubing.
 - Fittings for container to tubing.
 - Valve for terminal end of tubing.
 - Liquid for system: colored water in warm climates, windshield washing fluid in cold climates.



- How to use a water level**
- Position level.** Position the level such that it can reach all piers.
 - Place container.** Place the container so that the fluid in the container is at the same level as the desired level of the top of the supports under the home, allowing for any bracing below the level of the I-beams.
 - Uncoil tubing.** Uncoil the tubing and fill with fluid, taking care not to introduce bubbles into the hose. Never allow anything to crimp or crush the tubing so as to impede the free flow of fluid.
 - Bleed air.** Hold the valve below the level of the water container; open the valve to bleed out any air and close the valve.
 - Establish height.** Locate the tubing adjacent to a pier that is set to the desired final height. Position the valve above the pier and open the valve. Move the water container up or down to where the water level is at the desired final height of the pier. Maintain the water container in that position and close the valve.
 - Level piers.** Move the tubing to the next pier. Hold the valve above the pier and open it. Set the pier height to the level of the water in the tubing and close the valve. Repeat this step until all piers are at the same level.

Water level operation. To operate the water level properly, both ends of the system must be open to the atmosphere and there must be approximately the same amount of fluid in the tubing at all times (within a few inches).

- Complete the opposite side.** Jack the other side of the section up and install piers following the instructions above. At the completion of this step, the section should be level from front to rear and from side to side.
- Install perimeter and marriage line piers.** Install perimeter piers and for multi-section homes, marriage line piers. Position marriage line piers to provide equal bearing for both mating sections.
- Remove running gear.** Remove and store, recycle or properly dispose of the hitch, axles, and wheels. These items are the property of the homeowner unless other contractual arrangements have been made.

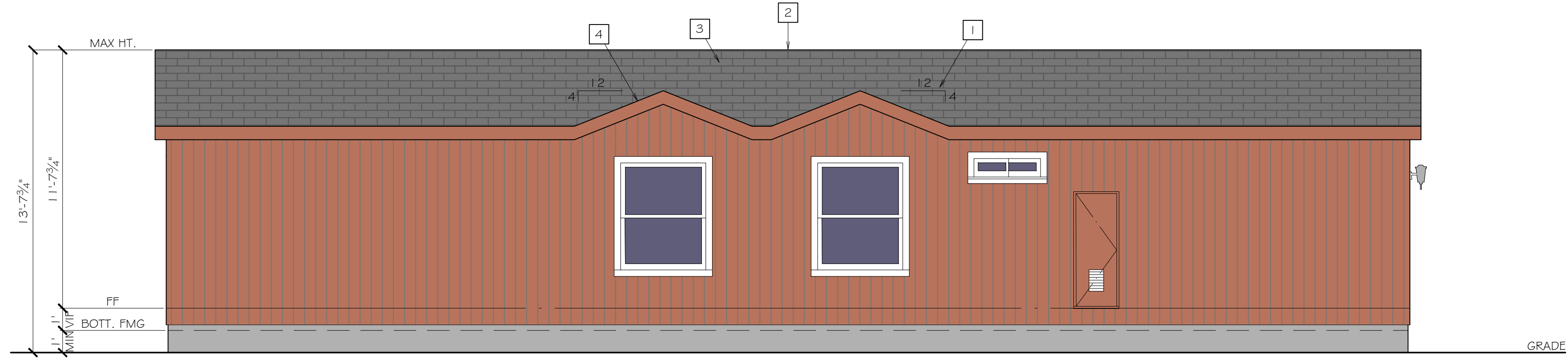


- Is this a single-section home?
- ▶ YES, go to Connect Utilities, (p. 82).
 - ▶ NO, go to Complete Multi-Section Set, (p. 41).

NOTE: PAGES 36, 39 & 40 FROM THE FLEETWOOD HOMES INSTALLATION MANUAL ARE PROVIDED HERE FOR REFERENCE ONLY. A COPY OF THIS MANUAL MUST REMAIN WITH THE HOME FOR REFERENCE BY OCCUPANT

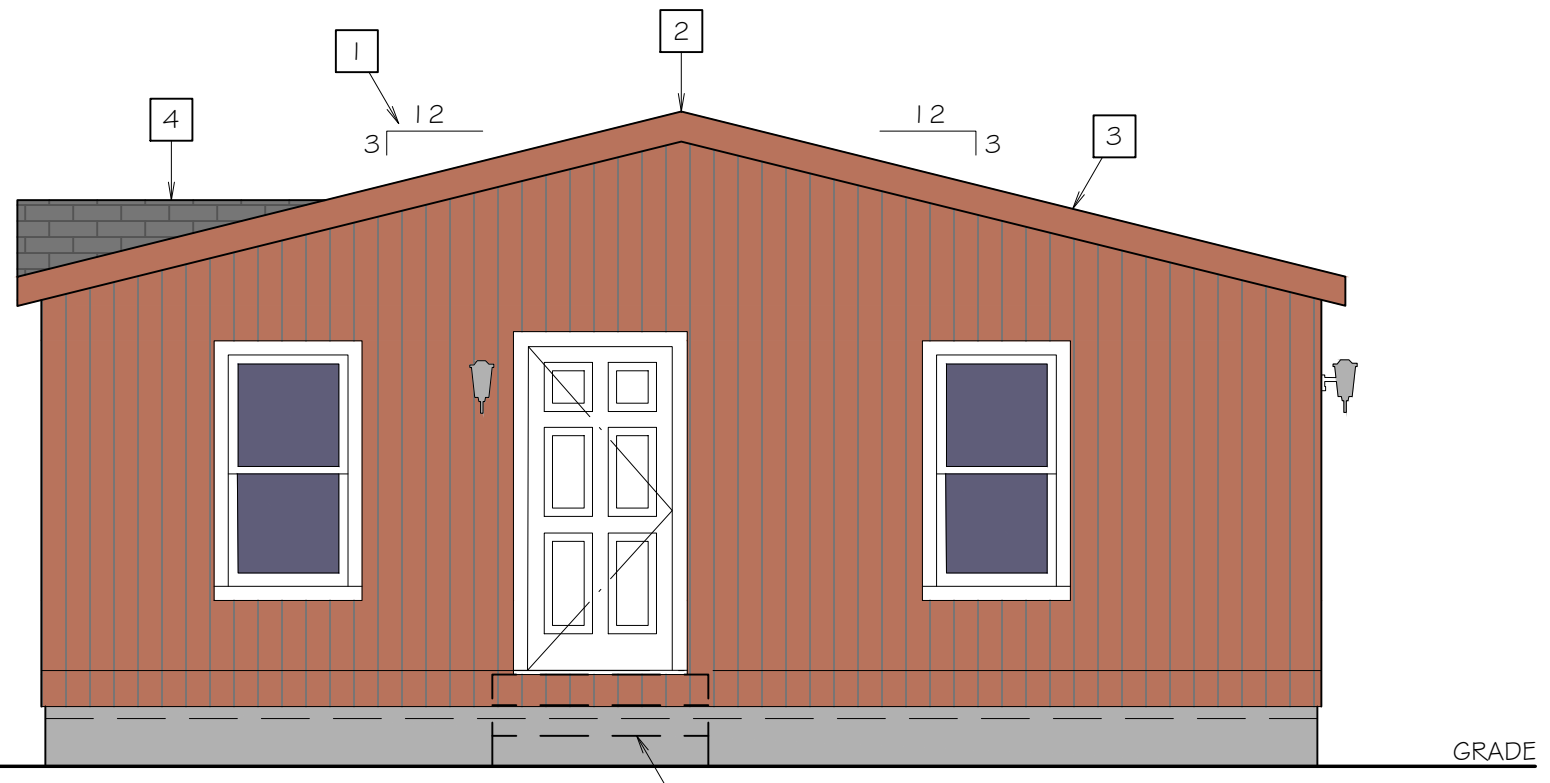
ELEVATION KEYNOTES

- 1 INDICATES ROOF SLOPE
- 2 ROOF RIDGE
- 3 COMPOSITION SHINGLE ROOF
- 4 GABLE ROOF
- 5 STAIRS (DASHED)



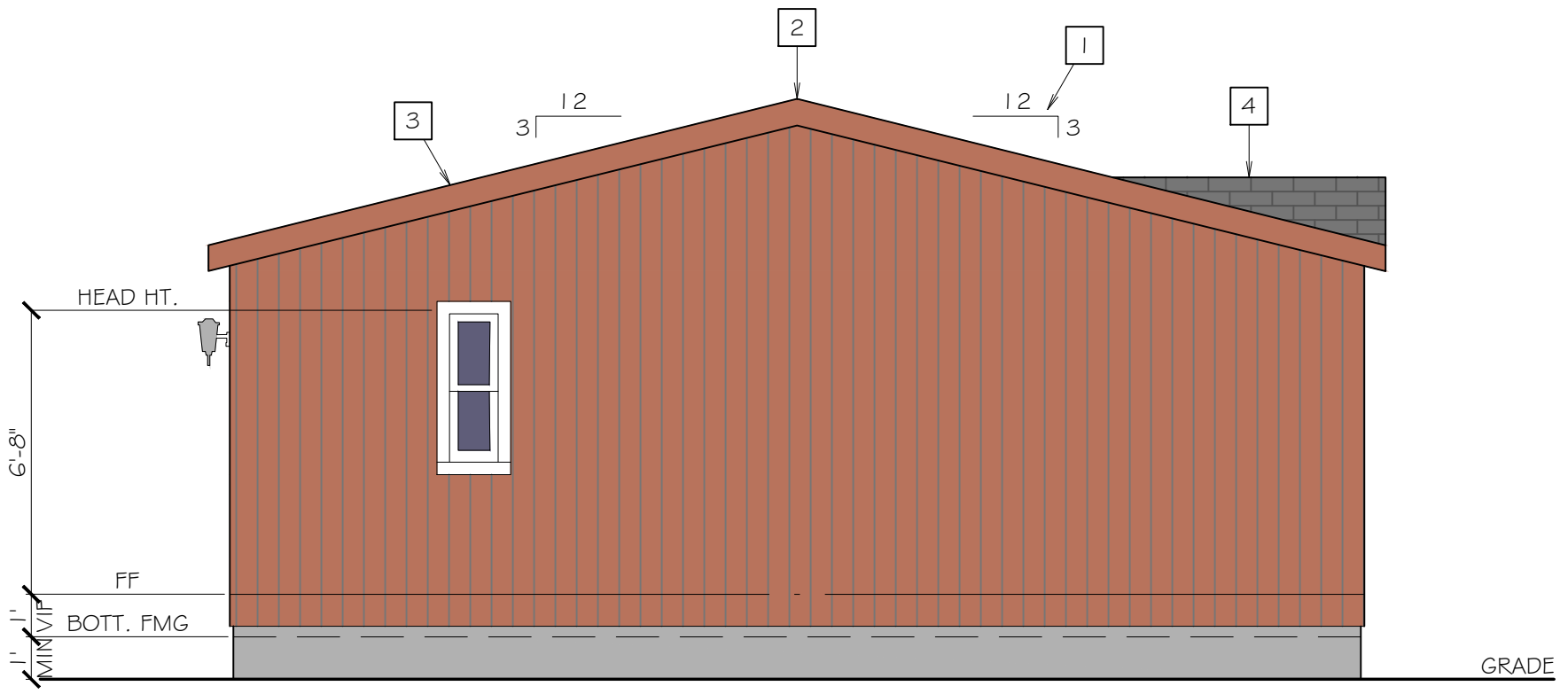
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



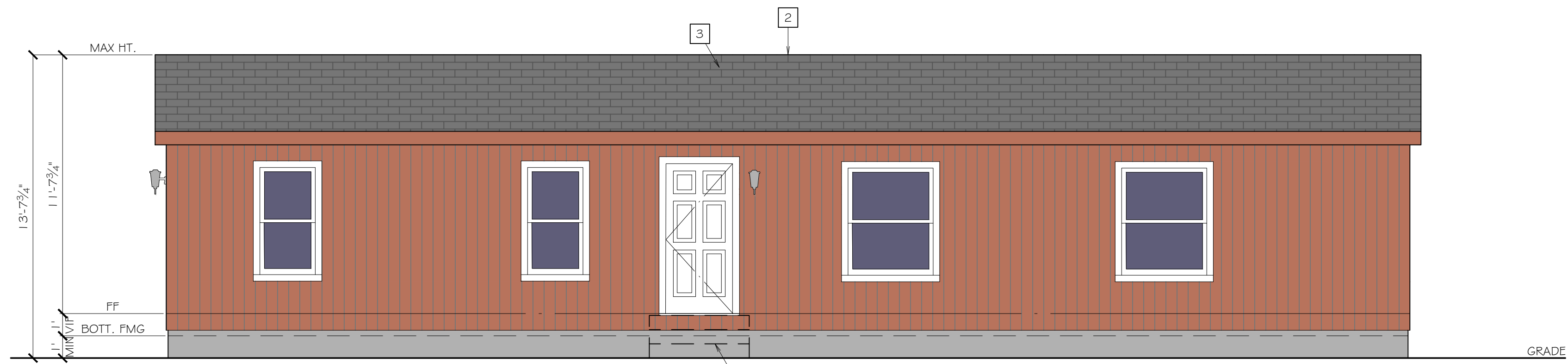
WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

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DATE:

MIRCETIC RESIDENCE and ACCESSORY STRUCTURES
11820 TOPA VISTA ROAD
SANTA PAULA, CALIFORNIA
S.S. PROJECT # 5222-1971
APN: 057-0-080-115

SHEET TITLE:
PROPOSED MAIN RESIDENCE ELEVATIONS & SECTIONS

REV	DATE
1	
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3	

SHEET NUMBER:
A4.1

CONDITIONS OF APPROVAL FOR CONDITIONAL USE PERMIT (CUP) AND PLANNED DEVELOPMENT PERMIT CASE NO. PL23-0009

RESOURCE MANAGEMENT AGENCY (RMA)

Planning Division Conditions

1. Project Description

This Conditional Use Permit and Planned Development Permit is based on and limited to compliance with the project description stated in this condition below, Exhibits 3, 6, 7, and 8 of the Planning Director hearing on June 20, 2024, and conditions of approval set forth below. Together, these conditions and documents describe the "Project." Any deviations from the Project must first be reviewed and approved by the County in order to determine if the Project deviations conform to the Project as approved. Project deviations may require Planning Director approval for changes to the permit or further California Environmental Quality Act (CEQA) environmental review, or both. Any Project deviation that is implemented without requisite County review and approval(s) may constitute a violation of the conditions of this permit and applicable law.

The Project description is as follows:

The project is a request for a Conditional Use Permit (CUP) and Planned Development (PD) Permit be granted to legalize the unpermitted construction of 11 structures.¹

Through PD Permit approval, an existing single-family dwelling (SFD) (490 sq. ft.) would be authorized within a surface water feature in the HCWC overlay zone.² The applicant proposes to construct a new single-family dwelling of 1,493 sq. ft.³ and to convert this structure to an accessory dwelling unit (ADU).⁴ The new SFD would be located outside of the surface water feature and can be permitted through Zoning Clearance approval. Therefore, it is outside of the scope of this entitlement.

The PD Permit would also authorize non-habitable structures accessory to the single-family dwelling to exceed a cumulative total of 2,000 sq. ft.⁵ These include a detached garage of 2,780 sq. ft., a shipping container of 160 sq. ft., and two sheds of 88 sq. ft and

¹ The site would involve a total of 14 structures. The proposed SFD and two existing grooming stations are outside of the scope of this CUP and PD Permit, because these structures are permissible with a Zoning Clearance.

² See Table 1, Structure No. 2.

³ See Table 1, Structure No. 1.

⁴ For the purposes of this report, the newly proposed SFD, which is outside the scope of this permit, is referred to as the "SFD," while the principal SFD, which will be re-designated as an ADU upon construction of the new SFD, is referred to as the "ADU."

⁵ See Table 1, Structure Nos. 3 through 6.

105 sq. ft. each (total 3,133 sq. ft.). All residential accessory structures are under 15 feet in height except for the garage, which has a height of 21 feet.

The CUP would authorize accessory structures for animal husbandry to exceed a cumulative total of 2,000 sq. ft. This includes six animal husbandry structures of 2,352 sq. ft., 1,320 sq. ft., 240 sq. ft., 240 sq. ft., 288 sq. ft., and 288 sq. ft., each (totaling 4,728 sq. ft.).⁶ Two animal shade structures, each of 208 sq. ft., were also constructed without permits.⁷ Because these structures are not permanently anchored to the ground and comply with NCZO § 8017-34, they can be authorized with a Zoning Clearance, and are outside the scope of this entitlement. All animal husbandry accessory structures are under 15 ft. in height except for one (Animal Husbandry Accessory Structure No. 3), which is 19 ft. tall.

The project site is within the Habitat Connectivity and Wildlife Corridor (HCWC) overlay zone. The CUP and PD Permit would also legitimize the unpermitted construction of five structures within a “surface water feature”: the ADU, garage, one of the sheds, and two of the animal husbandry structures.

Table 1: Structures to Be Permitted

#	E/N	Label	Classification	Size (sq. ft.)	SWF	Permit Level
1	(N)	Single-Family Dwelling (SFD) ⁸	SFD	1,493	No	ZC
2	(E)	ADU ⁹	ADU	490	Yes	PD
<i>Total Dwelling Area</i>				1,983		
3	(E)	Garage	Building Not for Human Habitation, Accessory to SFD	2,780	Yes	PD
4	(E)	Shed No. 1		88	No	PD
5	(E)	Shed No. 2		105	Yes	PD
6	(E)	Shipping Container		160	No	PD
<i>Total for Non-Habitable SFD Accessory Area</i>				3,133		
7	(E)	Animal Husbandry Accessory Structure No. 1	Animal Husbandry Accessory ¹⁰	1,320	No	CUP
8	(E)	Animal Husbandry Accessory Structure No. 2		288	Yes	CUP

⁶ See Table 1, Structure Nos. 7 through 12.

⁷ See Table 1, Structure Nos. 13 and 14.

⁸ The proposed SFD is not subject to CUP or PD Permit approval, as it can be authorized through Zoning Clearance approval (NCZO § 8105-4) and is not located within the designated surface water feature.

⁹ The proposed ADU would function as the principal SFD until the proposed SFD is constructed.

¹⁰ Though these structures are proposed to be used for shade in support of the principal animal husbandry use, these structures cannot be classified as “animal shade structures” under the NCZO, because they do not meet the criteria in NCZO § 8107-34. As such, they are classified as accessory structures related to an animal husbandry use.

Table 1: Structures to Be Permitted

#	E/N	Label	Classification	Size (sq. ft.)	SWF	Permit Level
9	(E)	Animal Husbandry Accessory Structure No. 3		288	Yes	CUP
10	(E)	Animal Husbandry Accessory Structure No. 4		2,352	No	CUP
11	(E)	Animal Husbandry Accessory Structure No. 5		240	No	CUP
12	(E)	Animal Husbandry Accessory Structure No. 6		240	No	CUP
<i>Total for Animal Husbandry Accessory</i>				4,728		
13	(E)	Grooming Station No. 1	Animal Shade Structure	208	No	ZC
14	(E)	Grooming Station No. 2		208	No	ZC
<i>Total for Animal Shade Structures</i>				416		

Notes

- E/N – Indicates if structures is (E)xisting or (N)ew
- SWF – Indicates if structure is within a Surface Water Feature
- Permit Level – ZC = Zoning Clearance; PD = PD Permit; CUP = Conditional Use Permit

The single-family dwelling and ADU will be within 500 ft. of approximately 16 existing oil wells that are part of CUP No. 15. The nearest well (Ojai Well No. 24) would be approximately 169 ft. southwest of the home and approximately 261 ft. southwest of the ADU; however, this well has been plugged and abandoned.¹¹ The nearest active well (Ojai Well No. 27) would be approximately 267 ft. north of the proposed single-family dwelling and 344 ft. north of the ADU. The applicant has requested a reduced 100-ft. oil well setback pursuant to Non-Coastal Zoning Ordinance (NCZO) § 8106-6.3.

Access to the site is provided by Topa Vista Road, a private road that connects to State Route 150 (Ojai - Santa Paula Road). Sisar Mutual Water Company provides water to the project site. Wastewater will be handled through onsite wastewater treatment systems (OWTS). Earthwork is estimated to be less than 50 cubic yards. No off-site improvements are proposed. (Exhibit 3).

The development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, and the protection and preservation of resources shall conform

¹¹ CUP No. 15 remains active until 2028. During that time, an abandoned well could theoretically be redrilled and reactivated; however, because the well is within 500 ft. of the ADU and proposed SFD, this could only occur if the owner and all adult occupants of the affected dwellings grant the mineral rights holder a waiver (NCZO § 8107-5.6.25).

to the project description above and all approved County land use hearing exhibits in support of the Project and conditions of approval below.

2. Required Improvements for CUP and PD

Purpose: To ensure the project site conforms to the plans approved at the Planning Director hearing in support of the project.

Requirement: The Permittee shall ensure that all required off-site and on-site improvements for the Project, including structures, are completed in conformance with the approved plans stamped as hearing Exhibit 3. The Permittee shall prepare and submit all final building and site plans for the County's review and approval in accordance with the approved plans.

Documentation: The Permittee shall obtain Planning Division staff's stamped approval on the project plans and submit them to the County for inclusion in the Project file. The Permittee shall submit additional plans to the Planning Division for review and stamped approval (e.g., tree protection and landscape plans) for inclusion in the Project file, as necessary.

Timing: Prior to the issuance of a Zoning Clearance for construction the Permittee shall submit all final development plans to the Planning Division for review and approval. Unless the Planning Director and/or Public Works Agency Director allow the Permittee to provide financial security and a final executed agreement, approved as to form by the County Counsel, that ensures completion of such improvements, the Permittee shall complete all required improvements prior to occupancy or final inspection. The Permittee shall maintain the required improvements for the life of the Project.

Monitoring and Reporting: The County Building Inspector, Public Works Agency Grading Inspector, Fire Marshall, and/or Planning Division staff has the authority to conduct periodic site inspections to ensure the Permittee's ongoing compliance with this condition consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

3. Site Maintenance

Purpose: To ensure that the Project site is maintained in a neat and orderly manner so as not to create any hazardous conditions or unsightly conditions which are visible from outside of the Project site.

Requirement: The Permittee shall maintain the Project site in a neat and orderly manner, and in compliance with the Project description set forth in Condition No. 1. Only equipment and/or materials which the Planning Director determines to substantially comply with the Project description shall be stored within the Project site during the life of the Project. Equipment and/or materials shall be stored within the garage or in

compliance with the provisions of NCZO §§ 8107-1.6 (Open Storage) and 8109-4.8.3.5 (Surface Water Features – Setbacks and Permitting).

Documentation: The Permittee shall maintain the Project site in compliance with Condition No. 1 and the approved plans for the Project.

Timing: The Permittee shall maintain the Project site in a neat and orderly manner and in compliance with Condition No. 1 throughout the life of the Project.

Monitoring and Reporting: The County Building Inspector, Public Works Agency Grading Inspector, Fire Marshall, and/or Planning Division staff has the authority to conduct periodic site inspections to ensure the Permittee's ongoing compliance with this condition consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

4. CUP and PD Modification

Prior to undertaking any operational or construction-related activity which is not expressly described in these conditions, the Permittee shall first contact the Planning Director to determine if the proposed activity requires a modification of this CUP and PD. The Planning Director may, at the Planning Director's sole discretion, require the Permittee to file a written and/or mapped description of the proposed activity in order to determine if a CUP and PD modification is required. If a CUP and PD modification is required, the modification shall be subject to:

- a. The modification approval standards of the Ventura County Ordinance Code in effect at the time the modification application is acted on by the Planning Director; and
- b. Environmental review, as required pursuant to the California Environmental Quality Act (*CEQA*; *California Public Resources Code*, §§ 21000-21178) and the State CEQA Guidelines (*California Code of Regulations, Title 14, Chapter 3, §§ 15000-15387*), as amended from time to time.

5. Construction Activities

Prior to release of the Notice of Violation, the applicant shall obtain a Zoning Clearance for construction from the Planning Division and a Building Permit from the Building and Safety Division for all unpermitted structures.

6. Acceptance of Conditions and Schedule of Enforcement Responses

The Permittee's acceptance of this CUP and PD Permit and/or commencement of construction and/or operations under this CUP and PD Permit shall constitute the Permittee's formal agreement to comply with all conditions of this CUP and PD Permit. Failure to abide by and comply with any condition of this CUP and PD Permit shall

constitute grounds for enforcement action provided in the *Ventura County Non-Coastal Zoning Ordinance* (Article 14), which shall include, but is not limited to, the following:

- a. Public reporting of violations to the Planning Commission and/or Board of Supervisors;
- b. Suspension of the permitted land uses (Condition No. 1);
- c. Modification of the CUP and PD Permit conditions listed herein;
- d. Recordation of a "Notice of Noncompliance" on the deed to the subject property;
- e. The imposition of civil administrative penalties; and/or
- f. Revocation of this CUP and PD Permit.

The Permittee is responsible for being aware of and complying with the CUP and PD Permit conditions and all applicable federal, state, and local laws and regulations.

7. Time Limits

a. Use inauguration:

- (1) The approval decision for this CUP and PD Permit becomes effective upon the expiration of the 10 day appeal period following the approval decision, or when any appeals of the decision are finally resolved. Once the approval decision becomes effective, the Permittee must obtain a Zoning Clearance for construction in order to initiate the land uses set forth in Condition No. 1.
- (2) This CUP and PD Permit shall expire and become null and void if the Permittee fails to obtain a Zoning Clearance for construction within one year from the date the approval decision of this CUP and PD becomes effective. The Planning Director may grant a one year extension of time to the Permittee in order to obtain the Zoning Clearance for construction if the Permittee can demonstrate to the satisfaction of the Planning Director that the Permittee has made a diligent effort to implement the Project, and the Permittee has requested the time extension in writing at least 30 days prior to the one year expiration date.
- (3) Prior to the issuance of the Zoning Clearance for construction, all fees and charges billed to that date by any County agency, as well as any fines, penalties, and sureties, must be paid in full. After issuance of the Zoning Clearance for construction, any final billed processing fees must be paid within 30 days of the billing date or the County may revoke this CUP and PD Permit.

Permit Life or Operations Period: The CUP component of this permit affects only the structures that are accessory to the animal husbandry use (i.e., Animal Shade Structure Nos. 1 through 6). The CUP will expire on **[20 years after Effective Date]**. The PD Permit, once vested, is not subject to expiration. The lack of

additional notification of the expiration date provided by the County to the Permittee shall not constitute grounds to continue the uses that are authorized by this CUP after the CUP expiration date. The uses authorized by this CUP may continue after the CUP expiration date if:

- (1) The Permittee has filed a permit modification application pursuant to § 8111-6 of the Ventura County Non-Coastal Zoning Ordinance prior to **[20 years after Effective Date]**; and
- (2) The County decision-maker grants the requested modification.

The uses authorized by this CUP may continue during processing of a timely-filed modification application in accordance with § 8111-2.10 of the Ventura County Non-Coastal Zoning Ordinance.

8. Documentation Verifying Compliance with Other Agencies' Requirements Related to this CUP and PD Permit

Purpose: To ensure compliance with, and notification of, federal, state, and/or local government regulatory agencies that have requirements that pertain to the Project (Condition No. 1, above) that is the subject of this CUP and PD Permit.

Requirement: Upon the request of the Planning Director, the Permittee shall provide the Planning Division with documentation (e.g., copies of permits or agreements from other agencies, which are required pursuant to a condition of this CUP and PD Permit) to verify that the Permittee has obtained or satisfied all applicable federal, state, and local entitlements and conditions that pertain to the Project.

Documentation: The Permittee shall provide this documentation to Planning Division staff in the form that is acceptable to the agency issuing the entitlement or clearance, to be included in the Planning Division Project file.

Timing: The documentation shall be submitted to the Planning Division prior to the issuance of the Zoning Clearance for construction.

Monitoring and Reporting: The Planning Division maintains the documentation provided by the Permittee in the respective Project file. In the event that the federal, state, or local government regulatory agency prepares new documentation due to changes in the Project or the other agency's requirements, the Permittee shall submit the new documentation within 30 days of receipt of the documentation from the other agency.

9. Notice of CUP and PD Permit Requirements and Retention of CUP and PD Permit Conditions On Site

Purpose: To ensure full and proper notice of these CUP and PD Permit conditions affecting the use of the subject property.

Requirement: Unless otherwise required by the Planning Director, the Permittee shall notify, in writing, the Property Owner(s) of record, contractors, and all other parties and vendors who regularly conduct activities associated with the Project, of the pertinent conditions of this CUP and PD Permit.

Documentation: The Permittee shall present to the Planning Division staff copies of the conditions, upon Planning Division staff's request.

Timing: Prior to issuance of a Zoning Clearance for construction and throughout the life of the Project.

Monitoring and Reporting: The Planning Division has the authority to conduct periodic site inspections to ensure ongoing compliance with this condition consistent with the requirements of § 8114-3 of the *Ventura County Non-Coastal Zoning Ordinance*.

10. Recorded Notice of Land Use Entitlement

Purpose: The Permittee shall record a "Notice of Land Use Entitlement" form and the conditions of this CUP and PD Permit with the deed for the subject property that notifies the current and future Property Owner(s) of the conditions of this CUP and PD Permit.

Requirement: The Permittee shall sign, have notarized, and record with the Office of the County Recorder, a "Notice of Land Use Entitlement" form furnished by the Planning Division and the conditions of this CUP and PD Permit, with the deed of the property that is subject to this CUP and PD Permit.

Documentation: Recorded "Notice of Land Use Entitlement" form and conditions of this CUP and PD Permit.

Timing: The Permittee shall record the "Notice of Land use Entitlement" form and conditions of this CUP and PD Permit prior to issuance of a Zoning Clearance for construction.

Monitoring and Reporting: The Permittee shall return a copy of the recorded "Notice of Land Use Entitlement" form and conditions of this CUP and PD Permit to Planning Division staff to be included in the Project file.

11. Financial Responsibility for Compliance Monitoring and Enforcement

- a. **Cost Responsibilities:** The Permittee shall bear the full costs of all County staff time, materials, and County-retained consultants associated with condition compliance review and monitoring, CEQA mitigation monitoring, other permit monitoring programs, and enforcement activities, actions, and processes conducted pursuant to the Ventura County Coastal Zoning Ordinance (§ 8183-

5) related to this CUP and PD Permit. Such condition compliance review, monitoring and enforcement activities may include (but are not limited to): periodic site inspections; preparation, review, and approval of studies and reports; review of permit conditions and related records; enforcement hearings and processes; drafting and implementing compliance agreements; and attending to the modification, suspension, or revocation of permits. Costs will be billed at the rates set forth in the Planning Division or other applicable County Fee Schedule, and at the contract rates of County-retained consultants, in effect at the time the costs are incurred.

- b. **Billing Process:** The Permittee shall pay all Planning Division invoices within 30 days of receipt thereof. Failure to timely pay an invoice shall subject the Permittee to late fees and charges set forth in the Planning Division Fee Schedule, and shall be grounds for suspension, modification, or revocation of this CUP and PD Permit. The Permittee shall have the right to challenge any charge or penalty prior to payment.

12. Defense and Indemnification

- a. The Permittee shall defend, at the Permittee's sole expense with legal counsel acceptable to the County, against any and all claims, actions, or proceedings against the County, any other public agency with a governing body consisting of the members of the County Board of Supervisors, or any of their respective board members, officials, employees and agents (collectively, "Indemnified Parties") arising out of or in any way related to the County's issuance, administration, or enforcement of this CUP and PD Permit. The County shall promptly notify the Permittee of any such claim, action or proceeding and shall cooperate fully in the defense.
- b. The Permittee shall also indemnify and hold harmless the Indemnified Parties from and against any and all losses, damages, awards, fines, expenses, penalties, judgments, settlements, or liabilities of whatever nature, including but not limited to court costs and attorney fees (collectively, "Liabilities"), arising out of or in any way related to any claim, action or proceeding subject to subpart (a) above, regardless of how a court apportions any such Liabilities as between the Permittee, the County, and/or third parties.
- c. Except with respect to claims, actions, proceedings, and Liabilities resulting from an Indemnified Party's sole active negligence or intentional misconduct, the Permittee shall also indemnify, defend (at Permittee's sole expense with legal counsel acceptable to County), and hold harmless the Indemnified Parties from and against any and all claims, actions, proceedings, and Liabilities arising out of, or in any way related to, the construction, maintenance, land use, or operations conducted pursuant to this CUP and PD Permit, regardless of how a

court apportions any such Liabilities as between the Permittee, the County, and/or third parties. The County shall promptly notify the Permittee of any such claim, action, or proceeding and shall cooperate fully in the defense.

- d. Neither the issuance of this CUP and PD Permit, nor compliance with the conditions hereof, shall relieve the Permittee from any responsibility otherwise imposed by law for damage to persons or property; nor shall the issuance of this CUP and PD Permit serve to impose any liability upon the Indemnified Parties for injury or damage to persons or property.

13. Invalidation of Condition(s)

If any of the conditions or limitations of this CUP and PD Permit are held to be invalid in whole or in part by a court of competent jurisdiction, that holding shall not invalidate any of the remaining CUP and PD Permit conditions or limitations. In the event that any condition imposing a fee, exaction, dedication, or other mitigation measure is challenged by the Permittee in an action filed in a court of competent jurisdiction, or threatened to be filed therein, the Permittee shall be required to fully comply with this CUP and PD Permit, including without limitation, by remitting the fee, exaction, dedication, and/or by otherwise performing all mitigation measures being challenged. This CUP and PD Permit shall continue in full force unless, until, and only to the extent invalidated by a final, binding judgment issued in such action.

If a court of competent jurisdiction invalidates any condition in whole or in part, and the invalidation would change the findings and/or the mitigation measures associated with the approval of this CUP and PD Permit, at the discretion of the Planning Director, the Planning Director may review the project and impose substitute feasible conditions/mitigation measures to adequately address the subject matter of the invalidated condition. The Planning Director shall make the determination of adequacy. If the Planning Director cannot identify substitute feasible conditions/mitigation measures to replace the invalidated condition and cannot identify overriding considerations for the significant impacts that are not mitigated to a level of insignificance as a result of the invalidation of the condition, then this CUP and PD Permit may be revoked.

14. Consultant Review of Information and Consultant Work

The County and all other County permitting agencies for the Project have the option of referring any and all special studies that these conditions require to an independent and qualified consultant for review and evaluation of issues beyond the expertise or resources of County staff.

Prior to the County engaging any independent consultants or contractors pursuant to the conditions of this CUP and PD Permit, the County shall confer in writing with the Permittee regarding the necessary work to be contracted, as well as the estimated costs of such work. Whenever feasible, the County will use the lowest responsible bidder or proposer. Any decisions made by County staff in reliance on consultant or contractor work may be

appealed pursuant to the appeal procedures contained in the Ventura County Zoning Ordinance Code then in effect.

The Permittee may hire private consultants to conduct work required by the County, but only if the consultant and the consultant's proposed scope-of-work are first reviewed and approved by the County. The County retains the right to hire its own consultants to evaluate any work that the Permittee or a contractor of the Permittee undertakes. In accordance with Condition No. 11 above, if the County hires a consultant to review any work undertaken by the Permittee, or hires a consultant to review the work undertaken by a contractor of the Permittee, the hiring of the consultant will be at the Permittee's expense.

15. Relationship of CUP and PD Permit Conditions, Laws, and Other Entitlements

The Permittee shall implement the Project in compliance with all applicable requirements and enactments of federal, state, and local authorities. In the event of conflict between various requirements, the more restrictive requirements shall apply. In the event the Planning Director determines that any CUP and PD Permit condition contained herein is in conflict with any other CUP and PD Permit condition contained herein, when principles of law do not provide to the contrary, the CUP and PD Permit condition most protective of public health and safety and environmental resources shall prevail to the extent feasible.

No condition of this CUP and PD Permit for uses allowed by the Ventura County Ordinance Code shall be interpreted as permitting or requiring any violation of law, lawful rules, or regulations, or orders of an authorized governmental agency. Neither the approval of this CUP and PD Permit, nor compliance with the conditions of this CUP and PD Permit, shall relieve the Permittee from any responsibility otherwise imposed by law for damage to persons or property.

16. Contact Person

Purpose: To designate a person responsible for responding to complaints.

Requirement: The Permittee shall designate a contact person(s) to respond to complaints from citizens and the County which are related to the permitted uses of this CUP and PD Permit.

Documentation: The Permittee shall provide the Planning Director with the contact information (e.g., name and/or position title, address, business and cell phone numbers, and email addresses) of the Permittee's field agent who receives all orders, notices, and communications regarding matters of condition and code compliance at the Project site.

Timing: Prior to the issuance of a Zoning Clearance for construction, the Permittee shall provide the Planning Division the contact information of the Permittee's field agent(s) for the Project file. If the address or phone number of the Permittee's field agent(s) should

change, or the responsibility is assigned to another person, the Permittee shall provide Planning Division staff with the new information in writing within three calendar days of the change in the Permittee's field agent.

Monitoring and Reporting: The Planning Division maintains the contact information provided by the Permittee in the Project file. The Planning Division has the authority to periodically confirm the contact information consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

17. Change of Permittee

Purpose: To ensure that the Planning Division is properly and promptly notified of any change of Permittee.

Requirement: The Permittee shall file, as an initial notice with the Planning Director, the new name(s), address(es), telephone/FAX number(s), and email addresses of the new owner(s), lessee(s), operator(s) of the permitted uses, and the company officer(s). The Permittee shall provide the Planning Director with a final notice once the transfer of ownership and/or operational control has occurred.

Documentation: The initial notice must be submitted with the new Permittee's contact information. The final notice of transfer must include the effective date and time of the transfer and a letter signed by the new Property Owner(s), lessee(s), and/or operator(s) of the permitted uses acknowledging and agreeing to comply with all conditions of this CUP and PD Permit.

Timing: The Permittee shall provide written notice to the Planning Director 10 calendar days prior to the change of ownership or change of Permittee. The Permittee shall provide the final notice to the Planning Director within 15 calendar days of the effective date of the transfer.

Monitoring and Reporting: The Planning Division maintains notices submitted by the Permittee in the Project file and has the authority to periodically confirm the information consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

18. Minimum Setback Between Structures

Purpose: To ensure compliance with § 8106-6.1 of the Ventura County Non-Coastal Zoning Ordinance.

Requirement: The distance between the exterior walls or other supports of each unattached structure shall be a minimum of six feet. This will require that the shipping container and Shed No. 1 be separated from each other and from the grooming stations by a minimum of six feet. The applicant shall document this separation by submitting a revised site plan.

Timing: The revised site plan showing compliance with NCZO § 8106-6.1 shall be submitted to the Planning Division for review and approval prior to issuance of a Zoning Clearance for construction. The structures shall be physically relocated in compliance with the approved revised site plan prior to final inspections. If the affected structures are exempt from construction permits, the structures shall be physically relocated in compliance with the approved revised site plan within 90 days of Zoning Clearance approval.

Monitoring and Reporting: The Planning Division maintains the approved site plan in the Project file and has the authority to periodically confirm compliance with this standard pursuant to § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

19. Acknowledgment of Reduced Oil / Gas Well Setback

Purpose: To comply with § 8106-6.3 of the Ventura County Non-Coastal Zoning Ordinance and to ensure that future potential purchasers have notice of the reduced oil and gas well setback.

Requirement: The Permittee shall record a statement, in a form acceptable to County Counsel, with the title to the property, acknowledging the presence of well sites within 500 ft. of the single-family dwelling and accessory dwelling unit (ADU). This statement may be recorded as part of the Notice of Land Use Entitlement required by Condition No. 10 (Recorded Notice of Land Use Entitlement). The statement shall further acknowledge that operations associated with these wells, including drilling and redrilling, may disturb the occupants, even though the operations are being conducted in accordance with CUP conditions, best practices, and NCZO standards.

Timing: The acknowledgement shall be recorded prior to issuance of a Zoning Clearance for construction. The recorded acknowledgement shall run with the title of the land.

Monitoring and Reporting: The Permittee shall return a recorded copy of the acknowledgement to the Planning Division for retention in the Project file.

20. Lighting Plan

Purpose: To ensure lighting on the subject property is provided in compliance with Section 8109-4.8.2 of the Ventura County Non-Coastal Zoning Ordinance and to ensure the following objectives are met that lighting:

- a. avoids interference with reasonable use of adjoining properties;
- b. avoids conflict with landscape features;
- c. minimizes on-site and eliminates off-site glare;
- d. provides adequate on-site lighting for security;
- e. minimizes impacts to wildlife movement;

- f. minimizes energy consumption; and
- g. includes devices that are compatible with the design of the permitted facility.
- h. complies with the general standards listed in Section 8109-4.8.2.4 for all new and replaced outdoor lighting.

Requirement: The Permittee shall submit two copies of a lighting plan to the Planning Division for review and approval prior to implementing such plan. The lighting plan must comply with the following:

- a. The lighting plan shall include manufacturer's specifications for each exterior light fixture type (e.g., light standards, bollards, and wall mounted packs) and a graphic or schematic depicting the fixture;
- b. The lighting plan shall identify the purpose, mounting height, lighting color / chromaticity, and maximum output for each light fixture;
- c. For security lighting, the lighting plan shall note the hours of operation and the timing for automatic shut-off.
- d. In order to minimize light and glare on the project property, all lighting must be fully shielded and downward directed, such that the lighting is projected downward onto the property and does not cast light on any natural areas, adjacent properties, or roadways; and
- e. Light emanation shall be controlled so as not to produce excessive levels of glare or abnormal light levels directed at any neighboring uses. Lighting shall be kept to a minimum to maintain the normal night-time light levels in the area, but not inhibit adequate and safe working light levels.

The Permittee shall bear the total cost of the review and approval of the lighting plan. The Permittee shall install all exterior lighting in accordance with the approved lighting plan.

Documentation: The Permittee shall submit two copies of a lighting plan to the Planning Division for review and approval.

Timing: The Permittee shall obtain the Planning Division's approval of the lighting plan prior to the issuance of a Zoning Clearance for construction. The Permittee shall maintain the lighting as approved in the lighting plan for the life of the Project.

Monitoring and Reporting: The Planning Division maintains a stamped copy of the approved lighting plan in the Project file. The Permittee shall ensure that the lighting is installed according to the approved lighting plan prior to occupancy. The Building and Safety Inspector and Planning Division staff have the authority to ensure that the lighting plan is installed according to the approved lighting plan. Planning Division staff has the

authority to conduct periodic site inspections to ensure ongoing compliance with this condition consistent with the requirements of Section 8114-3 of the Non-Coastal Zoning Ordinance.

21. Undergrounding of All Utilities

Purpose: To provide adequate utility services to the site in alignment with Ventura County General Plan Public Facilities, Services, and Infrastructure Element Policy PFS-7.4.

Requirement: The undergrounding of all electric, cable, phone, and gas lines shall be required. The Permittee shall submit proposed grading and building plans denoting utility service lines to the Planning Division for review and approval.

Documentation: Project plans submitted for the Zoning Clearance shall include an exhibit depicting the location of utility service lines, points of connection, and alignment to the structures. The Permittee shall obtain the Planning Division's stamped approval on the utilities exhibit as part of the Zoning Clearance authorization. The applicant shall submit the stamped exhibit when applying for construction and grading permits.

Timing: Prior to the issuance of a Zoning Clearance for construction, the Permittee shall submit to the Planning Division for review and approval final development plans showing that all electric, cable, phone, and gas lines to be undergrounded. Prior to the issuance of a Zoning Clearance for construction, the location of utility service lines shall be noted on all building and grading plans for review and approval by the Planning Division. Prior to final inspection by RMA Building and Safety Division, the project site shall be inspected by the Planning Division to ensure all electric, cable, phone, and gas lines have been undergrounded.

Monitoring and Reporting: The Planning Division has the authority to ensure that all electric, cable, phone, and gas lines have been undergrounded. The Planning Division has the authority to conduct periodic site inspections to ensure ongoing compliance with this condition consistent with the requirements of NCZO § 8114-3.

22. Construction Noise

Purpose: In order for this project to comply with the Ventura County General Plan Hazards and Safety Element Policies HAZ-9.1 and HAZ-9.2.

Requirement: The Permittee shall limit construction activity for site preparation and development to the hours between 7:00 a.m. and 7:00 p.m., Monday through Friday, and from 9:00 a.m. to 7:00 p.m. Saturday, Sunday, and State holidays. Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions.

Documentation: The Permittee shall post a sign stating these restrictions in a conspicuous location on the Project site, in order so that the sign is visible to the general public. The Permittee shall provide photo documentation showing posting of the required signage to the Planning Division, prior to the commencement of grading and construction activities. The sign must provide a telephone number of the site foreman, or other person who controls activities on the jobsite, for use for complaints from the public. The Permittee shall maintain a “Complaint Log,” noting the date, time, complainant’s name, complaint, and any corrective action taken, in the event that the Permittee receives noise complaints. The Permittee must submit the “Complaint Log” to the Planning Division upon the Planning Director’s request.

Timing: The Permittee shall install the sign prior to the issuance of a building permit and throughout all grading and construction activities. The Permittee shall maintain the signage on-site until all grading and construction activities are complete. If the Planning Director requests the Permittee to submit the “Complaint Log” to the Planning Division, the Permittee shall submit the “Complaint Log” within one day of receiving the Planning Director’s request.

Monitoring and Reporting: The Planning Division reviews, and maintains in the Project file, the photo documentation of the sign and the “Complaint Log.” The Planning Division has the authority to conduct site inspections and take enforcement actions to ensure that the Permittee conducts grading and construction activities in compliance with this condition.

23. Tree Protection Plan (TPP)

Purpose: To comply with the County’s Tree Protection Regulations (TPR) set forth in Section 8107-25 et seq. of the Ventura County Non-Coastal Zoning Ordinance and the Tree Protection Guidelines (TPG).

Requirement: The Permittee shall offset or mitigate unauthorized removal of protected trees.

Documentation: The Permittee shall prepare and submit to the Planning Division for review and approval, a TPP pursuant to the “Content Requirement for Tree Protection Plans” that is currently available on-line at: <https://docs.vcrma.org/images/pdf/planning/tree-permits/Tree-Protection-Plan.pdf>. The TPP must include (but is not limited to) the offset or mitigation that will be provided for any trees that were removed without authorization to accommodate the structures authorized by this CUP / PD Permit.

A qualified arborist¹² shall prepare the TPP in conformance with the County's TPR, TPG, and "Content Requirements for Tree Protection Plans."

If in-lieu fees will be paid to a conservation agency for tree offsets/mitigation, the Permittee shall submit to the Planning Division for review and approval, a tree mitigation plan from a conservation agency that explains how the mitigation funds will be used to support the preservation of protected trees. After the Planning Division's review and approval of the tree mitigation plan, the Permittee shall provide the Planning Division with a copy of the contract between the conservation agency and the Permittee.

If a financial assurance is required for tree offsets/mitigation, the Planning Division shall provide the Permittee with a "Financial Assurance Acknowledgement" form. The Permittee shall submit the required financial assurance and the completed "Financial Assurance Acknowledgement" form to the Planning Division. The Permittee shall submit annual verification that any non-cash financial assurances are current and have not expired.

Timing: Prior to the issuance of a Zoning Clearance for construction, the Permittee shall submit the TPP to the Planning Division for review and approval. Unless otherwise approved by the Planning Director, replacement and transplant trees must be planted prior to occupancy. Other monitoring and reporting dates shall be as indicated in the approved TPP.

If in lieu fees are required and will be paid to the Planning Division's Tree Impact Fund, the Permittee shall submit these fees prior to the issuance of a Zoning Clearance for construction.

If in lieu fees are required and will be paid to an approved conservation agency, the Permittee shall submit these fees, along with the required tree mitigation plan and contract from the conservation organization, prior to the issuance of a Zoning Clearance for construction.

If a financial assurance is required, the Permittee shall submit the required financial assurance and the completed "Financial Assurance Acknowledgement" form prior to the issuance of a Zoning Clearance for construction. The Planning Division may release the financial assurance after receiving the report from the project arborist that verifies that the replacement trees met their final 5- or 7-year performance targets set forth in the TPP.

Monitoring and Reporting: The Planning Division maintains the approved TPP and all supporting documentation in the Project file. The Resource Management Agency

¹² A qualified arborist may be either an International Society of Arboriculture certified arborist or a related professional, such as a landscape architect, with qualifying education, knowledge and experience, as determined by the Planning Director. The project arborist is the arborist who prepared the TPP and remains involved with implementation and monitoring of the Project.

Operations Division maintains copies of all financial documentation. Monitoring of any replacement trees will be conducted as set forth in the approved TPP.

Environmental Health Division (EHD) Conditions

24. Existing OWTS General Notice

Purpose: To demonstrate compliance with State and local regulations related to the design and installation of an onsite wastewater treatment system (OWTS). Only domestic waste as defined in the Ventura County General Plan and the Ventura County Building Code Ordinance may be discharged into the on-site sewage disposal system.

Requirement: Permittee shall maintain all OWTS components in good working order to prevent system failure and creation of a public nuisance. Permittee is required to obtain the approval of the Ventura County Environmental Health Division (EHD) prior to changing and/or modifying the OWTS, repairing components of the OWTS, expanding the footprint of a structure, adding plumbing fixtures, or adding a new structure.

Ongoing Maintenance: Once the OWTS has been installed and finalized by EHD, it is the owner's responsibility to properly maintain the system to prevent OWTS failure or an unauthorized sewage release, and from creating a public nuisance, health concern, or impact the environment. The septic tank shall be serviced, as needed, by a septic pumper truck registered and permitted by Ventura County EHD, and all pumping activities shall be reported to EHD. All septage wastes must be disposed of in an approved manner. EHD staff will also receive and respond to any complaints related to OWTS and/or unauthorized sewage releases.

25. General Vector Control – Animal Waste and Mosquito Breeding

Purpose: To ensure site does not contribute to the harborage and/or breeding of potential vectors of disease or create a public nuisance.

Requirement: The storage, handling and disposal of animal wastes shall be in a manner that will not create or promote potential breeding and/or harborage of vectors of disease, such as flies, mosquitoes, and rodents. Ensure animal waste is stored properly and removed as often as needed to prevent fly breeding. Manage standing water onsite, including any stormwater management structures, so it will not create mosquito breeding sources.

Timing: The Permittee shall maintain the Project site so as not to contribute to the harborage and/or breeding of potential vectors of disease, nor the creation of a public nuisance throughout the life of the Project.

Monitoring: Ventura County Environmental Health Division (EHD) staff will receive and respond to vector related complaints at the site. The Division will maintain a record of vector related complaints reported to the Division.

PUBLIC WORKS AGENCY (PWA)

Integrated Waste Management Division (IWMD) Conditions

26. Construction and Demolition Debris Recycling Plan

Purpose: Ventura County Ordinance Code (VCOC) Section 4773 et seq. requires the Permittee to divert recyclable construction and demolition (C&D) materials generated by the Project (e.g., wood, metal, greenwaste, soil, concrete, asphalt, paper, cardboard, etc.) from local landfills through recycling, reuse, or salvage.

Requirement: The Permittee must submit a comprehensive recycling plan to the IWMD for any proposed construction and/or demolition projects that require a building permit, unless otherwise exempt under VCOC Section 4773 4.

Documentation: The recycling plan must ensure recyclable C&D debris generated by the Project will be diverted from the landfill by recycling, reuse, or salvage in at least the amount outlined within the current California Green Building Standards Code. More information about requirements for the Construction and Demolition Debris Recycling Program is available at:

<https://www.vcpublicworks.org/wsd/iwmd/construction 2/>

A comprehensive list of permitted recyclers, County franchised haulers, and solid waste & recycling facilities in Ventura County is available at:

<https://www.vcpublicworks.org/wsd/iwmd/businessrecycling/#CollectorsRatesAgreements>

A list of local facilities permitted to recycle soil, wood, and greenwaste is available at:

<https://www.vcpublicworks.org/wsd/iwmd/construction/#solid waste collectors>

Timing: Upon Building and Safety Division's issuance of a building permit for the project, the Permittee must submit a recycling plan to the IWMD for approval.

Monitoring & Reporting: The Permittee is required to keep a notice of their pre-approved recycling plan until Building and Safety Division's issuance of final permit.

27. Construction and Demolition Debris Documentation

Purpose: VCOC Section 4773 et seq. requires the Permittee to divert recyclable construction and demolition (C&D) materials generated by their Project (e.g., wood,

metal, greenwaste, soil, concrete, paper, cardboard, plastic containers, etc.) from local landfills through recycling, reuse, or salvage.

Requirement: The Permittee must submit original recycling facility receipts and/or documentation to the IWMD for approval prior to issuance of their final Building and Safety Division permit. Instructions are available at

[https://www.vcpublicworks.org/wsd/iwmd/construction 2/](https://www.vcpublicworks.org/wsd/iwmd/construction%20/)

Documentation: The Permittee must submit original recycling facility receipts and/or documentation of reuse to verify recyclable C&D debris generated by their project was diverted from the landfill in at least the amount outlined within the current California Green Building Standards Code.

Timing: Recycling facility receipts and/or documentation or reuse, must be submitted to the IWMD for approval at the time of Building and Safety Division's issuance of final permit.

Monitoring & Reporting: The Permittee is required to keep a notice of their final approval until Building and Safety Division's issuance of final permit.

Transportation Department Conditions

28. Traffic Impact Mitigation Fee (TIMF)

Purpose: To address the cumulative adverse impacts of traffic on the Regional Road Network, TIMF Ordinance 4246 and County General Plan Policy CTM-1.3 require that the PWA – Transportation Department collect a TIMF.

Requirement: The Permittee shall deposit with the PWA – Transportation Department a TIMF. The trip generation rate and TIMF will be calculated based on the applicant's information. The Permittee may choose to submit additional information or provide a Traffic Study to supplement the information currently provided to establish the trip generation rate. The TIMF may be adjusted for inflation at the time of deposit in accordance with the latest version of the Engineering News Record Construction Cost Index. Based on the applicant's information:

- a. The TIMF due to the County would be:

Total TMF is \$225

Single Family Dwelling Unit (SFDU) is \$131 = 1 SFDU x \$131(1) / SFDU

Other Housing (Existing 1-Bedroom Dwelling Unit) is \$94 = 1 Other Housing x \$94(2) / Other Housing

- b. The TIMF due to the City of Ojai would be transferred to the City within 30 calendar days in accordance with the reciprocal traffic mitigation agreement between the City of Ojai and the County of Ventura.

Total TMF is \$731

Single Family Dwelling Unit (SFDU) is $1 \text{ SFDU} \times \$430(3) / \text{SFDU} = \430

Other Housing (Existing 1-Bedroom Dwelling Unit) is $1 \text{ Other Housing} \times \$301(4) / \text{Other Housing} = \301

Documentation: The Permittee shall come to the PWA – Transportation Department counter, fill out the TIMF form, and pay the TIMF.

Timing: This condition shall be met prior to the issuance of the Zoning Clearance for construction.

Monitoring and Reporting: The PWA – Transportation Department will review and approve the payment of the TIMF.

29. Notice of Substandard Access Roads

Purpose: The County requires the property owner to record a Notice of Substandard Access Roads (NSSAR) when the project is near a substandard road, which may not be improved to the current County Road Standard in the future.

Requirement: The property owner shall provide recorded notice to successors in interest of the property that the existing road systems in the area are not considered standard; that, although such roads do not create an unreasonable risk of harm when used with due care, in a manner in which it is reasonably foreseeable that they will be used, these roads are of a rural nature with widths, grades, and other road features that would be considered substandard if such roads were being designed or built today, and that the County does not currently and also may not in the future have funds available to improve these roads. The NSSAR shall include the following:

- a) The property is served by existing private road(s) and is nearby additional public roads in Upper Ojai Valley Area that do not meet current County road standards.
- b) The owner shall acknowledge that Sulphur Mountain Road and Topa Vista Road, a private road, in the Upper Ojai Valley Area and access roads connected to these roads do not meet current County Road Standards.
- c) The private portions of these public roads and the private roads, including Topa Vista Road, a private road, are neither County-maintained nor currently eligible for any improvements at County expense.

- d) These roads are of rural nature with widths, grades, and other road features that would be considered substandard if such roads were being designed or built to current standards.
- e) These roads are to be used with due care in a manner in which it is reasonably foreseeable that they will be used.
- f) There are no current funding sources available to construct the improvements on the existing public roads in this area.

Documentation: The property owner shall record the NSSAR with the County Recorder. And provide the PWA - Transportation Department with a copy of the recorded Notice.

Timing: This condition shall be met prior to the issuance of a Building Permit.

Monitoring and Reporting: The PWA - Transportation Department will accept the recorded NSSAR from the Permittee in conformance with the project conditions.

Watershed Protection District (WPD) Conditions

County Stormwater Program Section

30. **Compliance with Stormwater Development Construction Program (CSP)**

Purpose: To ensure compliance with the Los Angeles Regional Water Quality Control Board National Pollutant Discharge Elimination System (NPDES) Municipal Stormwater Permit, No. CAS004002 (Permit), the proposed project will be subject to the construction requirements for surface water quality and storm water runoff, in accordance with Part 4.F., "Development Construction Program", of the Permit.

Requirement: The construction of the proposed project shall meet requirements contained in Part 4.F., "Development Construction Program", of the Permit through the inclusion of an effective combination of construction best management practices (BMPs) during all ground disturbing activities.

Documentation: The Permittee shall submit a completed and signed SW 1 form (Best Management Practices for Construction Less Than One Acre) to the Public Works Agency County Stormwater Program (CSP) for review and approval, a template for which can be found at

[https://www.onestoppermits.vcrma.org/departments/stormwater program.](https://www.onestoppermits.vcrma.org/departments/stormwater%20program)

Timing: The above listed item shall be submitted to the CSP for review and approval prior to issuance of a zoning clearance for construction.

Monitoring and Reporting: The CSP will review the submitted materials for consistency with the Permit. Building permit inspectors will conduct inspections during construction to ensure effective installation of the required BMPs.

Groundwater Program Section

31. Manure Management Plan

Purpose: In accordance with the Ventura County General Plan Goals, Policies, and Programs Policies WR-2.1, WR-2.2, WR-2.3, WR-4.2 and WR-4.5., a MMP is required.

Requirement: The Permittee shall prepare and implement a MMP for all animal waste that will be generated within the project area.

Documentation: The MMP shall be prepared in accordance with the Ventura County Watershed Protection District – Groundwater Section Guidelines for Preparing a Manure Management Plan.

Timing: Prior to the Issuance of a Zoning Clearance for use inauguration, the Permittee shall submit the MMP to the WPD for review and approval.

Monitoring and Reporting: A copy of the approved MMP will be maintained in the case file. Upon request, the Permittee shall provide to the WPD copies of all manifested animal waste solids hauled to a legal off site receiving facility if applicable and in accordance with the approved MMP.

32. Water Offsets

Purpose: To ensure compliance with Ojai Valley Area Plan Policy OV-64.2 and to mitigate potentially significant impacts to surface water and groundwater quantity to less-than significant levels.

Requirement: The Permittee shall submit historical water usage quantities and estimated water usage during all phases of construction and at full project build-out to the WPD for review and approval. If water demand for the proposed project will be greater than existing demand, the Permittee shall submit a water offset post-implementation report to the WPD for review and approval prior to the issuance of a Zoning Clearance for construction. The post-implementation report shall include a water savings analysis to offset the total calculated water demand required to service the permitted use within the Sulphur Mountain Pipeline Association or Casitas Municipal Water District service area.

Documentation: Documentation of existing and projected water demand and a copy of the post-implementation water offset report.

Timing: Prior to the issuance of a Zoning Clearance for construction, the Permittee shall

submit water usage quantities and, if necessary, the post-implementation water offset report.

Monitoring and Reporting: The Planning Division maintains copies of the approved water offset plan and post-implementation water offset report.

OTHER VENTURA COUNTY AGENCIES

Ventura County Air Pollution Control District (APCD) Conditions

33. Dust Control for Construction

Purpose: To ensure that fugitive dust and particulate matter that may result from construction activities are minimized to the greatest extent feasible.

Requirement: The Permittee shall comply with the provisions of applicable VCAPCD Rules and Regulations, which include but are not limited to, Rule 50 (Opacity), Rule 51 (Nuisance), and Rule 55 (Fugitive Dust).

Documentation: The project applicant shall ensure compliance with the following provisions:

- I. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to prevent excessive amounts of dust;
- II. Pre grading/excavation activities shall include watering the area to be graded or excavated before commencement of grading or excavation operations. Application of water should penetrate sufficiently to minimize fugitive dust during grading activities;
- III. All trucks shall cover their loads as required by California Vehicle Code §23114.
- IV. Fugitive dust throughout the construction site shall be controlled by the use of a watering truck or equivalent means (except during and immediately after rainfall). Water shall be applied to all unpaved roads, unpaved parking areas or staging areas, and active portions of the construction site. Environmentally safe dust control agents may be used in lieu of watering.
- V. Graded and/or excavated inactive areas of the construction site shall be monitored at least weekly for dust stabilization. Soil stabilization methods, such as water and roll compaction, and environmentally safe dust control materials, shall be periodically applied to portions of the construction site that are inactive for over four days.
- VI. Signs shall be posted onsite limiting traffic to 15 miles per hour or less.
- VII. All clearing, grading, earth moving, or excavation activities shall cease during periods of high winds (i.e., wind speed sufficient to cause fugitive dust to be a nuisance or hazard to adjacent properties). During periods of high winds, all clearing, grading, earth moving, and excavation operations shall be curtailed to

the degree necessary to prevent fugitive dust created by onsite activities and operations from being a nuisance or hazard, either offsite or onsite.

VIII. All off road construction equipment shall have an EPA diesel rating of at least Tier 3.

Timing: Throughout the construction phases of the project.

Reporting and Monitoring: Monitoring and enforcement of dust related provisions shall be conducted by APCD staff and is complaint driven.

Ventura County Fire Protection District (VCFPD) Conditions

NOTICE IS HEREBY PROVIDED THAT THE SUBJECT PROPERTY APN 037-0-080-115 IS WITHIN A VERY HIGH FIRE HAZARD SEVERITY ZONE, AS DESIGNATED BY THE CALIFORNIA STATE FIRE MARSHALL.

Pursuant to General Plan Policy HAZ-1.4, Development in High Fire Hazard Severity Zones and Hazardous Fire Areas, as determined by the Ventura County Fire Protection District or California Department of Forestry and Fire Protection (CAL FIRE), require the recordation of a Notice of Fire Hazard with the County Recorder for all new discretionary entitlements (including subdivisions and land use permits). To satisfy this requirement, the above notice, along with the Notice of Land Use Entitlement condition must be included in your conditions of approval document.

34. Private Access Road Design

Purpose: To ensure that adequate fire department access is provided and to comply with current California State Law and Ventura County Fire Protection District Ordinance.

Requirement: The Permittee shall design all new private roads in accordance with Public Road Standards and any additional design requirements outlined in the conditions of approval for the project below, unless modified by the Fire District. All required Fire Access Roads and Driveways, along with cross section(s), shall be shown on the final map or parcel map

Documentation: A stamped copy of the approved access plan.

Timing: The Permittee shall submit a copy of the proposed access plan to the Fire Prevention Bureau for approval before issuance of building permits. All required access shall be installed before the start of combustible construction.

Monitoring and Reporting: A copy of the approved access plan shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection to ensure that the access is installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the access for the life of the development.

35. Vertical Clearance

Purpose: To ensure that adequate fire department access is provided in conformance with current California State Law and Ventura County Fire Protection District Ordinance.

Requirement: The Permittee shall provide a minimum vertical clearance of 13 feet 6 inches (13'-6") along all access roads/driveways.

Documentation: A stamped copy of the approved access plan.

Timing: The Permittee shall submit an access plan to the Fire Prevention Bureau for approval before the issuance of building permits. All required access shall be installed before the start of combustible construction.

Monitoring and Reporting: A copy of the approved access plan shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection to ensure that the access is installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the access for the life of the development.

36. Turning Radius

Purpose: To ensure that adequate fire department access is provided in conformance with current California State Law and Ventura County Fire Protection District Ordinance.

Requirement: The Permittee shall provide a minimum [40] foot inside turning radius at all turns along the access roads/driveways.

Documentation: A stamped copy of the approved access plan.

Timing: The Permittee shall submit an access plan to the Fire Prevention Bureau for approval before the issuance of building permits. All required access shall be installed before the start of combustible construction.

Monitoring and Reporting: A copy of the approved access plan shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection to ensure that the access is installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the access for the life of the development.

37. Turnarounds

Purpose: To ensure that adequate fire department access is provided in conformance with current California State Law and Ventura County Fire Protection District Ordinance.

Requirement: The Permittee shall provide an approved turnaround area for fire apparatus where dead-end Fire Department access roads / driveways exceed 150 feet. Required turnaround areas shall be designed such:

- a. Does not exceed a 5% cross-slope in any direction.
- b. Located within 150 feet of the end of the access road / driveway
- c. Posted as fire lanes in accordance with Ventura County Fire Protection District Standards.
- d. Kept free of obstructions at all times.
- e. Located within a common lot or easement that is 5 feet wider than the required driveway and turnaround area widths (2 ½ feet on each side)

Documentation: A stamped copy of the approved access plan.

Timing: The Permittee shall submit access plans to the Fire Prevention Bureau for approval before issuance of building permits. The plans shall indicate all access road/driveway locations and proposed turnaround location and design. All required turnarounds shall be installed before the start of combustible construction.

Monitoring and Reporting: A copy of the approved access plans shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection ensure that turnaround areas are installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the turnaround areas for the life of the development.

38. Turnouts

Purpose: To ensure that adequate fire department access is provided in conformance with current California State Law and Ventura County Fire Protection District Ordinance.

Requirement: The Permittee shall provide approved turnouts along the access road(s) at locations as required by the Ventura County Fire Protection District. Required turnouts shall be designed such:

- a. Posted as fire lanes in accordance with Ventura County Fire Protection District Standards
- b. Kept free of obstructions at all times
- c. Located within the right-of-way, a common lot or easement

Documentation: A stamped copy of the approved access plan.

Timing: The Permittee shall submit access plans to the Fire Prevention Bureau for approval before issuance of building permits. The plans shall indicate all access road/driveway locations and proposed turnout locations and design. All required turnouts shall be installed before the start of combustible construction.

Monitoring and Reporting: A copy of the approved access plans shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection ensure that turnout areas are installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the turnout areas for the life of the development.

39. Access Road Improvements, Existing Legal Lots for Single-Family Dwellings

Purpose: To ensure that adequate fire department access is provided in conformance with current California State Law and Ventura County Fire Protection District Ordinance.

Requirement: The Permittee shall design access road(s)/driveway(s) in accordance with Fire District access standards. On-site access road/driveway serving one (1) lot shall have a minimum width of 12 feet (minimum 15 feet wide in Hazardous Fire Areas and Wildland Urban Interface Areas). Access road/driveways serving two (2)- four (4) lots shall have a minimum paved width of 15 feet plus 2.5 foot graded and compacted (95%) shoulders each side for a total minimum width of 20 feet.

Documentation: A stamped copy of the approved access plan.

Timing: The Permittee shall submit an access plan to the Fire Prevention Bureau for approval before the issuance of building permits. All required access shall be installed before occupancy.

Monitoring and Reporting: A copy of the approved access plan shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection to ensure that the access is installed according to the approved plans prior to start of combustible construction. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the access for the life of the development.

40. Access Road Improvement

Purpose: To ensure that adequate fire department access is provided in conformance with current California State Law and Ventura County Fire Protection District Ordinance.

Requirement: The Permittee shall provide a minimum 20-foot wide paved (asphalt or concrete) access road along the property frontage of [Enter the location of the access improvements]. All access road improvements shall be within the recorded access

easements or upon this parcel or within newly created and recorded access easements. Parking is prohibited on the required access road.

Documentation: A stamped copy of the approved access plan.

Timing: The Permittee shall submit an access plan and proof of recorded access easements to the Fire Prevention Bureau for approval before the issuance of building permits. All required access shall be installed before occupancy.

Monitoring and Reporting: A copy of the approved access plan shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection to ensure that the access is installed according to the approved plans prior to start of combustible construction. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the access for the life of the development.

41. Access Road Gates

Purpose: To ensure that adequate fire department access is provided in conformance with current California State Law and Ventura County Fire Protection District Standards.

Requirement: The Permittee shall design and install all gates along required fire access roads/driveways consistent with Fire Protection District Standards.

Documentation: A stamped copy of the approved gate plans.

Timing: The Permittee shall submit gate plans to the Fire Prevention Bureau for approval before the installation of any access gates. The submittal shall include a copy of zoning clearance issued by the Planning Department.

Monitoring and Reporting: A copy of the approved gate plan shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection to ensure that access gates are installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the gates for the life of the development.

42. Fire Flow

Purpose: To ensure that adequate water supply is available to the project for firefighting purposes.

Requirement: The Permittee shall verify that the water purveyor can provide the required volume and duration at the project. The minimum required fire flow shall be determined as specified by the current adopted edition of the Ventura County Fire Code and the applicable Water Manual for the jurisdiction (whichever is more restrictive). Given the present plans and information, the required fire flow is approximately [Enter the flow per

the IFC] gallons per minute at 20 psi for a minimum [Enter the duration per the IFC] hour duration. A minimum flow of [Enter the flow per hydrant per VCFD Standard] gallons per minute shall be provided from any one hydrant. Note: For Commercial, Industrial, Multi-family buildings, a minimum fire flow of 1,000 GPM shall be provided from each hydrant when multiple hydrants are flowing at the same time.

Documentation: A signed copy of the water purveyor's fire flow certification.

Timing: Prior to map recordation, the Permittee shall provide to the Fire District, verification from the water purveyor that the purveyor can provide the required fire flow. If there is no map recordation, the Permittee shall submit a signed copy of the water purveyor's certification to the Fire Prevention Bureau for approval before the issuance of building permits.

Monitoring and Reporting: A copy of the fire flow certification shall be kept on file with the Fire Prevention Bureau.

43. Fire Hydrant(s)

Purpose: To provide fire hydrants capable of meeting the required fire flow and duration.

Requirement: The Permittee shall provide fire hydrant(s) per the current adopted edition of the Ventura County Fire Code, Appendix C. Design and installation shall conform to the minimum standard of the [Enter the appropriate jurisdiction] Water Works Manual.

Documentation: A stamped copy of the approved fire hydrant location plan.

Timing: The Permittee shall submit a site plan to the Fire Prevention Bureau for fire hydrant placement and approval before the issuance of building permits. The plans shall indicate all existing fire hydrants located within 500 feet of the project site, the type of hydrant (i.e. wet or dry barrel) and the number and size of outlets. All required fire hydrants shall be installed per the approved plans and in-service before the start of construction.

Monitoring and Reporting: A copy of the approved fire hydrant plans shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct on-site inspections to ensure that the fire hydrants are installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the fire hydrants for the life of the development.

44. Fire Sprinklers

Purpose: To comply with current California Codes and Ventura County Fire Protection District Ordinance.

Requirement: The Permittee shall be responsible to have an automatic fire sprinkler system installed in all structures as required by the VCFPD. The fire sprinkler system shall be designed and installed by a properly licensed contractor under California State Law.

Documentation: A stamped copy of the approved fire sprinkler plans.

Timing: The Permittee shall submit fire sprinkler plans to the Fire Prevention Bureau for approval before the installation of the fire sprinkler system.

Monitoring and Reporting: A copy of the approved fire sprinkler plans shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct on-site inspections to ensure that the fire sprinkler system is installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the fire sprinkler system for the life of the development.

45. Address Numbers (Single-Family Homes)

Purpose: To ensure proper premise identification to expedite emergency response.

Requirement: The Permittee shall install a minimum of 4-inch (4") address numbers that are a contrasting color to the background and readily visible at night. Brass or gold-plated numbers shall not be used. Where structures are setback more than 150 feet (150') from the street, larger numbers will be required so that they are distinguishable from the street. In the event the structure(s) is not visible from the street, the address number(s) shall be posted adjacent to the driveway entrance on an elevated post.

Documentation: A stamped copy of an approved addressing plan or a signed copy of the Ventura County Fire Protection District's Form #126 "Requirements for Construction".

Timing: The Permittee shall install approved address numbers before final occupancy.

Monitoring and Reporting: A copy of the approved addressing plan and/or signed copy of the Ventura County Fire Protection District's Form #126 "Requirements for Construction" shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection to ensure that all structures are addressed according to the approved plans/form.

46. Hazardous Fire Area

Purpose: To advise the Permittee that the project is located within a Hazardous Fire Area and ensure compliance with California Building and Fire Codes.

Requirement: The Permittee shall construct all structures to meet hazardous fire area building code requirements.

Documentation: A stamped copy of the approved building plans to be retained by the Building Department.

Timing: The Permittee shall submit building plans to the Building Department for approval before the issuance of building permits.

Monitoring and Reporting: The Fire Prevention Bureau shall conduct a final inspection to ensure that the structure is constructed according to the approved hazardous fire area building code requirements. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the approved construction for the life of the structure.

Notice: For purposes of these conditions and application of Building and Fire Codes, the term "Hazardous Fire Area" includes the following as referenced in the CBC and VCFPD Ordinance: State SRA - Fire Hazard Severity Zone, Local Agency - Very-High Fire Hazard Severity Zone, Local Agency - Wildland-Urban Interface Fire Area (WUI Area), Local Agency - Hazardous Fire Area.

47. Fire Department Clearance

Purpose: To provide the Permittee a list of all applicable fire department requirements for their project.

Requirement: The Permittee shall obtain VCFD Form #126 "Requirements for Construction" for any new structures or additions to existing structures before issuance of building permits.

Documentation: A signed copy of the Ventura County Fire Protection District's Form #126 "Requirements for Construction."

Timing: The Permittee shall submit VCFPD Form #126 Application to the Fire Prevention Bureau for approval before issuance of building permits.

Monitoring and Reporting: A copy of the completed VCFPD Form #126 shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau will conduct a final on-site inspection of the project to ensure compliance with all conditions and applicable codes / ordinances.

48. Fire Code Permits

Purpose: To comply with the requirements of the Ventura County Fire Code.

Requirement: The Permittee shall obtain all applicable Fire Code permits.

Documentation: A signed copy of the Fire Code permit(s).

Timing: The Permittee shall submit a Fire Code permit application along with required documentation/plans to the Fire Prevention Bureau for approval before final occupancy, installation and/or use of any item/system requiring a Fire Code permit.

Monitoring and Reporting: A copy of the approved Fire Code permits shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection to ensure that the requirements of the Fire Code permit are installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the conditions of the Fire Code permit for the life of the development.

49. Prefabricated Sea Cargo / Metal Containers

Purpose: To ensure a reasonable degree of life and property protection is provided.

Requirement: The Permittee shall comply with Ventura County Building Department and Ventura County Fire Protection District Standards or shall meet requirements as a new building under the Building and Fire Codes.

Documentation: A signed copy of the project plans with Fire Prevention Bureau's approval

Timing: The Permittee shall submit documentation indicating that the proposed containers met the requirements of Ventura County Fire Protection District standards to the Fire Prevention Bureau for approval before use of any container.

Monitoring and Reporting: A copy of the approval shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection to ensure that the prefabricated sea cargo/metal storage containers are installed according to the approval. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the approved use and installation of the prefabricated sea cargo/metal storage containers for the life of the project.

50. Inspection Authority

Purpose: To ensure on-going compliance with all applicable codes, ordinances and project conditions.

Requirement: The Permittee, by accepting these project conditions of approval, shall acknowledge that the fire code official (Fire District) is authorized to enter at all reasonable times and examine any building, structure or premises subject to this project approval for the purpose of enforcing the Fire Code and these conditions of approval.

Documentation: A copy of the approved entitlement conditions.

Planning Director Hearing Date:
Planning Director Decision Date:

Location: 11820 Topa Vista Road, Ojai
Permittee: Neda Mircetic Revocable Trust
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Timing: The Permittee shall allow on-going inspections by the fire code official (Fire District) for the life of the project.

Monitoring and Reporting: A copy of the approved entitlement conditions shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall ensure ongoing compliance with this condition through on-site inspections.

**EXHIBIT 5 - CONSISTENCY WITH THE GENERAL PLAN AND
OJAI VALLEY AREA PLAN FOR
MIRCETIC CONDITIONAL USE PERMIT (CUP)
AND PLANNED DEVELOPMENT (PD) PERMIT, CASE NO. PL23-0009**

The Ventura County General Plan *Goals, Policies and Programs* (2020, page 1-1) states:

All area plans, specific plans, subdivisions, public works projects, and zoning decisions must be consistent with the direction provided in the County's General Plan.

Furthermore, the Ventura County Non-Coastal Zoning Ordinance (NCZO) (Section 8111-1.2.1.1a) states that in order to be approved, a project must be found consistent with all applicable policies of the Ventura County General Plan.

The proposed project would legalize 11 structures that were constructed without the benefit of permits. The CUP and PD Permit would allow residential accessory structures to exceed 2,000 cumulative sq. ft. and animal husbandry accessory structures to exceed 2,000 cumulative sq. ft. Additionally, the CUP and PD Permit would authorize five structures to be located within a designated surface water feature in the Habitat Connectivity and Wildlife Corridor (HCWC) overlay zone.

Evaluated below is the consistency of the proposed project with the applicable policies of the General Plan *Goals, Policies and Programs*, as well as the Ojai Valley Area Plan *Goals and Policies*.

Land Use and Community Character

1. Land Use, Design, and Community Character

General Plan Policy LU-16.1 (Community Character and Quality of Life): *The County shall encourage discretionary development to be designed to maintain the distinctive character of unincorporated communities, to ensure adequate provision of public facilities and services, and to be compatible with neighboring uses.*

General Plan Policy LU-16.8 (Residential Design that Complements the Natural Environment): *The County shall encourage discretionary development that incorporates design features that provide a harmonious relationship between adjoining uses and the natural environment.*

General Plan Policy LU-16.9 (Building Orientation and Landscaping): *The County shall encourage discretionary development to be oriented and landscaped to enhance natural lighting, solar access, and passive heating or cooling opportunities to maximize energy efficiency.*

General Plan Policy LU-16.10 (Visual Access for Rural Development): *The County shall encourage discretionary development in rural areas to maintain views of*

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hillsides, beaches, forests, creeks, and other distinctive natural areas through building orientation, height, and bulk.

General Plan Policy COS-4.6 (Architectural Design to Reflect Historic and Cultural Traditions): *The County shall require discretionary development to incorporate architectural designs and features that reflect the historical and cultural traditions characteristic to the area or community.*

Ojai Valley Area Plan Policy OV-17.1 (Community Compatibility): *The County shall require all discretionary development projects to be reviewed and conditioned to ensure that they are compatible with their surroundings, are of high quality and good design, are consistent with the character of the Ojai Valley, and are beneficial to the community as a whole.*

Staff Analysis: The project site is in the Upper Ojai Valley and is zoned Rural Exclusive with a 5-acre minimum parcel size (RE-5 ac.). As set forth in the Non-Coastal Zoning Ordinance (NCZO), the RE zone is intended “to provide for and maintain rural residential areas in conjunction with horticultural activities, and to provide for a limited range of service and institutional uses which are compatible with and complementary to rural residential communities.” (NCZO § 8104-2.2).

The Upper Ojai Valley is a rural area consisting of homesteads, farms, and ranches. Parcels range in size from 2 acres to over 100 acres. Additionally, a small General Plan-designated Existing Community is located at the eastern end of the valley near State Route 150’s intersections with Sisar Road and Topa Lane. This area includes residential parcels as small as one-quarter acre, a market, restaurant, and elementary school. Additionally, the Existing Community includes two M1-zoned parcels, used for support facilities in association with oil and gas extraction operations in the area.

Lower elevations in the Upper Ojai Valley are dominated by grasslands and oak savannahs, with interspersed agriculture and structural development. Upper elevations are predominantly oak woodland to the south (Sulphur Mountain) and chaparral to the north (Topa Topa Mountains). Oil and gas well sites dot the landscape.

The project site is a 5.66-acre parcel, which complies with the minimum parcel size for the RE zone. Adjacent parcels in the RE zone range in size from 2 to 20 acres. These neighboring properties include both residential and animal husbandry uses. The project site is accessed from a private road. The structure and the site itself are not visible from the nearest public road, State Route 150, as a stand of oaks along the highway and another stand along the tributary’s riparian corridor provide screening.

The project consists of both a CUP and a PD Permit to authorize 11 accessory structures that were constructed without the benefit of permits.¹ The structures to be authorized include the following:

- An accessory dwelling unit (ADU),² which requires a PD Permit due to being partially within an HCWC surface water feature;
- Four detached structures not for human habitation that are accessory to a single-family dwelling (SFD), which require PD Permit approval, because (a) they cumulatively exceed 2,000 sq. ft. in size, and (b) two of these structures are within the surface water feature;
- Six structures accessory to the existing animal husbandry use, which require CUP approval, because (a) the cumulatively area exceeds 2,000 sq. ft. but is under 5,000 sq. ft., and (b) two of these structures are within the surface water feature.³

In considering aesthetics and design, the structures fall into four categories:

- *Manufactured dwellings.* The ADU (490 sq. ft.) and the SFD (1,493 sq. ft.) are both manufactured dwellings.⁴ These structures are clad with composite siding and have gable roofs with narrow overhangs. The ADU is painted brown and tan, and the plans depict the proposed SFD with a muted brown-orange color. The ADU is 10.5 ft. in height and the SFD will be 12.5 ft. in height. These dwellings are similar in size and style to other dwellings in the area. Both homes are oriented to take advantage of southern exposure.
- *Large enclosed manufactured metal structure.* The garage (2,780 sq. ft.) is a fully enclosed corrugated metal building with a height of 21 ft. It has a low-pitched gable roof with deep overhangs and is painted tan and forest green. Similar large metal barns and garages are often present on properties throughout the Upper Ojai Valley.
- *Small storage structures.* Shed No. 1 and the storage container are prefabricated fully enclosed structures. Shed No. 1 (88 sq. ft.) is 11 ft. tall and has composite cladding

¹ An additional two structures were also constructed without permits but do not require a discretionary permit, as NCZO § 8105-4 would authorize construction under a Zoning Clearance. The proposed SFD would also not require discretionary permit approval.

² As there is no SFD presently established, the ADU would function as a SFD until the future SFD is constructed. The future SFD would not be subject to discretionary permits, as the proposed location is outside of the surface water feature.

³ Pursuant to NCZO § 8109-4.8.1(d), “no additional discretionary permit... shall be required” for structures within a surface water feature which are already subject to a discretionary permit. Therefore, authorization to locate two animal husbandry accessory structures in the surface water feature may be achieved through the CUP required by NCZO § 8105-4.

⁴ The ADU does not appear to be a conventional manufactured home (i.e., designed for the purposes of habitation). It appears to be a manufactured storage building that was converted and later expanded to allow for residential occupancy.

and a shed-style roof. The 8.5-ft.-tall storage container (160 sq. ft.) is corrugated metal with a flat top and painted seafoam green. Many residential parcels in the upper Ojai Valley have storage containers and sheds that are aesthetically alike and are of similar sizes, heights, designs, and colors.

- *Open structures.* The remaining structures are unenclosed structures supported by metal poles. Of the six animal husbandry structures (totaling 4,728 sq. ft.), all but one are under 10 ft. in height, with flat or low-pitched gable roofs comprised of corrugated metal or fabric canopies. Animal Shade Structure No. 3 (2,352 sq. ft.), however, uses a low-pitched corrugated metal gable roof with a height of 19 ft. Shed No. 2 (105 sq. ft.), which also has a corrugated metal gable roof, is 8.5 ft. tall and is secured with brown metal grating on all four sides. These types of structures are commonly used in association with crop production and animal husbandry uses, both of which are common in the Upper Ojai Valley.

The structures are compatible with the character of the Upper Ojai Valley because they are similar in size, massing, height, setbacks, and design to other accessory structures in the area. All but two of the proposed structures are under 1,500 sq. ft. in area. The two exceptions are the garage (2,780 sq. ft.), which is fully enclosed, and Animal Shade Structure No. 4 (2,352 sq. ft.), which is not. At buildout, approximately four percent of the project site would be covered with structures. This is below the maximum coverage of 25 percent. All structures are under 25 ft. in height, and all but two are under 15 ft. in height. Each structure has a minimum of 20 ft. from each property line.

The applicant has requested an adjustment to the minimum oil and gas well setback for dwellings. The ADU and future SFD do not meet the minimum required 500-ft. setback from existing oil and gas wells. The Planning Director may authorize a reduced setback of 100 ft. if the applicant records an acknowledgment on the property's title (NCZO § 8106-6.3).

An unnamed tributary stream runs west to east across the property. All structures and animal husbandry facilities are in the 3.6-acre area south of the tributary. The 2.1-acre area on the north side of the tributary remains in a natural state.

As noted, the site's residential and animal husbandry land uses are consistent with the predominant land use pattern in the Upper Ojai Valley. Furthermore, the structures are aesthetically similar to existing development on neighboring properties. The structures and uses have been clustered in an effort to maintain the riparian corridor through the property in its natural state. All structures maintain a minimum 100 ft. setback from wetlands. Additionally, the site is not visible from public locations.

Based on the above discussion, the proposed project is consistent with General Plan Land Use and Community Character Element Policies LU-16.1, LU-16.8, LU-16.9, and LU-16.10; Conservation and Open Space Policy COS-4.6; and Ojai Valley Area Plan Policy OV-17.1.

2. Preservation of Natural Features and Scenic Resources

General Plan Policy COS-3.2 (Tree Canopy): *The County shall encourage the planting of trees and the protection of existing urban forests and native woodlands, savannahs, and tree canopy throughout the county, including along State or County designated scenic roadways and in residential and commercial zones throughout the county, especially those located within designated disadvantaged communities.*

General Plan Policy COS-3.6 (Open Space Character): *The County shall require discretionary development outside of Existing Communities be planned and designed to maintain the scenic open space character of the surrounding area, including view corridors from highways. Discretionary development should integrate design, construction, and maintenance techniques that minimize the visibility of structures from public viewing locations within scenic vistas.*

General Plan Policy PFS-6.6 (Natural Drainage Courses): *The County shall retain drainage courses in their natural state to the extent feasible.*

General Plan Policy PFS-7.4 (Discretionary Development Utility Service Line Placement): *The County shall require discretionary development to place new utility service lines underground if feasible. If undergrounding is determined by the County to be infeasible, then new utility service lines shall be placed in parallel to existing utility rights-of-way, if they exist, or sited to minimize their visual impact.*

Ojai Valley Area Plan Policy OV-41.1 (Scenic Views and Vistas from Public Roads or Publicly-Owned Land): *The County shall prohibit discretionary development/grading which will significantly degrade or destroy a scenic view or vista from public roads or publicly-owned land, unless the development/grading is a public project, or a private project for which there is a substantial public benefit, and overriding considerations are adopted by the decision-making body.*

Staff Analysis: The response in Section 1 (Land Use, Design, and Community Character) describes the project site's setting and the design of the structures. That response reaches the following conclusions:

- The structures are aesthetically compatible with the established pattern of development in the Upper Ojai Valley.
- The project preserves the tributary to Sisar Creek that crosses through the site in its natural state and retains the tree canopy in the riparian corridor.
- Because the site and structures are not visible from public locations, there is no effect on scenic views.

With respect to utilities, all utility lines serving existing structures are underground. Utility service to newly proposed structures will be required to be placed underground, as well (Exhibit 4, Condition No. 21).

Based on the above discussion, the proposed project is consistent with General Plan Conservation and Open Space Element Policies COS-3.2 and COS-3.6; Public Facilities, Services, and Infrastructure Element Policies PFS-6.6 and PFS-7.4; and Ojai Valley Area Plan Policy OV-41.1.

3. Oil and Gas Operations

General Plan Policy COS-7.2 (Oil Well Distance Criteria): *The County shall require new discretionary oil wells to be located a minimum of 1,500 feet from residential dwellings and 2,500 from any school.*

General Plan Policy COS-7.3 (Compliance with Current Policies, Standards, and Conditions): *The County shall require new or modified discretionary development permits for oil and gas exploration, production, drilling, and related operations be subject to current State and County policies, standards, and conditions.*

General Plan Policy COS-7.6 (Abandoned Oil and Gas Well Identification): *The County shall evaluate discretionary development to identify any abandoned oil and gas wells on the project site.*

Staff Analysis: The project site is within the boundaries of CUP No. 15, which authorized oil and gas extraction throughout a large portion of the Upper Ojai Valley. Three existing wells are on the project site, of which two have been plugged and abandoned. There are approximately 30 wells within 1,500 ft. of the ADU and proposed house, which were legally established prior the adoption of Policy COS-7.2. CUP No. 15 is due to expire in 2028 but could be extended through a CUP Modification.

Pursuant to NCZO § 8106-6.3, dwellings are to maintain a minimum 800-ft. setback from existing oil and gas wells. If constructing a dwelling within 800 ft. of an oil or gas well is unavoidable, a minimum 500-ft. setback applies. This setback can be reduced to 100 ft. if a statement is recorded on title acknowledging the proximity of the well and the potential for operations and drilling to disturb the occupants. As proposed, the nearest dwelling would be approximately 169 ft. from the nearest plugged and abandoned oil well and approximately 267 ft. from the nearest active oil well. Therefore, the applicant will be required to record an acknowledgment to allow for the reduced setback (Exhibit 4, Condition No. 19).

Based on the above discussion, the proposed project is consistent with General Plan Conservation and Open Space Element Policies COS-7.2, COS-7.3, and COS-7.6.

Environmental Conservation

4. Wildlife Movement

General Plan Policy COS-1.3 (Wildlife Corridor Crossing Structures): *Based on the review and recommendation of a qualified biologist, the design and maintenance of road and floodplain improvements, including culverts and bridges, shall incorporate all feasible measures to accommodate wildlife passage.*

General Plan Policy COS-1.4 (Consideration of Impacts to Wildlife Movement): *When considering proposed discretionary development, County decision-makers shall consider the development's potential project-specific and cumulative impacts on the movement of wildlife at a range of spatial scales including local scales (e.g., hundreds of feet) and regional scales (e.g., tens of miles).*

General Plan Policy COS-1.5 (Development Within Habitat Connectivity and Wildlife Corridors): *Development within the Habitat Connectivity and Wildlife Corridors overlay zone and Critical Wildlife Passage Areas overlay zone shall be subject to the applicable provisions and standards of these overlay zones as set forth in the Non-Coastal Zoning Ordinance.*

Ojai Valley Area Plan Policy OV-36.6 (Wildlife Migration and Sensitive Biological Resource Impact Mitigation): *The County shall require discretionary development within 300 feet of the Ventura River, Coyote Creek, San Antonio Creek/Reeves Creek and Lion Canyon Creek, or located within the Sensitive Biological Resources Area (as illustrated on Figure OV-3) to be reviewed to determine the potential for interference with wildlife migration opportunities and potential for impact on "Endangered", "Threatened", "Rare" or "Locally Important" species and communities. The County shall deny projects which would result in significant adverse impacts to such resources unless they can be mitigated to a less-than-significant level or a statement of overriding considerations is adopted by the decision-making body per CEQA requirements.*

Staff Analysis: The project site is within the HCWC overlay zone, which is intended "to preserve functional connectivity for wildlife and vegetation throughout the overlay zone by minimizing direct and indirect barriers, minimizing loss of vegetation and habitat fragmentation, and minimizing impacts to those areas that are narrow, impacted, or otherwise tenuous with respect to wildlife movement." (NCZO § 8104-7.7). This portion of the Upper Ojai Valley is part of the Castaic-Sierra Madre wildlife corridor. A designated surface water feature, extending 200 ft. from the upper riparian extent of the two tributaries to Sisar Creek, occupies approximately 64 percent of the project site.

The applicant provided an Initial Study Biological Assessment (ISBA)⁵ (Exhibit 6). The biologists preparing the ISBA conducted surveys in March, May, and July 2023. In the ISBA, the biologists note that the Sisar Creek tributaries in and adjacent to the project site “provide dispersal and migratory corridors for wildlife to access Santa Paula Creek from the upland portions of Sulphur Mountain”; however, the biologists did not observe “obvious tracks and other signs of being routinely used by medium to large mammals on a routine basis.” The biologists conclude that “the project will not affect regional level wildlife movement,” because structures are clustered in a developed area, the natural migration corridors along the two tributaries will be retained in their natural form, and a 100-ft. wetland setback will be maintained.

Therefore, the project will have a less than significant effect on habitat connectivity and wildlife movement.

The project is subject to HCWC standards (NCZO § 8109-4.8), which include standards limiting the design, intensity, color, and output of outdoor lighting. Section D of the staff report discusses the specific standards. The applicant will be required to provide an outdoor lighting plan demonstrating compliance with these requirements before the Planning Division issues a Zoning Clearance (Exhibit 4, Condition No. 21).

Based on the above discussion, the proposed project is consistent with General Plan Conservation and Open Space Element Policies COS-1.3, COS-1.4, and COS-1.5, and Ojai Valley Area Plan Policy OV-36.6.

5. Wetlands

General Plan Policy COS-1.10 (Evaluation of Potential Impacts of Discretionary Development on Wetlands): *The County shall require discretionary development that is proposed to be located within 300 feet of a wetland to be evaluated by a County-approved biologist for potential impacts on the wetland and its associated habitats pursuant to the applicable provisions of the County’s Initial Study Assessment Guidelines.*

General Plan Policy COS-1.11 (Discretionary Development Sited Near Wetlands): *The County shall require discretionary development to be sited 100 feet from wetland habitats, except as provided below. The 100-foot setback may be increased or decreased based upon an evaluation and recommendation by a qualified biologist and approval by the decision-making body based on factors that include, but may not be limited to, soil type, slope stability, drainage patterns, the potential for discharges that may impair water quality, presence or absence of endangered, threatened or rare plants or animals, direct and indirect effects to wildlife movement, and compatibility of the proposed development with use of the wetland habitat area*

⁵ Fredell, A., S. B. Tomkinson, and J. Huey (September 13, 2023). Initial Study Biological Assessment Report for APN 037-0-080-115. Ojai, CA: Pax Environmental, Inc.

by wildlife. Discretionary development that would have a significant impact on a wetland habitat shall be prohibited unless mitigation measures are approved that would reduce the impact to a less than significant level. Notwithstanding the foregoing, discretionary development that would have a significant impact on a wetland habitat on land within a designated Existing community may be approved in conjunction with the adoption of a statement of overriding considerations by the decision-making body.

Staff Analysis: As identified in the National Wetlands Inventory (NWI), there are two wetlands within the immediate vicinity of the project site, both of which are tributaries to Sisar Creek:

- *Tributary W1* runs west to east through the project site. The NWI describes it as palustrine and forested, indicating that it is dominated by trees or shrubs taller than 6 meters. The NWI also indicates that is seasonal, with the water table below ground surface for most of the year.
- *Tributary W2* runs southeast to northwest, approximately 75 ft. southeast of the project site's southeastern corner. The NWI describes it as riverine (i.e., contained in a channel) and intermittent, with "[s]urface water... present for extended periods, especially early in the growing season, but... absent by the end of the growing season in most years."⁶

The ISBA⁷ (Exhibit 6) addresses potential for impacts to wetlands. The project biologists note that both tributaries were flowing in March 2023 and dry in July 2023. In May 2023, Tributary W1 was flowing and Tributary W2 was dry. The biologists note that the tributaries' source is runoff. While five structures are within 200 ft. of the tributaries, all structures maintain the 100-ft. buffer prescribed by Policy COS-1.11. The nearest structure, the garage, is just beyond the extent of the 100-ft. buffer.

Five of the structures covered under this CUP / PD Permit are within 200 ft. of the tributaries. The nearest structure, the garage, is just over 100 ft. from Tributary No. 2. As such, all structures

Based on the above discussion, the proposed project is consistent with General Plan Conservation and Open Space Element Policies COS-1.10 and COS-1.11.

6. Sensitive Plants and Other Biological Resources

General Plan Policy COS-1.1 (Protection of Sensitive Biological Resources): *The County shall ensure that discretionary development that could potentially impact*

⁶ Federal Geographic Data Committee (August 2013). Classification of Wetlands and Deepwater Habitats of the United States. Available at: <https://www.fws.gov/sites/default/files/documents/Classification-of-Wetlands-and-Deepwater-Habitats-of-the-United-States-2013.pdf>.

⁷ Fredell et al. (2023).

sensitive biological resources be evaluated by a qualified biologist to assess impacts and, if necessary, develop mitigation measures that fully account for the impacted resource. When feasible, mitigation measures should adhere to the following priority: avoid impacts, minimize impacts, and compensate for impacts. If the impacts cannot be reduced to a less than significant level, findings of overriding considerations must be made by the decision-making body.

General Plan Policy COS-1.9 (Agency Consultation Regarding Biological Resources): *The County shall consult with the California Department of Fish and Wildlife, the Regional Water Quality Control Board, the U.S. Fish and Wildlife Service, National Audubon Society, California Native Plant Society, National Park Service for development in the Santa Monica Mountains or Oak Park Area, and other resource management agencies, as applicable during the review of discretionary development applications to ensure that impacts to biological resources, including rare, threatened, or endangered species, are avoided or minimized.*

Ojai Valley Area Plan Policy OV-36.2 (Biological Field Reconnaissance Report Requirement): *The County shall require a biological field reconnaissance report detailing the composition of species at the site, the presence of rare, threatened, endangered or candidate plant or animal species, significant wetlands, locally important plant communities, and suitable mitigation measures to be prepared by the County's biological consultant as part of the environmental assessment of all discretionary development permits involving earth movement or construction on previously undeveloped land where the natural vegetation still exists.*

Ojai Valley Area Plan Policy OV-36.4 (Biological Resource Agency Notification): *The County shall require the California Department of Fish and Game, the U.S. Fish and Wildlife Service, the National Audubon Society, the California Native Plant Society and the Los Padres National Forest to be contacted during the initial 30-day project review period for discretionary development proposals when proposals are submitted which may adversely affect the biological resources under their purview. This policy does not apply to emergency permits.*

Ojai Valley Area Plan Policy OV-36.5 (Locally Important Plant Community Replacement): *The County shall require discretionary development which would result in a significant adverse impact to a Locally Important Plant Community to replace such Locally Important Plant Community proposed for removal on at least a 1:1 basis and will be required to monitor the success of such planting for a minimum of seven years. In lieu of replacement, developers may dedicate without compensation, acreage containing such Locally Important Plant Community to a government agency or non-profit organization (e.g., a homeowners' association, a land conservancy) provided such entity will provide assurances that the dedicated Locally Important Plant Community acreage will be retained in a permanent undeveloped state. The County shall require such dedicated lands to be at least two times the acreage of the Locally Important Plant Community which is proposed for*

removal. The form of such dedication may be fee title, conservation easement or other instrument approved by the County.

Staff Analysis: An ISBA⁸ was prepared for this project (Exhibit 6) to assess potential for impacts to sensitive plant communities and special-status species. Surveys were conducted in March, May, and July 2023. A survey area (11.88 acres) was designated to include all areas within 300 ft. of the structures. The project biologists note that approximately 3.67 acres (30.89 percent) of the survey area is developed or disturbed, with a further 0.57 acres (4.80 percent) comprised of ornamental plantings. The remaining area includes non-native wild oats and annual brome grasses (4.89 acres / 41.16 percent), coast live oak woodland (1.70 acres / 14.30 percent), and chamise-sage chaparral (1.06 acres / 8.92 percent). These plant communities are not considered sensitive, and no impacts are anticipated.

The project biologists observed more than 130 plant species on the site, approximately half of which were native and half of which were not. Additionally, the biologists noted 39 wildlife species. To determine potential for impacts to special-status species, the biologists assessed the likelihood of presence of 49 special status species known to occur in the area. Of these 49 species, the biologists found that 44 have little to no potential to occur on the project site. Two species had a high potential and three species had a moderate potential to be present on the site:

High Potential

- Catalina mariposa-lily (*Calochortus catilinae*), a flower that grows chaparral, grassland, woodland, and sage scrub habitats and is known to occur within five miles of the project site.
- Coastal whiptail (*Aspidosceils tigris stejnegeri*), a lizard that inhabits a variety of habitats, ranging from chaparral to riparian woodlands.

Moderate Potential

- Southern California legless lizard (*Anniella stebbinsi*), a burrowing snake-like lizard that could be present in the oak woodland.
- San Bernardino ringneck snake (*Diadophis punctatus modestus*), a snake that prefers moist habitats and could be present in the oak woodland.
- Coast horned lizard (*Phrynosoma blainvillii*), a lizard that is most common in lowlands along sandy washes with scattered low bushes.

Prior to construction of the unpermitted structures, aerial images dating to 2004 show that the area had been historically disturbed by animal husbandry activities (e.g., pastures, paddocks, open storage, etc.) and would not have provided suitable habitat for special status species. The biologists conclude that “[n]o project or cumulative impacts are anticipated to any species” or plant communities, because the structures and their fire safety fuel modification zones “[do] not include suitable habitat for sensitive species” or

⁸ Fredell et al. (2023).

“any sensitive plant communities.” No disturbance would occur to the portions of the site that have the potential to contain sensitive species (e.g., oak woodland and chaparral areas). No impacts to nesting birds are anticipated, as no new construction would occur in proximity to potential nesting habitats.

Based on the above discussion, the proposed project is consistent with General Plan Conservation and Open Space Element Policies COS-1.1 and COS-1.9, and Ojai Valley Area Plan Policies OV-36.2, OV-36.4, and OV-36.5.

7. Protected Trees

Ojai Valley Area Plan Policy OV-36.7 (Tree Protection Ordinance Compliance):

The County shall require discretionary development to be located to avoid loss or damage to protected trees as defined in the County's Tree Protection Ordinance. The County shall require the removal of protected trees to only occur after review of the necessity of such removal, and in accordance with the provisions of the County's Tree Protection Ordinance.

Staff Analysis: In the ISBA⁹ (Exhibit 6), the project biologist noted the presence of six protected oak trees within 100 ft. of the structures. The biologists believe “that these trees were planted in the past and are not natural.” Indeed, review of aerial imagery shows these trees emerging and reaching maturity after the construction of the ADU and garage. No new construction activities would occur within the protected zone of a protected tree. Therefore, the biologists conclude that no impacts to protected trees would occur.

Review of aerial imagery indicates that two protected oaks were removed in 2007 to accommodate the garage. Removal of these trees would have been permissible under a ministerial tree permit to accommodate reasonable access and would not have required offsets had a ministerial tree permit been granted (NCZO § 8107-25.6(i)). However, the NCZO requires offsets for unauthorized tree removals that cannot be retroactively legalized (NCZO § 8107-25.10(b)). As such, the applicant will be required to submit a Tree Protection Plan to offset the loss of the two protected oaks (Exhibit 4, Condition No. 23). Several other protected oaks that were historically present on the site appear to have been destroyed in the 2017 Thomas Fire.

Based on the above discussion, the proposed project is consistent with Ojai Valley Area Plan Policy OV-36.7.

8. Archaeology, Paleontology, and Tribal Cultural Resources

General Plan Policy COS-4.2(b) (Cooperation for Tribal Cultural Resource Preservation): *For discretionary projects, the County shall request local tribes contact information from Native American Heritage Commission, to identify known tribal*

⁹ Ibid.

cultural resources. If requested by one or more of the identified local tribes, the County shall engage in consultation with each local tribe to preserve, and determine appropriate handling of, identified resources within the county.

General Plan Policy COS-4.4 (Discretionary Development and Tribal, Cultural, Historical, Paleontological, and Archaeological Resource Preservation): *The County shall require that all discretionary development projects be assessed for potential tribal, cultural, historical, paleontological, and archaeological resources by a qualified professional and shall be designed to protect existing resources. Whenever possible, significant impacts shall be reduced to a less-than-significant level through the application of mitigation and/or extraction of maximum recoverable data. Priority shall be given to measures that avoid resources.*

Ojai Valley Area Plan Policy OV-44.1 (Archaeological Resource Review): *The County shall require all discretionary development permits involving construction or earth movement within the Ojai Valley to be reviewed by the County's designated archaeological resource review organization.*

- a. Whenever such discretionary development requires a field reconnaissance study, the County shall require such study to be conducted by a County approved archaeologist to determine the potential for surface or subsurface cultural remains.*
- b. The County shall require a qualified archaeological monitor to be present to monitor significant trenching or earth movement at any such site if deemed to be needed by the study. If the archaeological monitor is not a Native American and Native American cultural resources are found at the site, the County shall require a Native American monitor.*
- c. In the event that artifacts of historical or archaeological significance are uncovered, the County shall empower the qualified archaeological monitor to halt construction in the immediate vicinity of such unearthed artifacts until disposition of the site has been determined by the County Planning Division.*

Staff Analysis: The Resource Management Agency's Geographic Information Systems (RMA-GIS) staff maintains maps that identify areas that have a higher potential to contain archaeological resources. These maps show the project site in an area that is "Very Sensitive" and has a "high likelihood of archaeological sites."

This CUP and PD Permit would authorize 11 structures that have already been constructed or placed on the site without the benefit of permits (refer to Table 1 in Condition No. 1). Most of these structures were constructed in 2022, but the ADU is shown on aerials since 2015 and the garage since 2007. All structures were located in areas that were previously graded or disturbed.

The project was referred to the South Central Coastal Information Center (SCCIC), which is the local repository for the California Historic Resource Information System (CHRIS).

SCCIC responded that the area is potentially sensitive and that two tar seeps were noted in the area. Additionally, several prehistoric archaeological sites are present within a one-mile radius. Though the site was subject to prior archaeological review in 1977, and no resources were identified on the site at that time, SCCIC recommended an updated survey.

The applicant submitted a Phase I archaeological evaluation, prepared by a qualified archaeologist.¹⁰ The archaeological survey “came up negative, with no cultural resources found” in the area surrounding the structures. Based on this, and the negative survey from 1977, the archaeologists concluded that “it does not seem the construction of the Mircetic property had an impact on archaeological resources,” and expressed confidence that “no archaeological impact was made.”

No tribal contacts have formally requested consultation with the County. The existing structures covered by this project have already been constructed, and that construction occurred in a previously disturbed area. The project site was also subject to two archaeological surveys (1977 and 2023) that failed to yield findings. For these reasons, there is no potential for impact to tribal cultural resources.

Based on the above discussion, the proposed project is consistent with General Plan Conservation and Open Space Element Policies COS-4.2(b) and COS-4.4, and Ojai Valley Area Plan Policy OV-44.1.

9. Energy Efficiency and Greenhouse Gas Reduction

General Plan Policy COS-8.1 (Reduce Reliance on Fossil Fuels): *The County shall promote the development and use of renewable energy resources (e.g., solar, thermal, wind, tidal, bioenergy, hydroelectricity) to reduce dependency on petroleum-based energy sources.*

General Plan Policy COS-8.6 (Zero Net Energy and Zero Net Carbon Buildings): *The County shall support the transition to zero net energy and zero net carbon buildings, including electrification of new buildings.*

General Plan Policy COS-8.7 (Sustainable Building Practices): *The County shall promote sustainable building practices that incorporate a “whole systems” approach for design and construction that consumes less energy, water, and other non-renewable resources, such as by facilitating passive ventilation and effective use of daylight.*

General Plan Policy COS-10.4 (Greenhouse Gas Reductions in Existing and New Development): *The County shall reduce GHG emissions in both existing and new*

¹⁰ Novak, S., J. Peralta, and J. Huey (September 25, 2023). Phase I Archaeological Evaluation for APN 037-0-080-115. Ojai, CA: Pax Environmental, Inc.

development through a combination of measures included in the GHG Strategy, which includes new and modified regulations, financing and incentive-based programs, community outreach and education programs, partnerships with local or regional agencies, and other related actions.

General Plan Policy HAZ-11.7 (Green Building Design Features): *The County shall encourage development to include new building designs or retrofits to improve building performance through strategic building design features, including to reduce energy usage, solar-reflective white roofs, solar panels, green roofs (vegetation on roofs), and battery storage for energy.*

Staff Analysis: All structures will be subject to permitting under the 2021 Ventura County Building Code, which includes the Title 24 energy standards in the California Building Code. The Title 24 standards ensure efficiency by requiring that dwellings meet specific standards for insulation, weatherization, roofing, windows, appliances, lighting, and mechanical, plumbing, and solar systems. The Building and Safety Division ensures compliance with these standards prior to issuing a construction permit and a certificate of occupancy. Implementation of these standards will ensure that the project will reduce reliance on fossil fuels, minimize energy demand, and support the County's effort to reduce greenhouse gas emissions.

Based on the above discussion, the proposed project is consistent with General Plan Conservation and Open Space Element Policies COS-8.1, COS-8.6, COS-8.7, and COS-10.4, and Hazards and Safety Element Policy HAZ-11.7.

10. Water Conservation

General Plan Policy WR-3.2 (Water Use Efficiency for Discretionary Development): *The County shall require the use of water conservation techniques for discretionary development, as appropriate. Such techniques include low-flow plumbing fixtures in new construction that meet or exceed the California Plumbing Code, use of graywater or reclaimed water for landscaping, retention of stormwater runoff for direct use and/or groundwater recharge, and landscape water efficiency standards that meet or exceed the standards in the California Model Water Efficiency Landscape Ordinance.*

Ojai Valley Area Plan Policy OV-64.1 (Water Conservation Techniques in New Development): *The County shall condition discretionary development to utilize all feasible water conservation techniques.*

Ojai Valley Area Plan Policy OV-64.2 (Retrofits to Limit Water Demand): *The County shall require new discretionary development to retrofit existing plumbing fixtures or provide other means so as not to add any net increased demand on the existing water supply. The County shall apply this policy until such time as a groundwater basin study is completed and it is found that the available groundwater,*

or other sources of water, could adequately provide for cumulative demand without creating an overdraft situation.

Staff Analysis: The project site overlies the Upper Ojai Groundwater Basin. The basin has 83 wells that serve a population of approximately 616 and irrigate approximately 299 acres.¹¹ Sisar Mutual Water Company (SMWC) provides water services to the project site. SMWC sources its water from two wells that draw from the Upper Ojai basin and also has a backup connection to the Casitas Municipal Water District system.¹²

An SFD had been on the project site between approximately 1960 and the 2017 Thomas Fire. Around 2015, a shed was placed on the property without permits and subsequently converted to a dwelling. The applicant now seeks to convert the unpermitted dwelling into an ADU and to build a new SFD.¹³ Of the 11 structures covered under this PD Permit and CUP, only the ADU has plumbing. All other structures lack plumbing fixtures and appliances.

To satisfy Policy OV-64.2, the applicant will be required to supply information on historical water usage and estimated water uses during all phases of construction and at full buildout. If the project will result in greater water demand, the applicant will be required to offset that increased demand (Exhibit 4, Condition No. 32). Water offsets can be accomplished through such means as off-site plumbing retrofits, irrigation retrofits, and/or replacement of landscaping.

Based on the above discussion, the proposed project is consistent with General Plan Water Resources Element Policy WR-3.2 and Ojai Valley Area Plan Policies OV-64.1 and OV-64.2.

Infrastructure and Services

11. Transportation and Circulation

General Plan Policy CTM-1.1 (Vehicle Miles Traveled (VMT) Standards and CEQA Evaluation): *The County shall require evaluation of County General Plan land use designation changes, zone changes, and discretionary development for their individual (i.e., project-specific) and cumulative transportation impacts based on Vehicle Miles Traveled (VMT) under the California Environmental Quality Act (CEQA) pursuant to the methodology and thresholds of significance criteria set forth in the County Initial Study Assessment Guidelines.*

¹¹ This data is sourced from the SGMA Basin Prioritization Dashboard, available at: <https://gis.water.ca.gov/app/bp-dashboard/final/>. The dashboard estimates a 2010 population of 616, and anticipates this will decline to 550 by 2030.

¹² Ventura County Watershed Protection District (2006). Inventory of Water Purveyors in Ventura County.

¹³ The SFD does not require PD Permit or CUP approval. Therefore, it is outside the scope of this permit.

General Plan Policy CTM-1.4 (Level of Service (LOS) Evaluation): *County General Plan land use designation changes and zone changes shall be evaluated for their individual (i.e., project-specific) and cumulative effects, and discretionary developments shall be evaluated for their individual effects, on Level of Service (LOS) on existing and future roads, to determine whether the project:*

- a. *Would cause existing roads within the Regional Road Network or County-maintained roadways that are currently functioning at an acceptable LOS to function below an acceptable LOS;*
- b. *Would add traffic to existing roads within the Regional Road Network or County-maintained roadways that are currently functioning below an acceptable LOS; and*
- c. *Could cause future roads planned for addition to the Regional Road Network or County-maintained roadways to function below an acceptable LOS.*
- d. *The Level of Service (LOS) evaluation shall be conducted based on methods established by the County.*

General Plan Policy CTM-1.7 (Pro Rata Share of Improvements): *The County shall require discretionary development that would generate additional traffic pays its pro rata share of the cost of added vehicle trips and the costs of necessary improvements to the Regional Road Network pursuant to the County's Traffic Impact Mitigation Fee Ordinance.*

Ojai Valley Area Plan Policy OV-22.2 (Evaluation of Level of Service (LOS) Impacts Based on Land Use Changes): *The County shall evaluate Area Plan land use designation changes, zone changes, and discretionary development for individual and cumulative impacts on existing and future roads, with special emphasis on the following:*

- a. *Whether they would cause existing roads within the Regional Road Network or Local Road Network that are currently functioning at an acceptable Level of Service (LOS) to function below an acceptable LOS;*
- b. *Whether they would worsen traffic conditions on existing roads within the Regional Road Network that are currently functioning below an acceptable LOS; and*
- c. *Whether they could cause future roads planned for addition to the Regional Road Network or the Local Road Network to function below an acceptable LOS.*

Ojai Valley Area Plan Policy OV-31.1 (Fair Share Contributions to the Trail System): *The County shall condition discretionary development permits which may be expected to benefit from or contribute to the need for the trails system to dedicate and improve, or pay a fee for, planned trails and public trail access points, and install appropriate signs to the standards of the County of Ventura and the National Forest Service.*

Staff Analysis: The proposed project would facilitate replacement of a SFD that was destroyed in the 2017 Thomas Fire with a new SFD. It would also legitimize an ADU and several non-habitable accessory structures. Since the SFD replaces a prior SFD and the accessory structures are not associated with new trip generation, the only source of new trips would be the ADU. Applying the Institute of Traffic Engineers (ITE) formula a detached dwelling, an ADU would be expected to generate no more than 10 average daily trips. This is well below the VMT analysis screening threshold of 110 average daily trips. Therefore, consideration of VMT is not required. Additionally, the new trips this project generates would not degrade LOS on State Route 150 or any other public roads in the area.

Applicants are generally required to pay a Traffic Impact Mitigation Fee (TIMF) to offset a project's contribution towards cumulative increases in demand on County roads. The TIMF is assessed on a per-unit basis. Government Code § 66324(b) and (c)(1) prohibit the County from treating an ADU as a separate unit for the purposes of calculating fees. Therefore, no TIMF need be paid.

The nearest trail to the project site (Sisar Canyon Trail) is 0.6 miles north. Additional trails are available near Thomas Aquinas College, which is approximately 2.5 miles east of the project site. The project does not have any particular features that suggest it would receive a specific benefit from the public trail system or create an excessive demand.

Based on the above discussion, the proposed project is consistent with General Plan Circulation, Transportation, and Mobility Element Policies CTM-1.1, CTM-1.4, and CTM-1.7, and Ojai Valley Area Plan Policies OV-22.2 and OV-31.1.

12. Public Utilities, Facilities, and Services

General Plan Policy PFS-1.7 (Public Facilities, Services, and Infrastructure Availability): *The County shall only approve discretionary development in locations where adequate public facilities, services, and infrastructure are available and functional, under physical construction, or will be available prior to occupancy.*

General Plan Policy WR-1.11 (Adequate Water for Discretionary Development): *The County shall require all discretionary development to demonstrate an adequate long-term supply of water.*

Ojai Valley Area Plan Policy OV-24.1 (Adequate Public Facilities and Services): *The County shall require discretionary development to demonstrate that there are adequate public facilities and services available to serve the needs of the proposed development.*

Staff Analysis: The project site is located in the rural Upper Ojai Valley. Sisar Mutual Water Company (SMWC) supplies the site with domestic water. SMWC provided a will-serve letter dated June 6, 2022, which indicates that it can and will serve the existing ADU

and the proposed SFD. SMWC notes that its system has capacity to also accommodate up to 138 additional connections. As discussed in Section 10 (Water Conservation), above, SMWC sources its waters from wells that draw from the Upper Ojai Groundwater Basin. The Ventura County General Plan Background Report notes that the Upper Ojai basin has an estimated budget of 1,320 acre-feet per year (AFY) and past extractions of 700 AFY, suggesting that that additional growth can be sustained without causing overdraft.

Wastewater is handled with individual onsite wastewater treatment systems (OWTS). Access to the site is provided from a private driveway to Topa Vista Road, a private road. Topa Vista Road intersects with State Route 150, providing access to the Regional Road Network. Electric service from Southern California Edison is available to the project site. Southern California Gas Company does not serve the property. An existing propane tank serves the ADU.

The project site is in the boundaries of the Ojai Unified School District. Summit School, which offers an independent study program is approximately 0.3 miles northwest of the project site. Conventional K-12 schools are located in Ojai, approximately 10 miles west of the project site. Nearby parks include Dennison Park (four miles west) and Steckel Park (five miles southeast). The nearest libraries are in Ojai and Santa Paula, each of which is eight miles away. The public facilities, services, and utilities available to the project site is appropriate for a rural area. The nearest fire station is Ventura County Fire Department Station No. 29 in Santa Paula (nine miles southeast) and the nearest Sheriff's station is the Ojai Patrol Station (nine miles west).

Based on the above discussion, the proposed project is consistent with General Plan Public Facilities, Services, and Infrastructure Element Policy PFS-1.7, Water Resources Element Policy WR-1.11, and Ojai Valley Area Plan Policy OV-24.1.

13. Onsite Wastewater Treatment Systems (OWTS)

General Plan Policy PFS-4.2 (Onsite Wastewater Treatment Systems): *The County may allow the use of onsite wastewater treatment systems that meet the state Water Resources Control Board Onsite Wastewater Treatment System Policy, Ventura County Sewer Policy, Ventura County Building Code, and other applicable County standards and requirements.*

General Plan Policy PFS-4.3 (Onsite Wastewater Treatment System Failure Repair): *The County shall require landowners to repair or replace failing septic tanks, disposal area, and package systems that constitute a threat to water quality and public health.*

General Plan Policy PFS-4.4 (Groundwater Resource Protection): *The County shall encourage wastewater treatment facilities to provide the maximum feasible protection and enhancement of groundwater resources.*

Ojai Valley Area Plan Policy OV-26.1 (Sewer System Connections Requirement): *The County shall require discretionary development within the service boundaries of the Ojai Valley Sanitation District to either connect directly to the existing sewer system or install necessary off-site pipelines to connect with the sewer system.*

Ojai Valley Area Plan Policy OV-26.2 (County Sewer Plan Compliance): *The County shall require new development that generates sewage in aquifer recharge areas to comply with the County Sewer Policy.*

Ojai Valley Area Plan Policy OV-26.3 (Private Septic Systems Installation and Regulations Requirement): *The County shall require private septic systems outside of the Ojai Valley Sanitation District boundaries to be installed and regulated in accordance with the County Environmental Health Division regulations.*

Ojai Valley Area Plan Policy OV-26.4 (Private Sewage Disposal Systems): *The County shall require existing homes and businesses with private sewage disposal systems that function improperly to make necessary modifications or to convert to a sewer system in compliance with the County Sewer Policy.*

Staff Analysis: The existing ADU is served by a 1,500-gallon septic tank with a 55-ft. leach line. Under the proposal, a second 55-ft. leach line would be added to the ADU's OWTS. The new SFD would be served by a new OWTS with a 1,000-gallon septic tank and two 83-ft. leach lines. Additionally, a leach field expansion area would be designated. The applicant has provided a Septic Tank Pumping Inspection Report dated March 7, 2023 indicating that the ADU's system is functional and not damaged.

The applicant also provided a geotechnical report¹⁴ (Exhibit 7), which assessed the site's suitability for OWTS. The soils report noted that leach fields are an appropriate means of wastewater disposal, as there are alluvial strata at a depth of 4.5 ft., high groundwater is at a depth of more than 40 ft., and percolation rates were faster than 60 minutes per inch. Based on this, the project's OWTS would operate within the parameters of the Basin Plan and would not significantly impact water quality.

Based on the above discussion, the proposed project is consistent with General Plan Public Facilities, Services, and Infrastructure Element Policies PFS-4.2, PFS-4.3, and PFS-4.4, and Ojai Valley Area Plan Policies OV-26.1, OV-26.2, OV-26.3, and OV-26.4.

¹⁴ Sivas, J., CEG and S. Simon, RCE (February 28, 2022). Soils Engineering Report, Proposed Single-Family Residence, 11820 Topa Vista Road, Upper Ojai, Ventura County, California. Ventura, CA: Solid Soils and Geologic Consultants, Inc.

Hazards and Safety

14. Air Quality

General Plan Policy HAZ-10.1 (Air Pollutant Reduction): *The County shall strive to reduce air pollutants from stationary and mobile sources to protect human health and welfare, focusing efforts on shifting patterns and practices that contribute to the areas with the highest pollution exposures and health impacts.*

General Plan Policy HAZ-10.2 (Air Quality Management Plan Consistency): *The County shall prohibit discretionary development that is inconsistent with the most recent adopted Air Quality Management Plan (AQMP), unless the Board of Supervisors adopts a statement of overriding considerations.*

General Plan Policy HAZ-10.3 (Air Pollution Control District Rule and Permit Compliance): *The County shall ensure that discretionary development subject to Ventura County Air Pollution Control District (VCAPCD) permit authority complies with all applicable APCD rules and permit requirements, including the use of Best Available Control Technology (BACT) as determined by the VCAPCD.*

General Plan Policy HAZ-10.12 (Conditions for Air Quality Impacts): *The County shall require that discretionary development that would have a significant adverse air quality impact shall only be approved if it is conditioned with all feasible mitigation measures to avoid, minimize or compensate (offset) for the air quality impact. The use of innovative methods and technologies to minimize air pollution impacts shall be encourage in project design.*

General Plan Policy HAZ-10.13 (Construction Air Pollutant Best Management Practices): *Discretionary development projects that will generate construction-related air emissions shall be required by the County to incorporate best management practices (BMPs) to reduce emissions. These BMPs shall include the measures recommended by VCAPCD in its Air Quality Assessment Guidelines or otherwise to the extent applicable to the project.*

General Plan Policy HAZ-10.14 (Fugitive Dust Best Management Practices): *The County shall ensure that discretionary development which will generate fugitive dust emissions during construction activities will, to the extent feasible, incorporate appropriate BMPs to reduce emissions to be less than applicable thresholds.*

Staff Analysis: The proposed project has been reviewed by the Ventura County Air Pollution Control District (APCD). The APCD has determined that this project would have less than significant effects on air quality. Additionally, the project will be subject to a standard condition of approval requiring that certain best practices be employed to control the emission of fugitive dust (Exhibit 4, Condition No. 33).

Based on the above discussion, the proposed project is consistent with General Plan Hazards and Safety Element Policies HAZ-10.1, HAZ-10.2, HAZ-10.3, HAZ-10.12, HAZ-10.13, and HAZ-10.14.

15. Drainage, Stormwater, and Soil Erosion

General Plan Policy COS-5.1 (Soil Protection): *The County shall strive to protect soil resources from erosion, contamination, and other effects that substantially reduce their value or lead to the creation of hazards.*

General Plan Policy COS-5.2 (Erosion Control): *The County shall encourage the planting of vegetation on soils exposed by grading activities, not related to agricultural production, to decrease soil erosion.*

General Plan Policy HAZ-4.5 (Soil Erosion and Pollution Prevention): *The County shall require discretionary development be designed to prevent soil erosion and downstream sedimentation and pollution.*

General Plan Policy PFS-6.1 (Flood Control and Drainage Facilities Required for Discretionary Development): *The County shall require discretionary development to provide flood control and drainage facilities, as deemed necessary by the County Public Works Agency and Watershed Protection District. The County shall also require discretionary development to fund improvements to existing flood control facilities necessitated by or required by the development.*

General Plan Policy PFS-6.5 (Stormwater Drainage Facilities): *The County shall require that stormwater drainage facilities are properly designed, sited, constructed, and maintained to efficiently capture and convey runoff for flood protection and groundwater recharge.*

General Plan Policy WR-2.2 (Water Quality Protection for Discretionary Development): *The County shall evaluate the potential for discretionary development to cause deposition and discharge of sediment, debris, waste, and other contaminants into surface runoff, drainage systems, surface water bodies, and groundwater. In addition, the County shall evaluate the potential for discretionary development to limit or otherwise impair later reuse or reclamation of wastewater or stormwater. The County shall require discretionary development to minimize potential deposition and discharge through point source controls, storm water treatment, runoff reduction measures, best management practices, and low impact development.*

General Plan Policy WR-3.3 (Low-Impact Development): *The County shall require discretionary development to incorporate low impact development design features and best management practices, including integration of stormwater capture facilities, consistent with County's Stormwater Permit.*

Staff Analysis: The developed portion of the project site naturally drains by sheet flow to the north into the tributary to Sisar Creek that bisects the project site. From there, drainage heads east to Sisar Creek, then on to Santa Paula Creek and the Santa Clara River. The Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for the area, Panel No. 06111C0592F, places the project site in Zone 'X' (unshaded), which indicates a less than 0.2 percent chance of flooding in any given year. As noted in the drainage report¹⁵ (Exhibit 8), no changes to the existing drainage pattern are proposed.

The 11 accessory structures covered under this CUP / PD Permit have already been constructed. Of these, the garage and three of the animal shade structures were constructed in areas with pre-existing impervious surfaces. The proposed SFD would be located within the footprint of the prior SFD that was destroyed in the 2017 Thomas Fire. Under the proposal, impervious surfaces would increase in area from 53,454 sq. ft. to 57,131 sq. ft., an increase of 3,676 sq. ft.

The Watershed Protection District's (WPD's) Stormwater Program is charged with ensuring the County's compliance with the National Pollutant Discharge Elimination System (NPDES). NPDES implements the Federal Clean Water Act by requiring stormwater discharges not pollute downstream waters. Projects involving ground disturbance can cause soils to be carried away in stormwater runoff, causing pollution. To avoid this issue, the County Stormwater Program requires that applicants implement Best Management Practices (BMPs) during the construction phase of a project. The applicant will be required to submit the required forms to WPD to demonstrate that appropriate BMPs will be incorporated into the project during construction (Exhibit 4, Condition No. 30). Examples of common BMPs include silt fences, straw wattles, and check dams, which are designed to capture loose soil before it enters the storm drain system. Post-construction BMPs would not be necessary, as the project adds less than 10,000 sq. ft. of impervious surfaces and is located outside of a high-risk or urban area.

Based on the above discussion, the proposed project is consistent with General Plan Conservation and Open Space Element Policies COS-5.1 and COS-5.2; Hazards and Safety Element Policy HAZ-4.5; Public Facilities, Services, and Infrastructure Policies PFS-6.1 and PFS-6.5; and Water Resources Element Policies WR-2.2 and WR-3.3.

16. Geologic Hazards

General Plan Policy HAZ-4.3 (Structural Design): *The County shall require that all structures designed for human occupancy incorporate engineering measures to reduce the risk of and mitigate against collapse from ground shaking.*

¹⁵ Cunicelli, D., PE (September 11, 2023). Drainage Report, Single-Family Residence, 11820 Topa Vista Road, Ojai, CA 93060. Ventura, CA: Jensen Design and Survey, Inc.

General Plan Policy HAZ-4.8 (Seismic Hazards): *The County shall not allow development of habitable structures or hazardous materials storage facilities within areas prone to the effects of strong ground shaking, such as liquefaction, landslides, or other ground failures, unless a geotechnical engineering investigation is performed and appropriate and sufficient safeguards, based on this investigation, are incorporated into the project design.*

Ojai Valley Area Plan Policy OV-52.1 (Seismic and Geologic Hazards): *The County shall require developers to provide all necessary information relative to seismic and geologic hazards which may affect their project. The County shall require the developer to specify how they intend to alleviate any and all identified hazards.*

Staff Analysis: The proposed project has been sited and designed in a manner that ensures stability and structural integrity. It would neither create nor contribute to geologic instability or destruction of the site or surrounding areas. As described in the geotechnical report¹⁶ (Exhibit 7), the project site is comprised of silty sand with clay and gravel in the first one to two feet. In the developed area of the site, Monterey formation bedrock lies below this layer, which can be described as a “clayey, silty sandstone.” The designated leach field area is instead underlain by older alluvium, described as “silty, gravelly sand with clay” and cobbles between 2.5 and 6 inches across.

No active or potentially active faults exist on or near the project site; however, an unnamed inactive fault shown on County maps crosses through the project site. This fault is not depicted on California Geologic Survey (CGS) maps, though these maps do show the Lion Canyon fault running parallel and south of the project site. CGS does not show the site as being within an Alquist-Priolo fault zone (i.e., within 50 ft. of certain faults), a liquefaction hazard zone, or a landslide hazard zone. As Southern California is a seismically active area, however, the project site “will be subjected to moderate to strong ground shaking” in the event of an earthquake.

The project will be subject to the 2021 Ventura County Building Code, which incorporates the seismic standards in the California Building Code. These standards are designed to minimize risk of damage resulting from earthquakes. The applicant will need to demonstrate compliance with the building code standards and the recommendations in the geotechnical report to receive a construction permit.

Based on the above discussion, the proposed project is consistent with General Plan Hazards and Safety Element Policies HAZ-4.3 and HAZ-4.8, and Ojai Valley Area Plan Policies OV-52.1.

¹⁶ Sivas and Simon (2022).

17. Fire Safety

General Plan Policy HAZ-1.1 (Fire Prevention Design and Practices): *The County shall continue to require development to incorporate design measures that enhance fire protection in areas of high fire risk. This shall include but is not limited to incorporation of fire-resistant structural design, use of fire-resistant landscaping, and fuel modification around the perimeter of structures.*

General Plan Policy HAZ-1.2 (Defensible Space Clear Zones): *The County shall require adherence to defensible space standards, or vegetation “clear zones*

General Plan Policy HAZ-1.4 (Development in High Fire Hazard Severity Zones and Hazardous Fire Areas): *The County shall require the recordation of a Notice of Fire Hazard with the County Recorder for all new discretionary entitlements (including subdivisions and land use permits) within areas designated as Hazardous Fire Areas by the Ventura County Fire Department or High Fire Hazard Severity Zones by the California Department of Forestry and Fire Protection (CAL FIRE).*

General Plan Policy HAZ-1.5 (Discouragement of Home-Building in Very High Fire Severity Zones): *The County should discourage the building of homes in Very High Fire Severity Zones.*

General Plan Policy PFS-12.3 (Adequate Water Supply, Access, and Response Times for Firefighting Purposes): *The County shall prohibit discretionary development in areas that lack and cannot provide adequate water supplies, access, and response times for firefighting purposes.*

General Plan Policy PFS-12.4 (Consistent Fire Protection Standards for New Development): *The County, in coordination with local water agencies and the Fire Protection District, shall require new discretionary development to comply with applicable standards for fire flows and fire protection.*

Ojai Valley Area Plan Policy OV-34.1 (Compliance with Fire Protection District and Sheriff’s Department Requirements): *The County shall require discretionary development to comply with the requirements of the Fire Protection District and Sheriff’s Department by providing adequate access for fire, law enforcement, emergency equipment and personnel, and evacuation.*

Ojai Valley Area Plan Policy OV-35.1 (Adequate Water for Firefighting): *The County shall require adequate water supplies and delivery system for firefighting purposes to serve any discretionary development in accordance with the standards of the Fire Protection District.*

Ojai Valley Area Plan Policy OV-47.1 (Fire Protection District Road Standards Compliance): *The County shall require all roads to meet or exceed the standards of the Fire Protection District.*

Ojai Valley Area Plan Policy OV-48.1 (Adequate Water and Access for Firefighting): *The County shall condition discretionary development permits to provide adequate water and access for firefighting purposes as determined by the Fire Protection District. The County shall require adequate access and fire flow improvements to be completed prior to combustible construction.*

Ojai Valley Area Plan Policy OV-48.2 (Fuel Modification Zone Requirement): *The County shall require a Fire Protection District approved fuel modification zone (fuel break) of at least 100 linear feet to be provided around all combustible structures located in “high” or “very high” fire hazard areas.*

Ojai Valley Area Plan Policy OV-49.1 (High Fire Hazard Area Requirements): *The County shall require discretionary development within high fire hazard areas to be reviewed with attention to the environmental impact of required brush clearance to biological resources, particularly on moderate to steep slopes. The County shall encourage brush clearance that reduces fuel volumes while allowing the selective retention of native shrubs a minimum of 20 feet apart, as permitted by the Ventura County Fire Protection District.*

Ojai Valley Area Plan Policy OV-49.3 (Roofing Material Requirement for High and Very High Fire Hazard Area): *The County shall require fire-retardant roofing materials for new construction in “high” and “very high” fire hazard areas.*

Staff Analysis: The project site is located in a State Responsibility Area and Very High Fire Hazard Severity Zone (VHFHSZ). Additionally, several structures on the property were destroyed in the 2017 Thomas Fire. The Upper Ojai Valley area, which consists of scattered residential development intermixed with natural areas, can be described as a Wildland-Urban Interface (WUI) area. Because of the site’s potential fire hazard, the project will be subject to requirements in the Ventura County Building Code to minimize risks associated with wildfire. Common requirements include the use of fire-resistant building materials, sprinklers, and tempered glass in doors and windows.

The Ventura County Fire Protection District (VCFPD) has reviewed the project for consistency with fire safety standards. Based on this review, VCFPD recommended that certain conditions of approval be applied to the project. The conditions address road and driveway access, fire flow, hydrants, sprinklers, address numbers, building code standards, fire safety clearance review, and storage containers (Exhibit 4, Condition Nos. 34 through 50).

Based on the above discussion, the proposed project is consistent with General Plan Hazards and Safety Element Policies HAZ-1.1, HAZ-1.2, HAZ-1.4, and HAZ-1.5; Public

Facilities, Services, and Infrastructure Element Policies PFS-12.3 and PFS-12.4; and Ojai Valley Area Plan Policies OV-34.1, OV-35.1, OV-47.1, OV-48.1, OV-48.2, OV-49.1, and OV-49.3.

18. Hazardous Materials

General Plan Policy HAZ-5.7 (Presence of Hazardous Wastes): *Applicants shall provide a statement indicating the presence of any hazardous wastes on a site, prior to discretionary development. The applicant must demonstrate that the waste site is properly closed, or will be closed, pursuant to all applicable state and federal laws, before the project is inaugurated.*

Staff Analysis: The applicant has provided a statement indicating that no hazardous materials were historically present on the site. The project site and adjacent properties were not included on any Hazardous Waste Substances Sites (Cortese) Lists, as published by the Department of Toxic Substance Control and State Water Board.

Based on the above discussion, the proposed project is consistent with General Plan Hazards and Safety Element Policy HAZ-5.7.

19. Noise

General Plan Policy HAZ-9.1 (Limiting Unwanted Noise): *The County shall prohibit discretionary development which would be impacted by noise or generate project-related noise which cannot be reduced to meet the standards prescribed in Policy Haz-9.2. This policy does not apply to noise generated during the construction phase of a project.*

General Plan Policy HAZ-9.2 (Noise Compatibility Standards): *The County shall review discretionary development for noise compatibility with surrounding uses. The County shall determine noise based on the following standards:*

- 1. New noise sensitive uses proposed to be located near highways, truck routes, heavy industrial activities and other relatively continuous noise sources shall incorporate noise control measures so that indoor noise levels in habitable rooms do not exceed Community Noise Equivalent Level (CNEL) 45 and outdoor noise levels do not exceed CNEL 60 or Leq1H of 65 dB(A) during any hour.*
- 2. New noise sensitive uses proposed to be located near railroads shall incorporate noise control measures so that indoor noise levels in habitable rooms do not exceed Community Noise Equivalent Level (CNEL) 45 and outdoor noise levels do not exceed L₁₀ of 60 dB(A)*
- 3. New noise sensitive uses proposed to be located near airports:*

- a. *Shall be prohibited if they are in a Community Noise Equivalent Level (CNEL) 65 dB or greater, noise contour; or*
 - b. *Shall be permitted in the Community Noise Equivalent Level (CNEL) 60 dB to CNEL 65 dB noise contour area only if means will be taken to ensure interior noise levels of CNEL 45 dB or less.*
4. *New noise generators, proposed to be located near any noise sensitive use, shall incorporate noise control measures so that ongoing outdoor noise levels received by the noise sensitive receptor, measured at the exterior wall of the building, does not exceed any of the following standards:*
- a. *Leq1H of 55dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 6:00 a.m. to 7:00 p.m.;*
 - b. *Leq1H of 50dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 7:00 p.m. to 10:00 p.m.; and*
 - c. *Leq1H of 45dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 10:00 p.m. to 6:00 a.m.*
5. *Construction noise and vibration shall be evaluated and, if necessary, mitigated in accordance with the Construction Noise Threshold Criteria and Control Plan (Advanced Engineering Acoustics, November 2005).*

Staff Analysis: The project would legalize an ADU (to temporarily serve as a principal SFD) and facilitate the future development of a SFD. Residential uses are considered noise sensitive. The only identified noise source in the area is State Route 150, which is approximately 800 sq. ft. north of the proposed SFD. All structures on the project site are beyond the 60 db(A) noise contour for State Route 150, indicating that the dwellings and outdoor use areas will meet the noise thresholds in Policy COS-9.2.

The accessory uses and the proposed SFD would not be considered to be significant generators of noise. Nonetheless, noise from construction activities could disturb neighboring residents. To reduce the potential for noise disturbances during nighttime hours, a condition of approval would limit construction to between the hours of 7:00 am and 7:00 pm during the weekdays, with a later start time of 9:00 am on the weekends (Exhibit 4, Condition No. 22).

Based on the above discussion, the proposed project is consistent with General Plan Hazards and Safety Element Policies HAZ-9.1 and HAZ-9.2.

Initial Study Biological Assessment

Original Initial Study Biological Assessment (ISBA) report date:

Revision report date(s):

Case number:

Permit type:

Applicant:

Case Planner:



Total parcel(s) size:

Assessor Parcel Number(s):


Development proposal description:

Prepared for Ventura County Planning Division by:

As a Qualified Biologist, approved by the Ventura County Planning Division, I hereby certify that this Initial Study Biological Assessment was prepared according to the Planning Division’s requirements and that the statements furnished in the report and associated maps are true and correct to the best of my knowledge.

Qualified Biologist (signature): 		Date: 09/13/2023
Name (printed): Andy Fredell	Title: Project Manager/Senior Biologist	Company: Pax Environmental, Inc.
Phone: 805-395-0429	email: andy@paxenviro.com	
Other Biologist (signature): 		Date: 09/13/2023
Name (printed): Scott Bond Tomkinson	Title: Senior Botanist	Company: Pax Environmental, Inc.
Phone:	email: scott@paxenviro.com	

County of Ventura
 Planning Director Hearing
 Case No. PL21-0092
 Exhibit 6 - ISBA

Role: Assisted with field work, report writing, and review		
Other Biologist (signature): 		Date: 09/13/2023
Name (printed): Jeremy Huey	Title: GIS Specialist	Company: Pax Environmental, Inc.
Phone:	email: jeremy@paxenviro.com	
Role: Participant mapped data and prepared graphics for the report.		

Initial Study Checklist

This Biological Assessment DID provide adequate information to make recommended CEQA findings regarding potentially significant impacts.

	Project Impact Degree of Effect				Cumulative Impact Degree of Effect			
	N	LS	PS-M*	PS	N	LS	PS-M*	PS
Biological Resources	X				X			
Species	X				X			
Ecological Communities	X				X			
Habitat Connectivity	x	X				X		

N: No impact

LS: Less than significant impact

PS-M: Potentially significant unless mitigation incorporated

PS: Potentially significant

* DO NOT check this box unless the Biological Assessment provided information adequate to develop mitigation measures that reduce the level of impact to less than significant.

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Summary

Pax Environmental, Inc., (Pax) conducted a biological resource survey of the subject property to:

- map vegetation communities;
- inventory flora and fauna;
- assess habitat suitability for potential special-status species;
- map any sensitive biological resources on the site;
- determine if waters or wetlands exist on the property; and,
- record plant and wildlife species observed.

No federally- or state-listed endangered, threatened, or rare animal species were observed within the Survey Area (refer to Section 2.2 for a full description of the Survey Area). There is suitable habitat for special-status wildlife, including southern California legless lizard (*Anniella stebbinsi*), coastal whiptail (*Aspidoscelis tigris stejnegeri*), San Bernardino ringneck snake (*Diadophis punctatus modestus*), and coast horned lizard (*Phrynosoma blainvillii*), while Crotch's bumblebee (*Bombus crotchii*), American bumble bee (*Bombus pensylvanicus*), Dulzura pocket mouse (*Chaetodipus californicus femoralis*), white-tailed kite (*Elanus leucurus*), and California condor (*Gymnogyps californianus*) have a slight potential to occur. There is also suitable habitat present for special-status plant species, including Catalina mariposa lily (*Calochortus catalinae*), while late-flowered mariposa lily (*Calochortus fimbriatus*), umbrella larkspur (*Delphinium umbraculorum*), pale-yellow layia (*Layia heterotricha*), Robinson's pepper grass (*Lepidium virginicum var. robinsonii*), and white-veined monardella (*Monardella hypoleuca ssp. hypoleuca*) have a slight potential to occur. No impacts to sensitive species are anticipated.

Two blue line streams are located within the study area, one in the northern portion and one in the south and east portions. These blue line streams provide a corridor for wildlife to access Santa Paula creek from upland habitats. No project-level impacts to streams or connectivity features are anticipated as the agricultural storage building and the ADU are already existing, and the proposed main residence structure is more than 200 feet (ft.) from the streams.

Section 1: Construction Footprint Description

Development Proposal Description:

Keeley Mircetic (the 'Applicant') is the current owner of Assessor's Parcel Number (APN) 037-0-080-115 (the "Property") (Figure 1).

Planned Development Permit and Conditional Use Permit to legalize request for existing structures including a 1,390 square foot (ft²) agricultural storage building and a 490 ft² accessory dwelling unit (ADU). The request includes a proposed 1,493 ft² main residence (Figure 2). In addition, other structures on the property include a 1,390 ft² garage, 1,320 ft² carport, two sheds of 88 and 105 ft², a 160 ft² shipping container, and animal shade structures of 288 ft², 2,352 ft², and 240 ft².

Under previous ownership, the applicant's agricultural storage building and ADU were developed outside of the proper permitting process of Ventura County.

The applicant is seeking environmental review to meet the requirements of the Ventura County Resource Management Agency, Public Works, and Planning Division and be developed "as is" without environmental encumbrance and Code violations.

Construction Footprint Size

The construction footprint is defined as the agricultural storage building, ADU, and the proposed main residence which constitutes 0.11-acre of the 5.67-acre parcel (Figures 1 and 2). The construction footprint Survey Area (Survey Area) is comprised of these buildings and a 300 ft. buffer. 4.40-acres of the parcel and an additional 7.48-acres of the surrounding parcels including 037-0-080-125, 037-0-080-315, 037-0-020-285, 037-0-020-425, and 037-0-020-435 (Figure 1) were included in the Survey Area which was surveyed by Pax biologists.

Project Design for Impact Avoidance or Minimization

The owner has previously avoided clearing in undisturbed areas and there will be no future development within previously undisturbed areas, minimizing impact to biological resources.

Coastal Zone/Overlay Zones

There are no overlay zones, and the project is located well east of Ventura County's coastal zone.

Zoning

The parcel is completely within the rural exclusive zone. The purpose of rural exclusive zone is to provide for and maintain rural residential areas in conjunction with horticultural activities, and to provide for a limited range of service and institutional uses which are compatible with and complementary to rural residential communities. (Ventura County Non-Coastal Zoning Ordinance Sec. 8104-2.2-8/24/2023).

Elevation

The elevation on the property extends from approximately 1,525 to 1,600 ft. above mean sea level (AMSL).

Other

None

Section 2: Survey Information

2.1 Survey Purpose

Discretionary actions undertaken by public agencies are required to demonstrate compliance with the California Environmental Quality Act (CEQA). The purpose of this Initial Study Biological Assessment (ISBA) is to gather enough information about the biological resources associated with the proposed project, and their potential to be impacted by the project, to make a CEQA Initial Study significance finding for biological resources. In general, ISBAs are intended to:

- Provide an inventory of the biological resources on a project site and the values of those resources.
- Determine if a proposed project has the potential to impact any significant biological resources.
- Recommend project redesign to avoid, minimize or reduce impacts to significant biological resources.
- Recommend additional studies necessary to adequately assess potential impacts, and/or to develop adequate mitigation measures.
- Develop mitigation measures, when necessary, in cases where adequate information is available.

2.2 Survey Area Description

Survey Area Definition (per the Ventura County Planning Division): The physical area a biologist evaluates as part of a biological assessment. This includes all areas that could potentially be subject to direct or indirect impacts from the project including, but not limited to, the construction footprint; areas that would be subject to noise, light, dust, or runoff generated by the project; any required buffer areas (e.g., buffers surrounding wetland habitat). The construction footprint plus a 100 to 300-ft. buffer—beyond the required fire hazard brush clearance boundary (or 20 ft. from the cut/fill boundary or road fire hazard brush clearance boundary – whichever is greater) is generally the size of a Survey Area. Required off-site improvements, such as roads or fire hazard brush clearance, are included in the Survey Area. Survey Areas can extend off the project's

parcel(s) because indirect impacts may cross property lines. The extent of the Survey Area shall be determined by the biologist in consultation with the lead agency.

Survey Area 1 (SA1)

Location

The Mircetic property is in Ventura County east of the City of Ojai, southwest of the City of Santa Paula, and east of Ojai on the foothills of Sulphur Mountain. The property is south of State Highway 150 (Figure 1). It is mapped on the US Geological Survey’s 7.5-minute Ojai Quadrangle, unsectioned zone, Township 5 North, Range 23 West.

The Survey Area is comprised of a 300 ft. buffer around the agricultural storage building, ADU, and the proposed main residence. 4.40-acres of the parcel and an additional 7.48-acres of the surrounding parcels, including 037-0-080-125, 037-0-080-315, 037-0-020-285, 037-0-020-425, and 037-0-020-435, are included in the Survey Area buffer (Figure 1). The Survey Area was not flagged.

Survey Area Environmental Setting

The Survey Area is on the foothills of Sulphur Mountain and has a predominantly north facing sloped topography. From south to north, the elevation of the Survey Area ranges from approximately 1,525 to 1,600 ft. AMSL. Disturbance due to past use is high as a result of grading, landscaping, development, and other land use practices.

A blue line drainage extends along two adjacent parcels from the south and east of the Property flowing northeast. An additional blue line drainage extends west to east along the northern portion of the property flowing east. The drainage features are part of the Santa Clara River watershed.

A review of the National Resource Conservation Service (NRCS) Web Soil Survey (USDA NRCS 2023) indicates that the soils listed in Table 1 occur on the property parcel.

Table 1. Soils

Soil Symbol	Map Unit Name	Acres	Percent of Study Area
DbD	Diablo clay, 9 to 15 percent slopes, warm MAAT	5.44	45.81%
SvF2	Soper gravelly loam, 30 to 50 percent slopes, eroded, MLRA 20	6.44	54.19%

Cover

The subject parcel is predominantly graded, cleared, and developed as an equestrian facility. The northernmost portion of the property is predominantly native, but no development or disturbance is proposed in undisturbed areas. Additional areas of native and non-native vegetation are present on surrounding parcels within the survey buffer area and are included in the percentages in Table 2 below.

Table 2. Cover by Category

Land Cover Category	Acres	Percent of Study Area
Native vegetation	2.76	23%
Non-native vegetation	5.45	46%
Recently burned	0.00	0%
Agricultural or grazed	1.99	17%
Bare ground, cleared, or graded	3.50	29%
Buildings, paved Roads, or other impervious cover	0.17	1%
Other (ornamental plantings)	0.57	5%



Figure 1. Project location map and adjacent land uses.



Figure 2. Site, proposed uses, and survey map.

2.3 Methodology

References

Prior to assessing the Survey Area, Pax reviewed the following resources to determine the potential presence of biological resources including special-status species and sensitive habitats that could be affected by the proposed project:

- California Department of Fish and Wildlife (CDFW). 2023. California Natural Diversity Database (CNDDDB). Available at: <https://map.dfg.ca.gov/rarefind/view/RareFind.aspx> [accessed March and March and July 2023].
- California Department of Fish and Wildlife. 2023. California Sensitive Natural Communities. Dated: May 2023. Available at: <https://nrm.dfg.ca.gov/FileHandler.ashx?DocumentID=153609&inline> [accessed May 2023].
- California Native Plant Society (CNPS), Rare Plant Program. 2023. Rare Plant Inventory (online edition, v9.5). Website <https://www.rareplants.cnps.org> [accessed May 2023].
- CNPS. 2023. A Manual of California Vegetation, Online Edition. <http://www.cnps.org/cnps/vegetation/> [accessed May and July 2023]. California Native Plant Society, Sacramento, CA.
- Chesser, R. T., S. M. Billerman, K. J. Burns, C. Cicero, J. L. Dunn, B. E. Hernández-Baños, R. A. Jiménez, A. W. Kratter, N. A. Mason, P. C. Rasmussen, J. V. Remsen, Jr., and K. Winker. 2023. Check-list of North American Birds (online). American Ornithological Society. Available at: <https://checklist.americanornithology.org/taxa/> [accessed May 2023].
- Consortium of California Herbaria (CCH) [web application]. 2023. Berkeley, California: The Calflora Database [a non-profit organization]. Available: <http://www.calflora.org/> [accessed May 2023].
- eBird. 2022. eBird: An online database of bird distribution and abundance [web application]. eBird, Cornell Lab of Ornithology, Ithaca, New York. Available: <http://www.ebird.org> [accessed May 2023].
- Jameson Jr, E.W. and H.J. Peters. 2004. Mammals of California. University of California Press, Berkeley, California, USA.
- Jepson Flora Project (eds.) 2022. Jepson eFlora, <http://ucjeps.berkeley.edu/eflora/> [accessed May 2023].
- Sibley, D.A. 2003. The Sibley Field Guide to Birds of Western North America. New York. Alfred A. Knopf.
- Stebbins, R.C. and S.M. McGinnis. 2012. Field Guide to the Amphibians and Reptiles of California. University of California Press, Berkeley, California, USA.
- U.S. Fish and Wildlife Service, National Wetlands Inventory. 2023. Available at: <https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/> [accessed May 2023].

United States Department of Agriculture (USDA), Natural Resources Conservation Service (NRCS). 2023 Web Soil Survey. National Cooperative Soil Survey. Available at: <http://websoilsurvey.nrcs.usda.gov/app/HomePage.htm> [accessed May 2023].

United States Department of Interior (USDI), U.S. Geologic Survey (USGS). 2023 National Cooperative Geologic Mapping Program. National Geologic Map Database. Available at: http://ngmdb.usgs.gov/ngmdb/ngmdb_home.html [accessed May 2023].

Ventura County Planning Division (VCPD). 2022. Ventura County Locally Important Species. Ventura, California. Website (<https://vcrma.org/docs/images/pdf/planning/conservation/2022-Locally-Important-Plant-List.pdf>) [accessed May 2023].

Williams, P.H., Thorp, R.W., Richardson, L.L., and Colla, S.R. 2014. *Bumble Bees of North America: An Identification Guide*. Princeton University Press.

Pax senior biologist Andy Fredell performed a survey of the project site on March 23, 2023. Andy Fredell and Pax senior botanist Scott Bond Tomkinson performed focused botanical and wildlife surveys of the project site on May 19 and July 13, 2023. The surveyors mapped the existing vegetation communities and assessed the habitat suitability for potential special-status species. In addition, important features on site for wildlife movement were assessed, sensitive biological resources on-site were documented, and observations of plants and wildlife were recorded to species level. The entire Survey Area was surveyed using meandering transects as summarized in Table 4.

Table 3. Survey Dates and Details

Survey Date & Details							
Survey Key (1)	Survey Date (2)	Survey Area Map Key(s) (3)	Survey Type (4)	Time Period (5)	Methods/Constraints (6)	GPS (7)	Surveyors
SD1	3/23/2023	SA	ISBA	11:00 AM to 1:00 PM	The project manager conducted the survey by walking meandering transects within the Survey Area. Areas of the private property that were within the Survey Area were surveyed visually using binoculars where necessary. This survey was focused on wetland features but also covered plants and animals.	Juniper Geode Sub-meter accuracy with ESRI Field Map Application	Andy Fredell

Survey Date & Details							
Survey Key (1)	Survey Date (2)	Survey Area Map Key(s) (3)	Survey Type (4)	Time Period (5)	Methods/Constraints (6)	GPS (7)	Surveyors
SD2	5/19/2023	SA	ISBA, Botanical	12:00 PM to 3:00 PM	The project manager and one experienced biologist conducted the survey by walking meandering transects within the Survey Area. Areas of the private property that were within the Survey Area were surveyed visually using binoculars where necessary. This survey covered plants, animals, and wetland features.	Juniper Geode Sub-meter accuracy with ESRI Field Map Application	Scott Bond Tomkinson, Andy Fredell
SD3	7/13/2023	SA	ISBA, Botanical	10:00 AM to 12:00 PM	Additional surveys and data collection were conducted. This survey covered plants and animals.	Juniper Geode Sub-meter accuracy with ESRI Field Map Application	Scott Bond Tomkinson, Andy Fredell
ISBA Initial Study Biological Assessment							
Botanical Botanical Survey							

Section 3: Biological Inventory

See Appendix One for an overview of the types of biological resources that are protected in Ventura County.

3.1 Ecological Communities: Plant Communities, Physical Features and Wetland

Pax biologists examined rare and locally important plant community maps prior to conducting the field survey. Maps from the USFWS and CDFW, including a CNDDDB search for sensitive species cover a 10-mile radius from the Survey Area.

Plant Communities

Locally important or rare plant communities were found within the Survey Area(s).

Major Plant Communities Summary

Five plant communities occur within the Survey Area and are summarized below and in Table 5.

PC1 - Chamise – Sage chaparral (*Adenostoma fasciculatum* – *Salvia* spp. Shrubland Alliance)

This alliance dominates the southeasternmost corner of the Survey Area and is entirely outside of the subject parcel boundaries. As this area has not, nor will be affected by the proposed project, and permission was not granted to access this area, this area was surveyed with binoculars. There is potential for rare plants to occur in this area, but due to survey limitations it was not possible to determine their occurrence or absence. Dominant plant species observed include chamise (*Adenostoma fasciculatum*), black sage (*Salvia mellifera*), and California sagebrush (*Artemisia californica*). Other plant species observed include California buckwheat (*Eriogonum fasciculatum*) and deerweed (*Acmispon glaber*).

PC2 – Coast live oak woodland and forest (*Quercus agrifolia* Forest and Woodland Alliance)

This alliance dominates the canyons to the north, east, and south of the project area. Areas outside of the subject parcel were not surveyed due to access restrictions. The oak woodland on the northern portion of the parcel is of high quality and supports a wide variety of plant species, accounting for a large percentage of the observed plants as documented in the provided plant observation list. The coast live oak (*Quercus agrifolia*) understory is dominated by poison oak (*Toxicodendron diversilobum*), and the woodland edges support purple sage (*Salvia leucophylla*). A small population (less than 10 individuals) of southern California black walnut (*Juglans californica*) was also observed within this area but did not qualify as an independent plant community.

PC3 – Developed or Disturbed

Developed and disturbed areas account for a majority of the subject parcel's current land use. These areas have been graded and predominantly support a developed equestrian facility. Prior to grading and development, as inferred from historic satellite imagery, this area would have likely supported a mosaic of coast live oak woodland and forest, wild oats and annual brome grasslands, and chamise – sage chaparral.

PC4 – Undifferentiated Exotic Vegetation

These areas are landscaped portions of the subject parcel and an observed stand of exotic trees to the south of the subject parcel. Exotic species include iron bark eucalyptus, rosemary, and several planted coast live oaks (*Quercus agrifolia*).

PC5 – Wild oats and annual brome grasslands (*Avena* spp. – *Bromus* spp. Herbaceous Semi-Natural Alliance)

This alliance surrounds the subject parcel on most sides to some extent. The area dominated by this community to the east of the subject parcel appears to have been type converted from chamise – sage chaparral after the Thomas Fire, as inferred from historic satellite imagery. These areas are grazed by cattle at least on the eastern side of the subject parcel. Dominant species include wild oats (*Avena*

fatua & *Avena barbata*), ripgut brome (*Bromus diandrus*), tumbleweed (*Salsola tragus*), coastal heron’s bill (*Erodium cicutarium*). Native species that were observed at a lower percentage include turkey-mullein (*Croton setiger*), clustered tarweed (*Deinandra fasciculata*), and American bird’s foot trefoil (*Acmispon americanus*)

Table 4. Plant Communities Located Within the Study Area.

Plant Communities								
Map Key (1)	MCV Alliance	MCV Association	Misc. (2)	Status (3)	Condition (4)	Acres Total	Acres Impacted	Comments (5)
PC1	Chamise – Sage chaparral	Adenostoma fasciculatum – Salvia mellifera		N/A	Intact	1.06	0	Located on adjacent parcel
PC2	Coast live oak woodland and forest	Quercus agrifolia / Toxicodendron diversilobum		Cal OWA LIC	Intact	1.70	0	Outside of development envelope
PC3	N/A	N/A	Developed disturbed	N/A		3.67	0	Structures footprints and disturbance already existing, no additional disturbance proposed
PC4	N/A	N/A	Undifferentiated exotic vegetation	N/A		0.57	0	Existing ornamental plantings
PC5	Wild oats and annual brome grasslands	Bromus diandrus – Avena spp.		N/A		4.89	0	Not present within subject parcel, only observed in surrounding areas
Totals						11.88	0	
LIC Locally Important Plant Community ESHA Environmentally Sensitive Habitat Areas (Coastal Zone) CDFG Rare: G1 or S1 Critically Imperiled Globally or Subnationally (state) G2 or S2 Imperiled Globally or Subnationally (state) G3 or S3 Vulnerable to extirpation or extinction Globally or Subnationally (state) Cal OWA Protected by the California Oak Woodlands Act								

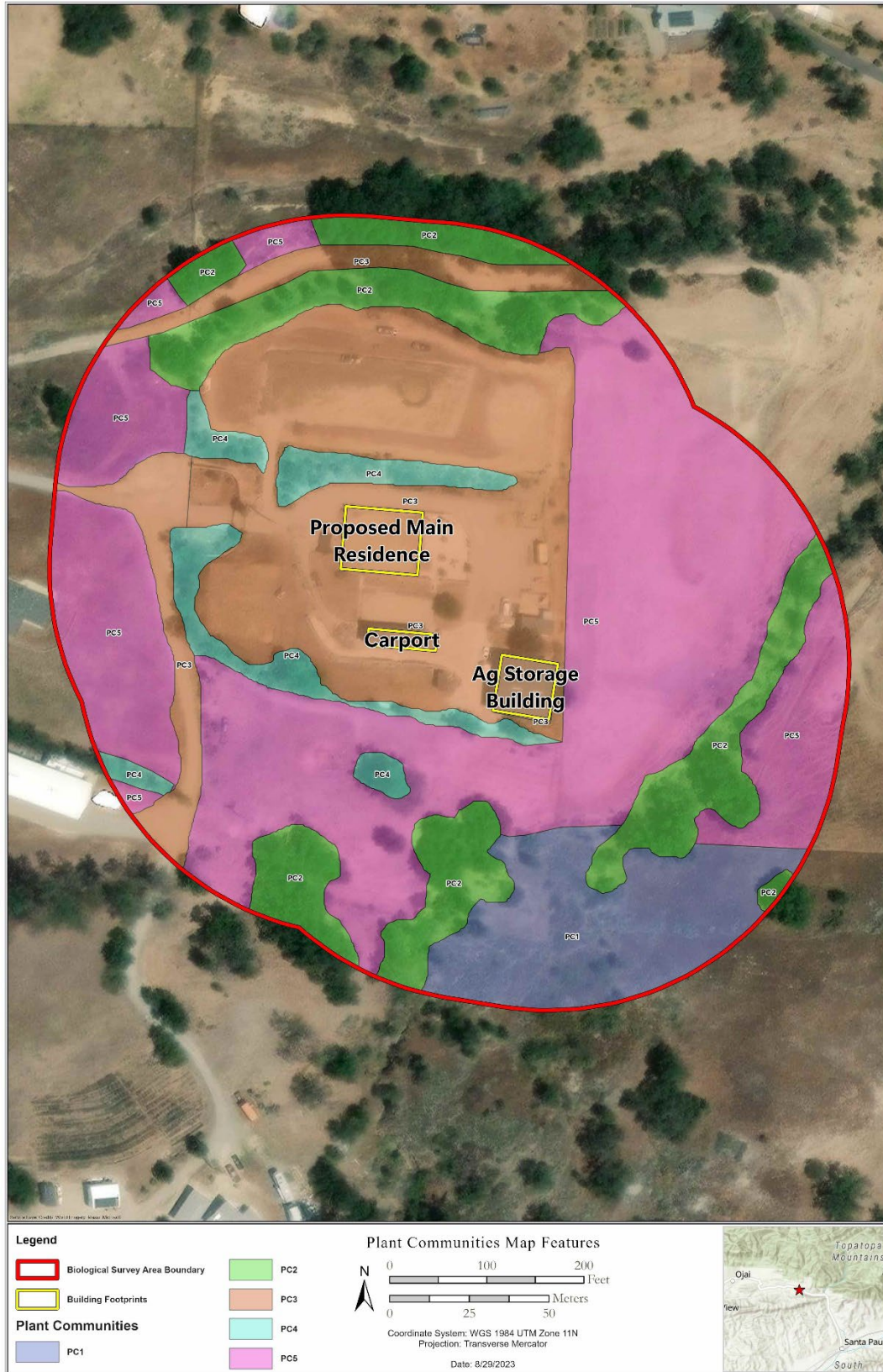


Figure 3. Vegetation communities in the Survey Area.

Waters and Wetlands

See Appendix One for an overview of the local, state, and federal regulations protecting waters, wetlands, and riparian habitats. Wetlands are complex systems; delineating their specific boundaries, functions, and values generally takes a level of effort beyond the scope of an Initial Study Biological Assessment (ISBA). The goal of the ISBA, with regard to waters and wetlands, is simply to identify whether they may exist or not and to determine the potential for impacts to them from the proposed project. This much information can be adequate for designing projects to avoid impacts to waters and wetlands. Additional studies are generally warranted to delineate specific wetland boundaries and to develop recommendations for impact minimization or impact mitigation measures.

Waters and/or wetlands were found within the Survey Area(s).

Waters and Wetlands Summary

Two waters blue line drainages are present within the study area, one on the north portion (W1) and one on the south and east portion (W2). Both are fed by runoff and do not contain riparian vegetation. The National Wetland Inventory (NWI) defines drainage W1 as palustrine forested and seasonally flooded. Drainage W2 is defined as palustrine forested and seasonally flooded on its southern portion and intermittent riverine streambed that is seasonally flooded on its northern portion. Drainage W1 was flowing during the March and May 2023 surveys but dry during the July 2023 survey. W2 was flowing during the March 2023 survey and dry during the May and July 2023 surveys. Table 6 summarizes the characteristics of these two waters' features.

The significance of these water features is considered unknown for the purposes of this report however a 100 ft. buffer has been generated as a general precaution. No impacts to either of these waters' features are anticipated as the agricultural storage building and ADU are already existing, and the proposed residence is greater than 200 ft. from the waters feature. A 100 ft. buffer has been created to avoid any impacts.

In addition to the 100 ft. buffer, the 200 ft. Ventura County surface water feature buffer is also shown in Figure 4. This is further discussed in section 3.3 Wildlife Connectivity.

Table 5. Waters and wetlands

Waters and Wetlands						
Map Key (1)	Wetland Type (2)	Wetland Name (if any)	Wetland Status (3) (if known)	Wetland/Water Size (4)	Hydrologic Status (5)	Primary Water Source (6)
W1	Blue Line Stream/drainage	Unnamed	Unknown	0.37 acre	Dry	Runoff

Waters and Wetlands						
Map Key (1)	Wetland Type (2)	Wetland Name (if any)	Wetland Status (3) (if known)	Wetland/Water Size (4)	Hydrologic Status (5)	Primary Water Source (6)
W2	Blue Line Stream/drainage	Unnamed	Unknown	0.25 acre	Flowing	Runoff
USACE U.S. Army Corps of Engineers regulated CDFW California Department of Fish & Wildlife regulated County County General Plan protected wetland WPD Co. Watershed Protection District (red-line stream)						
Waters and Wetlands (continued)						
Map Key	County Wetland Significance (7)	Wetland Distance from Project (8)	Comments (9)			
W1	Unknown	150'	Drainage is a tributary of Santa Paula Creek. Contains healthy, relatively undisturbed non-riparian habitat with few invasive species.			
W2	Unknown	150	Drainage is a tributary of Santa Paula Creek. Contains healthy, relatively undisturbed non-riparian habitat with few invasive species.			

Table 6. Water/wetland buffers

Water/Wetland Buffers		
Map Key (1)	Recommended Buffer (2)	Comments
W1	100 ft.	No impacts are anticipated from the project as the agricultural storage building and ADU are already existing, and the proposed residence is greater than 200 ft. from the waters feature. A 100 ft. buffer has been created to avoid any impacts.
W2	100 ft.	No impacts are anticipated from the project as the agricultural storage building and ADU are already existing, and the proposed residence is greater than 200 ft. from the waters feature. A 100 ft. buffer has been created to avoid any impacts.



Figure 4. Wetland and surface water within the Survey Area.

3.2 Species

Observed Species

A total of 132 plant species were observed within the Survey Area, including 65 native species (49%) and 67 non-native species (51%). A total of 39 wildlife species were observed or detected within the Survey Area. Refer to Appendix 2 for a list of observed plant and wildlife species.

Protected Trees

Six protected trees are within 100 ft. of the construction footprint. It appears that these trees were planted in the past and are not natural. No impacts are anticipated because the agricultural storage building and ADU are already existing, and the proposed residence is not in the dripline of any of the trees.

Table 7. Protected trees within 100 ft. of the project footprint

Protected Trees				
Map Key (1)	Species (2)	Common Name	Girth (3) (circumference)	Impact (4)
T1	<i>Quercus agrifolia</i>	Coast live oak	37.7 inches	None
T2	<i>Quercus agrifolia</i>	Coast live oak	81.6 inches	None
T3	<i>Quercus agrifolia</i>	Coast live oak	84.8 inches	None
T4	<i>Quercus agrifolia</i>	Coast live oak	44.0 inches	None
T5	<i>Quercus agrifolia</i>	Coast live oak	37.7 inches	None
T6	<i>Quercus agrifolia</i>	Coast live oak	34.6 inches	None

Special-Status Species and Nests

See Appendix One for definitions of the types of special-status species that have federal, state, or local protection and for more information on the regulations that protect birds’ nests.

Special-status species were observed or have a moderate to high potential to occur within the Survey Area(s).

Habitat suitable for nests of birds protected under the Migratory Bird Treaty Act does exist within the Survey Area(s).

Special-Status Species Summary

No sensitive species were observed on the property.

Potential Species

The table below lists all special-status species that could potentially occur at the Project site and that are recorded in the CNDDDB within 10 miles of the Survey Area.

Definitions of Low, Moderate and High Potential to Occur

When reviewing proposed projects for impacts to special-status species, habitat suitability, species' preferred habitats, known range of the species, and quality of habitat on the project site are reviewed, as well as past recorded occurrences of the species on or near the project site. If the species was not observed on the project site, the potential for the species to occur on the site must be described. The potential can be low, moderate, or high. These degrees of potential for species occurrence are generally defined below.

High potential for occurrence: (1) The habitat on the project site is the species' preferred habitat and is in good condition (has not been degraded by human disturbance); and/or (2) there is record of the species occurring on or adjacent to the project site.

Moderate potential for occurrence: (1) The habitat on the project site is the species' preferred habitat, but it has been disturbed or disturbance encompasses the project site, reducing the quality of the habitat to below a high likelihood that the species would inhabit it; or (2) the habitat on the project site is not the species' preferred habitat, but it contains a similar structure to the preferred habitat and the species has been observed in this habitat type; or (3) the habitat on the project site is not the species' preferred habitat, but there is record of the species occurring in the immediate vicinity of the project site, and there is potential for the species to forage within the habitat on-site.

Low potential for occurrence: The habitat on the project site is not the species' preferred habitat, the habitat is highly disturbed, and/or there are no records of the species occurring on or near the project site.

Observed and Potentially Occurring Special-Status Species						
Map Key (1)	Survey/ Source (2)	Scientific Name (3)	Common Name	Species' Status (4)	Potential to Occur (5)	Habitat Requirements (6)
SSP1	CNDDDB	<i>Acanthoscyphus parishii</i> var. <i>abramsii</i>	Abrams' oxytheca	S1S2, 1B.2	No	Chaparral with sandy soils between 6,200–8,500 ft. elevation. Bloom period: June – Oct. No suitable habitat.
SSP2	CNDDDB	<i>Aphyllon validum</i> ssp. <i>validum</i>	Rock Creek broomrape	S2, 1B.2	No	Chaparral and pinyon-juniper woodland on decomposed granite slopes between 4,100 – 6,560 ft. elevation. Bloom period: May - Sep. No suitable habitat.
SSP3	CNDDDB	<i>Astragalus didymocarpus</i> var. <i>milesianus</i>	Miles' milk-vetch	S2, 1B.2	No	Clay soils in coastal scrub between 164 and 1,263 ft. elevation. Bloom period: May- Sept. No suitable habitat.
SSP4	CNDDDB	<i>Astragalus pycnostachyus</i> var. <i>lanosissimus</i>	Ventura Marsh milk-vetch	FE, SE, G2T1S1, 1B.1	No	Marshes, swamps, and coastal scrub or dune between 0 – 200 ft. elevation. Bloom period: May - Oct.

Observed and Potentially Occurring Special-Status Species						
Map Key (1)	Survey/ Source (2)	Scientific Name (3)	Common Name	Species' Status (4)	Potential to Occur (5)	Habitat Requirements (6)
SSP5	CCH, CalFlora	<i>Calochortus catalinae</i>	Catalina mariposa-lily	4.2, S3S4	High	Grows in Chaparral, Valley Grassland, Foothill Woodland, Coastal Sage Scrub, particularly in heavy soils, open grassland, or scrub. Observed adjacent to Survey Area, with other known occurrences within 5 miles.
SSP6	CNDDDB	<i>Calochortus fimbriatus</i>	Late-flowered mariposa-lily	G3S3, 1B.3	Low	Chaparral, cismontane woodland, riparian woodland.in dry, open coastal woodland, chaparral; on serpentine less than 3,000 ft. elevation. Bloom period: June- Aug. Marginally suitable habitat.
SSP7	CNDDDB	<i>Calochortus palmeri</i> var. <i>palmeri</i>	Palmer's mariposa-lily	G3T2S2, 1B.2	No	Meadows and seeps, chaparral, and lower montane coniferous forests between 3,937 - 7,218 ft. elevation. Bloom period: Apr. - Jul. No suitable habitat.
SSP8	CNDDDB	<i>Calochortus plummerae</i>	Plummer's mariposa-lily	4.2	No	Dry, rocky chaparral and yellow pine forests below 5,577 ft. elevation. Bloom period: May - Jul. No suitable habitat, no nearby records.
SSP9	CNDDDB	<i>Delphinium umbraculorum</i>	Umbrella larkspur	G3S3, 1B.3	Low	Mesic sites in cismontane woodland and chaparral between 1,312 and 6,810 ft. elevation. Bloom period: April- June. No suitable habitat, only one nearby record.
SSP10	CNDDDB	<i>Fritillaria ojaiensis</i>	Ojai fritillary	G3S3, 1B.2	No	Rocky soils among broad-leaved upland forest (mesic), chaparral, lower montane coniferous forest, and cismontane woodland between 310 and 3,740 ft. elevation. Bloom period: Feb.- May. No suitable habitat.
SSP11	CNDDDB	<i>Horkelia cuneata</i> var. <i>puberula</i>	Mesa horkelia	S1, 1B.1	No	Closed-cone coniferous forest, coastal scrub, coastal dunes, chaparral between 15 and 1,410 ft. elevation. Bloom period: Feb.-July. No suitable habitat, beyond known elevation range.

Observed and Potentially Occurring Special-Status Species						
Map Key (1)	Survey/ Source (2)	Scientific Name (3)	Common Name	Species' Status (4)	Potential to Occur (5)	Habitat Requirements (6)
SSP12	CNDDDB	<i>Imperata brevifolia</i>	California satintail	G3S3, 2B.1	No	Mesic sites in coastal scrub, chaparral, riparian scrub, Mojavean desert scrub, and meadows/seeps between 10 – 4,905 ft. elevation. Bloom period: Mar.–May. No suitable habitat.
SSP13	CNDDDB	<i>Layia heterotricha</i>	Pale-yellow layia	G2S2, 1B.1	Low	Cismontane woodland, coastal scrub, pinyon and juniper woodland, and valley/foothill grassland between 295 – 5,905 ft. elevation. Bloom period: Mar.–June. Marginal habitat, no nearby records.
SSP14	CNDDDB	<i>Lepidium virginicum</i> var. <i>robinsonii</i>	Robinson's pepper-grass	S3, 4.3	Low	Dry, disturbed areas, bottomland, riverbanks, meadows, fields pastures, cliffs, scrub below 9186 ft. elevation. Bloom period: Jan. - Jul. Marginal habitat, only one nearby record.
SSP15	CNDDDB	<i>Monardella hypoleuca</i> ssp. <i>hypoleuca</i>	White-veined monardella	S3, 1B.3	Low	Dry slopes in chaparral, cismontane woodland less than 5,000 ft. elevation. Bloom period: May- Oct. Marginal habitat, few nearby records.
SSP16	CNDDDB	<i>Navarretia ojaiensis</i>	Ojai navarretia	G2S2, 1B.1	No	Clay soils in chaparral, cismontane woodland, and coastal scrub between 900 – 3,280 ft. elevation. Bloom period: Jan. - Apr. No suitable habitat.
SSP17	CNDDDB	<i>Pseudognaphalium leucocephalum</i>	White rabbit-tobacco	S2, 2B.2	No	Riparian woodland, cismontane woodland, coastal scrub, chaparral with sandy, gravelly soils between 115 & 1,690 ft. elevation. Bloom period: Aug. - Nov. No suitable substrate.
SSP18	CNDDDB	<i>Sagittaria sanfordii</i>	Sanford's arrowhead	G3S3, 1B.2	No	Marshes and swamps between 0 – 1,985 ft. elevation. Bloom period: May - Jun. No suitable substrate

Observed and Potentially Occurring Special-Status Species						
Map Key (1)	Survey/Source (2)	Scientific Name (3)	Common Name	Species' Status (4)	Potential to Occur (5)	Habitat Requirements (6)
INVERTEBRATES						
SSP19	CNDDB	<i>Bombus crotchii</i>	Crotch's Bumblebee	SC, G2, S2	Low	Crotch's bumblebee is restricted to coastal California east towards the Sierra-Cascade Crest and, less commonly, in western Nevada. It prefers open grasslands and scrub and nests underground. This species' food plants include <i>Asclepias</i> , <i>Chaenactis</i> , <i>Lupinus</i> , <i>Medicago</i> , <i>Phacelia</i> , and <i>Salvia</i> , some of which were present in the Survey Area.
SSP20	CNDDB	<i>Bombus pensylvanicus</i>	American bumble bee	G3G4, S2	Low	This American bumble bee is widespread in the desert west and adjacent areas of California and Oregon. It nests mostly on the surface of the ground, among long grass, but occasionally underground. Adults are generalized nectar and pollen gathers. Food plants include <i>Astragalus</i> , <i>Cirsium</i> , <i>Cornus</i> , <i>Dalea</i> , <i>Helianthus</i> , <i>Kallstroemia</i> , <i>Liatris</i> , <i>Mentzelia</i> , <i>Silphium</i> , <i>Solanum</i> , <i>Trifolium</i> , and <i>Vicia</i> , some of which were present in the Survey Area.
SSP21	CNDDB	<i>Linderiella occidentalis</i>	California linderiella	G2G3, S2S3	No	California linderella is one of the most widely distributed of the California endemic large branchiopods and is documented throughout the Central Valley to the Coast including near Sulfur Mountain in Ventura County. Found in a variety of natural, and artificial, seasonally ponded habitat types including vernal pools, swales, ephemeral drainages, stock ponds, reservoirs, ditches, backhoe pits, and ruts caused by vehicular activities. There is no suitable habitat in the Survey Area and the most recent record within 10-miles is from 1986.
FISHES						
SSP22	CNDDB	<i>Catostomus santaanae</i>	Santa Ana sucker	FT, G1	No	The Santa Ana sucker inhabits the Santa Ana, Santa Clara, San Gabriel, and Los Angeles rivers of Southern California. There is no suitable habitat in the Survey Area due to the absence or permanent or near permanent water.

Observed and Potentially Occurring Special-Status Species						
Map Key (1)	Survey/Source (2)	Scientific Name (3)	Common Name	Species' Status (4)	Potential to Occur (5)	Habitat Requirements (6)
SSP23	CNDDDB	<i>Gasterosteus aculeatus williamsoni</i>	Unarmored threespine stickleback	FE, SE, GST1	No	The unarmored threespine stickleback inhabits southern California coastal streams. There is no suitable habitat in the Survey Area due to the absence or permanent or near permanent water.
SSP24	CNDDDB	<i>Gila orcuttii</i>	Arroyo chub	SSC, G2	No	Arroyo chub occur in coastal streams of Southern California in sandy and muddy bottoms of flowing pools and intermittent streams. There is no suitable habitat in the Survey Area due to the absence or permanent or near permanent water.
SSP25	CNDDDB	<i>Oncorhynchus mykiss irideus</i> pop. 10	Steelhead	FE, G5T1Q	No	Depending on what phase of their life history strategy they are in, steelhead live in freshwater rivers and streams, estuaries, and marine environments. Steelhead occupy freshwater streams or lakes during spawning and then migrate back through brackish water to the open ocean to live during their adult non-spawning phase of their life cycle. Steelhead spend most of the year in estuaries or open ocean and only return to fresh water to spawn. There is no suitable habitat in the Survey Area due to the absence or permanent or near permanent water.
AMPHIBIANS						
SSP26	CNDDDB	<i>Anaxyrus californicus</i>	Arroyo toad	FE, SSC, G2G3, S2	No	The arroyo toad occurs in semi-arid habitats near washes or intermittent streams with low-flow pools, alluvial benches or upland habitats that include friable soils for burrowing. There is no suitable habitat in the Survey Area due to the absence or permanent or near permanent water.
SSP27	CNDDDB	<i>Rana boylei</i>	Foothill yellow-legged frog	SCT, S3	No	The foothill yellow-legged frog occurs in rocky streams in valley-foothill hardwood, valley-foothill hardwood-conifer, valley-foothill riparian in Ponderosa pine, mixed conifer, coastal scrub, mixed chaparral, and wet meadow habitat types from sea level to 6,000 feet. in elevation. There is no suitable habitat in the Survey Area due to the absence or permanent or near permanent water.

Observed and Potentially Occurring Special-Status Species						
Map Key (1)	Survey/Source (2)	Scientific Name (3)	Common Name	Species' Status (4)	Potential to Occur (5)	Habitat Requirements (6)
SSP28	CNDDDB	<i>Rana draytonii</i>	California red-legged frog		No	The California red-legged frog occurs in lowlands and foothills in or near deep permanent water sources with dense, shrubby or emergent riparian vegetation. There is no suitable habitat in the Survey Area due to the absence of permanent or near permanent water.
REPTILES						
SSP29	CNDDDB	<i>Anniella stebbinsi</i>	Southern California legless lizard	SSC, S3	Moderate	Legless lizards live mostly underground, burrowing in loose sandy moist warm soil with plant cover, and foraging in moist leaf litter. Occurs in sparsely vegetated areas of beach dunes, chaparral, pine-oak woodlands, desert scrub, sandy washes, and stream terraces with sycamores, cottonwoods, or oaks. Leaf litter under trees and bushes in sunny areas. Suitable habitat exist within the oak woodlands on the north and south portions of the Survey Area.
SSP31	CNDDDB	<i>Aspidoscelis tigris stejnegeri</i>	Coastal whiptail	SSC, S3	High	The coastal western whiptail is a lizard that occurs in coastal Southern California, west of the Peninsular Ranges from Ventura County south into Baja California, Mexico. It occurs in a variety of plant communities and habitats including chaparral, woodland, and riparian woodlands (Stebbins 2003). Their diet consists of small invertebrates, including spiders, scorpions, centipedes, termites, and small lizards. Suitable habitat is present within the native plant communities and adjacent communities of the Survey Area.
SSP32	CNDDDB	<i>Diadophis punctatus modestus</i>	San Bernardino ringneck snake		Moderate	The ring-necked snake prefers moist habitats, including wet meadows, rocky hillsides, gardens, farmland, grassland, chaparral, mixed coniferous forests, and woodlands. Suitable habitat exist within the oak woodlands, chamise, and adjacent communities of the Survey Area.

Observed and Potentially Occurring Special-Status Species						
Map Key (1)	Survey/Source (2)	Scientific Name (3)	Common Name	Species' Status (4)	Potential to Occur (5)	Habitat Requirements (6)
SSP30	CNDDDB	<i>Actinemys pallida</i>	Southwestern pond turtle	SSC	No	The western pond turtle is an aquatic species found in ponds, marshes, rivers, streams, and irrigation ditches, usually with aquatic vegetation. Needs basking sites and suitable (sandy banks or grassy open fields) upland habitat up to 2,000 feet from water for egg-laying. There is no suitable habitat in the Survey Area due to the absence or permanent or near permanent ponded water.
SSP33	CNDDDB	<i>Phrynosoma blainvillii</i>	Coast Horned Lizard	SSC, S3S4	Moderate	The coast horned lizard frequents a wide variety of habitats but is most common in lowlands along sandy washes with scattered low bushes. This species requires open areas for sunning, bushes for cover, patches of loose soil, and an abundant supply of ants and other insects. Suitable habitat is present within the native plant communities and adjacent non-native communities of the Survey Area.
SSP34	CNDDDB	<i>Thamnophis hammondi</i>	Two-striped Gartersnake	SSC, S3	No	The two-stripe garter snake occurs in coastal California from vicinity of Salinas to northwest Baja California. It can be found from sea level to about 7,000 feet. This highly aquatic species is found in or near permanent fresh water and often along streams with rocky beds and riparian growth. There is no suitable habitat in the Survey Area due to the absence or permanent or near permanent water.
SSP35	CNDDDB	<i>Thamnophis sirtalis infernalis</i>	South Coast Garter Snake	SSC	No	South Coast garter snakes are distributed widely in coastal habitats but requires permanent or near-permanent bodies of water such as marshland, shallow water, and dunes. The sag ponds in the San Andreas Fault rift zone and freshwater coastal marshes are their primary habitat. <i>T. s. infernalis</i> also temporarily occurs in grassland and some woodland. There is no suitable habitat in the Survey Area due to the absence or permanent or near permanent water.
BIRDS						

Observed and Potentially Occurring Special-Status Species						
Map Key (1)	Survey/Source (2)	Scientific Name (3)	Common Name	Species' Status (4)	Potential to Occur (5)	Habitat Requirements (6)
SSP36	CNDDDB	<i>Agelaius tricolor</i>	Tricolored blackbird	ST, S1	No	Tricolored blackbirds occur in large freshwater marshes with cattail, bulrush, or tule. They forage in open habitats such as farm fields, pastures, cattle pens, large lawns. Largely endemic to California, they require open water, protected nesting substrate, and foraging area with insect prey within a few km of the colony. This species typically nests in marshy or streamside areas with dense vegetation. There is no suitable habitat in the Survey Area due to the absence of permanent or near permanent water.
SSP37	CNDDDB	<i>Athene cunicularia</i>	Burrowing owl	SSC, S3	No	Burrowing owls occur in open, treeless areas with low, sparse vegetation, and gently sloping terrain. Habitats include grasslands, prairies, deserts, and steppe environments, on pastures, agricultural fields, road embankments, urban vacant lots, airfields, golf courses. Associated with high densities of burrowing mammals. The absence of sufficiently sized burrows and openings, topography, and dense vegetation make this species' presence unlikely within the Survey Area.
SSP38	CNDDDB	<i>Coccyzus americanus occidentalis</i>	Western yellow-billed cuckoo	FT, SE	No	The yellow-billed cuckoo is a riparian forest nester, along the broad, lower flood-bottoms of larger river systems. It nests in riparian willow thickets; often mixed with cottonwoods, with lower story of blackberry, nettles, or wild grape; no such habitat occurs within the Survey Area.
SSP39	CNDDDB	<i>Elanus leucurus</i>	White-tailed kite	SFP, S3	Low (foraging) No (nesting habitat)	White-tailed kites occur in savannas, open woodlands, marshes, oak and desert grasslands, river valleys, partially cleared lands, and cultivated fields. They require trees for perching and nesting. Suitable foraging habitat is present within the nearby agricultural and open space areas but only marginal nesting habitat is present within the Survey Area.

Observed and Potentially Occurring Special-Status Species						
Map Key (1)	Survey/Source (2)	Scientific Name (3)	Common Name	Species' Status (4)	Potential to Occur (5)	Habitat Requirements (6)
SSP40	CNDDDB	<i>Empidonax traillii extimus</i>	Southwestern willow flycatcher	FE, SE, G5T2	No	Southwestern willow flycatcher migrates widely throughout California and is detected in a variety of wetland and upland habitats. It breeds in dense riparian habitats along rivers, streams, or other wetlands. The vegetation can be dominated by dense growths of willows (<i>Salix</i> sp.), mulefat (<i>Baccharis</i> sp.), or other shrubs and medium-sized trees. Nesting habitat may also have an overstory of cottonwood (<i>Populus</i> sp.), tamarisk (<i>Tamarix</i> sp.), or other trees. No suitable habitat is present within the Survey Area.
SSP41	CNDDDB	<i>Gymnogyps californianus</i>	California condor	FE, SE, S1	Low (foraging) No (nesting habitat)	California condors use expansive open grasslands and sparse oak woodlands for foraging. They roost on trees or snags, or on isolated rocky outcrops and cliffs. Nests are placed in remote shallow caves and rock crevices on cliffs. This species has been detected in mountains north and east of the Survey Area; it may fly over or forage there.
SSP42	CNDDDB	<i>Polioptila californica</i>	Coastal California gnatcatcher	FT, SSC, S2	No	Coastal California gnatcatchers occur in coastal sage scrub dominated by California sagebrush. Other habitats include desert scrub, and coastal dune scrub. They have been recorded 5 miles northwest and southeast of the Survey Area, but this area lacks the ideal shrub composition and density to support the species.
SSP43	CNDDDB	<i>Riparia riparia</i>	bank swallow	ST, S3	No	Bank swallows occur in riparian ecosystems, particularly rivers in the larger lowland valleys where alluvial soils exist. Nesting colonies are located in vertical banks or bluffs in friable soils. They tend to avoid forests, woodlands, or areas where they cannot find appropriate nesting habitats. No suitable habitat for this species is present within the Survey Area.

Observed and Potentially Occurring Special-Status Species						
Map Key (1)	Survey/Sour ce (2)	Scientific Name (3)	Common Name	Species' Status (4)	Potential to Occur (5)	Habitat Requirements (6)
SSP44	CBDDDB	<i>Setophaga petechia</i>	Yellow warbler	SSC, S3S4	No	Yellow warblers breed in shrubby thickets and woods, particularly along wetted water courses and wetlands. They are often associated with tall willows (<i>Salix</i> spp.), alders (for example, <i>Alnus rhombifolia</i>), and cottonwoods (<i>Populus</i> spp.) across North America. There is no suitable habitat in the Survey Area due to the absence or permanent or near permanent water.
SSP45	CNDDB	<i>Vireo bellii pusillus</i>	Least Bell's vireo	FE, S, S2	No	Obligate riparian species during breeding season. Prefer early successional riparian habitat where flowing water is present. There is no suitable habitat in the Survey Area due to the absence or permanent or near permanent water.
MAMMALS						
SSP46	CNDDB	<i>Antrozous pallidus</i>	Pallid Bat	SSC	Low	The pallid bat inhabits deserts, grasslands, shrublands, woodlands, and forests. It is most common in open, dry habitats with rocky areas that it uses for roosting. Roosts must protect bats from elevated temperatures. No suitable roosting sites occur in the Survey Area, but this species may still use the airspace above it as foraging habitat; it is not expected to occur there, except incidentally.
SSP47	CNDDB	<i>Chaetodipus californicus femoralis</i>	Dulzura pocket mouse	SSC, G5T3, S3	Low	Coastal scrub, chaparral, and grasslands, especially at the interface of chaparral and grassland. Suitable habitat is present however the nearest record is greater than 8-miles away with no recent records of note.

Observed and Potentially Occurring Special-Status Species						
Map Key (1)	Survey/Source (2)	Scientific Name (3)	Common Name	Species' Status (4)	Potential to Occur (5)	Habitat Requirements (6)
SSP48	CNDDDB	<i>Lasiurus cinereus</i>	Hoary Bat	SSC, S4	Low	The hoary bat is associated with desert areas, in particular riparian habitats and oases. Palms may be a vital component of the species' roosting and nesting habitat and there is some speculation that the species is expanding its range with the spreading use of palms as ornamental trees. Individuals roost in trees, hanging from the underside of a leaf. They are commonly found in the southwestern U.S. roosting in the skirt of dead fronds in both native and non-native palm trees. No suitable roosting sites occur in the Survey Area, but this species may still use the airspace above it as foraging habitat; it is not expected to occur there, except incidentally.
SSP49	CNDDDB	<i>Taxidea taxus</i>	American Badger	SSC	No	Badgers prefer relatively flat or gently sloping areas with friable soils, and relatively open, uncultivated ground. Grasslands, savannas, and mountain meadows near timberline are also used. Burrows with tell-tale scratch-marks on the burrow entrance sides indicate the likely presence of this species. Limited habitat is present within the construction Survey Area and no sign or burrows were found during the surveys.

Special-Status Species (continued)				
Map Key	Adequate Habitat (growing conditions Onsite)	Adequate Habitat Size (7)	Acreage Impacted	Comments (8)
SSP5	Yes	Yes	0	Observed adjacent to Survey Area, with other known occurrences within 5 miles.
SSP29	Yes	Yes	0	Suitable habitat exists within the oak woodlands on the north and south portions of the Survey Area.
SSP30	Yes	Yes	0	Suitable habitat is present within the native plant communities and adjacent communities of the Survey Area.

Special-Status Species (continued)				
Map Key	Adequate Habitat (growing conditions Onsite)	Adequate Habitat Size (7)	Acreage Impacted	Comments (8)
SSP31	Yes	Yes	0	Suitable habitat exists within the oak woodlands, chamise, and adjacent communities of the Survey Area.
SSP33	Yes	Yes	0	Suitable habitat is present within the native plant communities and adjacent non-native communities of the Survey Area.
FE Federal Endangered FT Federal Threatened FC Federal Candidate Species FSC Federal Species of Concern SFP California Fully Protected Species SE California Endangered ST California Threatened SR California Rare SSC California Species of Special Concern CDFG/NatureServe Rank G1 or S1 - Critically Imperiled Globally or Subnationally (state) G2 or S2 - Imperiled Globally or Subnationally (state) G3 or S3 - Vulnerable to extirpation or extinction Globally or Subnationally (state) California Rare Plant Rank (RPR) RPR 1A - California Native Plant Society/CDFG listed as presumed to be extinct. RPR 1B - California Native Plant Society/CDFG listed as rare or endangered in California and elsewhere. RPR 2 - California Native Plant Society/CDFG listed as rare or endangered in California but more common elsewhere. RPR 3 - California Native Plant Society/CDFG listed as in need of more information. RPR 4 - California Native Plant Society/CDFG listed as of limited distribution or infrequent throughout a broader area in California. LIS Locally Important Species				

Nesting Bird Summary

The existing trees and shrubs associated with vegetation in the Survey Area provide suitable nesting, roosting, and perching habitat for migratory birds, including raptors. Barn swallows were observed nesting in the agricultural storage building during both May and July 2023 surveys. Although some species reuse their nests from year to year, most construct new nests. Nesting birds, protected by the MBTA and California Fish and Game (CFG) Codes, nest within the Survey Area.

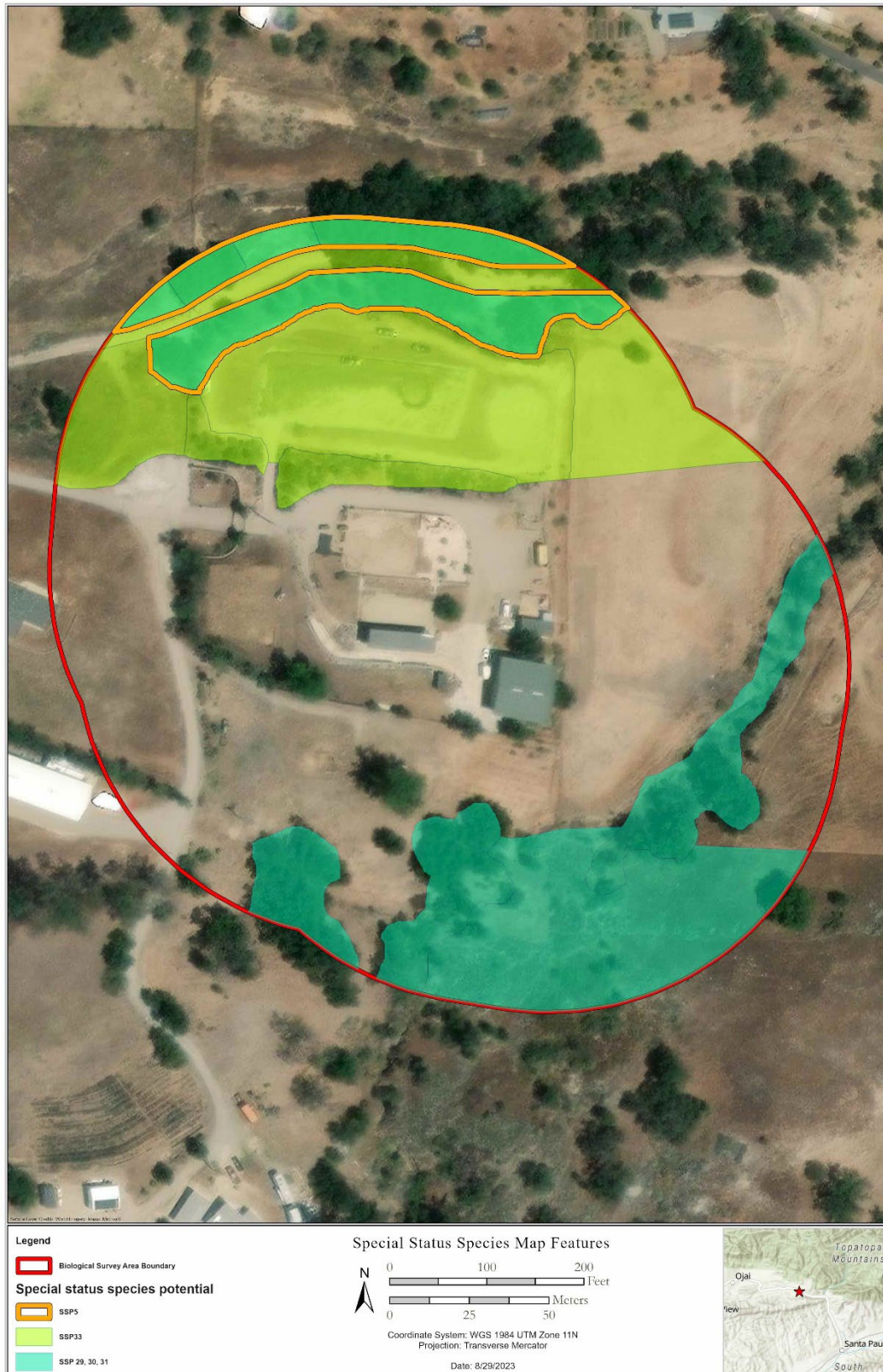


Figure 6. Sensitive species with high or moderate occurrence probabilities map.

3.3 Wildlife Movement and Connectivity

(Initial Study Checklist D)

Background Research

Before conducting the field visit, Pax biologists examined available information, analyzing potential habitat and connectivity features. Following review of available information including the wildlife corridors map, waterbodies of Ventura County, and other documents, Pax completed the analysis shown in Figure Figures 4 and 7.

Wildlife movement or connectivity features, or evidence thereof, were found within the Survey Area(s).

The parcel and Survey Area are located within the Sierra Madre–Castaic Regional Wildlife Corridor (Figure 7). Creeks and canyons are often used by wildlife to move between foraging areas, as natal dispersal routes, and natural migration corridors as “paths of least resistance.” The surface water features on the east and south portions of the study area likely provide dispersal and migratory corridors for wildlife to access Santa Paula Creek from the upland portions of Sulphur Mountain (Figure 4). The survey did not document obvious tracks and other signs of being routinely used by medium to large mammals on a routine basis. Table 8 below summarizes the characteristics of the two surface water connectivity features and the map keys pertain to Figure 4.

Table 8. Connectivity features within the study area.

Connectivity Features							
Map Key (1)	Type of Connectivity Feature (2)	Description (3)	Species Observed (4)	Evidence (5)	Functional Group/Species Expected (6)	Habitats Connected (7)	Comments
W1	corridor	watercourse	none	none	Mammals, birds, reptiles	Sulphur Mountain to Santa Paula Creek	
W2	corridor	watercourse	none	none	Mammals, birds, reptiles	Sulphur Mountain to Santa Paula Creek	

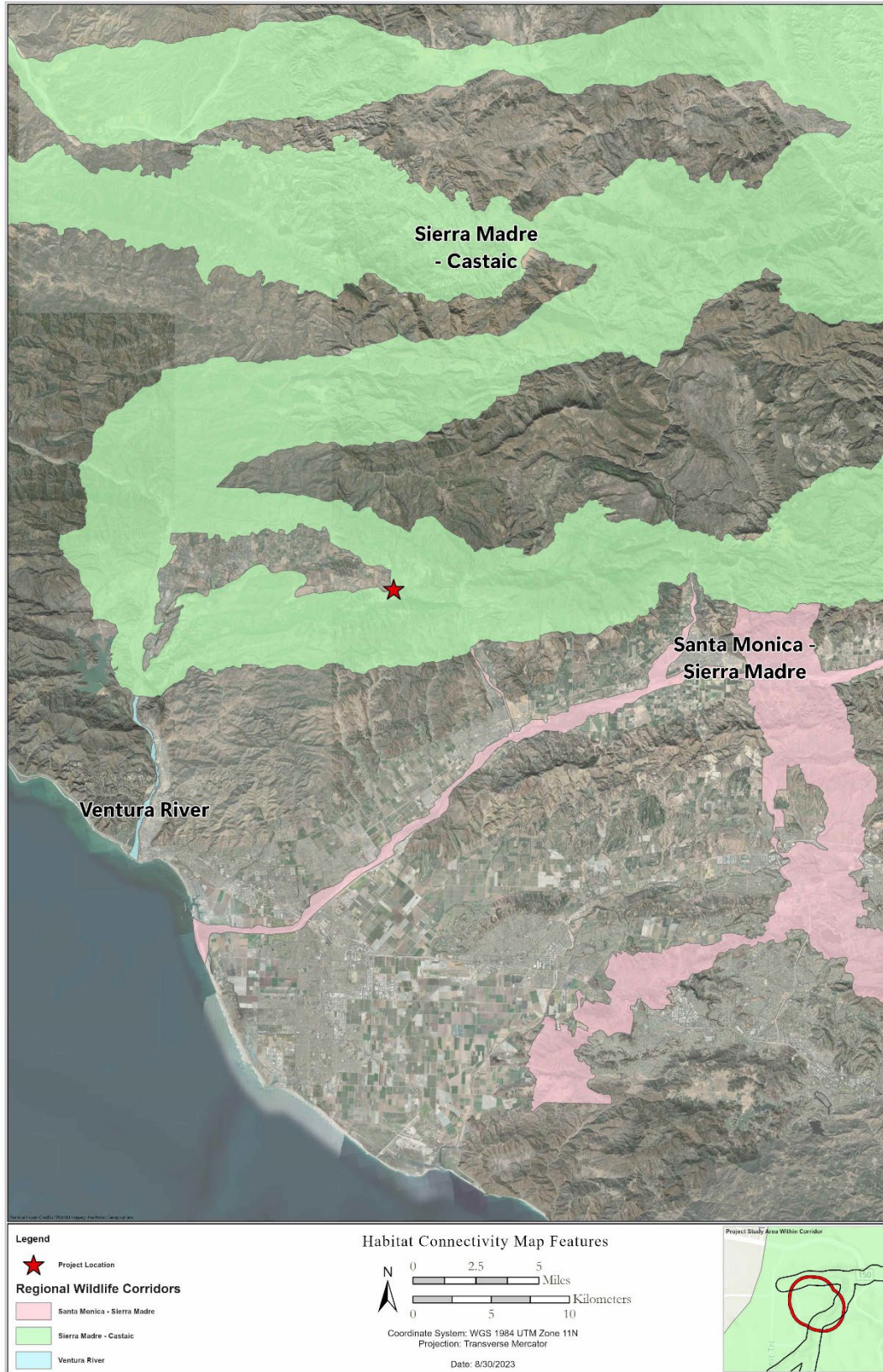


Figure 7. Wildlife movement and connectivity.

Section 4: Recommended Impact Assessment & Mitigation

4.1 Sufficiency of Biological Data

Additional information needed to make CEQA findings and develop mitigation measures:

The site surveys have provided sufficient resource data to complete the biological section of the initial study.

Additional biology-related surveys or permits needed prior to issuance of land use permit:

No additional biology-related surveys or permits are needed prior to issuance of the land use permit.

4.2 Impacts and Mitigation

Impacts

A. Species

Project: NS; Cumulative: NS

No project or cumulative impacts are anticipated to any species; the agricultural storage building and ADU are already existing and the fire clearance buffer (where vegetation is present) does not include suitable habitat for sensitive species. In addition, the proposed main residence structure is well within disturbed and developed land.

Impacts to nesting birds are also unlikely because the agricultural storage building and ADU are already existing.

B. Ecological Communities

Project: NS; Cumulative: NS

Sensitive Plant Communities

No project or cumulative impacts are anticipated to any species; the agricultural storage building and ADU are already existing, and the fire clearance buffer does not include any sensitive plant communities. In addition, the proposed main residence structure is well within disturbed and developed land.

Waters and Wetlands

To minimize impacts, the project applicant has designed features that allow potential flow to continue through the site uninterrupted. The applicant has also avoided walnut woodlands in the project's design. This avoidance will be secured with fencing during and following construction. Since avoidance is the applicant's preference, potential impacts to nesting birds would be the most likely impacts. The following section summarizes and discusses impacts to natural resources and provides mitigation measures for impacts to reduce them to an insignificant level. Where several measures are available to mitigate an impact, the options are discussed and the basis for selecting a particular measure is

identified. Formulation of mitigation measures is not deferred, but where ambiguity exists, we specify mitigation performance standards for significant effects.

C. Habitat Connectivity (migration corridors)



Project: LS; Cumulative: LS



Project and cumulative level impacts from this project are less than significant. The project footprint is within the Sierra Madre Castaic regional corridor; however, implementation of the project will not affect regional level wildlife movement. Locally, the known surface water feature that is within the 200 ft. of the agricultural barn and ADU will continue to allow wildlife to move through the property. To ensure the project and cumulative level impacts are less than significant no outside lighting is present within the 200 ft. surface water feature on either the agricultural storage building or ADU.



Section 5: Photos

Photos	
Location	
APN 108-0-100-025	
Map Key	
P3	
View Direction	
Southeast	
Description	
View of the agricultural storage building with the paved driveway in the foreground.	
Location	
APN 108-0-100-025	
Map Key	
P4	
View Direction	
East northeast	
Description	
View of existing ADU on the right and Conex box on the left with the driveway in the foreground.	

Photos	
Location	
APN 108-0-100-025	
Map Key	
P3	
View Direction	
Northeast	
Description	
This photo shows the fence line adjacent to the agricultural storage building with the agricultural field on the adjacent property in the foreground and the blue line stream (W2) in the background.	
Location	
APN 108-0-100-025	
Map Key	
P4	
View Direction	
South	
Description	
View of the southern blue line stream (W2) with oak woodland and chamise vegetation communities in the background.	

Photos	
Location	
APN 108-0-100-025	
Map Key	
P5	
View Direction	
North northeast	
Description	
<p>This photo shows the fence line adjacent to the ADU with the agricultural field on the adjacent property in the foreground.</p>	
Location	
APN 108-0-100-025	
Map Key	
P6	
View Direction	
East northeast	
Description	
<p>This photo shows the fence line adjacent to the agricultural storage building with the agricultural field on the adjacent property in the foreground and the blue line stream (W2) in the background.</p>	

Photos	
Location	
APN 108-0-100-025	
Map Key	
P7	
View Direction	
East northeast	
Description	
View of the ADU with the adjacent property agricultural field in the background.	
Location	
APN 108-0-100-025	
Map Key	
P8	
View Direction	
Northwest	
Description	
View of the horse facilities and ornamental plantings north of the proposed residence with blue line stream (W1) in the background.	

Photos	
Location	
APN 108-0-100-025	
Map Key	
P9	
View Direction	
North	
Description	
View of the horse facilities north of the proposed residence with blue line stream (W1) in the background.	
Location	
APN 108-0-100-025	
Map Key	
P10	
View Direction	
Southeast	
Description	
View of the proposed location of the residence with the agricultural storage building in the background.	

Photos	
Location	
APN 108-0-100-025	
Map Key	
P11	
View Direction	
North	
Description	
View of the horse facilities and the blue line stream (W1) in the background.	
Location	
APN 108-0-100-025	
Map Key	
P12	
View Direction	
East	
Description	
View of the horse facilities and with the agricultural storage building in the background.	

Appendix One

Summary of Biological Resource Regulations

The Ventura County Planning Division (Division), as “lead agency” under CEQA for issuing discretionary land use permits, uses the relationship of a potential environmental effect from a proposed project to an established regulatory standard to determine the significance of the potential environmental effect. This Appendix summarizes important biological resource regulations which are used by the Division’s biologists (consultants and staff) in making CEQA findings of significance:

- Sensitive-Status Species Regulations
- Nesting Bird Regulations
- Plant Community Regulations
- Tree Regulations
- Waters and Wetlands Regulations
- Coastal Habitat Regulations
- Wildlife Migration Regulations
- Locally Important Species/Communities Regulations

Sensitive-Status Species Regulations

Federally Protected Species

Ventura County is home to 29 federally listed endangered and threatened plant and wildlife species. The U.S. Fish and Wildlife Service (USFWS) regulates the protection of federally listed endangered and threatened plant and wildlife species.

FE (Federally Endangered): A species that is in danger of extinction throughout all or a significant portion of its range.

FT (Federally Threatened): A species that is likely to become endangered in the foreseeable future.

FC (Federal Candidate): A species for which USFWS has sufficient information on its biological status and threats to propose it as endangered or threatened under the Endangered Species Act (ESA), but for which development of a proposed listing regulation is precluded by other higher priority listing activities.

FSC (Federal Species of Concern): A species under consideration for listing, for which there is insufficient information to support listing currently. These species may or may not be listed in the future, and many of these species were formerly recognized as "Category-2 Candidate" species.

The USFWS requires permits for the “take” of any federally listed endangered or threatened species. “Take” is defined by the USFWS as “to harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect, or to attempt to engage in any such conduct; may include significant habitat modification or degradation if it kills or injures wildlife by significantly impairing essential behavioral patterns including breeding, feeding, or sheltering.”

The Endangered Species Act (ESA) does not provide statutory protection for candidate species or species of concern, but USFWS encourages conservation efforts to protect these species. USFWS can set up voluntary Candidate Conservation Agreements and Assurances, which provide non-Federal landowners (public and private) with the assurance that if they implement various conservation activities to protect a given candidate species, they will not be subject to additional restrictions if the species becomes listed under the ESA.

State Protected Species

The California Department of Fish and Game (CDFG) [now, the California Department of Fish and Wildlife, or CDFW] regulates the protection of endangered, threatened, and fully protected species listed under the California Endangered Species Act. Some species may be jointly listed under the State and Federal Endangered Species Acts.

SE (California Endangered): A native species or subspecies which is in serious danger of becoming extinct throughout all, or a significant portion, of its range due to one or more causes, including loss of habitat, change in habitat, overexploitation, predation, competition, or disease.

ST (California Threatened): A native species or subspecies that, although not presently threatened with extinction, is likely to become an endangered species in the foreseeable future in the absence of the special protection and management efforts required by this chapter. Any animal determined by the commission as "rare" on or before January 1, 1985, is a "threatened species."

SFP (California Fully Protected Species): This designation originated from the State's initial effort in the 1960's to identify and provide additional protection to those animals that were rare or faced possible extinction. Lists were created for fish, mammals, amphibians, reptiles, and birds. Most fully protected species have also been listed as threatened or endangered species under the more recent endangered species laws and regulations.

SR (California Rare): A species, subspecies, or variety of plant is rare under the Native Plant Protection Act when, although not presently threatened with extinction, it is in such small numbers throughout its range that it may become endangered if its present environment worsens. Animals are no longer listed as rare; all animals listed as rare before 1985 have been listed as threatened.

SSC (California Species of Special Concern): Animals that are not listed under the California Endangered Species Act, but which nonetheless 1) are declining at a rate that could result in listing, or 2) historically occurred in low numbers and known threats to their persistence currently exist.

The CDFG requires permits for the “take” of any State-listed endangered or threatened species. Section 2080 of the Fish and Game Code prohibits "take" of any species that the California Fish and Game Commission determines to be endangered or threatened. “Take” is defined in Section 86 of the Fish and Game Code as "hunt, pursue, catch, capture, or kill, or attempt to hunt, pursue, catch, capture, or kill."

The California Native Plant Protection Act protects endangered and rare plants of California. Section 1908, which regulates plants listed under this act, states: “no person shall import into this state, or take, possess, or sell within this state, except as incident to the possession or sale of the real property on which the plant is growing, any native plant, or any part or product thereof, that the commission determines to be an endangered native plant or rare native plant, except as otherwise provided in this chapter.”

Unlike endangered, threatened, and rare species, for which a take permit may be issued, California Fully Protected species may not be taken or possessed at any time and no licenses or permits may be issued for their take except for collecting these species for necessary scientific research and relocation of the bird species for the protection of livestock.

The California Endangered Species Act does not provide statutory protection for California species of special concern, but they should be considered during the environmental review process.

California Rare Plant Ranks (RPR)

Plants with 1A, 1B, 2 or 4 should always be addressed in CEQA documents. Plants with a RPR 3 do not need to be addressed in CEQA documents unless there is sufficient information to demonstrate that a RPR 3 plant meets the criteria to be listed as a RPR 1, 2, or 4.

RPR 1A: Plants presumed to be extinct because they have not been seen or collected in the wild in California for many years. This list includes plants that are both presumed extinct in California, as well as those plants which are presumed extirpated in California. A plant is extinct in California if it no longer occurs in or outside of California. A plant that is extirpated from California has been eliminated from California but may still occur elsewhere in its range.

RPR 1B: Plants that are rare throughout their range with the majority of them endemic to California. Most of the plants in List 1B have declined significantly over the last century.

RPR 2: Plants that are rare throughout their range in California but are more common beyond the boundaries of California. List 2 recognizes the importance of protecting the geographic range of widespread species.

Plants identified as RPR 1A, 1B, and 2 meet the definitions of Sec. 1901, Chapter 10 (Native Plant Protection Act) or Secs. 2062 and 2067 (California Endangered Species Act) of the California Department of Fish and Game Code and are eligible for state listing.

RPR 3: A review list for plants for which there is inadequate information to assign them to one of the other lists or to reject them.

RPR 4: A watch list for plants that are of limited distribution in California.

Global and Subnational Rankings

Though not associated directly with legal protections, species have been given a conservation status rank by NatureServe, an international non-profit conservation organization that is the leading source for information about rare and endangered species and threatened ecosystems. The Ventura County Planning Division considers the following ranks as sensitive for the purposes of CEQA impact assessment (G = Global, S = Subnational or State):

- G1 or S1 - Critically Imperiled
- G2 or S2 – Imperiled
- G3 or S3 - Vulnerable to extirpation or extinction

Locally Important Species

Locally important species' protections are addressed below under "Locally Important Species/Communities Regulations."

For lists of some of the species in Ventura County that are protected by the above regulations, go to http://www.ventura.org/rma/planning/ceqa/bio_resource_review.html.

Migratory Bird Regulations

The Federal Migratory Bird Treaty Act (MBTA) and the California Department of Fish and Game (CDFG) Code (3503, 3503.5, 3511, 3513 and 3800) protect most native birds. In addition, the federal and state endangered species acts protect some bird species listed as threatened or endangered. Project-related impacts to birds protected by these regulations would normally occur during the breeding season, because unlike adult birds, eggs and chicks are unable to escape impacts.

The MBTA implements various treaties and conventions between the U.S. and Canada, Japan, Mexico, and Russia for the protection of migratory birds, which occur in two of these countries over the course of one year. The Act maintains that it is unlawful to pursue, hunt, take, capture, or kill; attempt to take, capture or kill; possess, offer to, or sell, barter, purchase, deliver or cause to be shipped, exported, imported, transported, carried, or received any migratory bird, part, nest, egg or product, manufactured or not. Bird species protected under the provisions of the MBTA are identified by the List of Migratory Birds (Title 50 of the Code of Federal Regulations, Section 10.13 as updated by the 1983 American Ornithologists' Union (AOU) Checklist and published supplements through 1995 by the USFWS).

CDFG Code 3513 upholds the MBTA by prohibiting any take or possession of birds that are designated by the MBTA as migratory nongame birds except as allowed by federal rules and regulations promulgated pursuant to the MBTA. In addition, there are CDFG Codes (3503, 3503.5, 3511, and 3800) which further protect nesting birds and their parts, including passerine birds, raptors, and state "fully protected" birds.

NOTE: These regulations protect almost all native nesting birds, not just sensitive status birds.

Plant Community Regulations

Plant communities are provided legal protection when they provide habitat for protected species or when the community is in the coastal zone and qualifies as environmentally sensitive habitat area (ESHA).

Global and Subnational Rankings

Though not associated directly with legal protections, plant communities have been given a conservation status rank by NatureServe, an international non-profit conservation organization that is the leading source for information about rare and endangered species and threatened ecosystems. The Ventura County Planning Division considers the following ranks as sensitive for the purposes of CEQA impact assessment (G = Global, S = Subnational or State):

- G1 or S1 - Critically Imperiled
- G2 or S2 - Imperiled
- G3 or S3 - Vulnerable to extirpation or extinction

CDFW Rare

Rare natural communities are those communities that are of highly limited distribution. These communities may or may not contain rare, threatened, or endangered species. Though the Native Plant Protection Act and the California Endangered Species Act provide no legal protection to plant communities, CDFW considers plant communities that are ranked G1-G3 or S1-S3 (as defined above) to be rare or sensitive, and therefore these plant communities should be addressed during CEQA review.

Environmentally Sensitive Habitat Areas

The Coastal Act specifically calls for protection of “environmentally sensitive habitat areas” or ESHA, which it defines as: “Any area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and developments” (Section 30107.5).

ESHA has been specifically defined in the Santa Monica Mountains. For ESHA identification in this location, the Coastal Commission, the agency charged with administering the Coastal Act, has described the habitats that are considered ESHA. A memo from a Coastal Commission biologist that describes ESHA in the Santa Monica Mountains can be found at:

http://www.ventura.org/rma/planning/ceqa/bio_resource_review.html.

Locally Important Communities

The Ventura County Initial Study Assessment Guidelines defines a locally important community as one that is considered by qualified biologists to be a quality example characteristic of or unique to the

County or region, with this determination being made on a case-by-case basis. The County has not developed a list of locally important communities but has deemed oak woodlands to be a locally important community through the County’s *Oak Woodland Management Plan*.

Tree Regulations

Selected trees are protected by the Ventura County Tree Protection Ordinance, found in Section 8107-25 of the Ventura County Non-Coastal Zoning Ordinance. This ordinance, which applies in the unincorporated areas of the County outside the coastal zone, regulates—through a tree permit program—the removal, trimming of branches or roots, or grading or excavating within the root zone of a "protected tree." Individual trees are the focus of the ordinance, while oak woodlands are additionally protected as “locally important communities.”

The ordinance allows removal of five protected trees (only three of which can be oaks or sycamores; none of which can be heritage or historical trees) through a ministerial permit process. Removal of more/other than this may trigger a discretionary tree permit.

If a proposed project cannot avoid impacts to protected trees, mitigation of these impacts (such as replacement of lost trees) is addressed through the tree permit process—**unless the impacts may affect biological resources beyond the tree itself**, such as to sensitive status species that may be using the tree, nesting birds, the tree’s role as part of a larger habitat, etc. These secondary impacts have not been addressed through the tree permit program and must be addressed by the biologist in the biological assessment in accordance with the California Environmental Quality Act (CEQA).

A tree permit does not, however, substitute as mitigation for impacts to oak woodlands. The Public Resources Code requires that when a county is determining the applicability of CEQA to a project, it must determine whether that project “may result in a conversion of oak woodlands that will have a significant effect on the environment.” If such effects (either individual impacts or cumulative) are identified, the law requires that they be mitigated. Acceptable mitigation measures include, but are not limited to, conservation of other oak woodlands using conservation easements and planting replacement trees, which must be maintained for seven years. In addition, only 50% of the mitigation required for significant impacts to oak woodlands may be fulfilled by replanting oak trees.

The following trees are protected in the specified zones. Girth is measured at 4.5 feet from the midpoint between the uphill and downhill side of the root crown.

PROTECTED TREES			
Common Name/Botanical Name (Genus species)	Girth Standard (Circumference)	Applicable Zones	
		All Base Zones	SRP1
Alder (<i>Alnus</i> all species)	9.5 in.		X
Ash (<i>Fraxinus</i> all species)	9.5 in.		X
Bay (<i>Umbellularia californica</i>)	9.5 in.		X

Cottonwood (<i>Populus</i> all species)	9.5 in.		X
Elderberry (<i>Sambucus</i> all species)	9.5 in.		X
Big Cone Douglas Fir (<i>Pseudotsuga macrocarpa</i>)	9.5 in.		X
White Fir (<i>Abies concolor</i>)	9.5 in.		X
Juniper (<i>Juniperus californica</i>)	9.5 in.		X
Maple (<i>Acer macrophyllum</i>)	9.5 in.		X
Oak (Single) (<i>Quercus</i> all species)	9.5 in.	X	X
Oak (Multi) (<i>Quercus</i> all species)	6.25 in.	X	X
Pine (<i>Pinus</i> all species)	9.5 in.		X
Sycamore (<i>Platanus</i> all species)	9.5 in.	X	X
Walnut (<i>Juglans</i> all species)	9.5 in.		X
Historical Tree ³ (any species)	(any size)	X	X
Heritage Tree ⁴ (any species)	90.0 in.	X	X

X Indicates the zones in which the subject trees are considered protected trees.

1. SRP - Scenic Resource Protection Overlay Zone
2. SHP - Scenic Highway Protection Overlay Zone
3. Any tree or group of trees identified by the County or a city as a landmark or identified on the Federal or California Historic Resources Inventory to be of historical or cultural significance or identified as contributing to a site or structure of historical or cultural significance.
4. Any species of tree with a single trunk of 90 or more inches in girth or with multiple trunks, two of which collectively measure 72 inches in girth or more. Species with naturally thin trunks when full grown or naturally large trunks at an early age, or trees with unnaturally enlarged trunks due to injury or disease must be at least 60 feet tall or 75 years old.

Waters and Wetlands Regulations

Numerous agencies control what can and cannot be done in or around streams and wetlands. If a project affects an area where water flows, ponds or is present even part of the year, it is likely to be regulated by one or more agencies. Many wetland or stream projects will require three main permits or approvals (in addition to CEQA compliance). These are:

- • 404 Permit (U.S. Army Corps of Engineers)
- • 401 Certification (California Regional Water Quality Control Board)
- • Streambed Alteration Agreement (California Department of Fish and Game)

For a more thorough explanation of wetland permitting, see the Ventura County’s “Wetland Project Permitting Guide” at http://www.ventura.org/rma/planning/ceqa/bio_resource_review.html.

404 Permit (U.S. Army Corps of Engineers)

Most projects that involve streams or wetlands will require a 404 Permit from the U.S. Army Corps of Engineers (USACE). Section 404 of the federal Clean Water Act is the primary federal program regulating activities in wetlands. The Act regulates areas defined as “waters of the United States.” This includes streams, wetlands in or next to streams, areas influenced by tides, navigable waters, lakes, reservoirs, and other impoundments. For nontidal waters, USACE jurisdiction extends up to what is referred to as the “ordinary high-water mark” as well as to the landward limits of adjacent Corps-defined wetlands, if present. The ordinary high-water mark is an identifiable natural line visible on the bank of a stream or water body that shows the upper limit of typical stream flow or water level. The mark is made from the action of water on the streambank over the course of years.

Permit Triggers: A USACE 404 Permit is triggered by moving (discharging) or placing materials—such as dirt, rock, geotextiles, concrete, or culverts—into or within USACE jurisdictional areas. This type of activity is also referred to as a “discharge of dredged or fill material.”

401 Certification (Regional Water Quality Control Board)

If your project requires a USACE 404 Permit, then you will also need a Regional Water Quality Control Board (RWQCB) 401 Certification. The federal Clean Water Act, in Section 401, specifies that states must certify that any activity subject to a permit issued by a federal agency, such as the USACE, meets all state water quality standards. In California, the state and regional water boards are responsible for certification of activities subject to USACE Section 404 Permits.

Permit Trigger: A RWQCB 401 Certification is triggered whenever a USACE 404 Permit is required, or whenever an activity could cause a discharge of dredged or fill material into waters of the U.S. or wetlands.

Streambed Alteration Agreement (California Department of Fish and Game)

If your project includes alteration of the bed, banks or channel of a stream, or the adjacent riparian vegetation, then you may need a Streambed Alteration Agreement from the California Department of Fish and Game (CDFG). The California Fish and Game Code, Sections 1600-1616, regulates activities that would alter the flow, bed, banks, channel or associated riparian areas of a river, stream, or lake. The law requires any person, state or local governmental agency or public utility to notify CDFG before beginning an activity that will substantially modify a river, stream, or lake.

Permit Triggers: A Streambed Alteration Agreement (SAA) is triggered when a project involves altering a stream or disturbing riparian vegetation, including any of the following activities:

- Substantially obstructing or diverting the natural flow of a river, stream, or lake
- Using any material from these areas
- Disposing of waste where it can move into these areas.

Some projects that involve routine maintenance may qualify for long-term maintenance agreements from CDFG. Discuss this option with CDFG staff.

Ventura County General Plan

The Ventura County General Plan contains policies which also strongly protect wetland habitats.

Biological Resources Policy 1.5.2-3 states:

Discretionary development that is proposed to be located within 300 feet of a marsh, small wash, intermittent lake, intermittent stream, spring, or perennial stream (as identified on the latest USGS 7½ minute quad map), shall be evaluated by a County approved biologist for potential impacts on wetland habitats. Discretionary development that would have a significant impact on significant wetland habitats shall be prohibited, unless mitigation measures are adopted that would reduce the impact to a less than significant level; or for lands designated "Urban" or "Existing Community", a statement of overriding considerations is adopted by the decision-making body.

Biological Resources Policy 1.5.2-4 states:

Discretionary development shall be sited a minimum of 100 feet from significant wetland habitats to mitigate the potential impacts on said habitats. Buffer areas may be increased or decreased upon evaluation and recommendation by a qualified biologist and approval by the decision-making body. Factors to be used in determining adjustment of the 100-foot buffer include soil type, slope stability, drainage patterns, presence, or absence of endangered, threatened or rare plants or animals, and compatibility of the proposed development with the wildlife use of the wetland habitat area. The requirement of a buffer (setback) shall not preclude the use of replacement as a mitigation when there is no other feasible alternative to allowing a permitted use, and if the replacement results in no net loss of wetland habitat. Such replacement shall be "in kind" (i.e., same type and acreage), and provide wetland habitat of comparable biological value. On-site replacement shall be preferred wherever possible. The replacement plan shall be developed in consultation with California Department of Fish and Wildlife.

Coastal Habitat Regulations

Ventura County's Coastal Area Plan and the Coastal Zoning Ordinance, which constitute the "Local Coastal Program" (LCP) for the unincorporated portions of Ventura County's coastal zone, ensure that the County's land use plans, zoning ordinances, zoning maps, and implemented actions meet the requirements of, and implement the provisions and polices of California's 1976 Coastal Act at the local level.

Environmentally Sensitive Habitats

The Coastal Act specifically calls for protection of "environmentally sensitive habitat areas" or ESHA, which it defines as: "Any area in which plant or animal life or their habitats are either rare or especially

valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and developments” (Section 30107.5).

Section 30240 of the Coastal Act states:

- (a) "Environmentally sensitive habitat areas shall be protected against any significant disruption of habitat values, and only uses dependent on such resources shall be allowed within such areas."
- (b) "Development in areas adjacent to environmentally sensitive habitat areas and parks and recreation areas shall be sited and designed to prevent impacts which would significantly degrade such areas and shall be compatible with the continuance of such habitat areas."

There are three important elements to the definition of ESHA. First, a geographic area can be designated ESHA either because of the presence of individual species of plants or animals or because of the presence of a particular habitat. Second, in order for an area to be designated as ESHA, the species or habitat must be either rare or it must be especially valuable. Finally, the area must be easily disturbed or degraded by human activities.

Protection of ESHA is of particular concern in the southeastern part of Ventura County, where the coastal zone extends inland (~5 miles) to include an extensive area of the Santa Monica Mountains. For ESHA identification in this location, the Coastal Commission, the agency charged with administering the Coastal Act, has described the habitats that are considered ESHA. A memo from a Coastal Commission biologist that describes ESHA in the Santa Monica Mountains can be found at: http://www.ventura.org/rma/planning/ceqa/bio_resource_review.html.

The County’s Local Coastal Program outlines other specific protections to environmentally sensitive habitats in the Coastal Zone, such as to wetlands, riparian habitats, dunes, and upland habitats within the Santa Monica Mountains (M Overlay Zone). Protections in some cases are different for different segments of the coastal zone.

Copies of the Coastal Area Plan and the Coastal Zoning Ordinance can be found at: <http://www.ventura.org/rma/planning/Programs/local.html>.

Wildlife Migration Regulations

The Ventura County General Plan specifically includes wildlife migration corridors as an element of the region’s significant biological resources. In addition, protecting habitat connectivity is critical to the success of special status species and other biological resource protections. Potential project impacts to wildlife migration are analyzed by biologists on a case-by-case basis. The issue involves both a macro-scale analysis—where routes used by large carnivores connecting very large core habitat areas may be impacted—as well as a micro-scale analysis—where a road or stream crossing may impact localized movement by many different animals.

Locally Important Species/Communities Regulations

Locally important species/communities are considered to be significant biological resources in the Ventura County General Plan.

Locally Important Species

The Ventura County General Plan defines a Locally Important Species as a plant or animal species that is not an endangered, threatened, or rare species, but is considered by qualified biologists to be a quality example or unique species within the County and region. The following criteria further define what local qualified biologists have determined to be Locally Important Species:

Locally Important Animal Species Criteria

Taxa for which habitat in Ventura County is crucial for their existence either globally or in Ventura County. This includes:

- Taxa for which the population(s) in Ventura County represents 10 percent or more of the known extant global distribution; or
- Taxa for which there are five or fewer *element occurrences*, or less than 1,000 individuals, or less than 2,000 acres of habitat that sustains populations in Ventura County; or,
- Native taxa that are generally declining throughout their range or are in danger of extirpation in Ventura County.

Locally Important Plant Species Criteria

- Taxa that are declining throughout the extent of their range AND have five (5) or fewer element occurrences in Ventura County.

The County maintains a list of locally important species, which can be found on the Planning Division website at: http://www.ventura.org/rma/planning/ceqa/bio_resource_review.html. *This list should not be considered comprehensive.* Any species that meets the criteria qualifies as locally important, whether or not it is included on this list.

Locally Important Communities

The Ventura County Initial Study Assessment Guidelines defines a locally important community as one that is considered by qualified biologists to be a quality example characteristic of or unique to the County or region, with this determination being made on a case-by-case basis. The County has not developed a list of locally important communities. Oak woodlands have however been deemed by the Ventura County Board of Supervisors to be a locally important community.

The state passed legislation in 2001, the Oak Woodland Conservation Act, to emphasize that oak woodlands are a vital and threatened statewide resource. In response, the County of Ventura prepared and adopted an Oak Woodland Management Plan that recommended, among other things, amending the County's Initial Study Assessment Guidelines to include an explicit reference to oak woodlands as

part of its definition of locally important communities. The Board of Supervisors approved this management plan and its recommendations.

Appendix Two

Species Observed

Species Observed			
Scientific Name	Common Name	Native (1)	Family/Notes (2)
PLANTS			
<i>Acmispon americanus</i>	American bird's foot trefoil	native	Fabaceae
<i>Acmispon glaber</i>	Deerweed	native	Fabaceae
<i>Acmispon strigosus</i>	Strigose lotus	native	Fabaceae
<i>Acourtia microcephala</i>	Sacapellote	native	Asteraceae
<i>Adenostoma fasciculatum</i>	Chamise	native	Rosaceae
<i>Agave americana</i>	American century plant	introduced	Agavaceae
<i>Amaranthus albus</i>	Tumbleweed	introduced	Amaranthaceae
<i>Amaranthus blitoides</i>	Prostrate pigweed	native	Amaranthaceae
<i>Amsinckia menziesii</i>	Fiddleneck	native	Boraginaceae
<i>Anthemis cotula</i>	Dog fennel	introduced	Asteraceae
<i>Artemisia californica</i>	Coastal sage brush	native	Asteraceae
<i>Artemisia douglasiana</i>	California mugwort	native	Asteraceae
<i>Asclepias fascicularis</i>	narrow leaf milkweed	native	Apocynaceae
<i>Avena fatua</i>	Wildoats	invasive introduced	Poaceae
<i>Baccharis pilularis</i>	Coyote brush	native	Asteraceae
<i>Baccharis salicifolia</i>	Mule fat	native	Asteraceae
<i>Bloomeria crocea</i>	Golden stars	native	Themidaceae
<i>Brassica nigra</i>	Black mustard	invasive introduced	Brassicaceae
<i>Brickellia californica</i>	California brickellia	native	Asteraceae
<i>Bromus catharticus</i>	Rescue grass	introduced	Poaceae
<i>Bromus diandrus</i>	Ripgut brome	invasive introduced	Poaceae
<i>Bromus hordeaceus</i>	Soft chess	invasive introduced	Poaceae
<i>Bromus rubens</i>	Red brome	invasive introduced	Poaceae
<i>Calochortus catalinae</i>	Catalina mariposa	native	Liliaceae
<i>Calystegia macrostegia</i>	Island morning glory	native	Convolvulaceae
<i>Carduus pycnocephalus</i>	Italian thistle	invasive introduced	Asteraceae
<i>Centaurea melitensis</i>	Tocalote	invasive introduced	Asteraceae

Species Observed			
Scientific Name	Common Name	Native (1)	Family/Notes (2)
<i>Centaurea solstitialis</i>	Yellow starthistle	invasive introduced	Asteraceae
<i>Chenopodium album</i>	Lambs' quarters	introduced	Chenopodiaceae
<i>Clarkia purpurea</i>	Purple clarkia	native	Onagraceae
<i>Claytonia parviflora ssp. parviflora</i>	Miner's lettuce	native	Montiaceae
<i>Collinsia heterophylla</i>	Chinese houses	native	Plantaginaceae
<i>Cordylanthus rigidus</i>	Rigid bird's beak	native	Orobanchaceae
<i>Croton setiger</i>	Turkey-mullein	native	Euphorbiaceae
<i>Cyperus esculentus</i>	Nut grass	native	Cyperaceae
<i>Deinandra fasciculata</i>	Clustered tarweed	native	Asteraceae
<i>Dendromecon rigida</i>	Bush poppy	native	Papaveraceae
<i>Diplacus longiflorus</i>	southern bush monkeyflower	native	Phrymaceae
<i>Dipterostemon capitatus</i>	Blue dicks	native	Themidaceae
<i>Echium candicans</i>	Pride of madeira	invasive introduced	Boraginaceae
<i>Epilobium brachycarpum</i>	Willow herb	native	Onagraceae
<i>Epilobium canum</i>	California fuchsia	native	Onagraceae
<i>Epilobium ciliatum ssp. ciliatum</i>	Willow herb	native	Onagraceae
<i>Erigeron bonariensis</i>	Flax-leaved horseweed	introduced	Asteraceae
<i>Erigeron canadensis</i>	Canada horseweed	native	Asteraceae
<i>Eriogonum fasciculatum</i>	California buckwheat	native	Polygonaceae
<i>Erodium cicutarium</i>	Coastal heron's bill	invasive introduced	Geraniaceae
<i>Eucalyptus sideroxylon</i>	Red iron bark	introduced	Myrtaceae
<i>Eucrypta chrysanthemifolia</i>	Spotted eucrypta	native	Boraginaceae
<i>Euphorbia maculata</i>	Spotted spurge	introduced	Euphorbiaceae
<i>Euphorbia peplus</i>	Petty spurge	introduced	Euphorbiaceae
<i>Festuca myuros</i>	Rattail sixweeks grass	invasive introduced	Poaceae
<i>Festuca perennis</i>	Italian rye grass	invasive introduced	Poaceae
<i>Festuca pratensis</i>	Meadow fescue	introduced	Poaceae
<i>Foeniculum vulgare</i>	Fennel	invasive introduced	Apiaceae
<i>Galium angustifolium ssp. angustifolium</i>	Narrow leaved bedstraw	native	Rubiaceae
<i>Galium aparine</i>	Cleavers	native	Rubiaceae

Species Observed			
Scientific Name	Common Name	Native (1)	Family/Notes (2)
<i>Gastridium phleoides</i>	Nit grass	introduced	Poaceae
<i>Helminthotheca echioides</i>	Bristly ox-tongue	invasive introduced	Asteraceae
<i>Heteromeles arbutifolia</i>	Toyon	native	Rosaceae
<i>Hordeum murinum</i>	Foxtail barley	invasive introduced	Poaceae
<i>Hypochaeris glabra</i>	Smooth cat's ear	invasive introduced	Asteraceae
<i>Iris germanica</i>	German iris	introduced	Iridaceae
<i>Juglans californica</i>	Southern california black walnut	native	Juglandaceae
<i>Kickxia elatine</i>	Sharp point fluellin	introduced	Plantaginaceae
<i>Lactuca serriola</i>	Prickly lettuce	introduced	Asteraceae
<i>Lamarckia aurea</i>	Goldentop	introduced	Poaceae
<i>Logfia gallica</i>	Narrowleaf cottonrose	introduced	Asteraceae
<i>Lupinus bicolor</i>	Lupine	native	Fabaceae
<i>Lysimachia arvensis</i>	Scarlet pimpernel	introduced	Myrsinaceae
<i>Lythrum californicum</i>	Common loosestrife	native	Lythraceae
<i>Madia gracilis</i>	Gumweed	native	Asteraceae
<i>Malosma laurina</i>	Laurel sumac	native	Anacardiaceae
<i>Malva parviflora</i>	Cheeseweed	introduced	Malvaceae
<i>Marah macrocarpa</i>	Chilicothe	native	Cucurbitaceae
<i>Marrubium vulgare</i>	White horehound	invasive introduced	Lamiaceae
<i>Matricaria discoidea</i>	Pineapple weed	native	Asteraceae
<i>Medicago polymorpha</i>	California burclover	invasive introduced	Fabaceae
<i>Melica imperfecta</i>	Coast range melic	native	Poaceae
<i>Melilotus albus</i>	White sweetclover	introduced	Fabaceae
<i>Melilotus indicus</i>	Annual yellow sweetclover	introduced	Fabaceae
<i>Nicotiana glauca</i>	Tree tobacco	invasive introduced	Solanaceae
<i>Olea europaea</i>	Olive	invasive introduced	Oleaceae
<i>Oxalis pes-caprae</i>	Bermuda buttercup	invasive introduced	Oxalidaceae
<i>Phacelia cicutaria</i>	Caterpillar phacelia	native	Boraginaceae
<i>Plantago arenaria</i>	Indian plantain	introduced	Plantaginaceae
<i>Plantago lanceolata</i>	Ribwort	invasive introduced	Plantaginaceae

Species Observed			
Scientific Name	Common Name	Native (1)	Family/Notes (2)
<i>Polygonum aviculare</i> ssp. <i>depressum</i>	Prostrate knotweed	introduced	Polygonaceae
<i>Polypogon monspeliensis</i>	Annual beard grass	invasive introduced	Poaceae
<i>Pseudognaphalium biolettii</i>	Two-color rabbit-tobacco	native	Asteraceae
<i>Pseudognaphalium californicum</i>	Ladies' tobacco	native	Asteraceae
<i>Pseudognaphalium luteoalbum</i>	Jersey cudweed	introduced	Asteraceae
<i>Pterostegia drymarioides</i>	Fairy mist	native	Polygonaceae
<i>Quercus agrifolia</i>	Coast live oak	native	Fagaceae
<i>Raphanus sativus</i>	Jointed charlock	invasive introduced	Brassicaceae
<i>Rhamnus ilicifolia</i>	Evergreen buckthorn	native	Rhamnaceae
<i>Ribes malvaceum</i>	Chaparral currant	native	Grossulariaceae
<i>Ricinus communis</i>	Castor bean	invasive introduced	Euphorbiaceae
<i>Rumex acetosella</i>	Sheep sorrel	invasive introduced	Polygonaceae
<i>Rumex crispus</i>	Curly dock	invasive introduced	Polygonaceae
<i>Salix lasiolepis</i>	Arroyo willow	native	Salicaceae
<i>Salsola tragus</i>	Russian thistle	invasive introduced	Chenopodiaceae
<i>Salvia apiana</i>	White sage	native	Lamiaceae
<i>Salvia leucophylla</i>	Purple sage	native	Lamiaceae
<i>Sambucus nigra</i>	Black elderberry	native	Adoxaceae
<i>Sambucus nigra</i> ssp. <i>caerulea</i>	Blue elderberry	native	Adoxaceae
<i>Sanicula crassicaulis</i>	Pacific sanicle	native	Apiaceae
<i>Schinus molle</i>	Peruvian pepper tree	invasive introduced	Anacardiaceae
<i>Senecio vulgaris</i>	Common groundsel	introduced	Asteraceae
<i>Silene gallica</i>	Common catchfly	introduced	Caryophyllaceae
<i>Silybum marianum</i>	Milk thistle	invasive introduced	Asteraceae
<i>Sisymbrium orientale</i>	Indian hedge mustard	introduced	Brassicaceae
<i>Sisyrinchium bellum</i>	Blue eyed grass	native	Iridaceae
<i>Solanum douglasii</i>	Douglas' nightshade	native	Solanaceae
<i>Solanum xanti</i>	Nightshade	native	Solanaceae
<i>Sonchus oleraceus</i>	Sow thistle	introduced	Asteraceae
<i>Spergularia bocconi</i>	Boccone's sand spurry	introduced	Caryophyllaceae

Species Observed			
Scientific Name	Common Name	Native (1)	Family/Notes (2)
<i>Stellaria media</i>	Chickweed	introduced	Caryophyllaceae
<i>Stephanomeria virgata</i>	Twiggy wreath plant	native	Asteraceae
<i>Stipa miliacea</i>	Smilo grass	introduced	Poaceae
<i>Stipa pulchra</i>	Purple needle grass	native	Poaceae
<i>Torilis arvensis</i>	Field hedge parsley	invasive introduced	Apiaceae
<i>Toxicodendron diversilobum</i>	Poison oak	native	Anacardiaceae
<i>Tribulus terrestris</i>	Puncture vine	invasive introduced	Zygophyllaceae
<i>Trichostema lanceolatum</i>	Vinegarweed	native	Lamiaceae
<i>Uropappus lindleyi</i>	Silver puffs	native	Asteraceae
<i>Urospermum picroides</i>	Bristly tail seed	introduced	Asteraceae
<i>Verbascum thapsus</i>	Woolly mullein	invasive introduced	Scrophulariaceae
<i>Verbena lasiostachys</i>	Western vervain	native	Verbenaceae
<i>Vicia benghalensis</i>	Purple vetch	introduced	Fabaceae
<i>Vicia sativa</i>	Spring vetch	introduced	Fabaceae
<i>Washingtonia robusta</i>	Mexican fan palm	invasive introduced	Arecaceae
ANIMALS			
Reptiles			
<i>Sceloporus occidentalis</i>	western fence lizard	native	PHRYNOSOMATIDAE
<i>Uta stansburiana</i>	side-blotched lizard	native	PHRYNOSOMATIDAE
Birds			
<i>Agelaius phoeniceus</i>	Red-winged blackbird	native	ICTERIDAE
<i>Anna calypte</i>	Anna's hummingbird	native	TROCHILIDAE
<i>Aphelocoma californica</i>	California scrub-jay	native	CORVIDAE
<i>Buteo jamaicensis</i>	Red-tailed Hawk	native	ACCIPITRIDAE
<i>Callipepla californica</i>	California quail	naitve	ODONTOPHORIDAE
<i>Cathartes aura</i>	turkey vulture	naitve	CATHARTIDAE
<i>Colaptes auratus</i>	Northern flicker	native	PICIDAE
<i>Corvus brachyrhynchos</i>	American crow	native	CORVIDAE
<i>Corvus corax</i>	Common raven	native	CORVIDAE
<i>Empidonax difficilis</i>	Pacific slope flycatcher	naitve	TYRANNIDAE
<i>Eremophila alpestris</i>	Horned lark	native	ALAUDIDAE
<i>Falco sparverius</i>	American kestrel	native	FALCONIDAE

Species Observed			
Scientific Name	Common Name	Native (1)	Family/Notes (2)
Haemorhous mexicanus	House finch	native	FRINGILLIDAE
Hirundo rustica erythrogaster	Barn Swallow	naitve	HIRUNDINIDAE
Melanerpes formicivorus	acorn woodpecker	naitve	PICIDAE
Melozone crissalis	California towhee	native	EMBERIZIDAE
Oreothlypis celata	Orange-crowned warbler	native	PARULIDAE
Passer domesticus	House sparrow	non-native	PASSERIDAE
Pipilo maculatus	Spotted towhee	native	EMBERIZIDAE
Psaltriparus minimus	Bushtit	native	AEGITHALIDAE
Regulus calendula	Ruby-crowned kinglet	native	REGULIDAE
Sayornis nigricans	black phoebe	naitve	TYRANNIDAE
Setophaga coronata	Yellow-rumped warbler	native	PARULIDAE
Sitta carolinensis	white-breasted nuthatch	naitve	SITTIDAE
Spinus psaltria	lesser goldfinch	naitve	FRINGILLIDAE
Streptopelia decaocto	Eurasian collared-dove	non-native	COLUMBIDAE
Sturnus vulgaris	European starling	non-native	STURNIDAE
Thryomanes bewickii	Bewick's wren	naitve	TROGLODYTIDAE
Toxostoma redivivum	California thrasher	native	MIMIDAE
Turdus migratorius	American robin	native	TURDIDAE
Zenaida macroura	Mourning dove	native	COLUMBIDAE
Zonotrichia leucophrys	White-crowned sparrow	native	EMBERIZIDAE
Mammals			
Sylvilagus audubonii	Cottontail	native	SYLVILAGIDAE
Neotoma macrotis	Big-eared woodrat	native	CRICRETIDAE
Otospermopilus beecheyi	California ground squirrel	native	SCIURIDAE



February 28, 2022
SS-434-S

Keeley Mircetic
keeley.mircetic.61@my.csun.edu

Subject: SOILS ENGINEERING REPORT
Proposed Single-Family Residence, 11820 Topa Vista Road, Upper Ojai, Ventura County, California

Reference: On-Site Wastewater Treatment System Design Report, Existing Studio, 11820 Topa Vista Road, Upper Ojai, Ventura County, California, by *Solid Soils & Geologic*, dated November 29, 2021

Dear Keeley:

Introduction

The following report summarizes the findings of our Soils Engineering Report with percolation testing for septic system design performed on the subject property. Our purpose was to evaluate the distribution and engineering characteristics of the earth materials present on the site so that we might assess their impact upon the proposed single-family residence.

It is the intent of this report to aid in the design and completion of the proposed work and to reduce certain risks associated with construction projects. This report is prepared for the use of the client and authorized agents and should not be considered transferable. Prior to use by others, the site and this report should be reviewed by *Solid Soils & Geologic Consultants*. Following review, additional work may be required to update this report.

The scope of work for this project included: 1) a reconnaissance of the site and its immediate vicinity, 2) logging and sampling of 7 test pits excavated with a backhoe and hand auger, 3) percolation testing in 4 of the 7 test pit excavations, 4) select laboratory testing of the retrieved samples, 5) soils engineering analysis of the assembled data, and 6) preparation of this report. Field data and the approximate locations of the exploratory excavations are shown on the enclosed Plot Plan. Descriptions of the materials encountered in the exploratory excavations are provided on the enclosed logs (Plates TP-1 through TP-7). Pertinent laboratory test results are provided in this report.

County of Ventura
Planning Director Hearing
Case No. PL21-0092
Exhibit 7 - Geotechnical Report

February 28, 2022
SS-434-S

Site Location & Description

The subject property is located at 11820 Topa Vista Road in Upper Ojai, Ventura County, California. The approximate site location is shown on the enclosed Vicinity Maps. The subject property currently consists of relatively level to moderately sloping property with an existing studio. The recent *Thomas Fire* destroyed the previous residence on the property. The site is not located within an active fault zone, as issued by the State of California nor is the site located within a Seismic Hazard Zone for potential earthquake induced liquefaction or landsliding.

Proposed Development

Based on the information provided by you, it is planned to construct a new single-family residence in the same general area as the previous residence. A new septic system will be required for the proposed residence. Appropriate recommendations are provided later in this report. Grading will be limited to site preparation. This information was the basis for the field exploration. It is expected that the proposed residence will be constructed using conventional wood and/or steel frames and will not have any unusual features such as a basement or extremely high foundation loads.

Exploration Observations

The scope of our exploration was based on our understanding of the project, as described above. The site was explored on July 15, 2021 with the aid of a rubber-tired backhoe, hand labor, and field geologic mapping. A total of 7 backhoe test pits were excavated to depths of between 4½ and 9½ feet below existing grade. The excavations were backfilled and tamped, but may not be compacted.

The earth materials encountered included artificial fill, older alluvium, and bedrock. A summary of the earth materials is provided in the enclosures. The excavations are logged on Plates TP-1 through TP-7 and their locations are plotted on the enclosed Plot Plan.

Groundwater was not encountered in our subsurface excavations. Fluctuations in the level of groundwater may occur due to variations in rainfall, irrigation, temperature, and other factors not evident at the time of the measurements reported herein. Fluctuations also may occur across the site.

Seismicity

The subject site has no known active or potentially active faults crossing the property. An "active fault" is one that has had movement in the last 11,000 years. The site is not within an Alquist-Priolo Earthquake Fault Zone. An Alquist-Priolo Earthquake Fault Zone is the area designated by the State of California as being the zone where primary ground rupture is considered most likely to occur during a seismic event on the fault.

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February 28, 2022
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Earthquake epicenters may happen anywhere in Southern California along thrust faults or buried faults, as has been evidenced by several recent historic earthquakes including the Whittier Narrows Earthquake and the Northridge Earthquake. The proximity of a site to the surface trace of a fault may have little relationship to the potential of being near an earthquake epicenter.

The property is situated within the seismically active Southern California region and therefore will be subjected to moderate to strong ground shaking should one of the many active Southern California faults produce an earthquake. It is likely that at least one significant seismic event will affect the site during the lifetime of the structure. Secondary effects, such as earthquake-induced landsliding or ground rupture are not considered likely to occur. However, severe ground shaking may cause some consolidation and settlement of the underlying soils. Soil parameters for current seismic design are provided in the enclosures.

Laboratory Testing

Bulk and relatively undisturbed samples of earth materials encountered at the site were collected during the course of our fieldwork. Select samples were transported to the laboratory for further testing and analysis. Laboratory tests completed on the retrieved samples are described below.

Expansion Tests

An expansion index test was performed in accordance with the UBC Standard 29-2 or equivalent. The results of the test are included in Table I.

Shear Tests

Shear tests were performed in a Direct Shear Machine of the strain control type. The rate of deformation was approximately 0.05 inches per minute. Shearing occurred under a variety of confining loads in order to determine the Coulomb shear strength parameters. The tests were performed on relatively undisturbed and remolded (at 90% relative compaction) samples in an artificially flooded condition. The test results are presented graphically on Plates S-1 and S-2.

Consolidation Tests

Predictions of the soils settlement characteristics under load were made on the basis of consolidation tests. A one-inch high sample was loaded in a geometric progression of increasing normal loads and the resulting deformation recorded at selected time intervals. Porous stones were placed in contact with the sample (top and bottom) to permit addition and release of pore fluid. The sample was flooded with clean water at a selected load during the progression. Results are plotted on the enclosed Consolidation-Pressure Curve, Plate C-1.

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TABLE I
 Summary of
 Laboratory Test Data

<u>Sample</u>	<u>Depth (ft)</u>	<u>Field Dry Density (PCE)</u>	<u>Field Moisture Content (%)</u>	<u>Expansion Index</u>
Composite.....	0-5			35
TP-1	4½	112.4	11.8	
TP-3.....	5	108.1	15.1	

Discussion & Recommendations

The following discussion and recommendations are based on the data presented in this report and our understanding of the project. Recommendations, derived from the data available at this time, are presented for your consideration.

Based upon the exploration performed for this investigation, it is our finding that construction of the single-family residence and septic system, as described, is feasible from a soils engineering standpoint, provided our advice and recommendations are made a part of the plans and are implemented during construction.

The surficial soils on the site are relatively soft and may be subject to consolidation and settlement upon loading. Therefore, it is recommended that the surficial soils in the area of the proposed residence be removed and compacted to a minimum depth of 3 feet below the bottom of the proposed foundations (and to dense natural material) and 5 feet beyond the perimeter. The fill should be compacted to a minimum of 90% of the laboratory maximum dry density. If compacted fill cannot extend 5 feet beyond the perimeter of the proposed footings, due to existing foundations, etc. then the fill should be compacted to a minimum of 95% of the laboratory maximum dry density for a horizontal distance of at least 5 feet. This will provide a dense, uniform bearing material and will distribute the loads more evenly upon the natural soils. Following proper removal and compaction of the soils, conventional continuous foundations may be used to support the proposed residence. Details are provided below for grading of compacted fills, foundation design, and other criteria, as considered warranted.

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Grading - Compacted Fills

The following recommendations are for the preparation and placement of compacted fills. The contractor should be aware that if grading is done during or following periods of rain, or if the ground moisture is over optimum from any source of water, such as excessive irrigation watering, etc., then a considerable amount of time and/or effort may be needed to achieve proper moisture for compaction purposes.

1. Any imported materials that are to be used as fill should be approved by this office prior to placement.
2. All vegetation, trash, debris or other deleterious materials should be removed from the area to be graded and exported from the site. Rocks larger than 8 inches should not be included in the fill.
3. All existing fill and incompetent surface soils within the area to be filled should be removed to dense natural material and replaced as properly compacted fill.
4. The foundation for the proposed residence should be provided with at least 3 feet of compacted fill beneath the base of proposed foundation. Final foundation plans should be given to the grader prior to starting work in order to determine the minimum depth of the excavation. The difference in the depth of the fill beneath the proposed structure should not exceed 5 feet. The fill should extend at least 5 feet beyond the edge of the footings or for a distance equal to the depth of the fill below the footings, whichever is deeper. If compacted fill cannot extend 5 feet beyond the perimeter of the proposed footings, due to existing foundations, etc. then the fill should be compacted to a minimum of 95% of the laboratory maximum dry density for a horizontal distance of at least 5 feet. The required vertical and lateral extent of the fill with respect to the location of the proposed structure should be verified by a licensed surveyor.
5. The excavated fill bottom should expose dense natural material, per our recommendations. All bottom excavations should be observed by a representative of our office prior to placement of fill. The bottom excavation should be scarified, watered or dried to near optimum moisture content, and compacted to 90% using the most recent version of ASTM D 1557 as the standard.
6. Fill should be placed in thin lifts, watered to near optimum moisture content, and compacted to at least 90% (or 95%, see above) of the material's maximum dry density, using the latest version of ASTM D 1557 as the standard, prior to placement of the next lift. All fill should be placed under the observation and testing of *Solid Soils & Geologic Consultants* to assist the contractor in achieving proper compaction.

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7. Approved fill material that is expansive should be placed slightly above optimum moisture. This will help reduce the detrimental affects of expansion and swelling.
8. Areas that are to receive paving should be processed to at least 24 inches below the existing grade or the finished subgrade, whichever is deeper.
9. All grading should comply with the grading specifications and the requirements of the County of Ventura.
10. It is anticipated that some shrinkage of the material will occur from the compaction process.

Spread Footings

Continuous spread footings may be used to support the proposed residence provided that they are founded entirely in future compacted fill. Footings may not be supported by two dissimilar materials such as fill and natural material. Continuous footings should be a minimum of 12 inches in width. Preliminary foundation design parameters are outlined on the following chart. Final foundation design parameters will be provided at the completion of grading based on the expansiveness of the surficial material. The engineer will ultimately decide the total depths and widths of the proposed footings based on loads, etc. The footing depths and widths provided herein are the minimums.

Bearing Material	Minimum Depth into Bearing Material (Inches)	Vertical Bearing (psf)	Coefficient of Friction	Passive Earth Pressure (pcf)	Maximum Earth Pressure (psf)
Future Compacted Fill	*18	1,500	0.30	200	1,500

*The structural engineer will ultimately decide the total depths and widths of the footings based on loads, etc. The footing depths and widths provided herein are the minimums.

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The allowable soil strength parameters indicated above are for the total of dead and frequently applied live loads and may be increased by one third for short duration loading, which includes the effects of wind or seismic forces. When combining passive and friction for lateral resistance, the passive component should be reduced by one third. For the purpose of bearing calculations, the weight of the concrete in the footing may be neglected.

All continuous footings should be reinforced with a minimum of four #4 steel bars, two placed near the top and two placed near the bottom of the footings. Footing excavations should be cleaned of all debris, loose soil, moistened, and free of shrinkage cracks prior to placing concrete. Observation of the footing excavations should be performed by *Solid Soils & Geologic Consultants* prior to placing forms, steel or concrete to verify the proper depths. All work and materials should comply with the specifications of the building official.

Floor Slabs

The recommended material to support the proposed floor slabs is future compacted fill. Following proper removal and compaction (as described above) slabs may be supported on the compacted fill. All footing excavation spoils and debris should be removed from the area. Floor slabs should be a minimum of 4 inches thick and should be cast over a clean, firm subgrade and reinforced with a minimum of #4 steel bars spaced 16 inches on center, both ways. The rebar should be bent in an "L" fashion and extend a minimum of 12 inches into the adjacent foundations. Care should be taken to cast the reinforcement near the center of the slab. Slabs should be provided with a bed of 4 inches of clean dry granular material beneath the concrete.

All slabs should be protected with a vapor retarder at least 10 mil thick, beneath them. The vapor retarder should conform to ASTM E1745 and have a permeance of less than 0.3 US perms (0.2 metric perms). The vapor retarder should be uncertain by a 2-inch thick layer of clean dry granular material. Installation of the vapor retarder should conform to the recommendations of ACI 302.2R.

The slab-on-grade area should be pre-saturated to 120% of optimum moisture to a depth of 21 inches, in accordance with the specifications of the County of Ventura Building Code prior to placing concrete. This office should verify all pre-saturations 24 hours prior to concrete placement, and the pre-saturation should be started at least 72 hours prior to concrete placement. It should be noted that pre-saturation would be difficult and cause muddy working conditions.

Foundation Settlement

Settlement of the foundation system is expected to occur on initial application of loading. Anticipated differential settlement for properly supported foundations should be on the order of ½ to 1 inch over the length of 40 feet. Total settlement is not expected to exceed approximately 1 inch.

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Temporary Excavations

A vertical cut of up to 5 feet may be made in the on-site material. Excavations greater than 5 feet should be trimmed back to 1½:1 (horizontal to vertical). Our office should observe all initial excavations and may need to provide alternative recommendations to those provided herein, such as shoring or slot cutting, if considerable caving is observed.

A representative of *Solid Soils & Geologic Consultants* should be present during grading to observe the performance of temporary slopes and excavations. All excavations should be properly fenced off (or other appropriate method) for safety and should be stabilized within 30 days of the initial excavation. Water should not be allowed to pond near the top of the excavations nor flow towards them. No vehicles should be allowed within 7 feet of a cut.

Sewage Disposal

Public sewers are not presently available for the subject property. An On-Site Wastewater Treatment System (OWTS) will be required for the proposed residence. Based on the information presented in this report, the use of a leach line type septic system is feasible from a geologic standpoint. The system should consist of a septic tank and leach lines. Based on the information presented in this report, such a system will not have an adverse geological effect on the property or adjacent properties. The accepted percolation strata is the older alluvium at a depth of approximately 4½ feet below existing grade.

The proposed residence will have 3 bedroom equivalents (per the County of Ventura Environmental Health) and will have less than 25 Fixture Units. Based on the County of Ventura Environmental Health Department Septic Tank Sizing Criteria (copy enclosed), the required septic tank size is 1,000 gallons for the proposed residence.

Four excavations were tested for percolation rates on the subject property. One deep and 3 shallow percolation tests were performed in order to verify the percolation rates in the area of proposed OWTS. The percolation tests were performed north of the proposed residence, as shown on the enclosed Plot Plan.

The information presented below and in the enclosures indicates that the slowest percolation rate in the area of the proposed leach lines was 60.0 minutes per inch. Based on a plot of UPC Table I-6 (see copy enclosed), the required absorption area per bedroom is 330 square feet, which is 990 square feet for the proposed 3 bedroom equivalent residence. A leach line trench 3 feet wide with 3 feet of gravel under the perforated pipe (see Typical Leach Line Detail, enclosed) will provide 6 square feet of absorption surface per linear foot. Two leach lines with total lengths of 83 feet each will supply the required area. The effluent should be equally distributed to each leach line by proper installation of a distribution box. Space must be provided for the 100% expansion leach lines as shown on the enclosed Plot Plan.

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Percolation testing in the area of the proposed leach lines consisted of a total of 4 excavations. One deep excavation was dug with a backhoe in the area of the proposed leach lines to a depth of 9½ feet below existing grade in order to determine if historic groundwater was present within 5 vertical feet of the bottom of the proposed trenches. Groundwater or indications of past groundwater levels were not observed in the deep excavation. The historically high groundwater level beneath the site is greater than 40 feet below existing grade. The historically high groundwater level beneath the site was obtained from the "Seismic Hazard Zone Report for the Ojai 7.5-Minute Quadrangle, Ventura County, California", dated 2002.

In order to perform percolation testing to current Ventura County standards, the deep excavation was tested for percolation rates at a depth of 9½ feet below existing grade. Next, a series of 3 shallow excavations were dug with the backhoe in the locations to be tested, to the anticipated depth of the proposed leach line bottoms (4½ feet below existing grade). The backhoe dug approximate 3-foot square excavations with access ramps. The test holes were spaced to provide representative percolation rates for the area of the anticipated leach lines and 100% expansion area. In the cleaned bottom of the backhoe excavations, percolation tests were run in 12-inch diameter by 12-inch deep hand dug holes. The percolation testing was setup and run in accordance with the requirements of the Ventura County Environmental Health Division's Onsite Wastewater Treatment Systems Technical Manual. The percolation results are provided in the enclosures.

A schematic design of the OWTS is provided in the enclosures. A Plot Plan, showing the locations of the proposed residence, septic tank, leach lines, distribution box, and the 100% expansion leach lines, as well as other information required by the County of Ventura are included in the enclosures. The locations of the proposed septic tank, leach line, and the 100% expansion leach line for the existing studio are also shown on the enclosed Plot Plan. The design was performed as a part of our report referenced above.

In the event of any changes in the design or location of the OWTS or any structure, as outlined in this report, the conclusions and recommendations contained herein may not be considered valid. Any changes should be reviewed by *Solid Soils & Geologic Consultants*, and our conclusions and recommendations modified or reaffirmed after such a review.

Drainage

Positive control of surface water should be established. Irrigation water should not enter the development area. Roof gutters and downspouts should be provided to collect **all** roof water. Downspouts should deposit the water into a buried drain or paved swale. Downspouts should not direct water onto the soil next to the foundations. Pad and roof drainage should be collected and transferred to the street or approved drainage system in non-erosive drainage devices. Water should be directed away from foundations. Drainage should not be allowed to pond on the pad, under the building, against any foundations, or behind walls. A minimum of 2% (2 vertical per 100

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horizontal) drainage should be provided in all areas. A 5% slope should be considered for non-paved areas in the vicinity of the structures. The 5% zone should be at least seven feet wide, where possible. Fine-grade fills placed to create pad drainage should be compacted in order to retard infiltration of surface water.

Crawl spaces for raised floors, which are below the adjacent grade, should be graded for drainage per the above recommendations. All water should be collected by an area drain or other appropriate device, and transported to the drain system in a solid pipe. This should be shown on the appropriate plans.

Preserving proper surface drainage is also important. Planters, decorative walls, plants, trees or accumulations of organic matter should not be allowed to retard surface drainage or clog drains. Area drains and roof gutters should be kept free of obstructions. Roof gutters and condensation lines from air conditioners should outlet to area drains or paved areas which conduct the water to the street. Positive drainage along the backs of walls should be maintained. Any other measures that will facilitate positive surface drainage should be employed. Long-term saturation of the soils or subsurface may adversely affect structure foundations, slabs, patios, sidewalks and other rigid surfaces. The property owner and gardener should be reminded of the need to preserve proper drainage.

Vegetation and Irrigation

The landscaping process should aid in abating erosion. Care should be taken not to over-irrigate the property. Watering patterns should be modified to reflect rainy periods. The irrigation system should be checked on a regular basis for leakage. All leaks should be repaired immediately. Irrigation water should be applied only to the minimum extent needed to support plant life. A good source of information is your local city or county agency, the "Sunset New Western Garden" book, or similar publications.

Planter boxes adjacent to building foundations should either be avoided or appropriately sealed so that the irrigation water does not impact the foundations. Sealing may be accomplished by constructing the planters with a solid base and sidewall weep holes (exiting on side away from the building), or by providing a cutoff wall adjacent to the foundations. Cutoff walls should be at least 6 inches thick and extend at least 30 inches below the grade.

Control of irrigation water is a necessary part of site maintenance. Soggy ground, perched water, seeps and/or water damage may result if irrigation water is excessively or improperly applied. All irrigation systems should be adjusted to provide the minimum water needed to sustain landscaping. Adjustments should be made for changes of the seasons. Irrigation should stop when sufficient water is provided by precipitation. Broken, leaking, or plugged sprinklers or irrigation lines should be repaired immediately. Frequent inspections of the irrigation systems should be performed. The

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property owner and gardener should be reminded of the need to properly irrigate the property and the potential damage that may occur from irresponsible watering.

Utility Trench Backfill

Backfill for utility trench excavations should be compacted to at least 90% relative compaction. The designer and contractor should be aware of the potential of backfill sand in utility trenches to act as a subdrain. Water can be collected in the utility trenches and transported considerable distances, often across property lines. Flooding of junction boxes or service laterals may result. Flooding of service laterals may cause water damage to the addition and detached garage, including the interior of the structure. Appropriate measures should be taken in the design and construction phase to prevent such flooding.

Plan Review

Finalized plans should be submitted to *Solid Soils & Geologic Consultants* for comment and review. Additional recommendations may be provided at that time, if such are considered warranted. **A minimum of 48 hours should be allowed for the review of the plans.**

Construction Monitoring

A pre-construction meeting should be held at the site between the owner, contractor, grader, and *Solid Soils & Geologic Consultants*. The meeting should be held at least two days prior to starting any fieldwork. Compliance with *Solid Soils & Geologic Consultants* design concepts, specifications and recommendations during construction requires our review during the course of construction.

All temporary excavations should be observed by a representative of *Solid Soils & Geologic Consultants* to verify that the anticipated conditions are present and that our recommendations have been implemented at the construction site.

All fill bottom excavations should be observed prior to placement of fill. A representative of this office should monitor placement of all fill. Supplemental recommendations may prove warranted based upon the materials exposed in the actual excavations.

Foundation excavations should be observed by a representative of *Solid Soils & Geologic Consultants* to determine if the recommended depth into the proper bearing material has been achieved and that the site conditions are the same as those anticipated. Such observations should be made prior to placing concrete, steel or forms. Please notify our office at least 24 hours prior to a site visit. The approved plans and permits should be on the job site and available for our review.

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General Conditions

In the event of any changes in the design or location of any structure, as outlined in this report, the conclusions and recommendations contained herein may not be considered valid. Any changes should be reviewed by *Solid Soils & Geologic Consultants* and our conclusions and recommendations modified or reaffirmed after such a review.

The subsurface conditions described herein have been projected from excavations on the site. They should in no way be construed to reflect any variations which may occur between these excavations or which may result from changes in subsurface conditions. If conditions encountered during construction appear to differ from those disclosed herein, notify *Solid Soils & Geologic Consultants* immediately so we may consider the need for modifications.

Exploration was performed on only a portion of the site. The findings for the study area cannot be considered as indicative of areas not explored.

This report is made and issued for the sole use and benefit of the client and is not transferable. This report states conditions as of the date of the exploration. Any liability in connection herewith shall not exceed our fee for the exploration. No warranty, expressed or implied, is made or intended in connection with the exploration, by the furnishing of this report, or by any other oral or written statement.

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Thank you for this opportunity to be of service. If you have any questions regarding this report, please feel free to contact the undersigned at (805) 202-6533.

Respectfully submitted,
SOLID SOILS & GEOLOGIC CONSULTANTS



Jeff Sivas
C.E.G. 2565 expires 2/23

Shaun Simon
R.C.E. 82610 expires 10/22



- Enclosures:
- Vicinity Maps
 - Plot Plan
 - Test Pit Logs Plates TP-1 through TP-7
 - Shear Test Results Plates S-1 and S-2
 - Consolidation Test Results Plate C-1
 - Seismic Information
 - Percolation Test Data & Information

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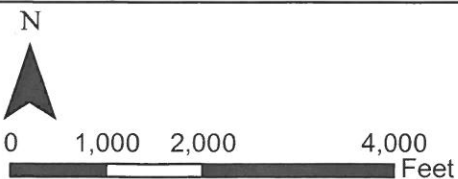
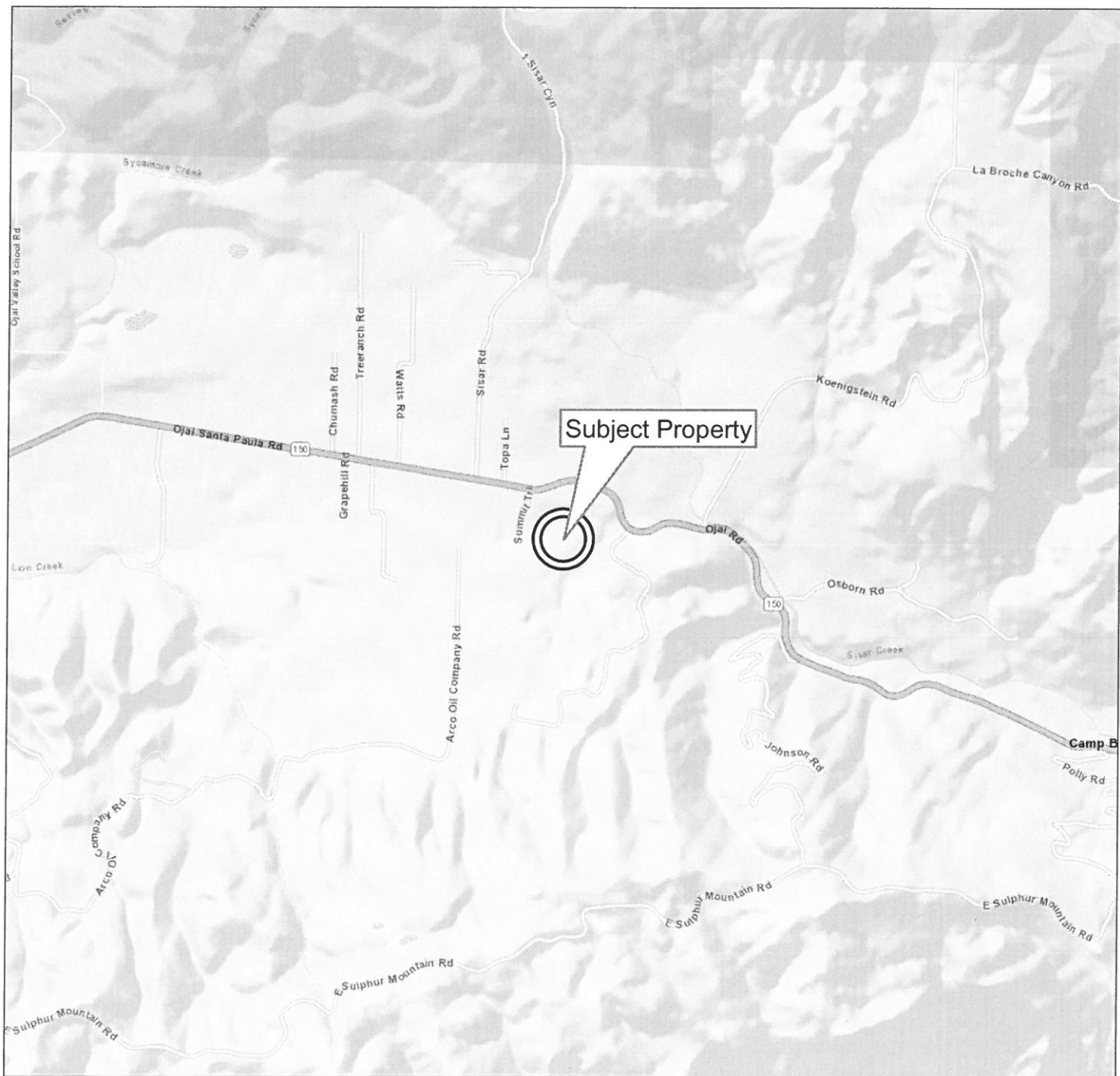


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Subject: Vicinity Map
Reference: ESRI World Street Map
Scale: 1" = 2000'

Client: Mircetic
Job #: SS-434-S
Date: 2/2022



Vicinity Map

1 Inch = 2,000 Feet



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Subject: Vicinity Geologic Map 1
Reference: Dibblee, Ojai Quad
Scale: 1" = 1000'

Client: Mircetic
Job #: SS-434-S
Date: 2/2022



Vicinity Geologic Map 1

0 500 1,000 2,000
Feet

1 Inch = 1,000 Feet



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Subject: Vicinity Geologic Map 2
Reference: USGS Ojai Quad
Scale: 1" = 1000'

Client: Mircetic
Job #: SS-434-S
Date: 2/2022



Vicinity Geologic Map 2

0 500 1,000 2,000
Feet

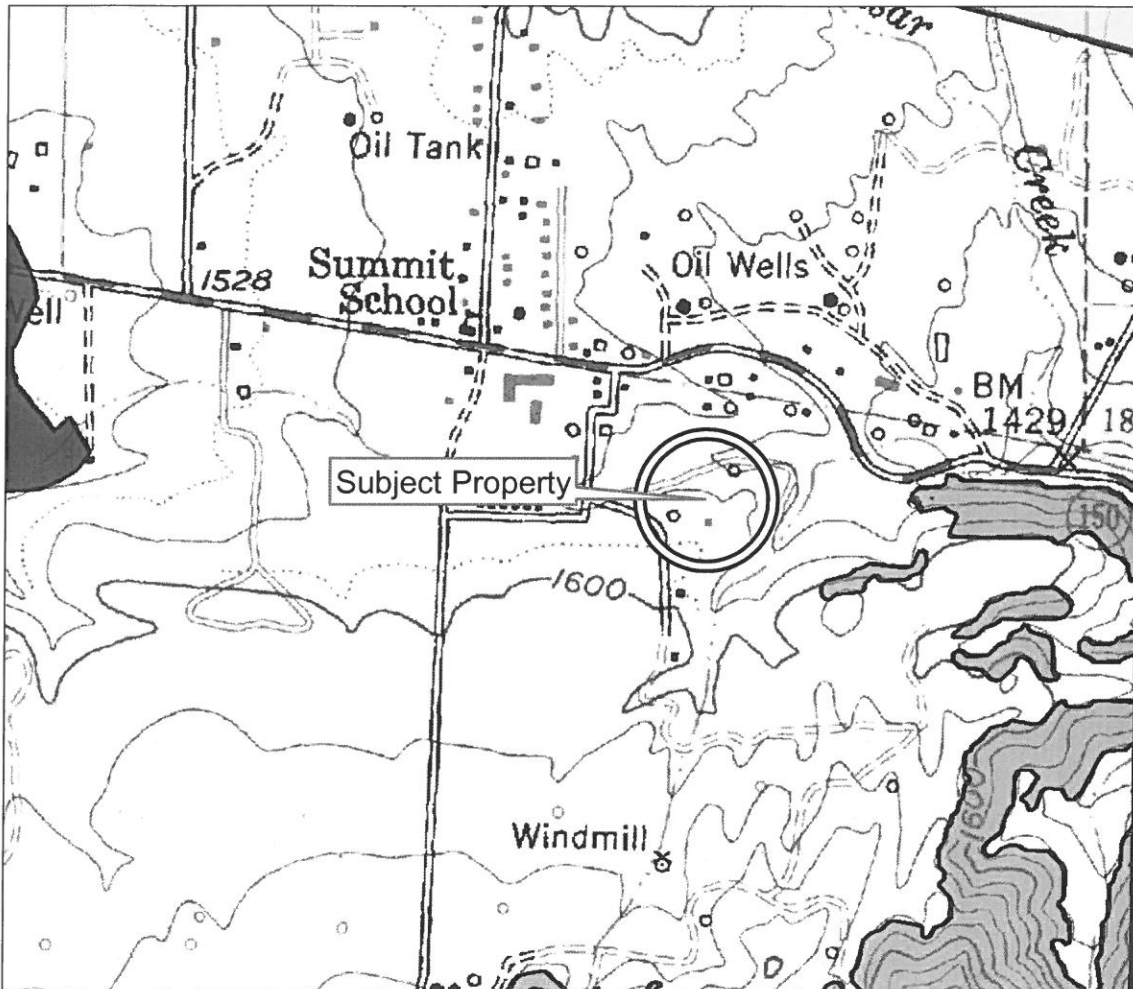
1 Inch = 1,000 Feet



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Subject: Seismic Hazard Zones Map
Reference: California Geological Survey
Scale: 1" = 1000'

Client: Mircetic
Job #: SS-434-S
Date: 2/2022

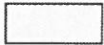


(SANTA PAULA PEAK)

EARTHQUAKE FAULT ZONES

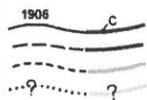
Earthquake Fault Zones

Zone boundaries are delineated by straight-line segments; the boundaries define the zone encompassing active faults that constitute a potential hazard to structures from surface faulting or fault creep such that avoidance as described in Public Resources Code Section 2621.5(a) would be required.



Active Fault Traces

Faults considered to have been active during Holocene time and to have potential for surface rupture: Solid Line in Black or Red where Accurately Located; Long Dash in Black or Solid Line in Purple where Approximately Located; Short Dash in Black or Solid Line in Orange where Inferred; Dotted Line in Black or Solid Line in Rose where Concealed; Query (?) indicates additional uncertainty. Evidence of historic offset indicated by year of earthquake-associated event or C for displacement caused by fault creep.



SEISMIC HAZARD ZONES

Liquefaction Zones

Areas where historical occurrence of liquefaction, or local geological, geotechnical and ground water conditions indicate a potential for permanent ground displacements such that mitigation as defined in Public Resources Code Section 2693(c) would be required.



Earthquake-Induced Landslide Zones

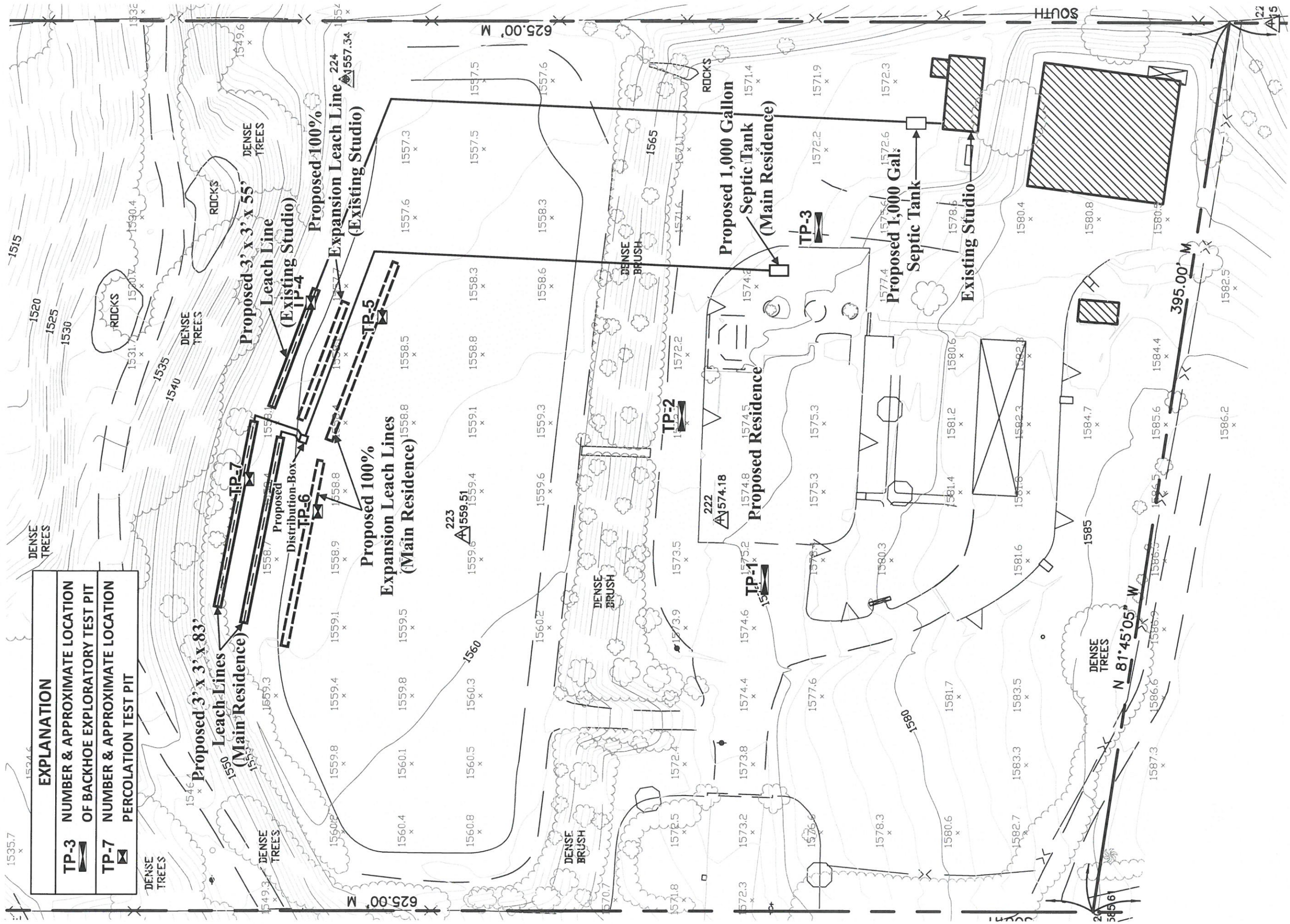
Areas where previous occurrence of landslide movement, or local topographic, geological, geotechnical and subsurface water conditions indicate a potential for permanent ground displacements such that mitigation as defined in Public Resources Code Section 2693(c) would be required.



Seismic Hazard Zones Map



1 Inch = 1,000 Feet



EXPLANATION	NUMBER & APPROXIMATE LOCATION OF BACKHOE EXPLORATORY TEST PIT	NUMBER & APPROXIMATE LOCATION PERCOLATION TEST PIT
TP-3		
TP-7		

11820 Topa Vista Rd.
Plot Plan



Subject: Plot Plan
 Reference: Les Everard Surveyor
 Scale: 1 Inch = 40 Feet

Client: Mircetic
 Job #: SS-434-S
 Date: 2/2022





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TEST PIT LOG

Job #: SS-434-S
Client: Mircetic
Address: 11820 Topa Vista Rd.

Test Pit #: TP-1
Date Excavated: 07/15/2021
Logged By: JN

DEPTH (ft)

DESCRIPTION

0 - 2

ARTIFICIAL FILL (af):

Silty SAND with Clay; very fine grained, dark brown, moist, medium dense to dense, trace amounts of gravel up to 1".

2 - 8

BEDROCK: MONTEREY FORMATION (Tm):

Clayey, Silty SANDSTONE; very fine to fine grained with some medium grains and trace coarse grains, medium orangish, tannish, and greyish brown, moist to very moist, moderately weathered, dense to very dense at 4.5', some siliceous clasts up to approximately 6" across.

APPROX. BEDDING at 4': N60°E/ 9° N

Total Depth: 8'. No Water. No Caving. Fill to 2'.



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TEST PIT LOG

Job #: SS-434-S
Client: Mircetic
Address: 11820 Topa Vista Rd.

Test Pit #: TP-2
Date Excavated: 07/15/2021
Logged By: JN

DEPTH (ft)

DESCRIPTION

0 - 2

ARTIFICIAL FILL (af):

Silty SAND with Clay and Gravel; very fine to coarse grained, medium brown, slight moist to moist at approx. 1', gravel up to 3" across, dense to very dense.

2 - 5

BEDROCK; MONTEREY FORMATION (Tm):

Clayey, Silty SANDSTONE; very fine to fine grained with some medium grains and trace coarse grains, medium orangish, tannish, and greyish brown, moist, moderately weathered, dense to very dense at approx. 3.5', some siliceous clasts up to approximately 6" across.

Total Depth: 5'. No Water. No Caving. Fill to 2'.



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TEST PIT LOG

Job # : SS-434-S

Client: Mircetic

Address: 11820 Topa Vista Rd.

Test Pit # : TP-3

Date Excavated: 07/15/2021

Logged By: JN

DEPTH (ft)

DESCRIPTION

0 - 1

ARTIFICIAL FILL (af):

Silty SAND with Clay and Gravel; very fine to coarse grained, medium brown, slight moist to moist at approx. 1', gravel up to 3" across, dense to very dense, 3" layer of asphalt at 0.75'.

1 - 5

BEDROCK; MONTEREY FORMATION (Tm):

Clayey, Silty SANDSTONE; very fine to fine grained with some medium grains and trace coarse grains, medium orangish, tannish, and greyish brown, moist, moderately weathered, dense to very dense at approx. 3', some siliceous clasts up to approximately 6" across.

Total Depth: 5'. No Water. No Caving. Fill to 1'.



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TEST PIT LOG

Job #: SS-434-S
Client: Mircetic
Address: 11820 Topa Vista Rd.

Test Pit #: TP-4
Date Excavated: 07/15/2021
Logged By: JN

DEPTH (ft)

DESCRIPTION

0 - 1.0

ARTIFICIAL FILL (af):

Silty, Gravelly SAND with Clay; very fine to coarse grained, medium brown, loose, slightly moist to dry, abundant roots and pinhole voids.

1.0 - 4.5

OLDER ALLUVIUM (Qoal):

Silty, Gravelly SAND with Clay; very fine to coarse grained, medium brown, slightly moist, medium dense to dense at approx. 2.5', cobbles up to 6" across.

Total Depth: 4.5'. No Water. No Caving. Fill to 1'.



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TEST PIT LOG

Job # : SS-434-S

Client: Mircetic

Address: 11820 Topa Vista Rd.

Test Pit # : TP-5

Date Excavated: 07/15/2021

Logged By: JN

DEPTH (ft)

DESCRIPTION

0 - 1.0

ARTIFICIAL FILL (af):

Silty, Gravelly SAND with Clay; very fine to coarse grained, medium brown, loose, slightly moist to dry, abundant roots and pinhole voids.

1.0 - 4.5

OLDER ALLUVIUM (Ooal):

Silty, Gravelly SAND with Clay; very fine to coarse grained, medium brown, slightly moist, medium dense to dense at approx. 2.5', cobbles up to 4" across.

Total Depth: 4.5'. No Water. No Caving. Fill to 1'.



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TEST PIT LOG

Job # : SS-434-S
Client: Mircetic
Address: 11820 Topa Vsita Rd.

Test Pit # : TP-6
Date Excavated: 07/15/2021
Logged By: JN

DEPTH (ft)

DESCRIPTION

0 - 1.0

ARTIFICIAL FILL (af):
Silty, Gravelly SAND with Clay; very fine to coarse grained, medium brown, loose, slightly moist to dry, abundant roots and pinhole voids.

1.0 - 9.5

OLDER ALLUVIUM (Qoal):
Silty, Gravelly SAND with Clay; very fine to coarse grained, medium brown, slightly moist, medium dense to very dense at approx. 3.0', cobbles up to 6" across.

Total Depth: 9.5'. No Water. No Caving. Fill to 1'.



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TEST PIT LOG

Job # : SS-434-S
Client: Mircetic
Address: 11820 Topa Vista Rd.

Test Pit # : TP-7
Date Excavated: 07/15/2021
Logged By: JN

DEPTH (ft)

DESCRIPTION

0 - 1.0

ARTIFICIAL FILL (af):
Silty, Gravelly SAND with Clay; very fine to coarse grained, medium brown, loose, slightly moist to dry, abundant roots and pinhole voids.

1.0 - 4.5

OLDER ALLUVIUM (Qoal):
Silty, Gravelly SAND with Clay; very fine to coarse grained, medium brown, slightly moist, medium dense to dense at approx. 2.5', boulders up to 1.5' across.

Total Depth: 4.5'. No Water. No Caving. Fill to 1'.

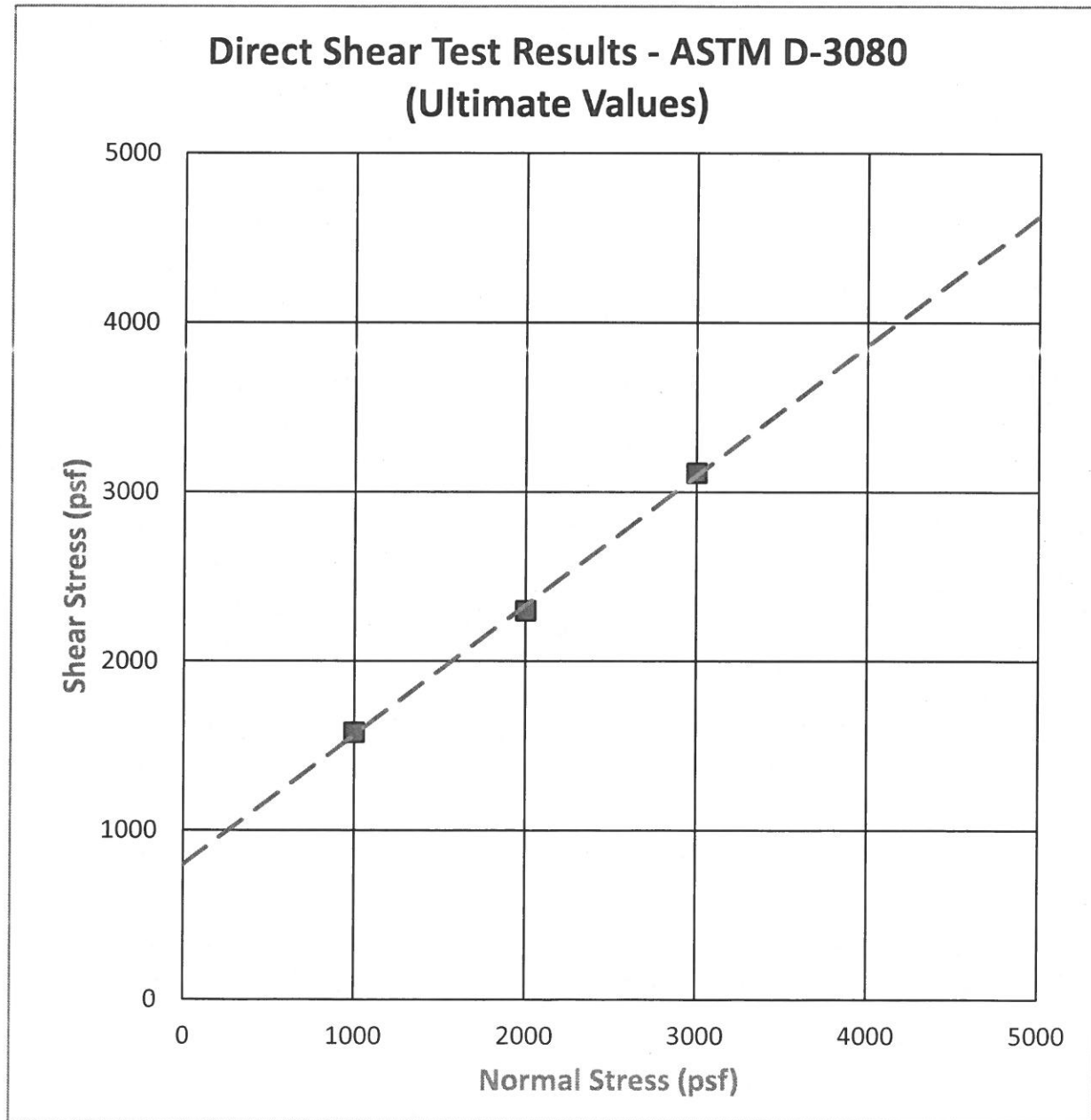


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Job Number: SS-434-S
Client: Mircetic
Sample Location: TP-3 @ 5'
Earth Material: Clayey Silty Sand

Cohesion: 797.0 (psf)
Phi Angle: 37.5°
Shear Rate: 0.05 in/min

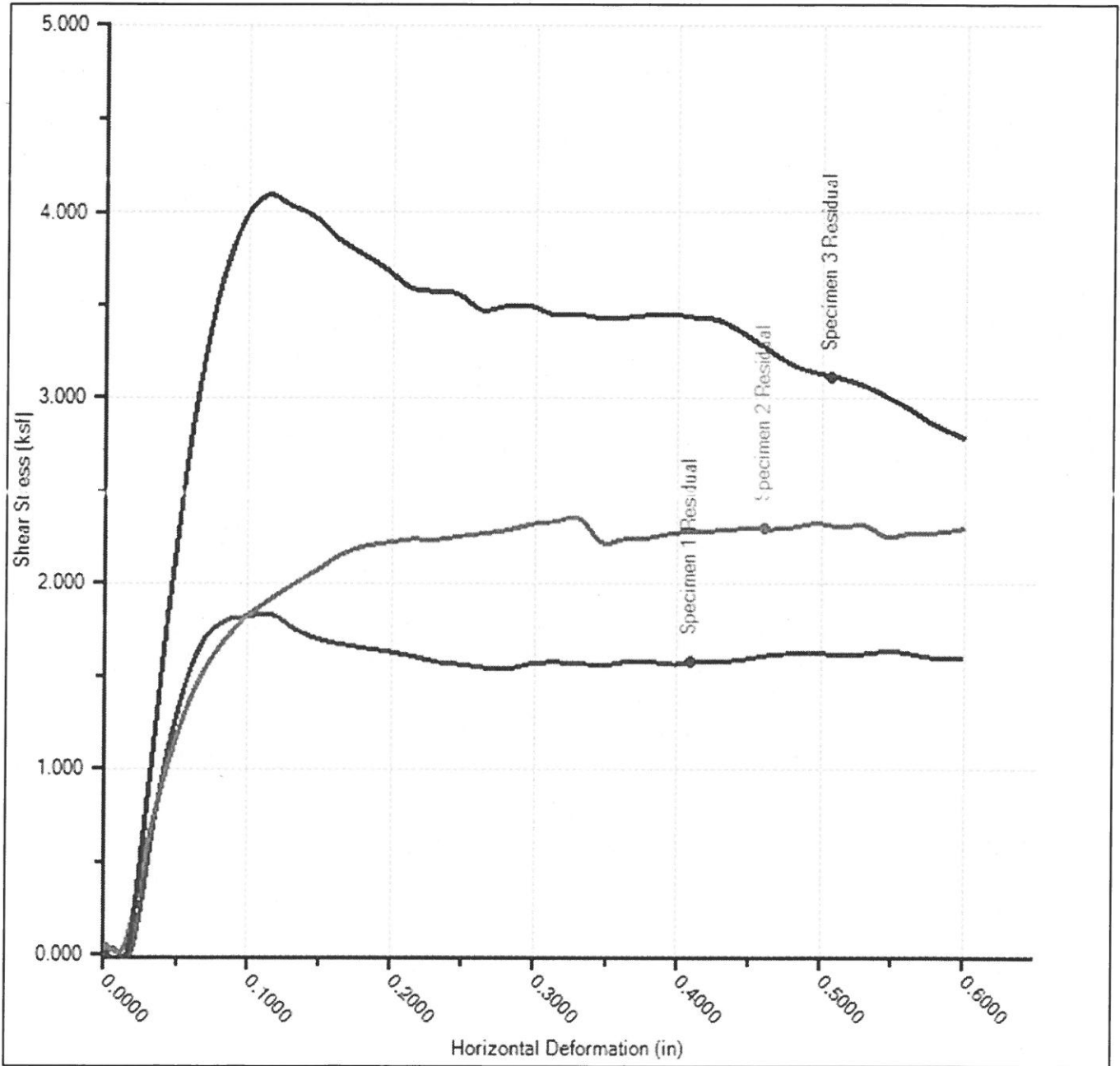
Initial Moisture Content: 15.1 %
Dry Density: 107.9 (pcf)
Degree of Saturation: 98.3 %



SHEAR DIAGRAM S-1



SS-434-S Mircetic TP-3 @ 5'.HSDN - DS Test





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Job Number: SS-434-S

Client: Mircetic

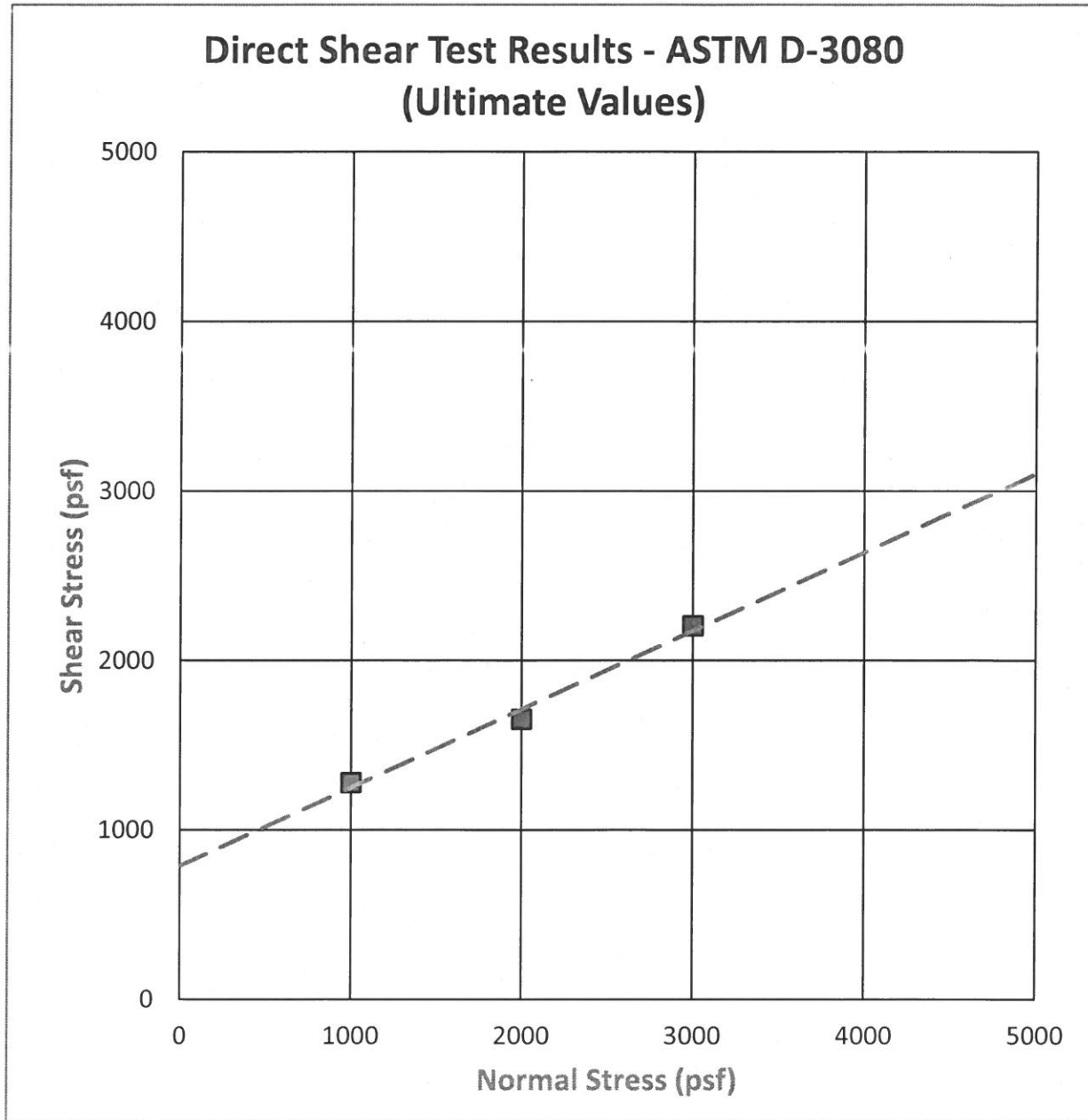
Sample Location: TP-1-2 @ 0-5'

Earth Material: Clayey Silty Sand

Cohesion: 787.33 (psf)

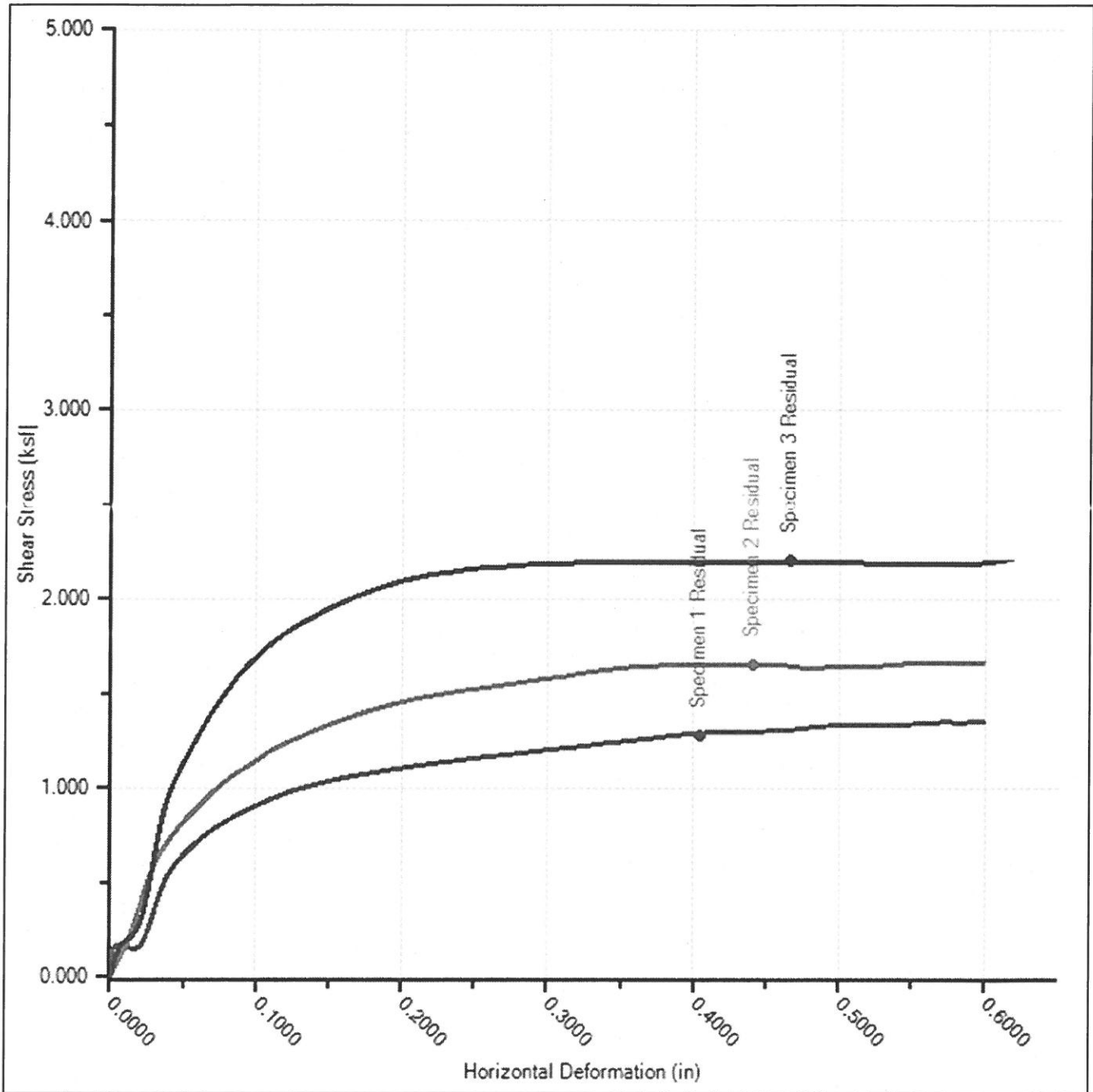
Phi Angle: 24.8°

Shear Rate: 0.05 in/min



SHEAR DIAGRAM S-2

DS SS-434-S Mercetic Composite @ 0-5'.HSDN - DS Test

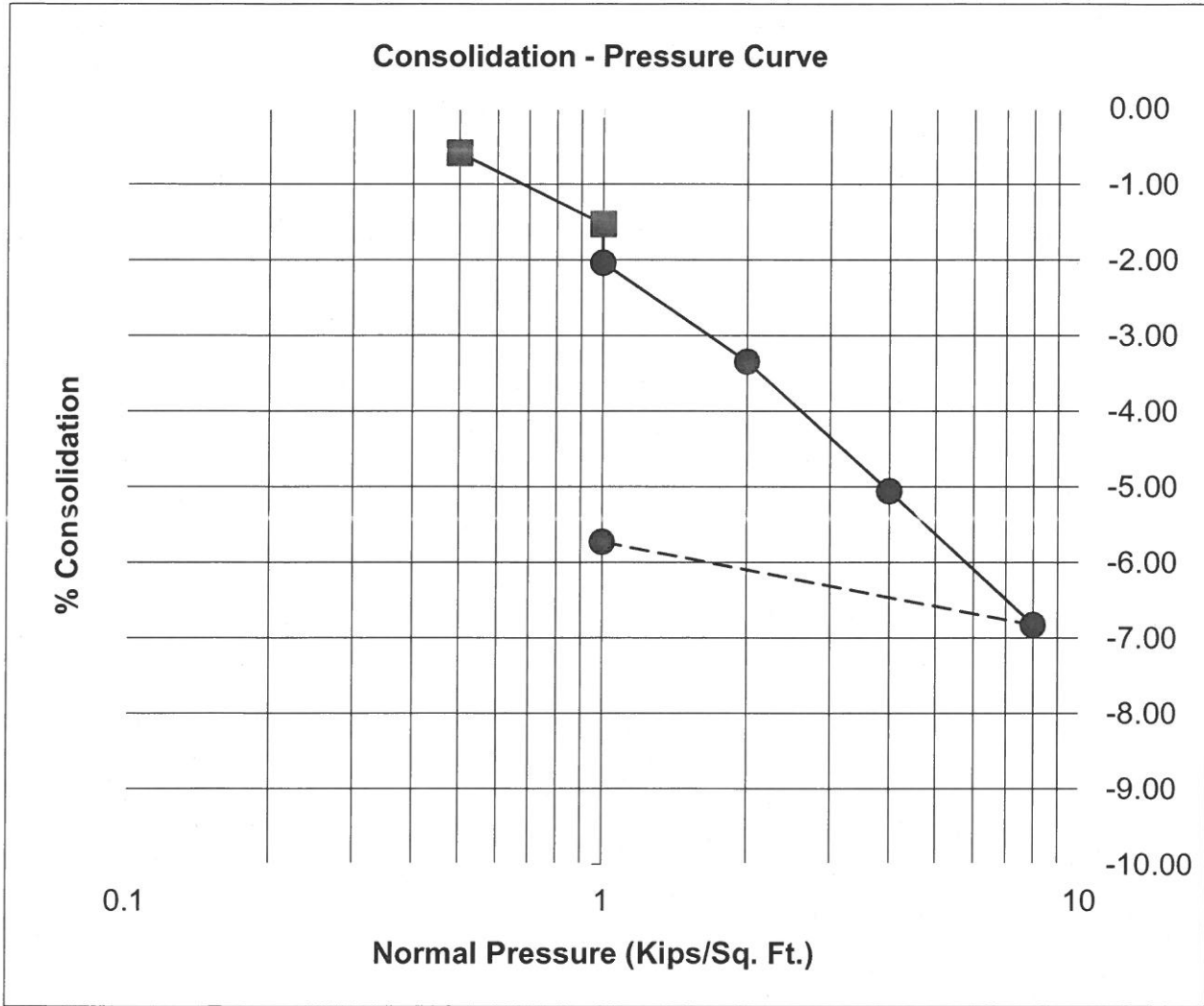


Consolidation Test Results

Job: SS-434-S
Test by: LE
Test Pit or Boring: TP-1

Client: Mircetic
Checked by: JS
Depth: 4.5"

Date: 7/26/21
Subject: Consolidation Diagram
Material: Clayey Silty Sand



■ = Field Moisture

● = Sample Flooded

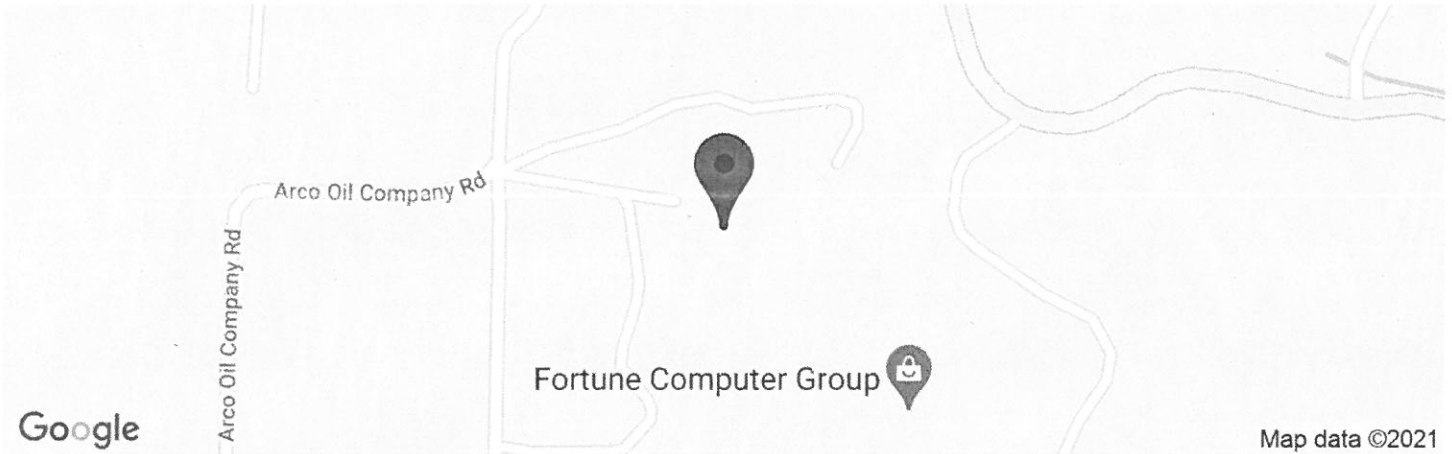
Plate: C-1



MIRCETIC

11820 Topa Vista Rd, Santa Paula, CA 93060, USA

Latitude, Longitude: 34.4336708, -119.1332982



Date	7/26/2021, 1:13:13 PM
Design Code Reference Document	ASCE7-16
Risk Category	II
Site Class	D - Default (See Section 11.4.3)

Type	Value	Description
S_S	1.899	MCE_R ground motion. (for 0.2 second period)
S_1	0.727	MCE_R ground motion. (for 1.0s period)
S_{MS}	2.279	Site-modified spectral acceleration value
S_{M1}	null -See Section 11.4.8	Site-modified spectral acceleration value
S_{DS}	1.519	Numeric seismic design value at 0.2 second SA
S_{D1}	null -See Section 11.4.8	Numeric seismic design value at 1.0 second SA

Type	Value	Description
SDC	null -See Section 11.4.8	Seismic design category
F_a	1.2	Site amplification factor at 0.2 second
F_v	null -See Section 11.4.8	Site amplification factor at 1.0 second
PGA	0.833	MCE_G peak ground acceleration
F_{PGA}	1.2	Site amplification factor at PGA
PGA_M	0.999	Site modified peak ground acceleration
T_L	8	Long-period transition period in seconds
$SsRT$	1.899	Probabilistic risk-targeted ground motion. (0.2 second)
$SsUH$	2.128	Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration
SsD	2.148	Factored deterministic acceleration value. (0.2 second)
$S1RT$	0.727	Probabilistic risk-targeted ground motion. (1.0 second)
$S1UH$	0.815	Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration.
$S1D$	0.77	Factored deterministic acceleration value. (1.0 second)
PGA_d	0.885	Factored deterministic acceleration value. (Peak Ground Acceleration)
C_{RS}	0.893	Mapped value of the risk coefficient at short periods
C_{R1}	0.891	Mapped value of the risk coefficient at a period of 1 s

PERCOLATION TEST DATA

JOB ADDRESS: 11820 Topa Vista Rd

NEAREST CROSS STREET: Ojai-Santa Paula Rd.

OWNER: Mircetic

DATE OF PRESOAKING: 07/15/2021

DATE OF TESTING: 07/16/2021

TEST PERFORMED BY: JS/JN

WEATHER: Clear

TEMP: 90° F

TEST HOLE NUMBER: TP-4

DEPTH TO BOTTOM: 54.0"

DEPTH TO REFERENCE POINT: 42.0"

REFERENCE POINT TO BOTTOM: 12.0"

SLOWEST RATE (MIN/INCH): 18.5

TIME	TIME INTERVAL (MIN)	DEPTH TO WATER (IN)	CHANGE IN H2O LEVEL (IN)	PERC. RATE MIN/INCH
12:37		6.00		
13:07	30	7.75	1.75	17.1
13:08		6.00		
13:38	30	7.75	1.75	17.1
13:39		6.00		
14:09	30	7.63	1.63	18.5
14:10		6.00		
14:40	30	7.75	1.75	17.1
14:41		6.00		
15:11	30	7.88	1.88	16.0
15:12		6.00		
15:42	30	7.75	1.75	17.1
15:43		6.00		
16:16	33	7.88	1.88	17.6

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PERCOLATION TEST DATA

JOB ADDRESS: 11870 Topa Vista Rd

NEAREST CROSS STREET: Ojai-Santa Paula Rd.

OWNER: Mircetic

DATE OF PRESOAKING: 07/15/2021

DATE OF TESTING: 07/17/2021

TEST PERFORMED BY: JS/JN

WEATHER: Clear

TEMP: 90° F

TEST HOLE NUMBER: TP-5

DEPTH TO BOTTOM: 54.0"

DEPTH TO REFERENCE POINT: 42.0"

REFERENCE POINT TO BOTTOM: 12.0"

SLOWEST RATE (MIN/INCH): 51.2

TIME	TIME INTERVAL (MIN)	DEPTH TO WATER (IN)	CHANGE IN H2O LEVEL (IN)	PERC. RATE MIN/INCH
12:38		5.75		
13:09	31	6.88	1.13	27.6
13:10		6.00		
13:40	30	6.75	0.75	40.0
13:41		6.00		
14:11	30	6.63	0.63	48.0
14:12		6.00		
14:42	30	6.63	0.63	48.0
14:43		6.00		
15:14	31	6.64	0.64	48.8
15:15		6.00		
15:47	32	6.63	0.63	51.2
15:48		6.00		
16:20	32	6.63	0.63	51.2

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PERCOLATION TEST DATA

JOB ADDRESS: 11820 Topa Vista Rd

NEAREST CROSS STREET: Ojai-Santa Paula Rd.

OWNER: Mircetic

DATE OF PRESOAKING: 07/15/2021

DATE OF TESTING: 07/16/2021

TEST PERFORMED BY: JS/JN

WEATHER: Clear

TEMP: 90° F

TEST HOLE NUMBER: TP-6

DEPTH TO BOTTOM: 114.0"

DEPTH TO REFERENCE POINT: 102.0"

REFERENCE POINT TO BOTTOM: 12.0"

SLOWEST RATE (MIN/INCH): 60.0

TIME	TIME INTERVAL (MIN)	DEPTH TO WATER (IN)	CHANGE IN H2O LEVEL (IN)	PERC. RATE MIN/INCH
12:38		6.00		
13:08	30	6.75	0.75	40.0
13:09		6.00		
13:39	30	6.70	0.70	42.9
13:40		6.00		
14:10	30	6.65	0.65	46.2
14:11		6.00		
14:41	30	6.55	0.55	54.5
14:42		6.00		
15:12	30	6.51	0.51	58.8
15:13		6.00		
15:43	30	6.50	0.50	60.0
15:44		6.00		
16:14	30	6.50	0.50	60.0

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PERCOLATION TEST DATA

JOB ADDRESS: 11820 Topa Vista Rd

NEAREST CROSS STREET: Ojai-Santa Paula Rd.

OWNER: Mircetic

DATE OF PRESOAKING: 07/15/2021

DATE OF TESTING: 07/16/2021

TEST PERFORMED BY: JS/JN

WEATHER: Clear

TEMP: 90° F

TEST HOLE NUMBER: TP-7

DEPTH TO BOTTOM: 54.0"

DEPTH TO REFERENCE POINT: 42.0"

REFERENCE POINT TO BOTTOM: 12.0"

SLOWEST RATE (MIN/INCH): 60.0

TIME	TIME INTERVAL (MIN)	DEPTH TO WATER (IN)	CHANGE IN H2O LEVEL (IN)	PERC. RATE MIN/INCH
12:40		6.00		
13:11	31	6.80	0.80	38.8
13:12		6.00		
13:42	30	6.75	0.75	40.0
13:43		6.00		
14:13	30	6.70	0.70	42.9
14:14		6.00		
14:45	31	6.65	0.65	47.7
14:46		6.00		
15:16	30	6.55	0.55	54.5
15:17		6.00		
15:47	30	6.55	0.55	54.5
15:48		6.00		
16:18	30	6.50	0.50	60.0

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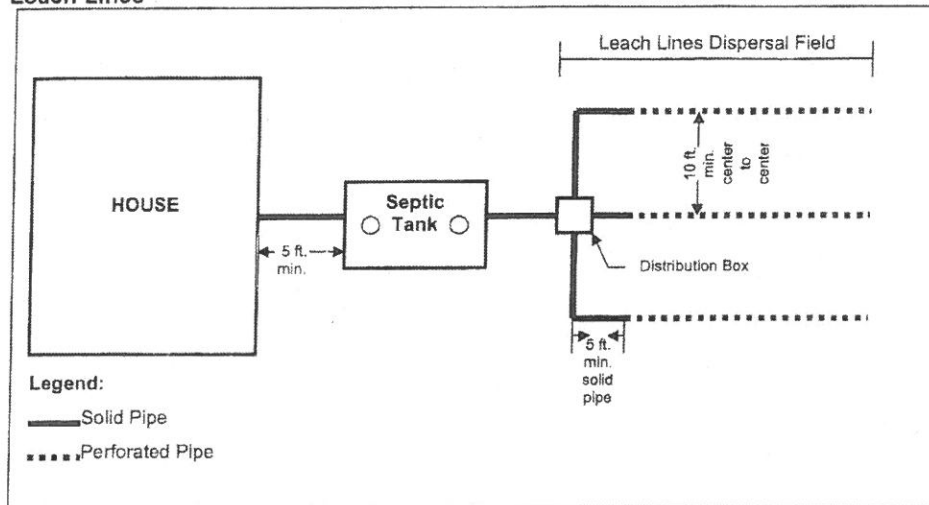


Subject: Septic Detail
Reference: Ventura County Environmental Health
Scale: --

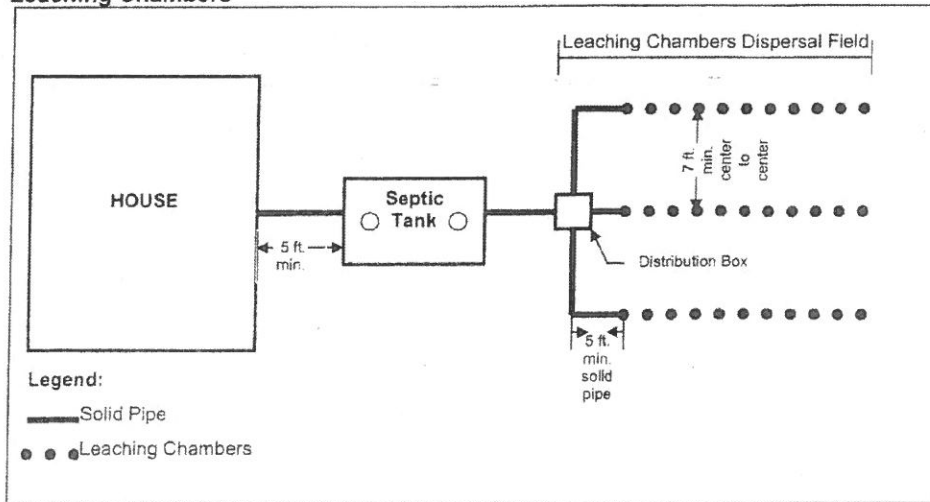
Client: Mircetic
Job #: SS-434-S
Date: 2/2022

Typical Septic Tank System with Conventional Dispersal Field

Leach Lines



Leaching Chambers



Typical Septic Tank System with Conventional Dispersal Field



Subject: Absorption Area Requirements
Reference: Ventura County Environmental Health
Scale: --

Client: Mircetic
Job #: SS-434-S
Date: 2/2022

Absorption Area Requirements

Percolation Rate (Time in minutes required for water to fall one inch)	Required Absorption Area (Sq. ft. per bedroom using standard leach lines. See notes (a) through (e) below.
1 or less	75
2	85
3	100
4	115
5	125
10	165
15	190
30	250
45	300
60	330
over 60 (e)	---

- (a) Sufficient usable land area must be available to provide 100% expansion of required absorption area when/if necessary. See Sec. UPC APPENDIX K-1(d) in this Code.
- (b) Absorption area should be sufficient to accommodate increased future use stemming from the addition of bedrooms or conversion of unfinished spaces to bedroom use, whenever such changes can be reasonably be anticipated.
- (c) The absorption area for leach lines and leaching beds is calculated as trench bottom area only except as provide in Sec. UPC APPENDIX K-3 in this ordinance. Minimum required area for leaching trenches is 150 sq. ft.
- (d) The above table allows for the connection of domestic food waste units and automatic clothes washing machines without further increase in absorption area.
- (e) Soil having a percolation rate over 60 min/inch is unsuitable for installation of an absorption system.

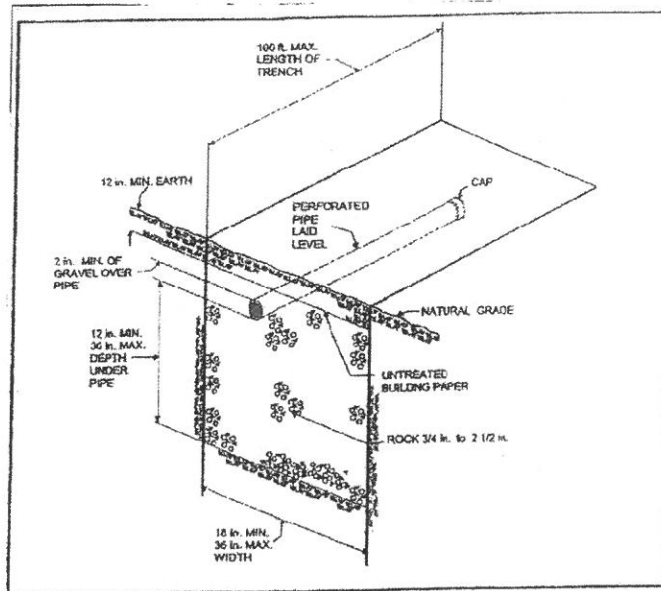
Absorption Area Requirements



Subject: Typical Leach Lines
Reference: Ventura County Environmental Health
Scale: --

Client: Mircetic
Job #: SS-434-S
Date: 2/2022

Typical Leach Lines



**Square Feet Per Lineal Foot
Trench Widths and Depths**

		Width of Trench Bottom			
		18 inches	24 inches	30 inches	36 inches
Depth of Gravel Below Pipe	12 inches	1 ½ Feet ²	2 Feet ²	2 ½ Feet ²	3 Feet ²
	18 inches	2 ½ Feet ²	3 Feet ²	3 ½ Feet ²	4 Feet ²
	24 inches	3 Feet ²	4 Feet ²	4 ½ Feet ²	5 Feet ²
	30 inches	3 Feet ²	4 Feet ²	5 Feet ²	6 Feet ²
	36 inches	3 Feet ²	4 Feet ²	5 Feet ²	6 Feet ²

1. No system may be installed with less than 150 square feet of trench bottom.
2. In large specially designed systems 50% of the required square footage of leaching area must be obtained from trench bottom, and no more than 50% from side walls..
3. Additional footage may be obtained from side walls measured between 12 inches and 36 inches below the pipe.

Typical Leach Lines



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Subject: ISDS Setbacks
Reference: Ventura County Environmental Health
Scale: --

Client: Mircetic
Job #: SS-434-S
Date: 2/2022



Ventura County Environmental Health Division - 800 S. Victoria Ave., Ventura CA 93009-1730
805/654-5008, 654-2802, or 654-2859
Internet Web Site Address: www.ventura.org/rma/envhealth

INDIVIDUAL SEWAGE DISPOSAL SYSTEM SETBACK REQUIREMENTS

Minimum Horizontal Distance in Feet from:	Building Sewer	Septic Tank	Disposal Field	Seepage Pit	Subsurface Sand Filtration System	Mound System
Buildings or Structures ¹	2	5	8	8	8	20 ²
Property line adjoining private property	Clear ³	5	5	8	8	10
Water supply well on suction line	50 ⁴	50	100	150	100 ⁵	100
Streams, lakes, tidal waters, or ocean waters	50	50	100	150	100	100
Large Trees	--	10	--	10	10	--
Seepage pits or cesspools	--	5	5	12	--	--
Disposal Field	--	5	4 ⁶	5	--	--
Onsite domestic water service line	1 ⁷	5	5	5	5	5
Distribution Box	--	--	5	5	--	--
Pressure public water main	10 ⁸	10	10	10	10	10

NOTE: When disposal fields and/or seepage pits are installed in sloping ground, the minimum horizontal distance between any part of the leaching system and ground surface shall be fifteen (15) feet.

When facilities are located near tidal or ocean waters, the horizontal distance shall be measured from the historically most landward location of the beach at the mean high tide elevation. Structures or facilities shall be constructed in accordance with Federal, State, and local laws to prevent erosion of the beaches and movement of the mean high tide closer than the horizontal distances specified above.

- 1 Including porches and steps, whether covered or uncovered; breezeways; roofed port-cocheres; roofed patios; carports; covered walks; covered driveways; and similar appurtenances.
- 2 This distance shall be increased to 30 feet when the system is located upslope of the structure.
- 3 See UPC, Section 315(c)
- 4 The distance may be reduced to not less than twenty-five (25) feet when approved metallic piping is installed. Where special hazards are involved, the distance required shall be increased, as may be directed by the County Health Officer or the Administrative Authority.
- 5 This distance shall be increased to 150 feet when seepage pits are used as a component of the system.
- 6 Plus two (2) feet for each additional foot of depth in excess of one (1) foot below the bottom of the drain line (See UPC, Section I-6(f)).
- 7 See UPC, Section 1108
- 8 For parallel construction. For crossings, approval by the Administrative Authority is required.

Individual Sewage Disposal System Setback Requirements



Subject: Septic Tank Criteria
Reference: Ventura County Environmental Health
Scale: --

Client: Mircetic
Job #: SS-434-S
Date: 2/2022

Septic Tank Criteria

SINGLE FAMILY DWELLINGS

Calculate septic tank capacity by both number of bedrooms and by number of plumbing fixture units. Use the capacity based on plumbing fixture units if greater than capacity based on number of bedrooms.

Number of Bedrooms	Septic Tank Capacity (gallons)	Number of Plumbing Fixture Units	Septic Tank Capacity (gallons)
3 or less	1,000	25 or less	1,000
4	1,200	26-33	1,200
5-6	1,500	34-45	1,500
Additional Bedrooms	Add 150 gallons capacity per bedroom in excess of 6	46-55	2,000
		56-60	2,250
		61-70	2,500
		71-80	2,750
		81-90	3,000
		91-100	3,250
		Over 100	Add 25 gallons capacity per fixture unit in excess of 100

NON-RESIDENTIAL STRUCTURES

Calculate septic tank capacity based solely on number of plumbing fixture units.

Number of Plumbing Fixture Units	Septic Tank Capacity (gallons)
20 or less	1,000
21-25	1,200
26-33	1,500
34-45	2,000
46-55	2,250
56-60	2,500
61-70	2,750
71-80	3,000
81-90	3,250
91-100	3,500
Over 100	Add 25 gallons capacity per plumbing fixture unit in excess of 100.

NOTE: Where tank size is not commercially available for calculated capacity, round up to the next available size.

Septic Tank Criteria

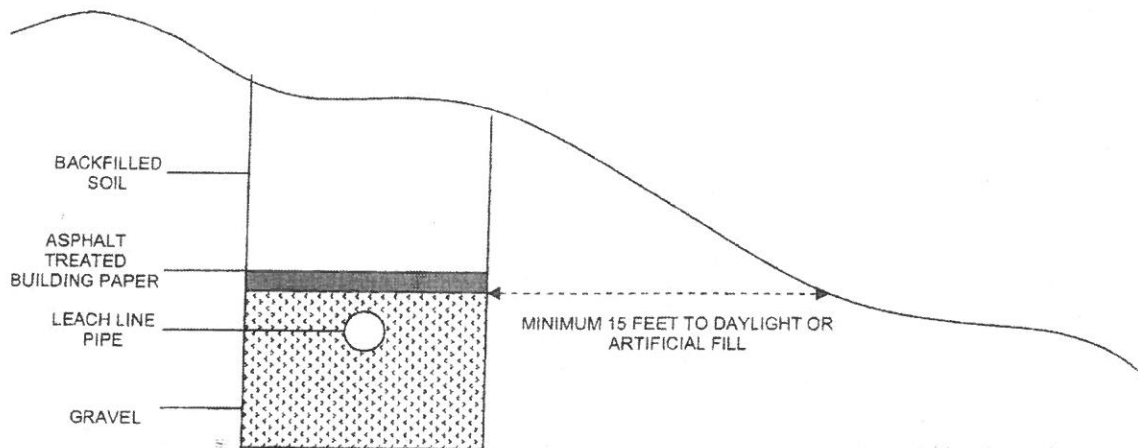


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Subject: Leach Line Horizontal Setback from Daylight
Reference: Ventura County Environmental Health
Scale: --

Client: Mircetic
Job #: SS-434-S
Date: 2/2022

Leach Line Horizontal Setback from Daylight



Leach Line Horizontal Setback from Daylight

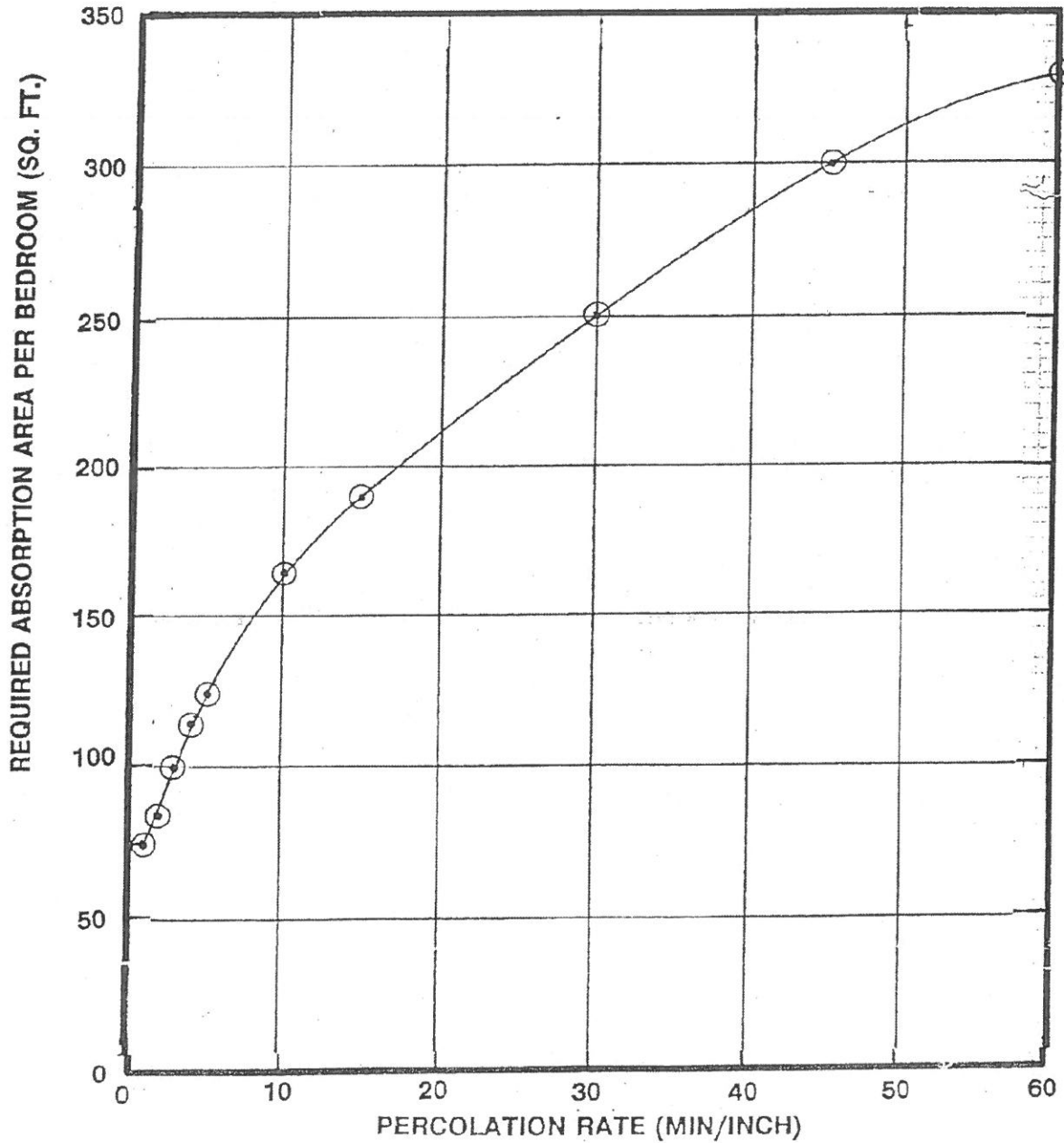


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solidsoils.com:(805) 202-6533

Subject: Plot of UPC Table I-6
Reference: Ventura County Environmental Health
Scale: --

Client: Mircetic
Job #: SS-434-S
Date: 2/2022

PLOT OF UPC TABLE I-6



REFERENCE: UPC Table I-6, as modified by the County of Ventura Environmental Health, 8/23/90

Plot of UPC Table I-6

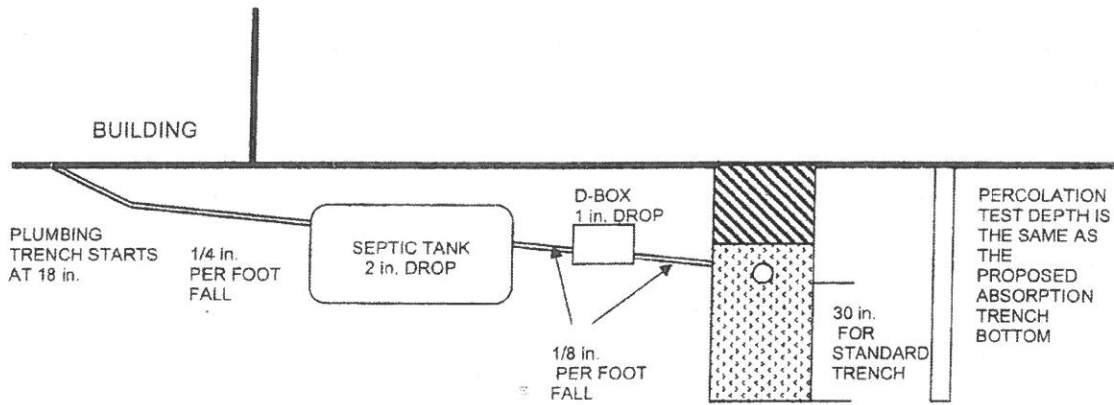


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Subject: Cross Section of a Septic System with Rock Filled Leach Line
Reference: Ventura County Environmental Health
Scale: --

Client: Mircetic
Job #: SS-434-S
Date: 2/2022

Cross Section of a Septic System with Rock Filled Leach Line



Cross Section of a Septic with Rock Filled Leach Line



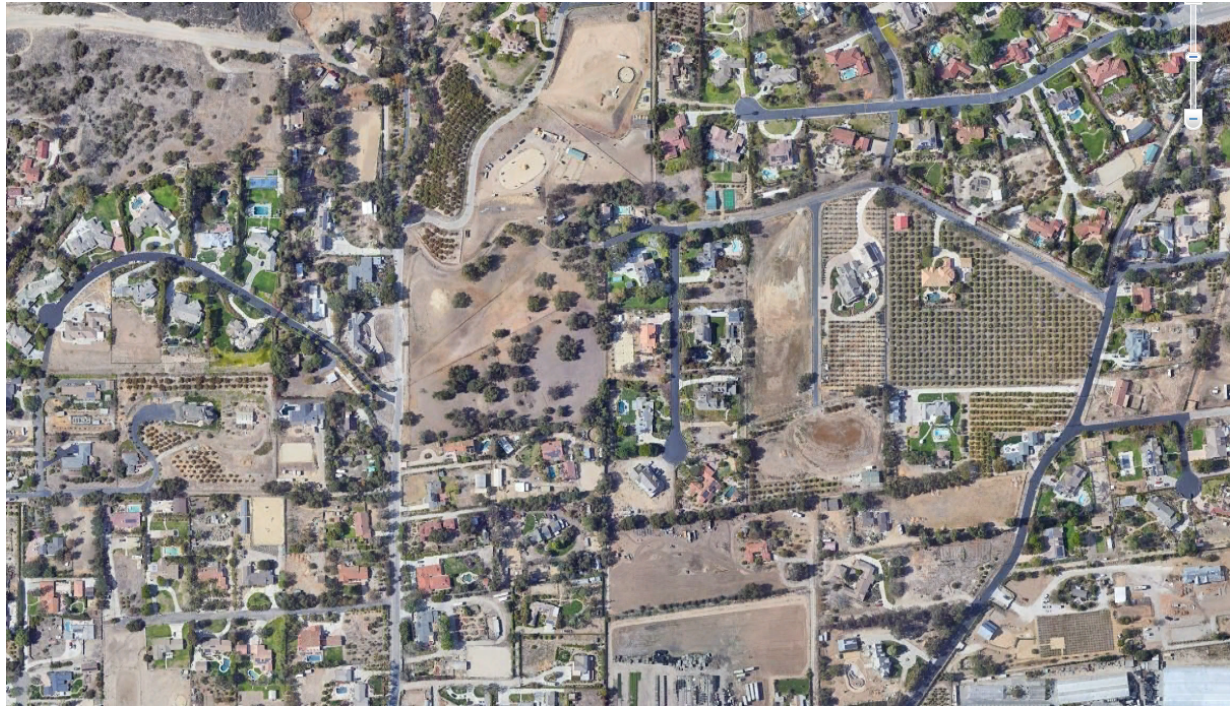
**JENSEN
DESIGN
& SURVEY, INC**

1672 Donlon Street
Ventura, CA 93003
Local 805.654.6977
Fax: 805.654.6979
www.jdscivil.com

DRAINAGE REPORT

SINGLE FAMILY RESIDENCE

for: KEELEY MIRCETIC



County of Ventura
Planning Director Hearing
Case No. PL21-0092
Exhibit 8 - Drainage Report



DRAINAGE REPORT

SINGLE FAMILY RESIDENCE

**11820 Topa Vista Road
Ojai, CA 93060**

prepared for:

Keeley Mircetic

11820 Topa Vista Road
Ojai, CA 93060

prepared by:

Jensen Design & Survey, Inc.

1672 Donlon St.
Ventura, CA 93003

Dalton Cunicelli

Dalton Cunicelli, P.E.

September 11, 2023





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 1.1. Project Description & Location.....4
 1.2. Site Conditions4
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 2.2. Proposed On-Site Condition.....5

5.0 CONCLUSIONS6

7.0 APPENDICES7



APPENDICES

APPENDIX A: HYDROLOGY EXHIBITS 8

1.0 PROJECT OVERVIEW

1.1. PROJECT DESCRIPTION & LOCATION

The proposed project site is a 5.66 acre parcel east of Topa Vista Road and south of Ojai Road (Highway 150) near the city of Ojai. Keeley Mircetic (Owner) is proposing to reconstruct a single-family residence. The previous residence was destroyed during the Thomas Fire. This drainage report will also address existing unpermitted structures on the property. This site is located outside Ventura County unincorporated urban areas and does not require permanent storm water treatment.

1.2. SITE CONDITIONS

1.2.1. EXISTING DRAINAGE PATTERNS

The existing site is a 5.66 acre partially developed parcel. The property contains a driveway, a building pad from the previous residence, and a detached garage. The property drains to the north into a waterway on the property. The waterway goes from the western property through the site property and into the northeastern adjacent property.

1.2.2. PROPOSED DRAINAGE PATTERNS

The proposed plan will add a single-family residence and includes the currently unpermitted existing structures. The structures include animal structures, sheds, and shipping containers. There is no site grading proposed. The proposed drainage pattern is the same as the existing drainage pattern. The proposed residence will be located in the same footprint of the previous residence and will not increase the impervious area. The animal shade structure #6 is located on existing hardscape and does not increase the impervious area. There is no runoff from adjacent properties onto the parcel.

1.3. REPORT OBJECTIVE

The intent of this report is to meet the current Ventura County requirements. Due to the small increase in the impervious area, there is no additional runoff due the proposed conditions and does not have a significant impact downstream. Therefore, no detention will be necessary for the proposed improvements.

2.0 DESIGN METHODOLOGY

2.1. EXISTING ON-SITE CONDITIONS

The runoff was calculated using the rational method with the information and exhibits of the Ventura Technical Guidance Manual (TGM). The property runoff was calculated as one drainage area. The project is in the Upper Santa Paula Creek (Upper Sta Paula Ck) rainfall zone. The site has a mixture of Soil Types #1, 2, and 3 per Appendix B-15 of the TGM. The time of concentration is assumed to be less than 5 min given the size and the slope on the property. The soil type #2 was used for this analysis based on the majority of the development on the property is in the soil type #2 region. The intensity for the 10 year, 50, year, and 100 year was determined using Exhibits 4A, 4B, and 4D of the Hydrology Manual. The impervious area consists of compacted dirt, concrete driveway, and structures. The existing impervious area is 53,454 square feet, which is 22 percent of the site. See the Existing Drainage Exhibit in Appendix A. The Runoff C coefficient was determined using the TGM Exhibit 5B. See Table 1 for a summary of results.

Table 1. Existing Drainage Condition

Pre-Development Runoff (Area "A")			
	Q10	Q50	Q100
C (Runoff Coefficient)	0.60	0.61	0.61
I (Intensity) in/hr	4.104	6.048	6.948
Q=CIA (cfs)	13.96	20.91	24.02
q=cfs/acre	2.46	3.69	4.24

2.2. PROPOSED ON-SITE CONDITIONS

See Proposed Drainage Area Exhibit in Appendix A, which shows the impervious area on the site. The proposed condition adds 3,677 square feet of impervious area. The intensity and soil type remain unchanged from the existing conditions. The runoff coefficient is determined by the impervious area percentage and the intensity. The proposed impervious percentage is twenty three percent. The runoff coefficient from the TGM Exhibit 5B is about the same as the existing conditions. Therefore, the proposed runoff and existing runoff is the same and no detention is required. See the Table 2 for a summary of results. Table 3 shows a summary of the existing and proposed runoff values.

Table 2. Proposed Drainage Condition

Post-Development Runoff (Area "A")			
	Q10	Q50	Q100
C (Runoff Coefficient)	0.60	0.61	0.61
I (Intensity) in/hr	4.104	6.048	6.948
Q=CIA (cfs)	13.96	20.91	24.02
q=cfs/acre	2.46	3.69	4.24

Table 3. Summary of Runoff

Site Runoff (Area "A")			
	Q10	Q50	Q100
Pre-Development (cfs)	13.96	20.91	24.02
Post-Development (cfs)	13.96	20.91	24.02
Delta (cfs)	0.00	0.00	0.00

3.0 CONCLUSIONS

The Ventura Hydrology Manual Exhibits were used to calculate the existing and proposed runoff values. Ventura County requires the developed runoff to be equal or less than the existing runoff. The proposed drainage conditions match the existing drainage conditions without significantly increasing the runoff. No detention is required. The site is in unincorporated Ventura County and does not require permanent storm water treatment.



4.0 APPENDICES

APPENDIX A: HYDROLOGY EXHIBITS

Site Runoff Calculations

Project Information

Soil Type: 2
 Rainfall Zone: Upper Santa Paula Creek (Upper Sta Paula Ck)
 T_c (min): 5 min (assumed for both existing and proposed)

Rainfall Intensities

Per VCWPD Design Hydrology Manual. Exhibits 4A, 4B, 4D-Upper Sta Paula Ck

Storm Year	T _c (min)	Intensity (in/hr)
10	5	4.104
50	5	6.048
100	5	6.948

Existing Drainage Areas

Drainage Area "A"

Total Area: 246,884 ft² 53,454 ft² impervious
 Total Area: 5.67 acre
 Imp. %: 22

Runoff C, per VCWPD Design Hydrology Manual - Exhibit 5B (Soil 2)

Storm Year	Intensity (in/hr)	Imp. %	Runoff C
10	4.104	22	0.60
50	6.048	22	0.61
100	6.948	22	0.61

Pre-Development Runoff (Area "A")			
	Q10	Q50	Q100
C (Runoff Coefficient)	0.60	0.61	0.61
I (Intensity) in/hr	4.104	6.048	6.948
Q=CIA (cfs)	13.96	20.91	24.02
q=cfs/acre	2.46	3.69	4.24

Proposed Drainage Areas

Drainage Area "A"

Total Area: 246,884 ft² 57,131 ft² impervious
 Total Area: 5.67 acre
 Imp. %: 23

Runoff C, per VCWPD Design Hydrology Manual - Exhibit 5B (Soil 2)

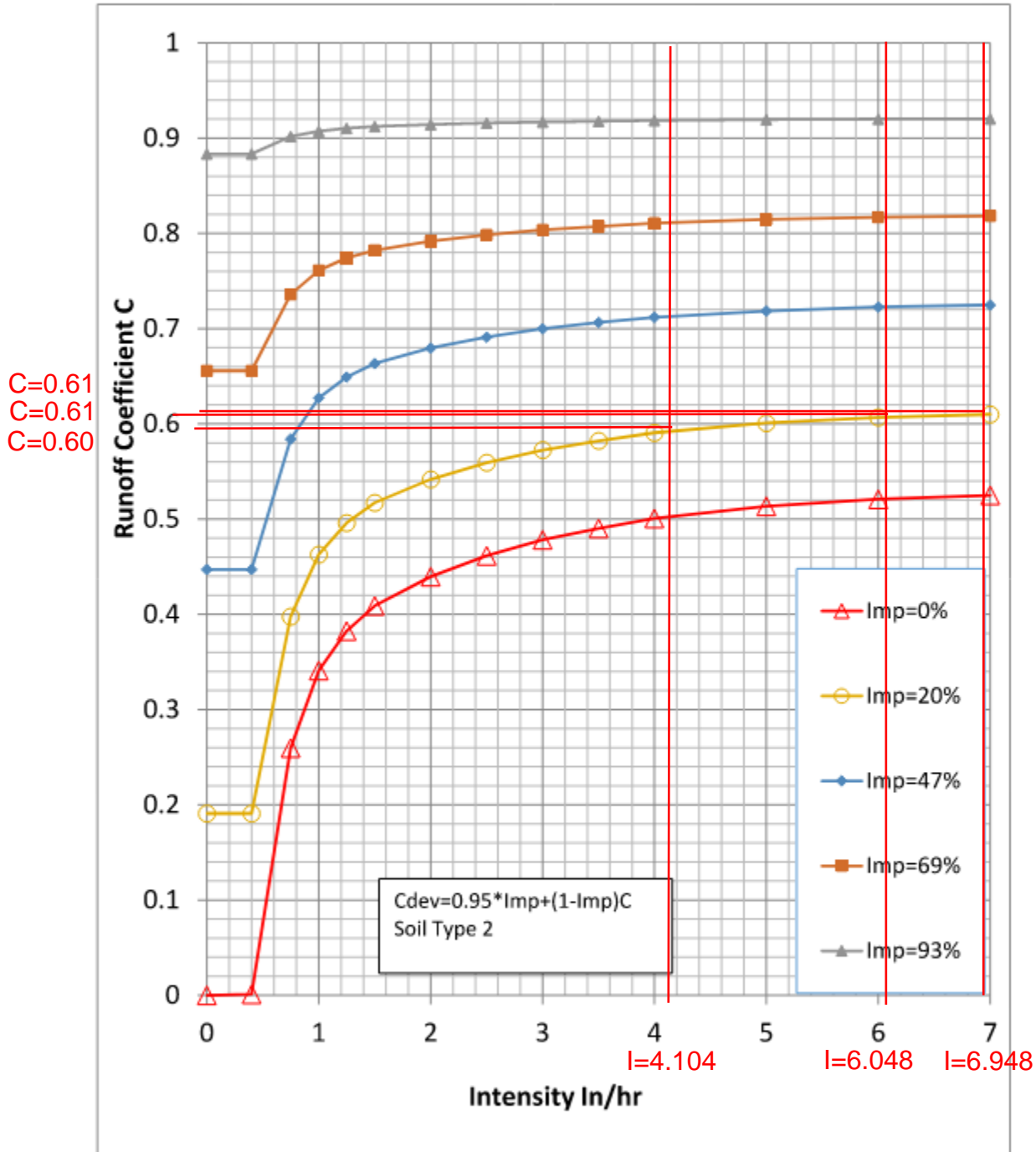
Storm Year	Intensity (in/hr)	Imp. %	Runoff C
10	4.104	23	0.60
50	6.048	23	0.61
100	6.948	23	0.61

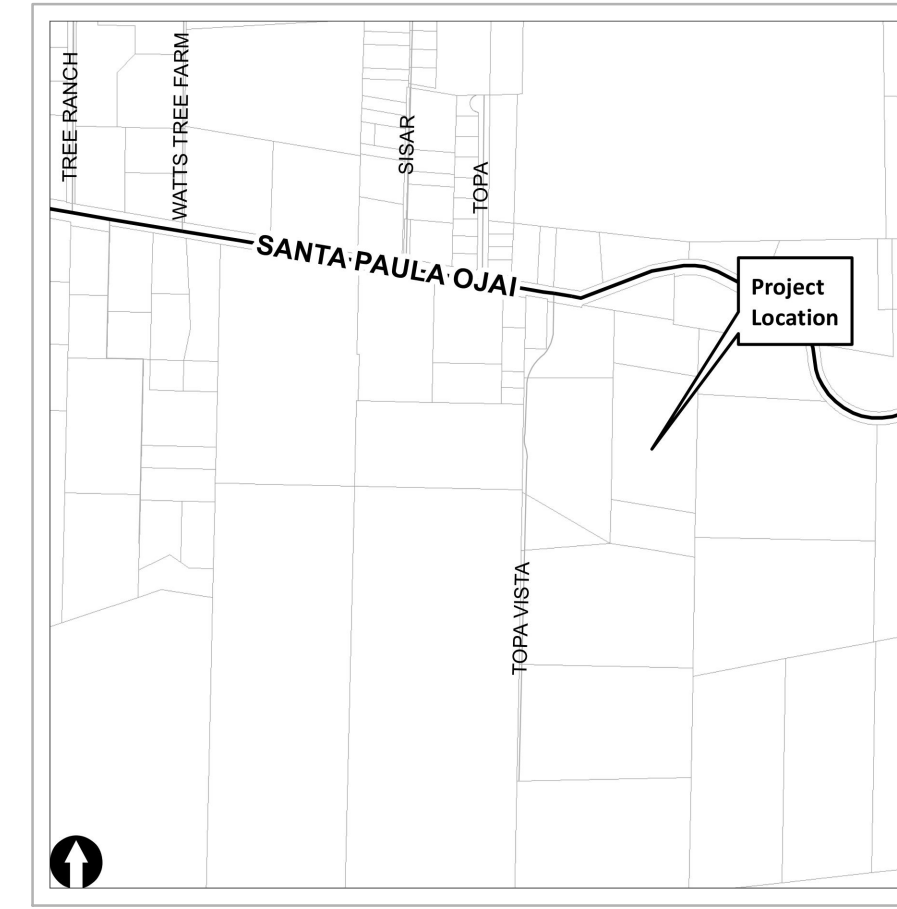
Post-Development Runoff (Area "A")			
	Q10	Q50	Q100
C (Runoff Coefficient)	0.60	0.61	0.61
I (Intensity) in/hr	4.104	6.048	6.948
Q=CIA (cfs)	13.96	20.91	24.02
q=cfs/acre	2.46	3.69	4.24

Summary

Site Runoff (Area "A")			
	Q10	Q50	Q100
Pre-Development (cfs)	13.96	20.91	24.02
Post-Development (cfs)	13.96	20.91	24.02
Delta (cfs)	0.00	0.00	0.00

EXHIBIT 5B. UPDATED RUNOFF COEFFICIENT CURVE- SOIL 2 (NRCS TYPE C)





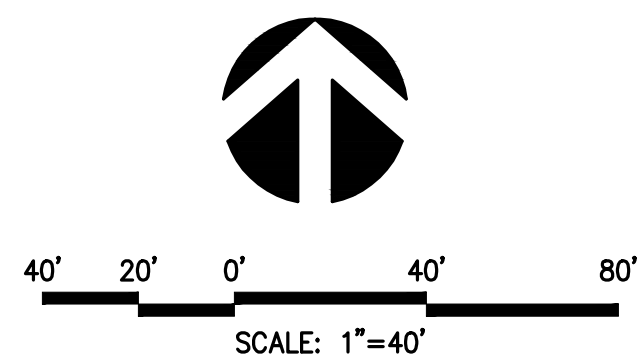
VICINITY MAP
NOT TO SCALE

LAND USE DATA

APN:	037-0-080-115
ADDRESS:	11820 TOPA VISTA ROAD OJAI, CA 93060
LOT SIZE:	5.66 ACRES (246,884 S.F.)
APPLICANT/OWNER:	KEELEY MIRCETIC
CONTACT:	ERIK NAGY JENSEN DESIGN & SURVEY (805) 654-6977
ZONING:	RE-5 AC/ HCWC
GENERAL PLAN DESIGNATION:	RURAL
EXISTING IMPERVIOUS AREA:	53,454 S.F.
TOTAL LOT COVERAGE:	21.65%

LEGEND

	PROPERTY BOUNDARY
	FENCE
	DIRT ROAD
	LANDSCAPE AREA
	CONCRETE
	EXISTING IMPERVIOUS AREA
	DRAINAGE ARROW



NOTE:

INFORMATION SHOWN HEREON, SUCH AS ASSESSOR'S PARCEL LINES & NUMBERS ARE PROVIDED BY THE COUNTY OF VENTURA GEOGRAPHIC INFORMATION SYSTEMS AND IS NOT BASED ON A FIELD SURVEY. ADDITIONAL EASEMENTS OF RECORD NOT SHOWN ON THIS MAP MAY EXIST AS A TITLE REPORT WAS NOT PROVIDED FOR THIS PROJECT. THIS DATA IS FOR CONCEPTUAL AND VISUAL PURPOSES ONLY AND IS NOT TO BE USED FOR MAPPING AND/OR FINAL DESIGN.

JENSEN DESIGN & SURVEY, INC.
1672 DONLON STREET
VENTURA, CALIF. 93003
PHONE 805/654-6977
PAX 805/654-6979
www.jdsurvey.com

SCALE: 1"=40'
DATE: 9/11/2023

J.N.: MIR26483
DWG. NAME: 6483 EX SITE PLAN.dwg

EXISTING DRAINAGE EXHIBIT FOR KEELEY MIRCETIC

11820 TOPA VISTA ROAD
OJAI

COUNTY OF VENTURA STATE OF CALIFORNIA

P:\MIR26483\1672\1672.dwg (Jensen) [Erik Nagy] 9/11/2023 3:50pm

