



## Planning Director Staff Report Hearing on 5/26/2022

County of Ventura • Resource Management Agency

800 S. Victoria Avenue, Ventura, CA 93009 • (805) 654-2478 • [www.vcrma.org/divisions/planning](http://www.vcrma.org/divisions/planning)

### WHITE STALLION RESIDENCE PLANNED DEVELOPMENT (PD) PERMIT CASE NO. PL21-0020

#### A. PROJECT INFORMATION

1. **Request:** The applicant requests approval of a Planned Development (PD) permit for construction of a single-family dwelling and accessory structures (Case No. PL21-0020).
2. **Applicant/Property Owner:** Cardiff Property One LLC, 13639 Rostrata Road, Poway, CA 92064
3. **Applicant's Representative:** Robert Erdmann, 2010 Calle Salto, Thousand Oaks, CA 91360
4. **Decision-Making Authority:** Pursuant to the Ventura County Non-Coastal Zoning Ordinance (NCZO) (Section 8105-4 and Section 8111-1.2 et seq.), the Planning Director is the decision-maker for the requested PD Permit.
5. **Project Site Size, Location, and Parcel Number:** The 20.75-acre project site is located at 2551 White Stallion Road, 0.43 miles east of its westerly intersection with Potrero Road, approximately 0.2 miles south of the City of Thousand Oaks, in the unincorporated area of Ventura County. The Tax Assessor's parcel numbers for the parcel that constitutes the project site are 668-0-080-140 and 668-0-080-150 (Exhibit 2).
6. **Project Site Land Use and Zoning Designations (Exhibit 2):**
  - a. Countywide General Plan Land Use Map Designation: Open Space
  - b. Thousand Oaks Area Plan Land Use Map Designation: Open Space, 20 acres
  - c. Zoning Designation: OS-20 ac. / SRP (Open Space, 20-acre minimum lot size / Scenic Resource Protection)

**7. Adjacent Zoning and Land Uses/Development (Exhibit 2):**

Location in Relation to the Project Site	Zoning	Land Uses/Development
<b>North</b>	Open Space, 20-acre minimum lot size / Scenic Resource Protection	Single-family dwelling and residential accessory structures.
<b>East</b>	Open Space, 20-acre minimum lot size / Scenic Resource Protection	Single-family dwelling and residential accessory structures.
<b>South</b>	Open Space, 40-acre minimum lot size / Scenic Resource Protection	Single-family dwelling
<b>West</b>	Open Space, 20-acre minimum lot size	Single-family dwelling

**8. History:** The subject parcel was created by Parcel Map (PM) No. 3559, recorded in May 1982 (Book 37, Page 10 of Parcel Maps). PM No. 3559, also referred to as “White Stallion Ranch,” consists of 10 legal lots, each approximately 20 acres in size. A County grading permit was issued in 1985, authorizing the construction of subdivision improvements. The authorized improvements included a common private road (White Stallion Road), landscaping irrigation ponds, and access driveways and building pads for each of the lots.

Prior to the subdivision and improvements, the subject parcel was developed with a large flat pad, a driveway accessing Potrero Road, and a 2,592 square foot (sq. ft.) “recreation building.” Review of assessment records and aerial images indicate that the pad was graded prior to 1961 and the “recreation building” was constructed in 1958 without benefit of permits. The pad and access driveway were enlarged to the current size and configuration as part of the 1985 grading permit. The “recreation building” remains on the property but has since fallen into a state of disrepair.

**9. Project Description:** Request for a Planned Development (PD) Permit for the construction of (1) a one-story single-family dwelling with an attached four-car garage (15,784 sq. ft.); (2) an accessory dwelling unit (1,799 sq. ft.); (3) a detached four-car garage (1,272 sq. ft.); and (4) a swimming pool. The permit would also authorize the demolition of a “recreation building” that is not considered of historic or cultural interest and the removal of one protected Italian stone pine. The dwelling and accessory structures will cover 0.49 acres of a 20.75-acre lot.

In addition to the structural improvements, this PD Permit will also authorize grading, landscaping, installation of drainage improvements, and fuel modification. Grading will be limited to over-excavation and re-compaction of the existing building pad. Landscaping will include the planting of 58 trees as well as shrubs and vines. Groundcover will include 14,890 sq. ft. of artificial turf, 7,050 sq. ft. of ornamental planting, and 26,950 sq. ft. of native planting. Fuel modification will occur within 100 feet of proposed structures and will cover an area of approximately 3.87 acres. All drainage from the new development will be directed

to a planter box and any overflow will be conveyed to an underground retention system, both to be located in the landscaped area.

The project will also incorporate the following project design features:

- (1) Fencing Limitation. The applicant has voluntarily limited fencing to be constructed with materials that are not harmful to wildlife. Materials not to be used include spikes, glass, razor, or barbed wire. This limitation shall apply for the life of the project.
- (2) Grading and Grubbing Approach. The applicant has proposed to use a grading and grubbing approach that will not result in the temporary creation of islands of habitat. Grubbing and grading will be done from the center of the project site, working outward towards adjacent habitat where wildlife may escape.

Access to the proposed dwelling will be by way of an existing paved driveway that extends one-quarter (0.25) mile from White Stallion Road to the building pad. White Stallion Road, a paved private loop road, intersects with Potrero Road, a County-maintained arterial road, 0.36 miles west and 0.38 miles east of the project site.

Potable water will be supplied by California-American (Cal-Am) Water Company. Wastewater will be disposed of using an on-site wastewater treatment system comprised of a septic tank, secondary treatment system, and two 40-foot-deep seepage pits. (Exhibits 3, 7, and 8).

## **B. CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) COMPLIANCE**

Pursuant to CEQA (Public Resources Code Section 21000 et seq.) and the CEQA Guidelines (Title 14, California Code of Regulations, Division 6, Chapter 3, Section 15000 et seq.), the proposed project is subject to environmental review.

County staff prepared an Initial Study in accordance with the County's Initial Study Assessment Guidelines. Based on the information contained in the Initial Study, the County prepared a Mitigated Negative Declaration (MND) and made the MND available for public review and comment from March 29, 2022 through April 28, 2022. On March 25, 2022, property owners located within 300 feet of the subject property were mailed a postcard notification for the public review period of the MND. Additionally, on March 29, 2022, a legal notice was published in the Ventura County Star, and the MND was made available for public review on the County of Ventura Planning Division website and at the Ventura County Hall of Administration. A Notice of Intent to Adopt an MND was sent to the State Clearinghouse on March 24, 2022. As discussed below, several changes were made to the MND in response to comments received.

An MND is a written statement briefly describing the reasons that a proposed project will not have a significant effect on the environment and therefore does not require the

preparation of an Environmental Impact Report. However, the Initial Study identified two potentially significant effects on the environment, but proposals made by, or agreed to by, the applicant before the MND was released for public review would avoid the effects or mitigate the effects to a point where no significant effect on the environment would occur. More specifically, the MND identified the following potentially significant, but mitigable, impacts:

MND, Section 4a, Biological Resources, Species: The Initial Study found that the proposed project would have potentially significant impacts to special-status wildlife and plant species. Impacts will be less than significant with the implementation of Mitigation Measures BIO-1 (Pre-Construction Sensitive Wildlife Survey and Impact Avoidance), BIO-2 (Woodrat Nest Avoidance and Relocation), BIO-3 (Qualified Biologist for Construction Monitoring), BIO-4 (Protection Measures During Construction Activities), and BIO-5 (Tree Protection Plan).

MND, Section 4b, Biological Resources, Ecological Communities – Sensitive Plant Communities: The Initial Study found that the proposed project would have potentially significant impacts to sensitive plant communities. Impacts will be less than significant with implementation of Mitigation Measures BIO-3 (Qualified Biologist for Construction Monitoring), BIO-4 (Protection Measures During Construction Activities), and BIO-6 (Sensitive Plant Community Restoration – Scrub Habitats).

MND Section 4e, Biological Resources, Habitat Connectivity: The Initial Study found that lighting associated with the project could have a potential impact on wildlife movement if it shines into habitat areas. Impacts will be less than significant with implementation of Mitigation Measure BIO-7 (Lighting Plan).

- 1. Findings for Adoption of an MND:** The CEQA Guidelines [Section 15074(b)] state that an MND shall only be adopted by a decision-making body if there is no substantial evidence, in light of the whole record, that the proposed project may have a significant adverse effect on the environment and that the MND reflects the Lead Agency's independent judgment and analysis.

The proposed final MND, including written comments on the MND and staff's responses to the comments on the MND, is attached as Exhibit 4.a. The MND sets forth mitigation measures to which the applicant has agreed, which will reduce the proposed project's potentially significant impacts related to biological resource to less-than-significant levels. As of the date of this staff report the Planning Division has received two comments on the MND:

- California Department of Transportation (CalTrans) provided a comment letter noting that no significant impacts would occur to state transportation facilities.

- California Department of Fish and Wildlife (CDFW) provided a comment letter citing the several concerns with the impact analysis conducted and mitigation measures proposed. These concerns are

To address the comments, Planning staff revised the MND as follows:

- (1) Project Design Feature No. 1 (Fencing Limitation) was incorporated into the project. This feature includes a prohibition on fencing materials that may harm wildlife.
- (2) Project Design Feature No. 2 (Grubbing and Grading Approach) was incorporated into the project. This feature is an approach to grading and grubbing that would ensure that islands of habitat are not created (i.e., by starting at the center of the site and grading outward).
- (3) Section 4 (Biological Resources) Existing Conditions section was updated to reference the potential for presence of pallid bat and Crotch's bumble bee.
- (4) Mitigation Measure BIO-1 (Pre-Construction Sensitive Wildlife Survey and Impact Avoidance) has been revised to identify content requirements of a relocation plan and include a provision for CDFW consultation.
- (5) Mitigation Measure BIO-3 (Qualified Biologist for Construction Monitoring) has been expanded to include pallid bat and Crotch's bumble bee in the list of potentially present species that the qualified biologist will be monitoring for.
- (6) Mitigation Measure BIO-6 (Sensitive Plant Community Restoration – Scrub Habitats) was modified to specify that the Restoration Plan would be prepared in consultation with the California Department of Fish and Wildlife.
- (7) Section 4e-1 through 4e-4 (Biological Resources, Habitat Connectivity) of the Initial Study were updated to include a discussion on fencing and grading as it affects habitat connectivity.

The above modifications do not rise to a “substantial revision” because the modifications do not identify new avoidable significant effects, and mitigation measures or project revisions (e.g. Project Design Feature Nos. 1 and 2) were not necessary to reduce potential impacts to a less-than-significant level. The revisions that were made can be characterized as:

- Replacing mitigation measures with more effective measures (14 CCR 15073.5(c)(1) and 15074.1);

- Revisions that are added in response to written comments on the project's effects which are not new avoidable significant effects (14 CCR 15073.5(c)(2)); and
- New information added to clarify, amplify, or make insignificant modifications to the Mitigated Negative Declaration (14 CCR 15073.5(c)(4)).

Based on the above, recirculation of the Mitigated Negative Declaration is not required.

Therefore, based on the information provided above and in light of the whole record, there is no substantial evidence that the proposed project may have a significant adverse effect on the environment and the MND (Exhibit 4.a) reflects the County's independent judgment and analysis.

- 2. Mitigation Monitoring and Reporting Program:** The CEQA Guidelines [Section 15091(d)] state that, when approving a project for which an MND has been prepared, the agency shall also adopt a program for reporting on, or monitoring, the changes which it has either required in the project or made a condition of approval to avoid or substantially lessen significant environmental effects. These measures must be fully enforceable through permit conditions, agreements, or other measures.

The Mitigation Monitoring and Reporting Program for the proposed project is incorporated into the Conditions of Approval (Exhibit 5). The mitigation measures identified in the MND have been included as Condition Nos. 25 through 31. These measures will require the applicant to:

- Install exclusionary fencing at the limits of disturbance
- Conduct a pre-construction wildlife survey to detect presence of California legless lizard, Southern California legless lizard, California glossy snake, coastal whiptail, pallid bat, Crotch's bumble bee, or San Diego desert woodrat.
- Determine the presence of woodrat middens and avoid or relocate them.
- Have a qualified biologist present to monitor vegetation clearance, ground disturbance, and fuel modification activities and submit weekly monitoring reports to the Planning Division.
- Implement a Tree Protection Plan to offset removal of one heritage-size Italian stone pine and preserve other nearby trees in place.
- Restore 0.66 acres of Bush monkeyflower scrub and 0.10 acres of Blue elderberry scrub.
- Develop and implement a lighting plan that directs lighting away from habitat areas.

The MMRP describes the purpose, requirement, timing, documentation, monitoring, and reporting components required for each mitigation measure (Exhibit 5, Condition Nos. 25 through 31). Therefore, a mitigation monitoring and reporting program has been prepared in compliance with CEQA Guidelines

**C. CONSISTENCY WITH THE GENERAL PLAN**

The 2040 Ventura County General Plan *Goals, Policies and Programs* (page 1-1) states:

*All area plans, specific plans, subdivisions, public works projects, and zoning decisions must be consistent with the direction provided in the County’s General Plan.*

Furthermore, the Ventura County NCZO (Section 8111-1.2.1.1.a) states that in order to be approved, a project must be found consistent with all applicable policies of the Ventura County General Plan.

Staff evaluation for consistency of the proposed project with the applicable policies of the Ventura County General Plan *Goals, Policies and Programs* and *Thousand Oaks Area Plan* is provided in Exhibit 6. This analysis concludes the project is consistent with all applicable general plan and area plan policies.

**D. ZONING ORDINANCE COMPLIANCE**

The proposed project is subject to the requirements of the Ventura County NCZO.

Pursuant to the Ventura County NCZO (Section 8105-4), the proposed use is allowed in the Open Space zone district with the granting of a PD Permit. Upon the granting of the PD Permit, the proposed project will comply with this requirement.

The proposed project includes the construction and use of buildings / structures that are subject to the development standards of the Ventura County NCZO (Section 8106-1.1). Table 1 lists the applicable development standards and a description of whether the proposed project complies with the development standards.

**Table 1 – Development Standards Consistency Analysis**

Type of Requirement	Zoning Ordinance Requirement	Complies?
Minimum Lot Area (Gross)	20 acres	Yes. (20.75 acres)
Maximum Percentage of Building Coverage	5 percent	Yes. (2.4 percent)
Front Setback	20 feet	Yes. (552 feet)
Side Setback	10 feet	Yes. (170 feet)
Rear Setback	15 feet	Yes. (502 feet)
Maximum Building Height – Single-Family Dwelling	35 feet	Yes. (22 feet)
Accessory Structures	15 feet	Yes. (15 feet)
Minimum Parking	2 covered spaces	Yes. (8 covered spaces)

One heritage Italian pine is proposed for removal. In accordance with Ventura County NCZO Section 8107-25, a discretionary tree permit is required to remove a heritage tree. This permit will serve as the discretionary tree removal permit. The applicant will be required to offset the removed tree as required by the Tree Protection Guidelines (Exhibit 5, Condition No. 29).

As discussed in Section A.9, above, the project includes extensive landscaping. Because landscaping exceeds 500 sq. ft., the project is subject to the California Model Water Efficient Landscape Ordinance (MWELO). The project has been conditioned to provide final landscaping plans that demonstrate compliance with MWELO and relevant NCZO standards in Section 8106-8.2 (Exhibit 5, Condition No. 18)

The proposed project is located within a Scenic Resource Protection Overlay Zone and, therefore, is subject to the standards of the Ventura County NCZO (Section 8109-4.1). Table 2 lists the applicable Scenic Resource Protection Overlay Zone standards and a description of whether the proposed project complies with those standards.

**Table 2 – Scenic Resource Protection  
 Overlay Zone Standards Consistency Analysis**

Overlay Zone Standard	Complies?
<p><b>Sec. 8109-4.1.5.a(1)</b>                      All discretionary development shall be sited and designed to prevent significant degradation of a scenic view or vista.</p>	Yes. The proposed project will not result in significant degradation of scenic resources. Because of topography, the building pad for the proposed development is not visible from scenic viewpoints, such as eligible County scenic highways, the Regional Road Network, or scenic roads identified in the Thousand Oaks Area Plan. Proposed structures are not anticipated to be prominently visible and will not substantially alter the scenic value of the surrounding area.
<p><b>Sec. 8109-4.1.5.a(2)</b>                      All discretionary development shall be sited and designed to minimize alteration of the natural topography, physical features, and vegetation.</p>	Yes. The proposed project's grading is limited to over-excavation and re-compaction of the existing building pad. As a result, no new manufactured slopes are proposed. The project site's topography and physical features post-development will resemble pre-development conditions when viewed from the Regional Road Network. While vegetation removal is needed to comply with fuel modification requirements, it will be limited to areas within 100 feet of proposed structures.
<p><b>Sec. 8109-4.1.5.a(3)</b>                      All discretionary development shall be sited and designed to utilize native plants indigenous to the area for re-vegetation of graded slopes, where appropriate considering the surrounding vegetative conditions.</p>	Yes. No new manufactured slopes are proposed. The project includes a proposal to plant 26,950 sq. ft. of native vegetation as part of the landscaping plans.
<p><b>Sec. 8109-4.1.5.a(4)</b>                      All discretionary development shall be sited and designed to avoid silhouetting of structures on ridge tops that are within public view.</p>	Yes. Though the proposed structures will be constructed on a small ridge, the development will not be visible from the Regional Road Network due to intervening topography. As a result, proposed development is not anticipated to silhouette against the sky when viewed from public locations.



**Table 2 – Scenic Resource Protection  
 Overlay Zone Standards Consistency Analysis**

Overlay Zone Standard	Complies?
<p><b>Sec. 8109-4.1.5.a(5)</b>                      All discretionary development shall be sited and designed to use materials and colors that blend in with the natural surroundings and avoid materials and colors that are highly reflective or that contrast with the surrounding vegetation and terrain, such as large unshaded windows, light colored roofs, galvanized metal, and white or brightly colored exteriors.</p>	<p>Yes. The proposed materials include stucco and limestone with metal trim and a clay tile roof. While the proposed colors and materials are not highly reflective, the proposed primary exterior color (vanilla cream) could contrast with the surrounding natural vegetation. The project has been conditioned to provide a final colors and materials board that revises the exterior color to use a darker, earth-tone color (Exhibit 5, Condition No. 19)</p>
<p><b>Sec. 8109-4.1.5.a(6)</b>                      All discretionary development shall be sited and designed to minimize lighting that causes glare, illuminates adjacent properties, or is directed skyward in rural areas.</p>	<p>Yes. The project will be required to develop a lighting plan (Exhibit 5, Condition No. 31). The lighting plan must be designed to shield and direct lighting downward and towards developed areas of the site.</p>
<p><b>Sec. 8109-4.1.5.b</b>                      All on-site freestanding advertising, identification, and non-commercial message signs in excess of five feet in height and all off-site advertising signs are prohibited in the SRP overlay zone.</p>	<p>Yes. No signage is proposed as part of this project.</p>

**E. PD PERMIT FINDINGS AND SUPPORTING EVIDENCE**

The Planning Director must make certain findings in order to grant a PD Permit pursuant to Section 8111-1.2.1.1 of the Ventura County NCZO. The ability to make the required findings is evaluated below.

- 1. The proposed development is consistent with the intent and provisions of the County's General Plan and of Division 8, Chapters 1 and 2, of the Ventura County Ordinance Code [Section 8111-1.2.1.1.a].**

Based on the information and analysis presented in Sections C and D of this staff report, the finding that the proposed development is consistent with the intent and provisions of the County's General Plan and Division 8, Chapters 1 and 2, of the Ventura County Ordinance Code can be made.

- 2. The proposed development is compatible with the character of surrounding, legally established development [Section 8111-1.2.1.1.b].**

The project is located in a rural area south of the city of Thousand Oaks. The site is situated on a small ridgeline in the foothills of the Santa Monica Mountains between Hidden Valley and Potrero Valley. The project site has a land use designation of Open Space and is zoned Open Space with a 20-acre minimum parcel size. The surrounding area is characterized by very low-density residential

development, generally consisting of single-family dwellings and accessory structures on lots of approximately 20 acres. These surrounding properties have the same land use and zoning designations. The proposed project does not include a change of use that has the potential to create any land use conflicts with surrounding residential development, generate new traffic beyond that associated with a single-family dwelling and accessory dwelling unit, or introduce physical development that is incompatible with the surrounding development.

The project site is also within the Scenic Resource Protection (SRP) overlay zone. The purpose of this overlay zone is to protect visual quality from public vantage points and to minimize development that conflicts with the value of scenic resources. As discussed in and Sections C and D of this staff report, above, the project complies with all applicable policies and standards concerning scenic resources. Project development is single-story and will not be visible from eligible County scenic highways, such as Potrero Road, or from any other road in the Regional Road Network. The project will use earth-tone colors to help blend development into the surrounding natural environment and implement a lighting plan that is designed to minimize offsite glare impacts (Exhibit 5, Condition Nos. 19 and 31).

Therefore, the proposed project will be consistent with the character of the surrounding development.

Based on the discussion above, this finding can be made.

**3. The proposed development would not be obnoxious or harmful, or impair the utility of neighboring property or uses [Section 8111-1.2.1.1.c].**

As discussed in Sections C and D of this staff report, the proposed development will be compatible with surrounding residential uses and open space resources. Proposed development complies with zoning standards, such as building height, lot coverage, and setbacks.

Facilities and utility services are adequate to serve the proposed development. Water for the proposed development will be provided by Cal-Am Water Company. Wastewater disposal will be handled with an on-site wastewater treatment system (OWTS). The County Environmental Health Division (EHD) reviewed the proposed OWTS design and the geotechnical engineering report (Gold Coast Geoservices; February 4, 2021) and determined that the proposed OWTS would be sufficient to service the sewage disposal demand from the proposed development and comply with building code requirements, EHD guidelines, and the requirements of the Los Angeles Regional Water Quality Control Board's Basin Plan. The existing road network can adequately accommodate the trip generation associated with the project.

Project drainage will be handled with a Low Impact Development (LID)<sup>1</sup> design that directs all runoff to a planter box. Overflow from the planter box will be directed to an underground detention system. As a result, post-development surface runoff conditions are expected to be equal to pre-development conditions. Construction phase erosion and sedimentation impacts will be addressed through implementation of a Stormwater Pollution Prevention Plan (SWPPP) (Exhibit 5, Condition No. 41). Furthermore, a condition of approval limits the hours of noise-generating construction activities to prevent undue disturbance of neighboring residents (Exhibit 5, Condition No. 23). Therefore, the proposed project will not be obnoxious or harmful, or impair the utility of neighboring properties or uses.

Based on the discussion above, this finding can be made.

**4. The proposed development would not be detrimental to the public interest, health, safety, convenience, or welfare [Section 8111-1.2.1.1.d].**

As discussed in Section C of the staff report, all public facilities, utilities, and services are adequate to serve the proposed development. Water will be provided by Cal-Am, a private water company. Wastewater will be handled by an OWTS designed to comply with Los Angeles Basin Plan standards. The project will comply with requirements for residential development in high fire hazard severity areas (Exhibit 5, Condition Nos. 44 through 55). The project will not interfere with access to recreational or open space resources.

The surrounding public road network provides the site with adequate access. While the project will generate additional traffic on the County Regional Road Network, the low volume of traffic generated does not have the potential to alter the level of service of nearby roadways.

Therefore, the proposed project will not be detrimental to the public interest, health, safety, convenience, or welfare.

Based on the discussion above, this finding can be made.

**5. The proposed development, if allowed by a Conditional Use Permit, is compatible with existing and potential land uses in the general area where the development is to be located [Section 8111-1.2.1.1.e].**

This project is a request for a PD Permit to construct a new single-family dwelling and accessory structures. The proposed use is not conditionally permitted; and, therefore, this finding does not apply to the proposed project.

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<sup>1</sup> LID is an approach to stormwater management that emphasizes controlling runoff at the source using integrated site design and management practices to align with the site's natural hydrology. Examples of LID techniques include permeable pavement, rain gardens, and bioswales.

Based on the discussion above, this finding can be made.

**6. The proposed development will occur on a legal lot [Section 8111-1.2.1.1f].**

The proposed project site is an existing legal lot of record. The lot was legally established on February 18, 1983 as Lot 9 of Parcel Map No. 3559, recorded in Book 37, Page 10 of Parcel Maps.

Based on the discussion above, this finding can be made.

**7. The proposed development is approved in accordance with the California Environmental Quality Act and all other applicable laws.**

As discussed in Section B, above, the proposed project was subject to the preparation of an Initial Study. The Initial Study concluded that the project would have potentially significant impacts to biological resources. The applicant, however, proposes to incorporate certain mitigation measures into the project to address these impacts. With incorporation of the mitigation, impacts are anticipated to be less than significant. As a result, an MND was prepared (Exhibit 4.a). The MND was made available for public review and comment for 30 days, from March 29, 2022 to April 28, 2022. All applicable provisions of the CEQA Guidelines and Public Resources Code were followed in the preparation and circulation of the MND.

Based on the discussion above, this finding can be made.

**8. Development within any overlay zone having specific development standards must comply with such standards [Section 8111-1.2.1.4 and Article 9].**

The project site is located in the Scenic Resource Protection (SRP) overlay zone. In this zone, a PD Permit is required for a project that includes a structure that exceeds 15 feet in height or exceeds 1,000 sq. ft. in floor area. Upon the granting of the PD Permit, the Permittee will be in compliance with this NCZO requirement.

As indicated in Section D, Table 2 of this staff report, the project has been sited and designed in compliance with the development standards of the SRP overlay zone.

Based on the discussion above, this finding can be made.

**F. PLANNING DIRECTOR HEARING NOTICE, PUBLIC COMMENTS, AND JURISDICTIONAL COMMENTS**

The Planning Division provided public notice regarding the Planning Director hearing in accordance with the Government Code (Section 65091), Ventura County NCZO (Section

8111-3.1). On May 13, 2022, the Planning Division mailed notice to owners of property within 300 feet of the property on which the project site is located. On May 16, 2022, the Planning Division placed a legal ad in the *Ventura County Star*. As of the date of this document, no comments were provided.

## **G. RECOMMENDED ACTIONS**

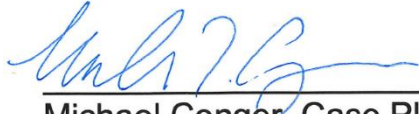
Based upon the analysis and information provided above, Planning Division Staff recommends that the Planning Director / Commission take the following actions:

1. **CERTIFY** that the Planning Director has reviewed and considered this staff report and all exhibits thereto, including the proposed MND (Exhibit 4.a), Mitigation Measures and Mitigation Monitoring and Reporting Program (Exhibit 5), and has considered all comments received during the public comment process;
2. **FIND**, based on the whole of the record before the Planning Director, including the Initial Study and any comments received, that upon implementation of the project revisions and/or mitigation measures there is no substantial evidence that the project will have a significant effect on the environment and that the MND reflects the Planning Director's independent judgment and analysis;
3. **ADOPT** the MND (Exhibit 4.a) and Mitigation Monitoring Program (Exhibit 5)
4. **MAKE** the required findings to grant a PD Permit pursuant to Section 8111-1.2.1.1 of the Ventura County NCZO, based on the substantial evidence presented in Section E of this staff report and the entire record;
5. **GRANT** PD Permit Case No. PL21-0020, subject to the conditions of approval (Exhibit 5).
6. **SPECIFY** that the Clerk of the Planning Division is the custodian, and 800 S. Victoria Avenue, Ventura, CA 93009 is the location, of the documents and materials that constitute the record of proceedings upon which this decision is based.

The decision of the Planning Director is final unless appealed to the Planning Commission within 10 calendar days after the permit has been approved, conditionally approved, or denied (or on the following workday if the 10<sup>th</sup> day falls on a weekend or holiday). Any aggrieved person may file an appeal of the decision with the Planning Division. The Planning Division shall then set a hearing date before the Planning Commission to review the matter at the earliest convenient date.

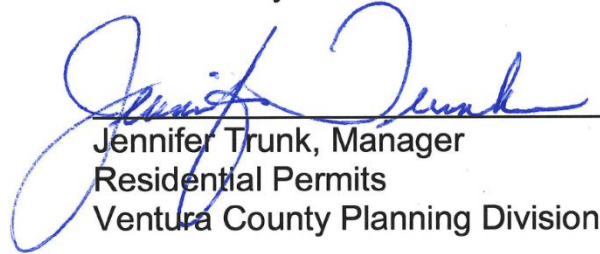
If you have any questions concerning the information presented above, please contact Michael Conger at (805) 654-5038 or Michael.Conger@ventura.org.

Prepared by:



Michael Conger, Case Planner  
Residential Permits  
Ventura County Planning Division

Reviewed by:



Jennifer Trunk, Manager  
Residential Permits  
Ventura County Planning Division

**EXHIBITS**

- Exhibit 2 Maps
- Exhibit 3 Plans
- Exhibit 4.a Mitigated Negative Declaration
- Exhibit 4.b Response to Comments on the Mitigated Negative Declaration
- Exhibit 5 Conditions of Approval and Mitigation Monitoring and Reporting Program
- Exhibit 6 General Plan Consistency Analysis
- Exhibit 7 Geotechnical Report
- Exhibit 8 Onsite Wastewater System Design Report
- Exhibit 9 Initial Study Biological Assessment
- Exhibit 10 Arborist Report



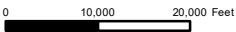
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, © OpenStreetMap contributors, and the GIS User Community



Ventura County, California  
Resource Management Agency  
GIS Development & Mapping Services  
Map created on 11-23-2021

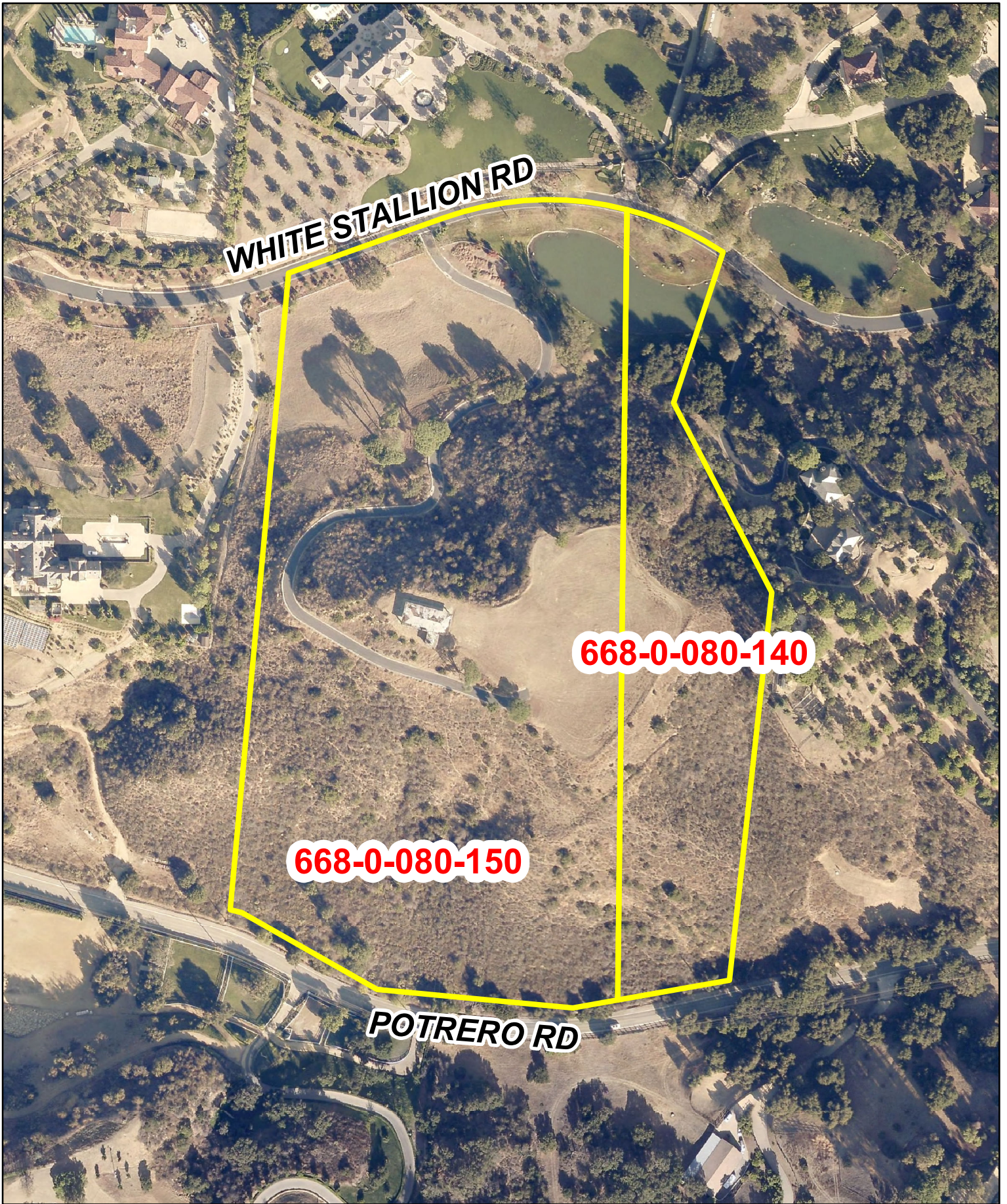


County of Ventura  
Planning Director Hearing  
Case No. PL21-0020  
Exhibit 2 - Maps



Disclaimer: This Map was created by the Ventura County Resource Management Agency, Mapping Services - GIS which is designed and operated solely for the convenience of the County and related public agencies. The County does not warrant the accuracy of this map and no decision involving a risk of economic loss or physical injury should be made in reliance thereon.





**WHITE STALLION RD**

**668-0-080-140**

**668-0-080-150**

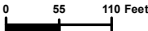
**POTRERO RD**



Ventura County, California  
Resource Management Agency  
GIS Development & Mapping Services  
Map Created on 03-03-2022  
This aerial imagery is under the  
copyrights of Vexcel 2020



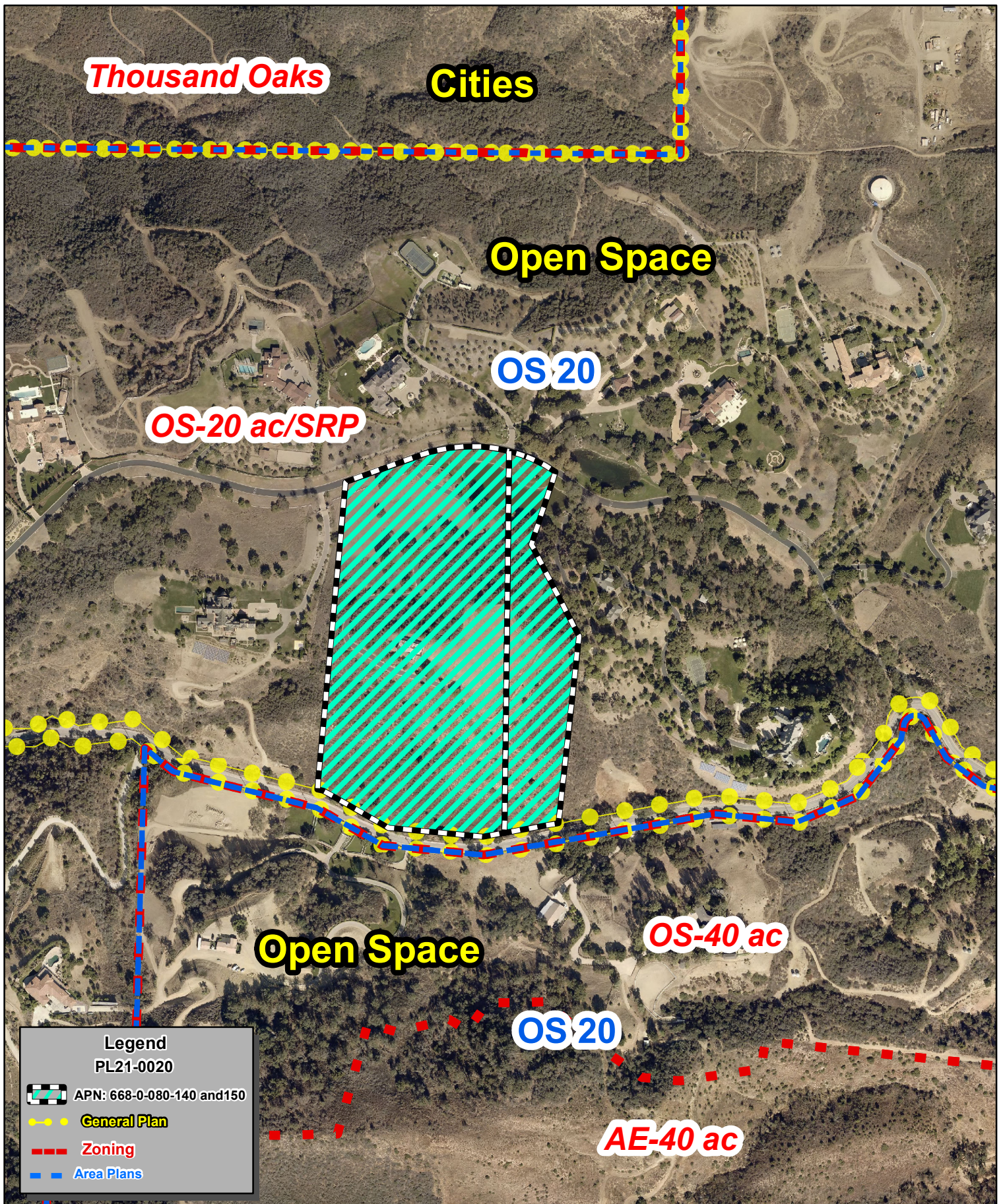
County of Ventura  
Planning Director Hearing  
PL21-0020  
**Aerial Photography**



Disclaimer: This Map was created by the Ventura County Resource Management Agency, Mapping Services - GIS which is designed and operated solely for the convenience of the County and related public agencies. The County does no warrant the accuracy of this map and no decision involving a risk of economic loss or physical injury should be made in reliance thereon.







**Thousand Oaks**

**Cities**

**Open Space**

**OS 20**





**OS-20 ac/SRP**

**Open Space**

**OS-40 ac**

**OS 20**

**AE-40 ac**

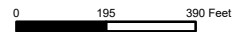
**Legend**  
 PL21-0020  
 APN: 668-0-080-140 and 150  
 **General Plan**  
 **Zoning**  
 **Area Plans**



Ventura County, California  
 Resource Management Agency  
 GIS Development & Mapping Services  
 Map Created on 11-23-2021  
 This aerial imagery is under the  
 copyrights of Pictometry  
 Source: Pictometry, 2019

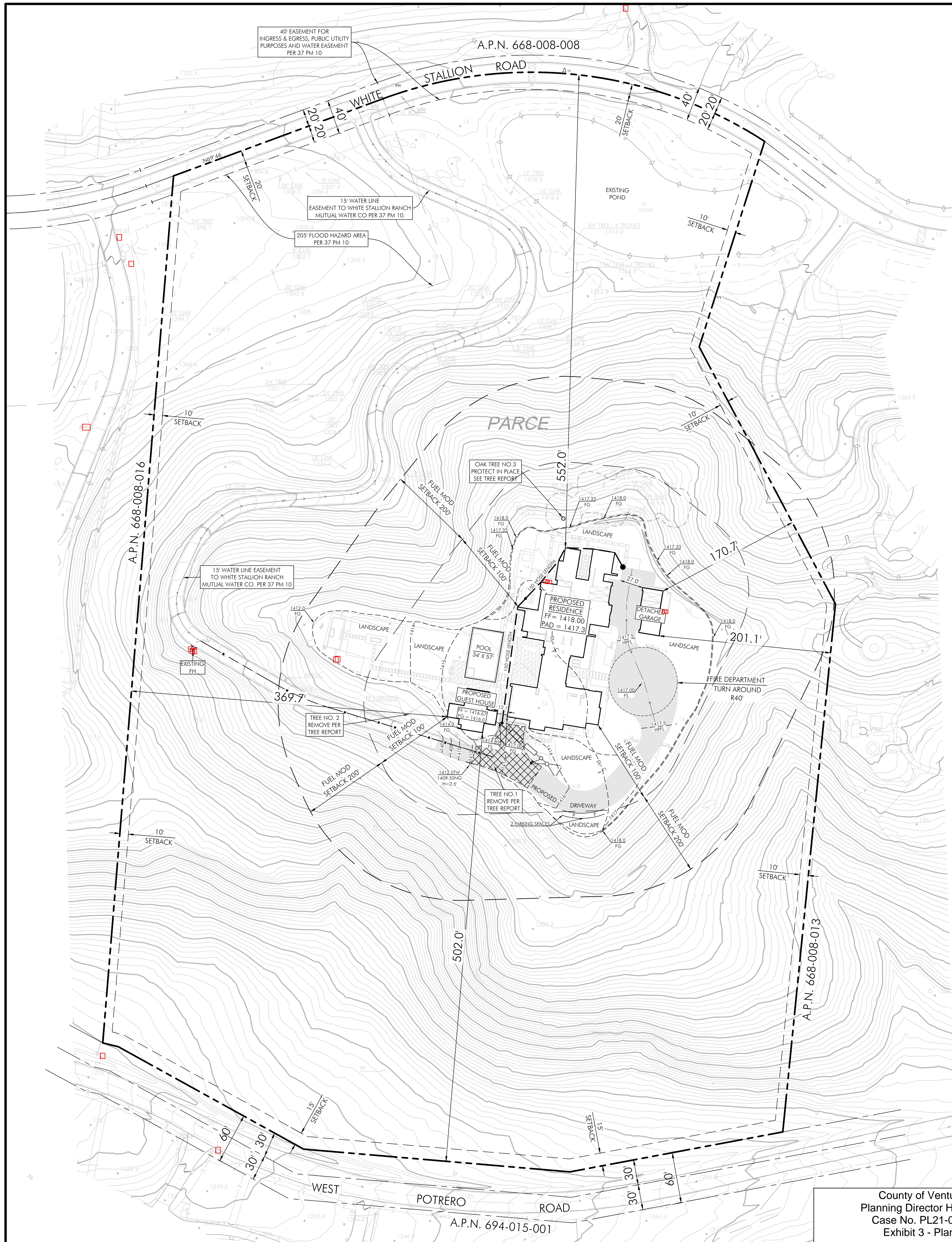


**County of Ventura  
 Planning Director Hearing  
 PL21-0020  
 General Plan & Zoning Map**



Disclaimer: This Map was created by the Ventura County Resource Management Agency, Mapping Services - GIS which is designed and operated solely for the convenience of the County and related public agencies. The County does not warrant the accuracy of this map and no decision involving a risk of economic loss or physical injury should be made in reliance thereon.





**UTILITIES PROVIDERS**

**WATER**  
 CALIFORNIA WATER SERVICE CO.  
 2524 TOWNGATE RD #A  
 WESTLAKE, CA 91361  
 (805) 497-2757

**TRASH**  
 W/M GI INDUSTRIES  
 (805) 522-9400

**LANDFILL**  
 SIMI VALLEY LANDFILL  
 (805) 579-7267

**SEWER**  
 SEPTIC ON-SITE

**ELECTRIC**  
 SOUTHERN CALIFORNIA EDISON  
 3589 FOOTHILL DRIVE  
 THOUSAND OAKS, CA 91360  
 (800) 655-4555

**GAS**  
 SOUTHERN CALIFORNIA GAS COMPANY  
 REGIONAL HEADQUARTERS  
 9400 OAKDALE AVENUE  
 CHATSWORTH, CA  
 (800) 427-2200



VICINITY MAP  
 N.T.S.

**PROPERTY SETBACKS:**

FRONT YARD: 20'  
 SIDE YARD: 10'  
 REAR YARD: 15'

**BENCH MARK:**

VCIPD 1343  
 22-274 RM 1  
 EL = 376.313 METERS (NAVD 88)  
 1234.62 FEET  
 0.3 MILE WESTERLY ALONG POTRERO ROAD FROM ITS INTERSECTION WITH HIDDEN VALLEY ROAD, 50.0 FEET NORTHERLY FROM THE CENTER OF POTRERO ROAD, 6.0 FEET NORTHERLY FROM A CONCRETE DROP INLET AND IN THE EASTERLY CURB OF THE ENTRANCE TO WHITE STALLION RANCH.

**PROJECT STATISTICS:**

PARCEL SIZE: 20.79 ACRES (905,720.9 SQ.FT.)  
 ZONING: OS-20  
 GROSS AREA: 20.79 ACRES (905,725 SQ.FT.)  
 NET AREA: 19.15 ACRES (835,673.8 SQ.FT.)

**20-1701 - 2551 WHITE STALLION STRUCTURE AND PROPERTY STATISTICS**

STRUCTURE TYPE	EXISTING/ PROPOSED	DESCRIPTION (§18-05-04)	GROSS AREA (SQ.FT.)	BUILDING COVERAGE (SQ.FT.)	TOTAL GROSS FLOOR AREA (SQ.FT.)	TOTAL NET BUILDING COVERAGE (%)	REQUIRED PARKING	PROPOSED PARKING
MAIN HOUSE	PROPOSED	DWELLING	15,784	17,726	21,334	2.4	4	8
POOL HOUSE	PROPOSED	DWELLING/ ACCESSORY STRUCTURE	1,799	2,161	21,334	2.4	1	8
DETACHED GARAGE	PROPOSED	GARAGE	1,272	1,446	21,334	2.4	N/A	N/A

**20-1701 - 2551 WHITE STALLION IMPERVIOUS SURFACES**

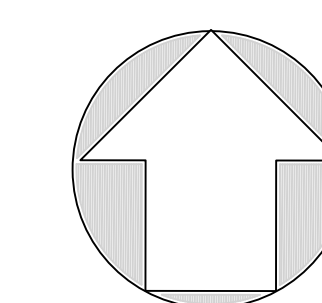
PROPOSED IMPERVIOUS SURFACE TYPE	IMPERVIOUS AREA (SQ.FT.)
STRUCTURES-ROOF TOPS	21,334
HARDSCAPE: DRIVEWAYS, SIDEWALKS, & STEPPING STONES	6,413

**20-1701 - 2551 WHITE STALLION PERVIOUS SURFACES**

PROPOSED PERVIOUS SURFACE TYPE	IMPERVIOUS AREA (SQ.FT.)
LANDSCAPE	44,729

**LEGEND:**

- PROPERTY LINE
- CENTER LINE
- FLOW LINE
- FUEL MOD LINE
- SETBACKS
- EXISTING WATER LINE
- PROPOSED WATER LINE
- CUT/FILL LINE
- DAYLIGHT
- FINISHED FLOOR
- FINISHED GROUND



SCALE: 1" = 50'  
 0 50 100 150

County of Ventura  
 Planning Director Hearing  
 Case No. PL21-0020  
 Exhibit 3 - Plans

**DISCRETIONARY  
 LAND USE  
 ENTITLEMENT PLAN  
 SINGLE FAMILY RESIDENCE**

2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CALIFORNIA

A.P.N.: 668-0-080-140 & 668-0-080-150

PARCEL 9, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON THE MAP FILED FEBRUARY 18, 1983, IN BOOK 37, PAGES 10, 11, 12 AND 13, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

February 18, 2021

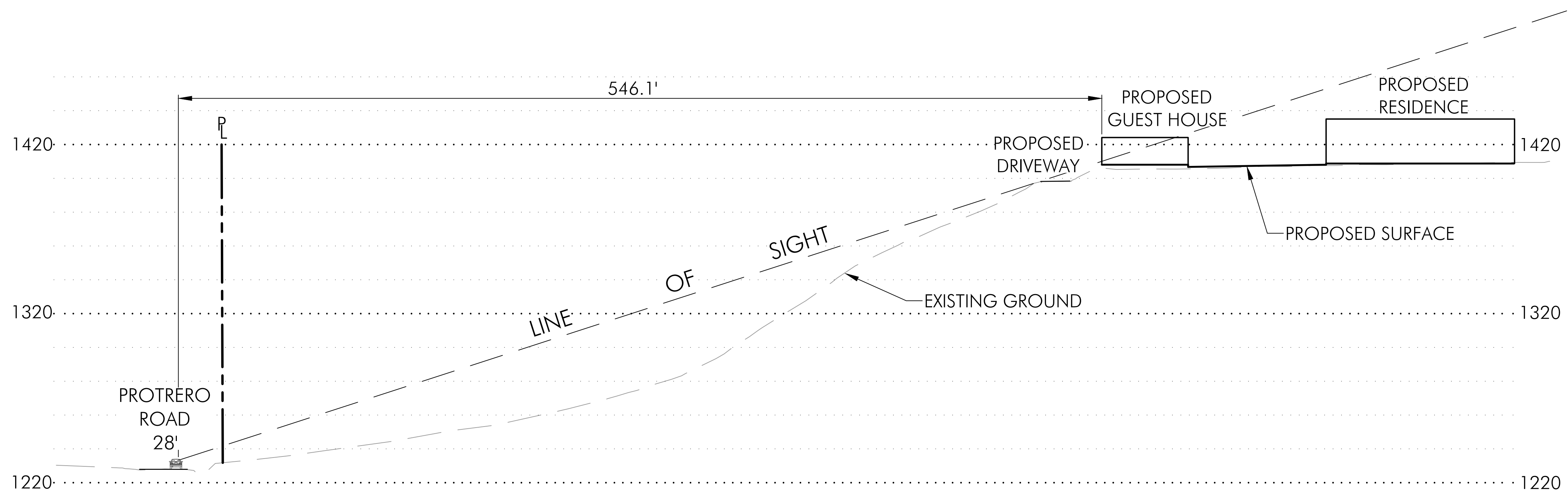
**DEVELOPER:**  
 ALLIED PROPERTY GROUP LLC  
 1411 WINDSOR DRIVE  
 THOUSAND OAKS, CA 91360  
 (805) 760-4522

**ARCHITECT:**  
 GREYSON TERRIO, PE  
 22647 VENTURA BLVD. #362  
 WOODLANDS HILLS, CA  
 (805) 469-4883  
 GREYSON@CREATIONINC.COM

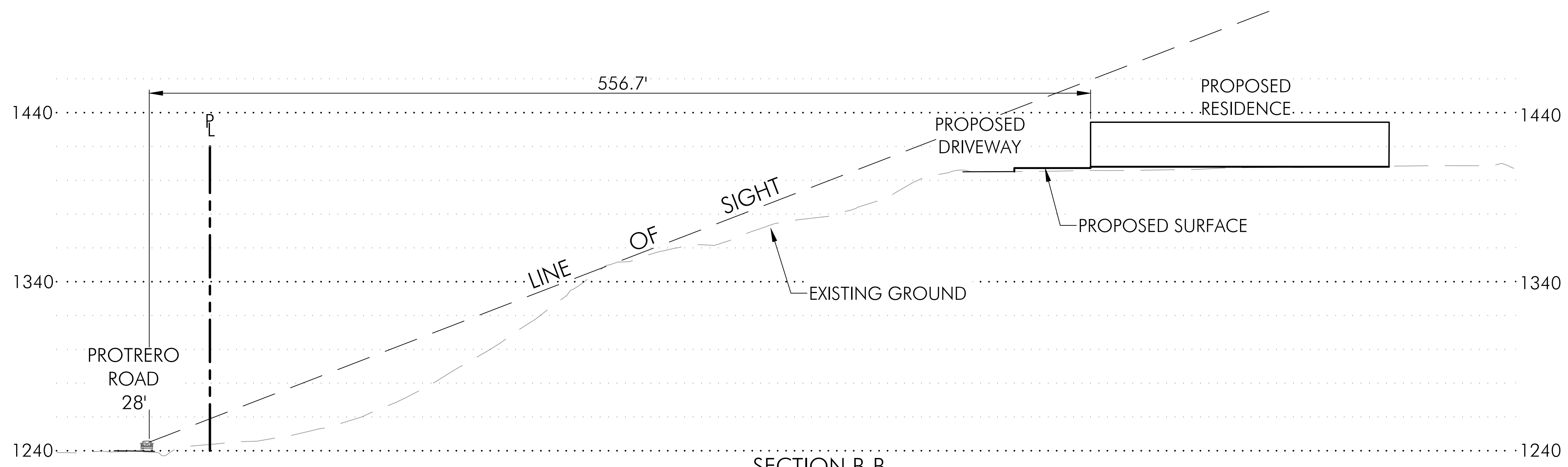
**PREPARED BY:**

**PACIFIC COAST CIVIL, INC.**  
 30141 AGOURA ROAD, SUITE 200  
 AGOURA HILLS, CA 91301  
 PH: (818) 865-4168  
 FAX: (818) 865-4198

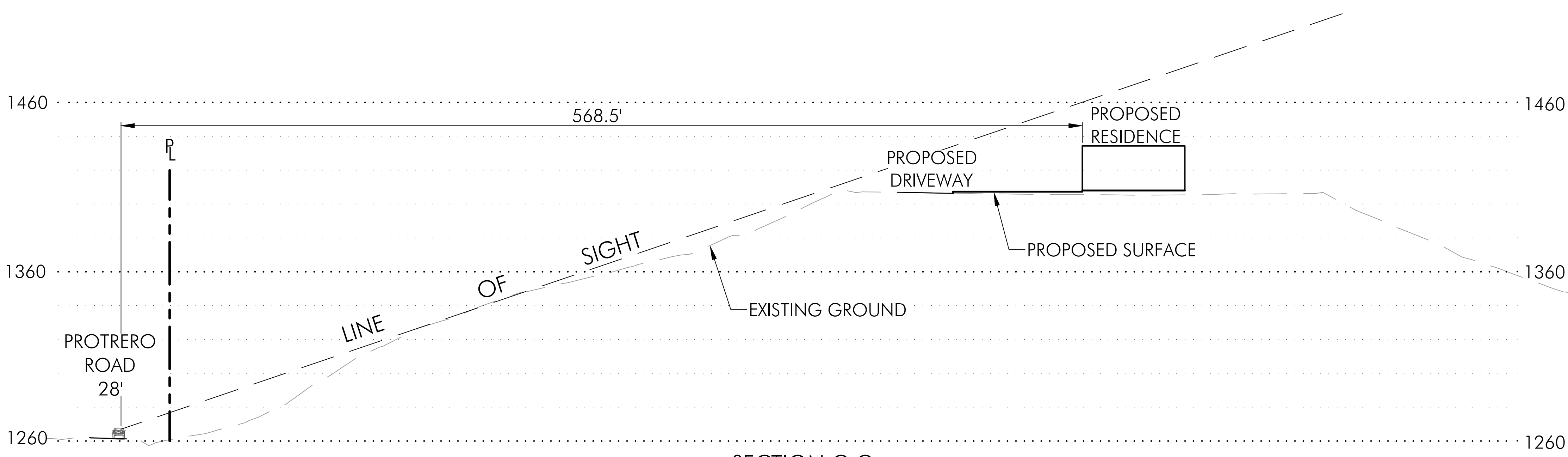
**LANDSCAPE DESIGN:**  
 JOANNE PERRIN  
 2393 TELLER ROAD  
 NEWBURY PARK, CA  
 (805) 795-7995  
 JJPERRIN@VERIZON.NET.COM



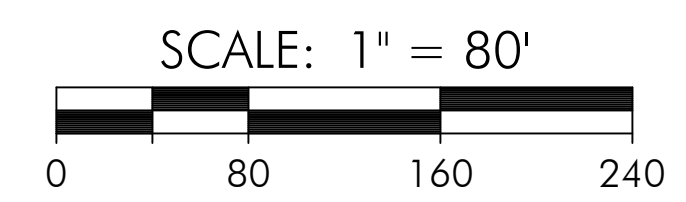
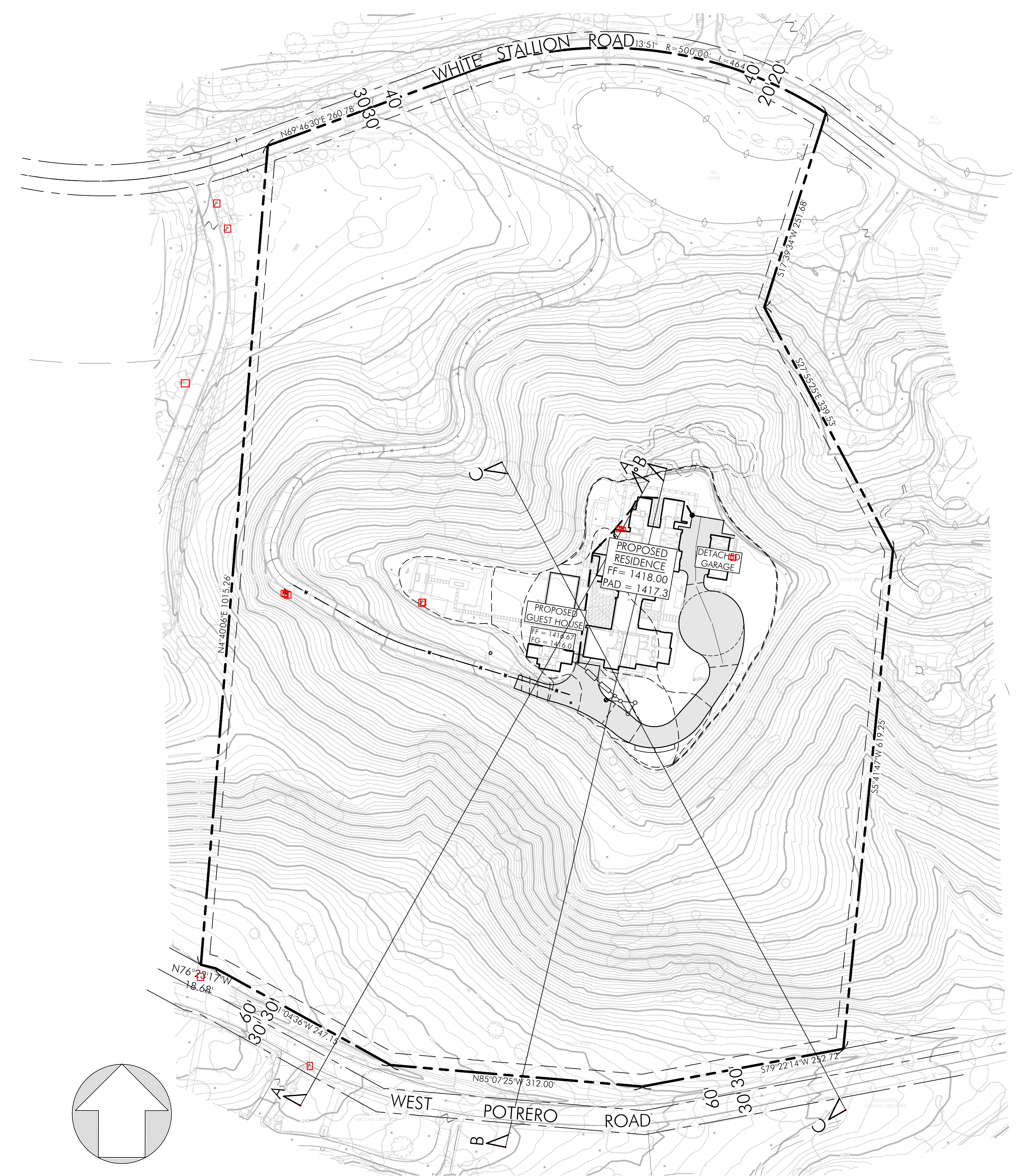
**SECTION A-A**  
HOR. & VERT. SCALE  
1" = 40'



**SECTION B-B**  
HOR. & VERT. SCALE  
1" = 40'



**SECTION C-C**  
HOR. & VERT. SCALE  
1" = 40'



**LEGEND:**

- PROPERTY LINE
- CENTER LINE
- PROPOSED GRADED SURFACE
- FUEL MOD LINE
- EXISTING GROUND
- PROPOSED DRIVEWAY
- LINE OF SIGHT
- FF FINISHED FLOOR
- FG FINISHED GROUND

## SCENIC ROUTE CROSS SECTIONS

2551 WHITE STALLION ROAD  
THOUSAND OAKS, CALIFORNIA

A.P.N.: 668-0-080-140 & 668-0-080-150

PARCEL 9, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA,  
AS SHOWN ON THE MAP FILED FEBRUARY 18, 1983, IN BOOK 37,  
PAGES 10, 11, 12 AND 13, INCLUSIVE OF PARCEL MAPS,  
IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

February 18, 2021

**DEVELOPER:**  
ALLIED PROPERTY GROUP LLC  
1411 WINDSOR DRIVE  
THOUSAND OAKS, CA 91360  
(805) 760-4522

**ARCHITECT:**  
GREYSON TERRIO, PE  
22647 VENTURA BLVD. #362  
WOODLANDS HILLS, CA  
(805) 469-4883  
GREYSON@CREATIONGINC.COM

**PREPARED BY:**



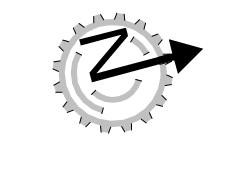
**PACIFIC COAST CIVIL, INC.**  
30141 AGOURA ROAD, SUITE 200  
AGOURA HILLS, CA 91301  
PH: (818) 865-4168  
FAX: (818) 865-4198

**LANDSCAPE DESIGN:**  
JOANNE PERRIN  
2393 TELLER ROAD  
NEWBURY PARK, CA  
(805) 795-7995  
JJPERRIN@VERIZON.NET.COM

These drawings are the property of the Engineer. They are to be used only for the project and site for which they were prepared. No part of these drawings may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of the Engineer. The Engineer shall not be responsible for any errors or omissions in these drawings. The Engineer shall not be responsible for any damage or injury to persons or property resulting from the use of these drawings. The Engineer shall not be responsible for any consequences of any action taken in reliance on these drawings. The Engineer shall not be responsible for any claims, damages, or liabilities of any kind, including reasonable attorneys' fees, arising from the use of these drawings. The Engineer shall not be responsible for any claims, damages, or liabilities of any kind, including reasonable attorneys' fees, arising from the use of these drawings.



1 Site  
1" = 40'-0"



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Greyson F. Terrio, P.E., CEO  
 22647 VENTURA BLVD, #362  
 WOODLAND HILLS, CA 91364  
 (805) 469-4883

PRINTS ISSUED

DATE	PURPOSE	NO.

CLIENTS INFORMATION:  
 2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361

SHEET TITLE:  
**SITE PLAN**

PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361**

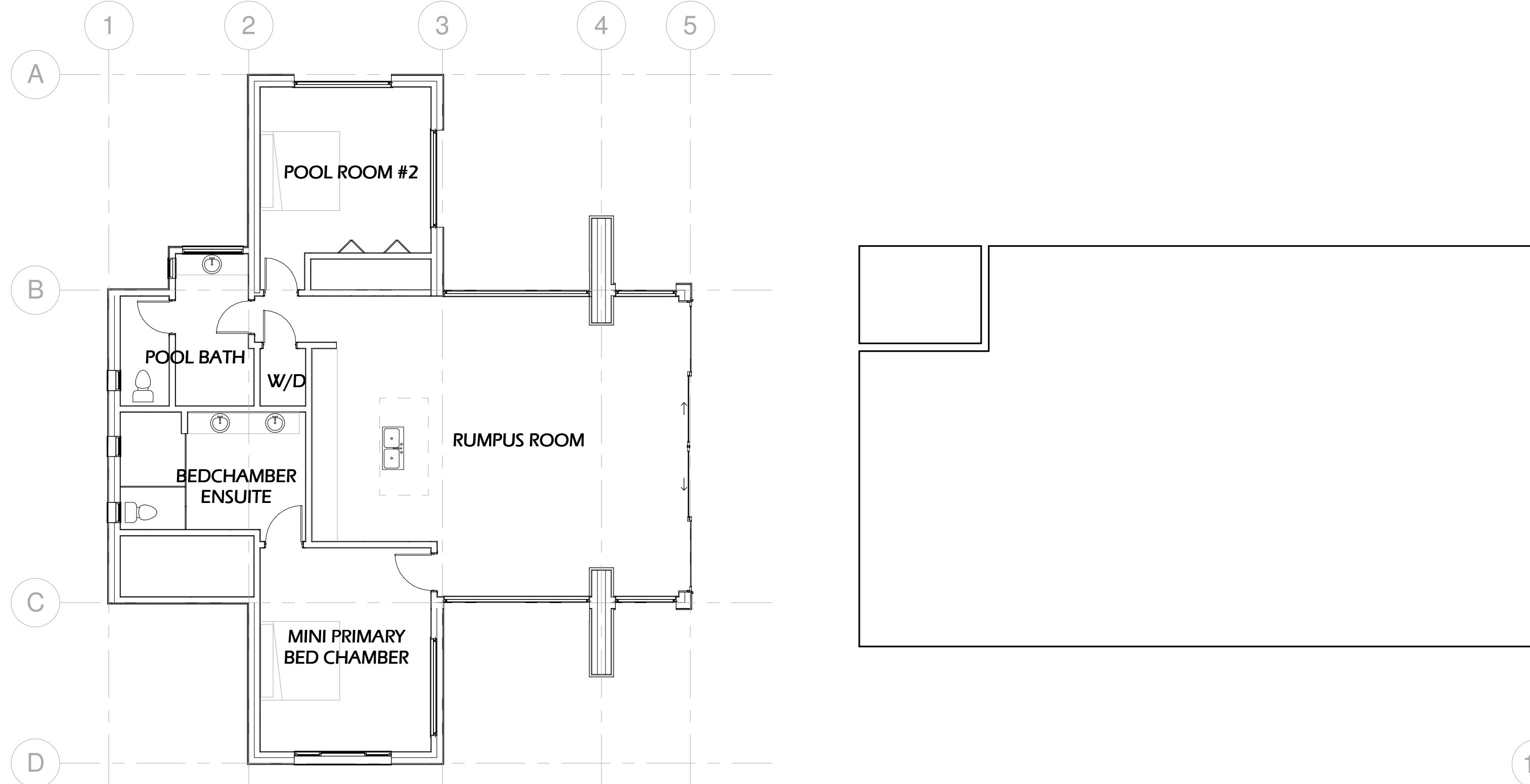
DRAWINGS VALID ONLY WITH ENGINEER'S WET SIGNATURE OVER SEAL ON EACH SHEET IN INK



Author: 20.1012.179

SHEET NUMBER:  
**A-0.1**

2/21/2021 11:09:31 PM



**THE LEGEND, THE WALL**

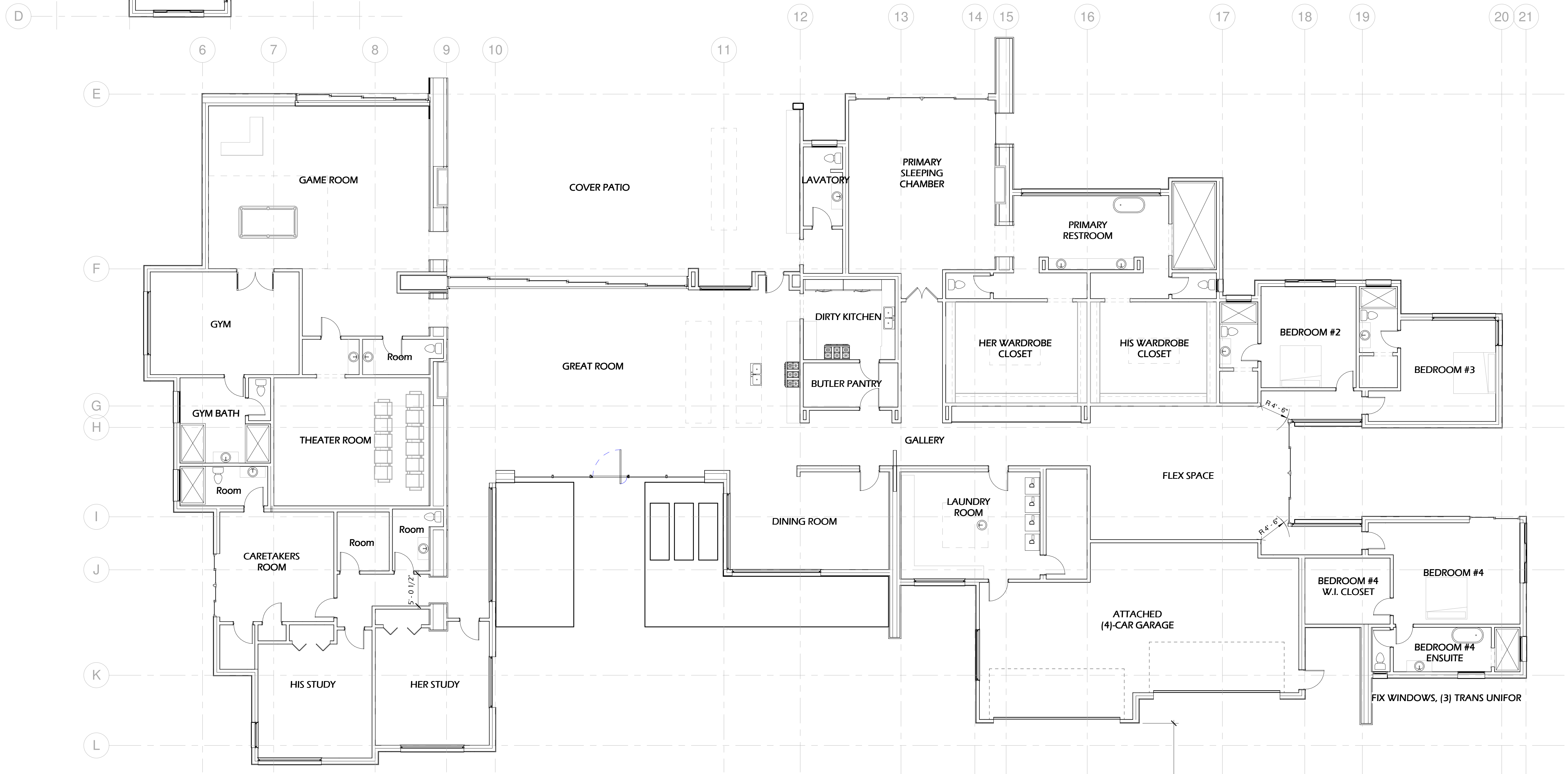
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2	Gypsum Board 2x6 Stud Wall Gypsum Board	1'-11"	7/8" Stucco, Smooth Trowels Finish, Typ. Plywood Per Plan 2x6 Stud Wall
3	Gypsum Board 2x6 Stud Wall Gypsum Board	1'-11"	7/8" Stucco, Smooth Trowels Finish, Typ. Plywood Per Plan 2x6 Stud Wall
4	Gypsum Board 2x6 Stud Wall Gypsum Board	1'-11"	7/8" Stucco, Smooth Trowels Finish, Typ. Plywood Per Plan 2x6 Stud Wall
5	Gypsum Board 2x6 Stud Wall Gypsum Board	1'-11"	7/8" Stucco, Smooth Trowels Finish, Typ. Plywood Per Plan 2x6 Stud Wall

**WINDOW SCHEDULE**

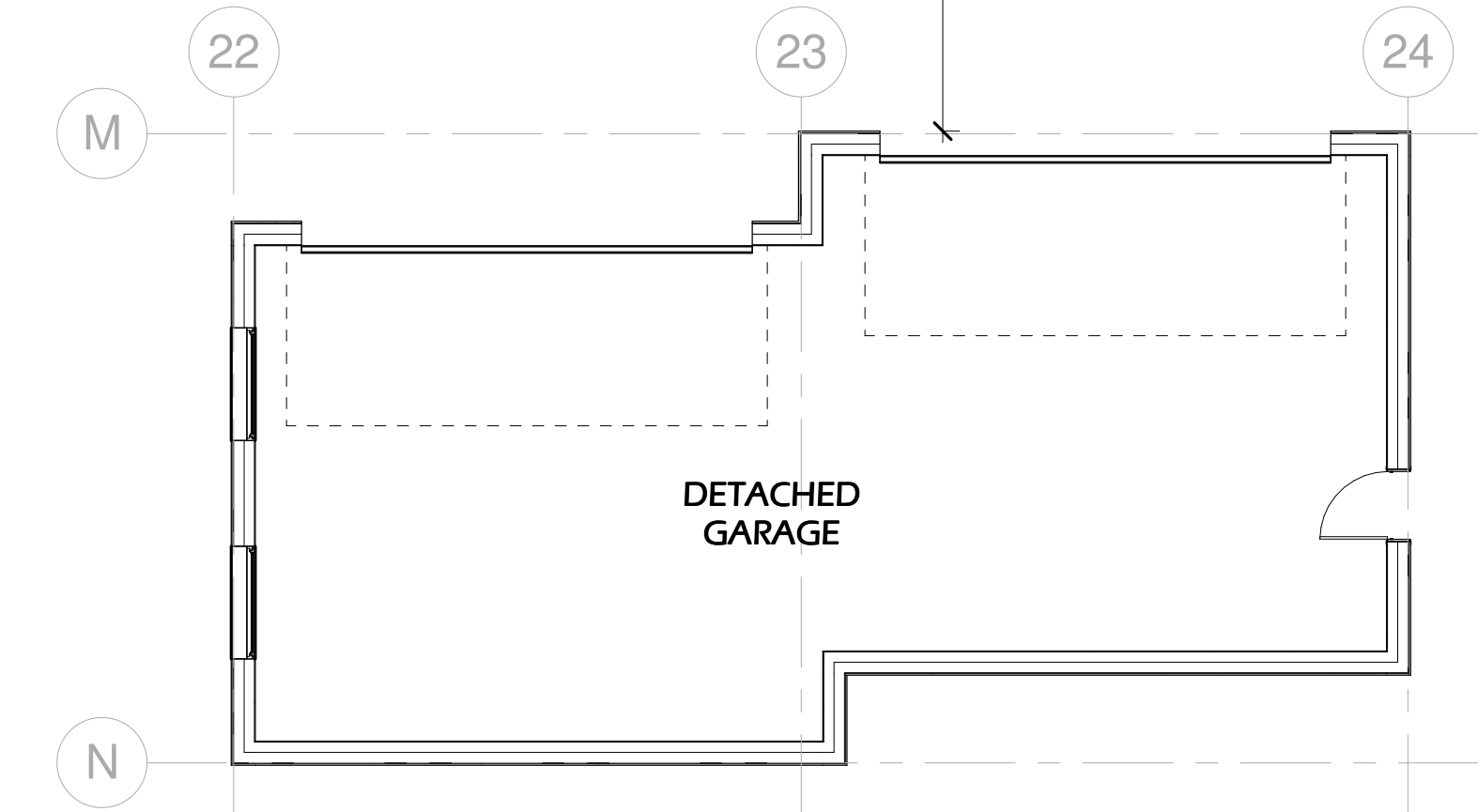
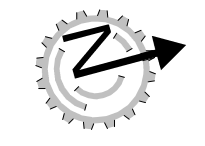
WINDOW LABELING IS TO REMAIN IN PLACE ON THE WINDOWS AT THE TIME OF THE INSPECTION AND SHALL MATCH THE FACTORS AND COEFFICIENTS ON THE TITLE 24 ENERGY CALCULATIONS.

Mark	Width	Height	Count	Notes
A	4'-3 1/2"	4'-5 1/2"	1	
B	2'-3 1/2"	4'-5 1/2"	1	
C	2'-0"	6'-0"	1	
D	3'-11 1/2"	1'-11 1/2"	1	
E	9'-6"	5'-0"	1	
F	5'-0"	5'-6"	2	
G	8'-0"	7'-0"	1	
H	5'-0"	5'-0"	3	
I	10'-0"	10'-0"	4	
J	14'-0"	10'-0"	1	
K	4'-0"	10'-0"	2	
L	18'-0"	10'-0"	1	
M	22'-0"	10'-0"	1	
N	10'-0"	2'-0"	3	
O	8'-0"	10'-0"	1	
P	4'-0"	2'-0"	3	
Q	8'-0"	8'-0"	3	
R	8'-0"	4'-0"	2	
S	8'-0"	5'-0"	2	
T	12'-0"	10'-0"	3	
U	5'-0"	10'-0"	1	
V	11'-8"	5'-0"	4	
W	5'-0"	10'-0"	2	
X	6'-0"	3'-0"	8	
Y	11'-0"	10'-0"	2	
Z	8'-0"	4'-0"	5	

New: 59



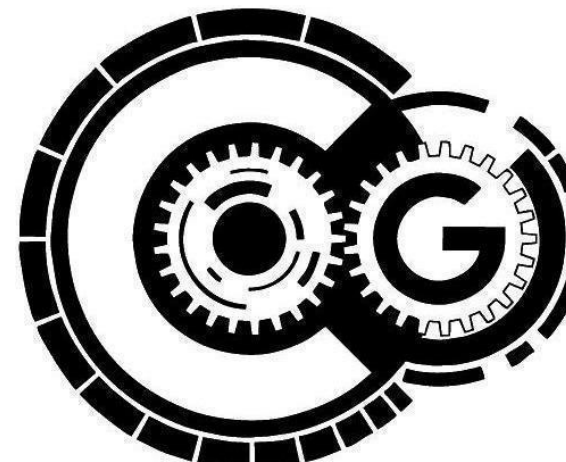
1 FLOOR PLAN - 1/8" SCALE  
1/8" = 1'-0"



**DOOR SCHEDULE**

1	Width	Height	Count	Keynote
1	6'-0"	6'-8"	3	
2	2'-8"	8'-0"	15	
3	3'-0"	8'-0"	22	
4	6'-0"	8'-0"	1	
5	2'-8"	6'-8"	1	
6	21'-0"	10'-0"	1	
7	3'-0"	8'-0"	1	
8	5'-0"	8'-0"	1	
9	5'-11 1/2"	9'-11 1/2"	1	
10	24'-0"	10'-0"	1	
11	10'-0"	8'-0"	1	
12	8'-0"	8'-0"	1	
13	16'-0"	10'-0"	1	
14	37'-11"	9'-11 1/2"	1	
15	20'-11"	9'-11 1/2"	1	
16	20'-0"	8'-0"	4	

New: 56



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 22647 VENTURA BLVD, #362  
 WOODLAND HILLS, CA 91364  
 (805) 469-4883

**PRINTS ISSUED**

DATE	PURPOSE	NO.

**CLIENTS INFORMATION:**  
 Owner  
 2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361

SHEET TITLE:  
**1/8" SCALE FLOOR PLAN**

PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361**

DRAWINGS VALID ONLY WITH ENGINEERS WET SIGNATURE OVER SEAL ON EACH SHEET IN INK  
 SEP 30, 2019

Author: 20.1012.179

SHEET NUMBER:  
**A-1.0**

2/21/2021 11:09:33 PM

**LEGENDS AND SCHEDULES**

SYMBOL	DESCRIPTION
Ⓜ	<b>WINDOW SCHEDULE REFERENCE KEY:</b> COORDINATE WITH TITLE 24 REQUIREMENTS ON SHEET N-1 IF PROVIDED, OTHERWISE USE A MIN U-FACTOR OF LESS THAN OR EQUAL TO 0.4 AND AN SHGC LESS THAN OR EQUAL TO 0.35. FOR ADDITIONAL INFORMATION, REFER TO THE WINDOW SCHEDULE.
Ⓝ	<b>DOOR SCHEDULE REFERENCE KEY:</b> FOR EXTERIOR DOOR WITH GLASS, COORDINATE WITH TITLE 24 REQUIREMENTS ON SHEET N-1 IF PROVIDED, OTHERWISE USE A MIN U-FACTOR OF LESS THAN OR EQUAL TO 0.4 AND AN SHGC LESS THAN OR EQUAL TO 0.35. ALL GLASS TO BE TEMPERED. FOR ADDITIONAL INFORMATION, REFER TO THE WINDOW SCHEDULE.
Ⓝ	<b>NOTES &amp; PRODUCT REFERENCE KEY:</b> FOR ADDITIONAL INFORMATION, REFER TO THE NOTES & PRODUCT SCHEDULE.

**NOTES & PRODUCT INFORMATION - A-2**

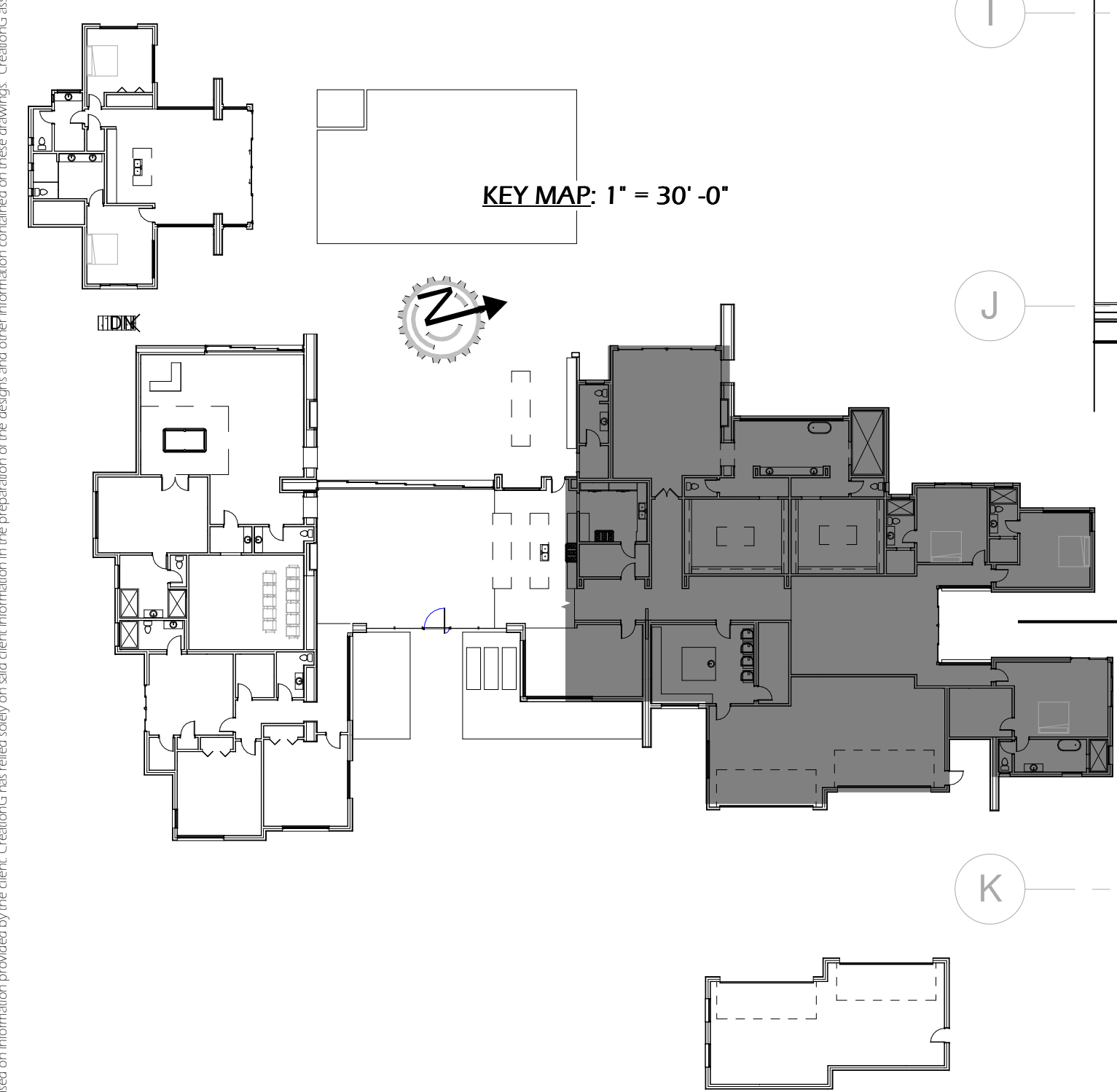
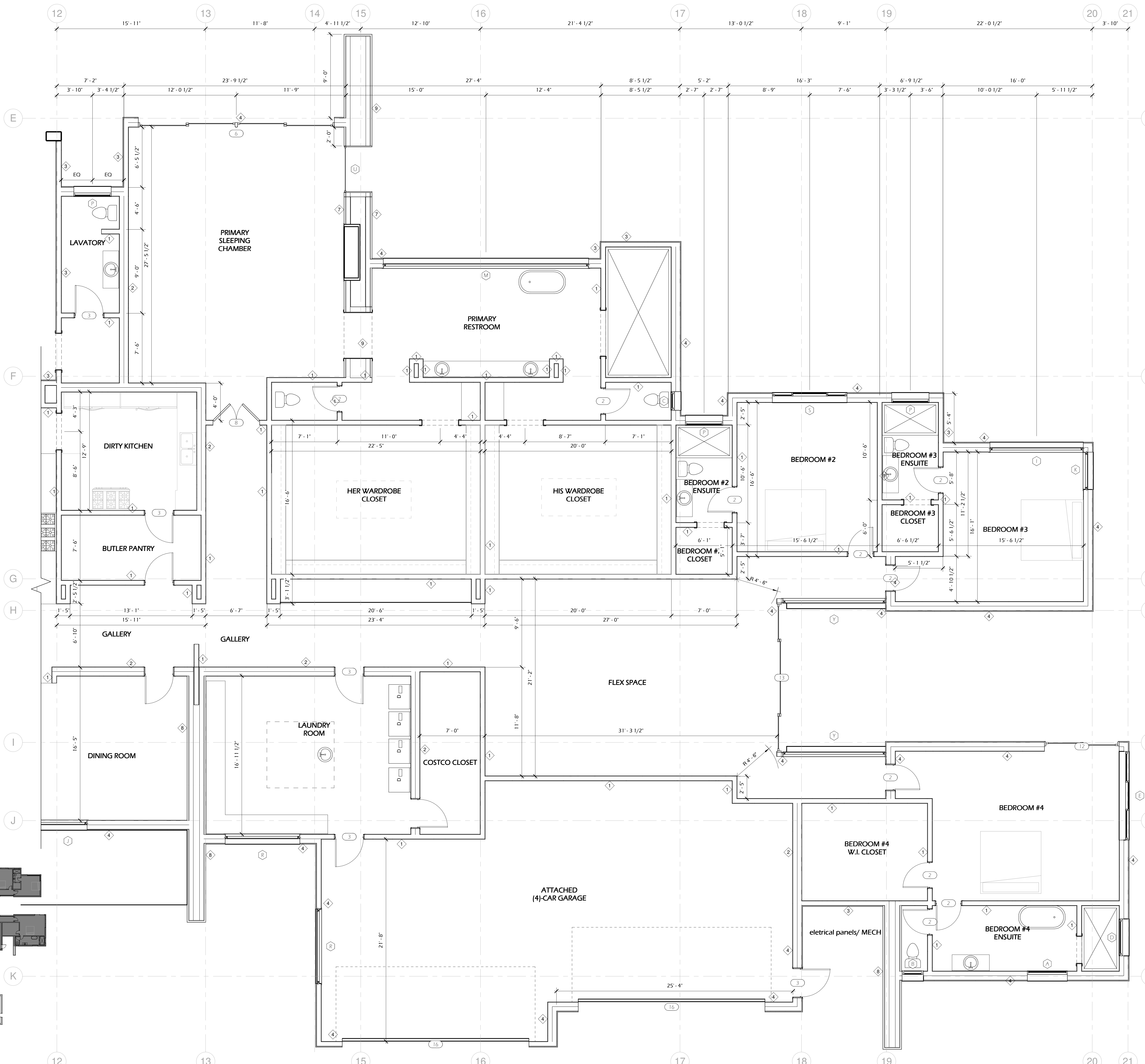
**WINDOW SCHEDULE**

WINDOW LABELING IS TO REMAIN IN PLACE ON THE WINDOW(S) AT THE TIME OF THE INSPECTION AND SHALL MATCH THE FACTORS AND COEFFICIENTS ON THE TITLE 24 ENERGY CALCULATIONS.

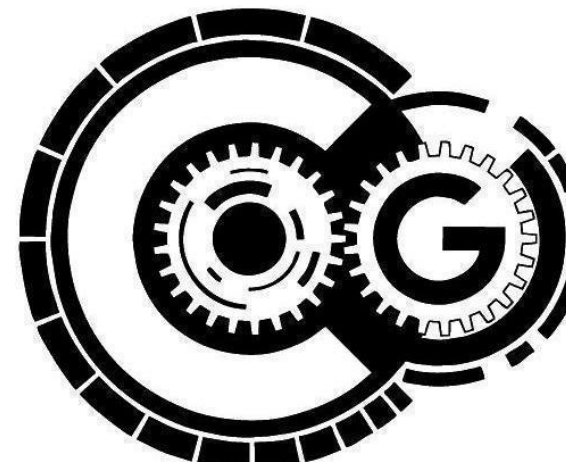
Mark	Width	Height	Count	Notes
A	4'-3 1/2"	4'-5 1/2"	1	
B	2'-3 1/2"	4'-5 1/2"	1	
C	2'-0"	6'-0"	1	
D	3'-11 1/2"	1'-11 1/2"	1	
E	9'-6"	5'-0"	1	
F	5'-0"	5'-6"	2	
G	8'-0"	7'-0"	1	
H	5'-0"	5'-0"	3	
I	10'-0"	10'-0"	4	
J	14'-0"	10'-0"	1	
K	4'-0"	10'-0"	2	
L	18'-0"	10'-0"	1	
M	22'-0"	10'-0"	1	
N	10'-0"	2'-0"	3	
O	8'-0"	10'-0"	1	
P	4'-0"	2'-0"	3	
Q	8'-0"	8'-0"	3	
R	8'-0"	4'-0"	2	
S	8'-0"	5'-0"	2	
T	12'-0"	10'-0"	3	
U	5'-0"	10'-0"	1	
V	1'-8"	5'-0"	4	
W	5'-0"	10'-0"	2	
X	6'-0"	3'-0"	8	
Y	11'-0"	10'-0"	2	
Z	8'-0"	4'-0"	5	

**DOOR SCHEDULE**

#	Width	Height	Count	Keynote
1	6'-0"	6'-8"	3	
2	2'-8"	8'-0"	15	
3	3'-0"	8'-0"	22	
4	6'-0"	8'-0"	1	
5	2'-8"	6'-8"	1	
6	21'-0"	10'-0"	1	
7	3'-0"	8'-0"	1	
8	5'-0"	8'-0"	1	
9	5'-11 1/2"	9'-11 1/2"	1	
10	24'-0"	10'-0"	1	
11	10'-0"	8'-0"	1	
12	8'-0"	8'-0"	1	
13	16'-0"	10'-0"	1	
14	37'-11"	9'-11 1/2"	1	
15	20'-11"	9'-11 1/2"	1	
16	20'-0"	8'-0"	4	



MAIN HOUSE - PARTIAL NORTH FLOOR PLAN  
1/4\"/>



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Greyson F. Terrio, P.E., CEO  
22647 VENTURA BLVD, #362  
WOODLAND HILLS, CA 91364  
(805) 469-4883

**PRINTS ISSUED**

DATE	PURPOSE	NO.

**CLIENTS INFORMATION:**

Owner  
2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361

SHEET TITLE:  
**MAIN HOUSE - PARTIAL NORTH FLOOR PLAN**

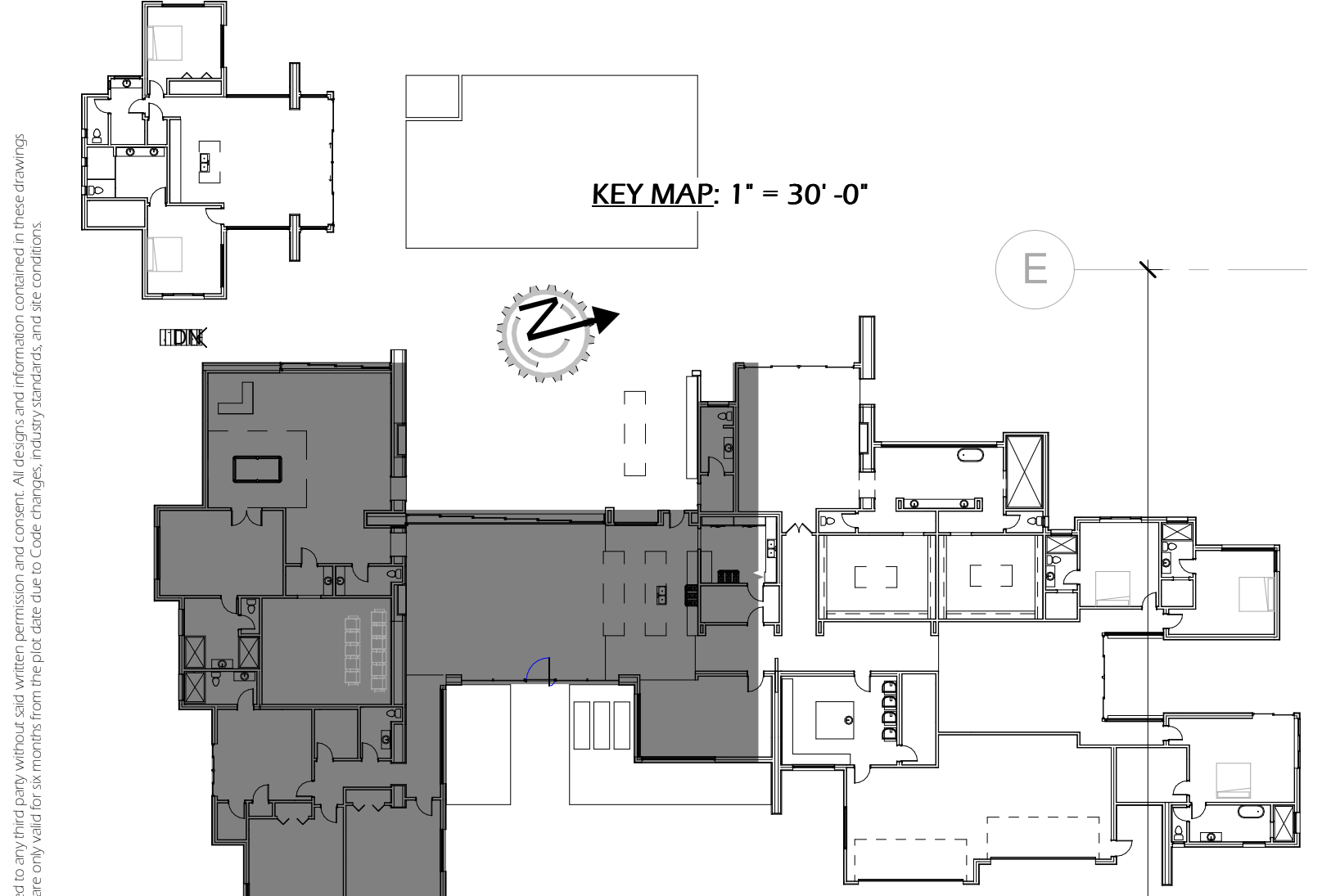
PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361**



Author: 20.1012.179

SHEET NUMBER:  
**A-1.1**

2/21/2021 11:09:36 PM



**LEGENDS AND SCHEDULES**

SYMBOL	DESCRIPTION
④	<b>WINDOW SCHEDULE REFERENCE KEY:</b> COORDINATE WITH TITLE-24 REQUIREMENTS ON SHEET N-1 IF PROVIDED, OTHERWISE USE A MIN U-FACTOR OF LESS THAN OR EQUAL TO 0.4 AND AN SHGC LESS THAN OR EQUAL TO 0.35. FOR ADDITIONAL INFORMATION, REFER TO THE WINDOW SCHEDULE.
⑧	<b>DOOR SCHEDULE REFERENCE KEY:</b> FOR EXTERIOR DOOR WITH GLASS, COORDINATE WITH TITLE-24 REQUIREMENTS ON SHEET N-1 IF PROVIDED, OTHERWISE USE A MIN U-FACTOR OF LESS THAN OR EQUAL TO 0.4 AND AN SHGC LESS THAN OR EQUAL TO 0.35. ALL GLASS TO BE TEMPERED. FOR ADDITIONAL INFORMATION, REFER TO THE WINDOW SCHEDULE.
⑩	<b>NOTES &amp; PRODUCT REFERENCE KEY:</b> FOR ADDITIONAL INFORMATION, REFER TO THE NOTES & PRODUCT SCHEDULE.

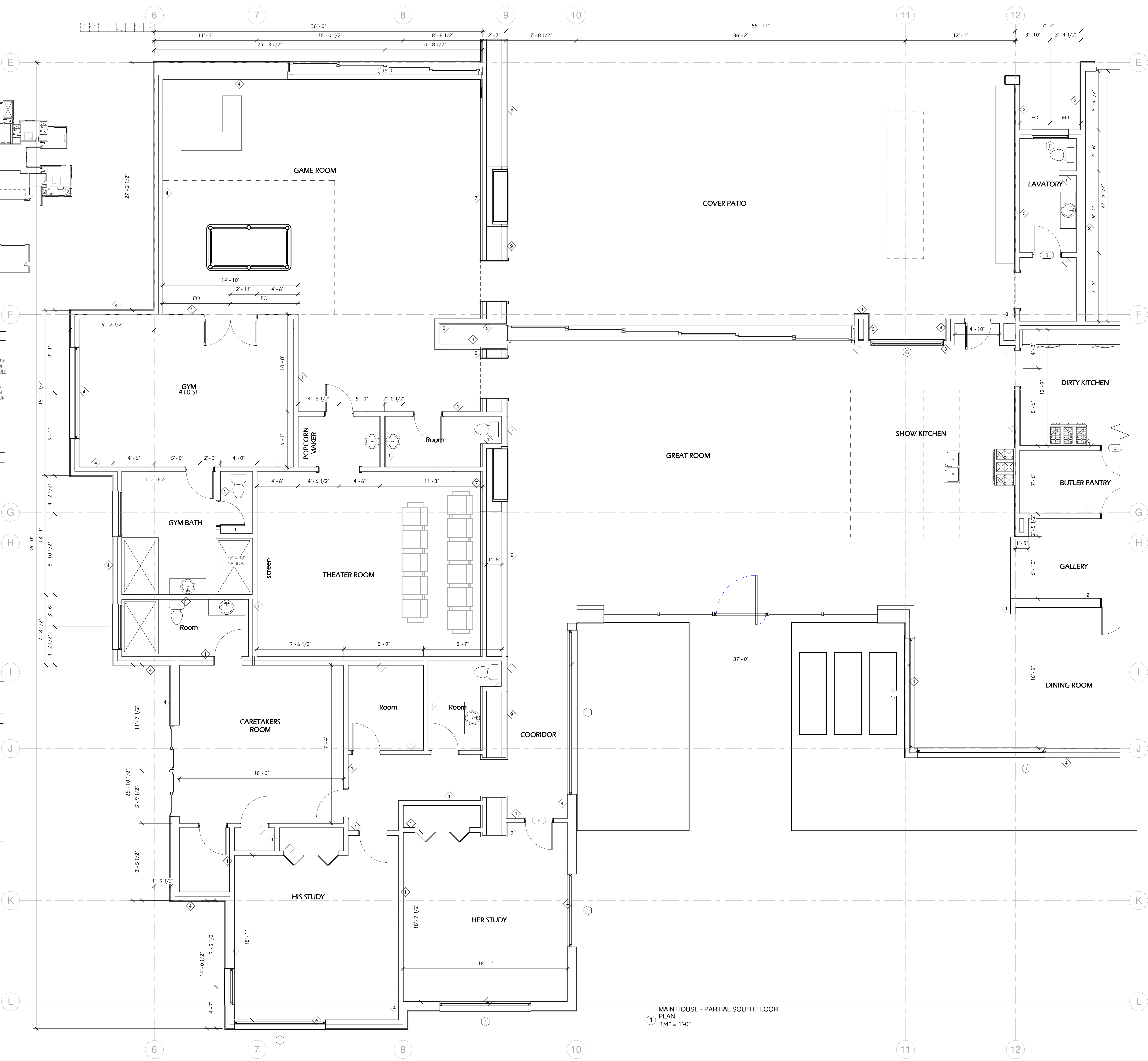
**WINDOW SCHEDULE**

WINDOW LABELING IS TO REMAIN IN PLACE ON THE WINDOW(S) AT THE TIME OF THE INSPECTION AND SHALL MATCH THE FACTORS AND COEFFICIENTS ON THE TITLE-24 ENERGY CALCULATIONS

Mark	Width	Height	Count	Notes
A	4'-3 1/2"	4'-5 1/2"	1	
B	2'-3 1/2"	4'-5 1/2"	1	
C	2'-0"	6'-0"	1	
D	3'-11"	1'-11 1/2"	1	
E	1/2"		1	
F	9'-6"	5'-0"	1	
G	5'-0"	5'-6"	2	
H	5'-0"	5'-0"	3	
I	10'-0"	10'-0"	4	
J	14'-0"	10'-0"	1	
K	4'-0"	10'-0"	2	
L	18'-0"	10'-0"	1	
M	22'-0"	10'-0"	1	
N	10'-0"	2'-0"	3	
O	8'-0"	10'-0"	1	
P	4'-0"	2'-0"	3	
Q	8'-0"	8'-0"	3	
R	8'-0"	4'-0"	2	
S	8'-0"	5'-0"	2	
T	12'-0"	10'-0"	3	
U	5'-0"	10'-0"	1	
V	1'-8"	5'-0"	4	
W	5'-0"	10'-0"	2	
X	6'-0"	3'-0"	8	
Y	11'-0"	10'-0"	2	
Z	8'-0"	4'-0"	5	

**DOOR SCHEDULE**

#	Width	Height	Count	Keynote
1	6'-0"	6'-8"	3	
2	2'-8"	8'-0"	15	
3	3'-0"	8'-0"	22	
4	6'-0"	8'-0"	1	
5	2'-8"	6'-8"	1	
6	21'-0"	10'-0"	1	
7	3'-0"	8'-0"	1	
8	5'-0"	8'-0"	1	
9	5'-11 1/2"	9'-11 1/2"	1	
10	24'-0"	10'-0"	1	
11	10'-0"	8'-0"	1	
12	8'-0"	8'-0"	1	
13	16'-0"	10'-0"	1	
14	37'-11"	9'-11 1/2"	1	
15	20'-11"	9'-11 1/2"	1	
16	20'-0"	8'-0"	4	



MAIN HOUSE - PARTIAL SOUTH FLOOR PLAN  
1/4" = 1'-0"



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DATE	PURPOSE	NO.

**CLIENTS INFORMATION:**  
 Owner  
 2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361

SHEET TITLE:  
**MAIN HOUSE - PARTIAL SOUTH FLOOR PLAN**

PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361**

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Author: 20.1012.179

SHEET NUMBER:  
**A-1.2**  
 2/21/2021 11:09:38 PM

**WINDOW SCHEDULE**

WINDOW LABELING IS TO REMAIN IN PLACE ON THE WINDOW(S) AT THE TIME OF THE INSPECTION AND SHALL MATCH THE FACTORS AND COEFFICIENTS ON THE TITLE 24 ENERGY CALCULATIONS

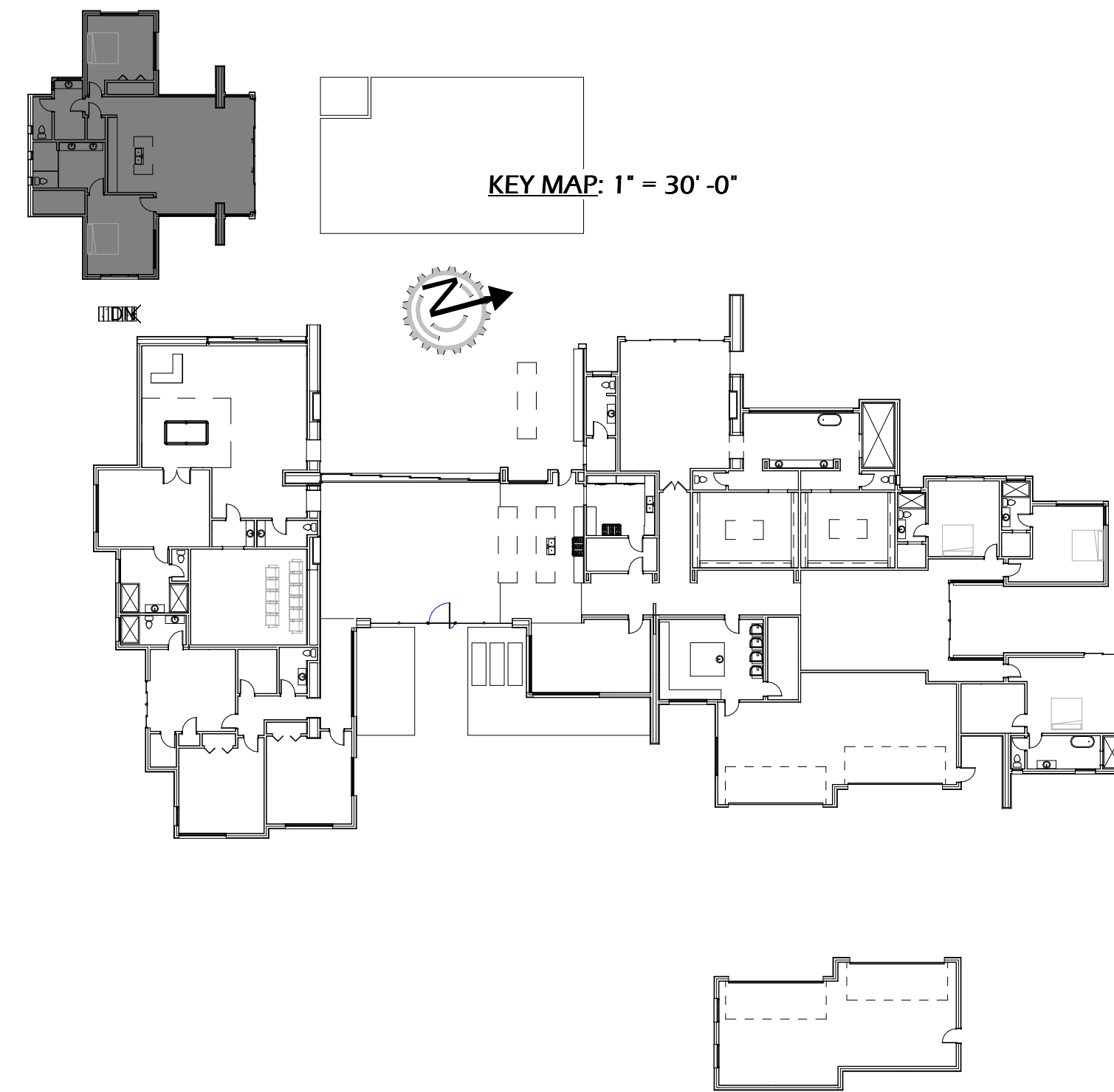
Mark	Width	Height	Count	Notes
A	4'-3 1/2"	4'-5 1/2"	1	
B	2'-3 1/2"	4'-5 1/2"	1	
C	2'-0"	6'-0"	1	
D	3'-11 1/2"	1'-11 1/2"	1	
E	9'-6"	5'-0"	1	
F	5'-0"	5'-6"	2	
G	8'-0"	7'-0"	1	
H	5'-0"	5'-0"	3	
I	10'-0"	10'-0"	4	
J	14'-0"	10'-0"	1	
K	4'-0"	10'-0"	2	
L	18'-0"	10'-0"	1	
M	22'-0"	10'-0"	1	
N	10'-0"	2'-0"	3	
O	8'-0"	10'-0"	1	
P	4'-0"	2'-0"	3	
Q	8'-0"	8'-0"	3	
R	8'-0"	4'-0"	2	
S	8'-0"	5'-0"	2	
T	12'-0"	10'-0"	3	
U	5'-0"	10'-0"	1	
V	1'-8"	5'-0"	4	
W	5'-0"	10'-0"	2	
X	6'-0"	3'-0"	8	
Y	11'-0"	10'-0"	2	
Z	8'-0"	4'-0"	5	

New: 59

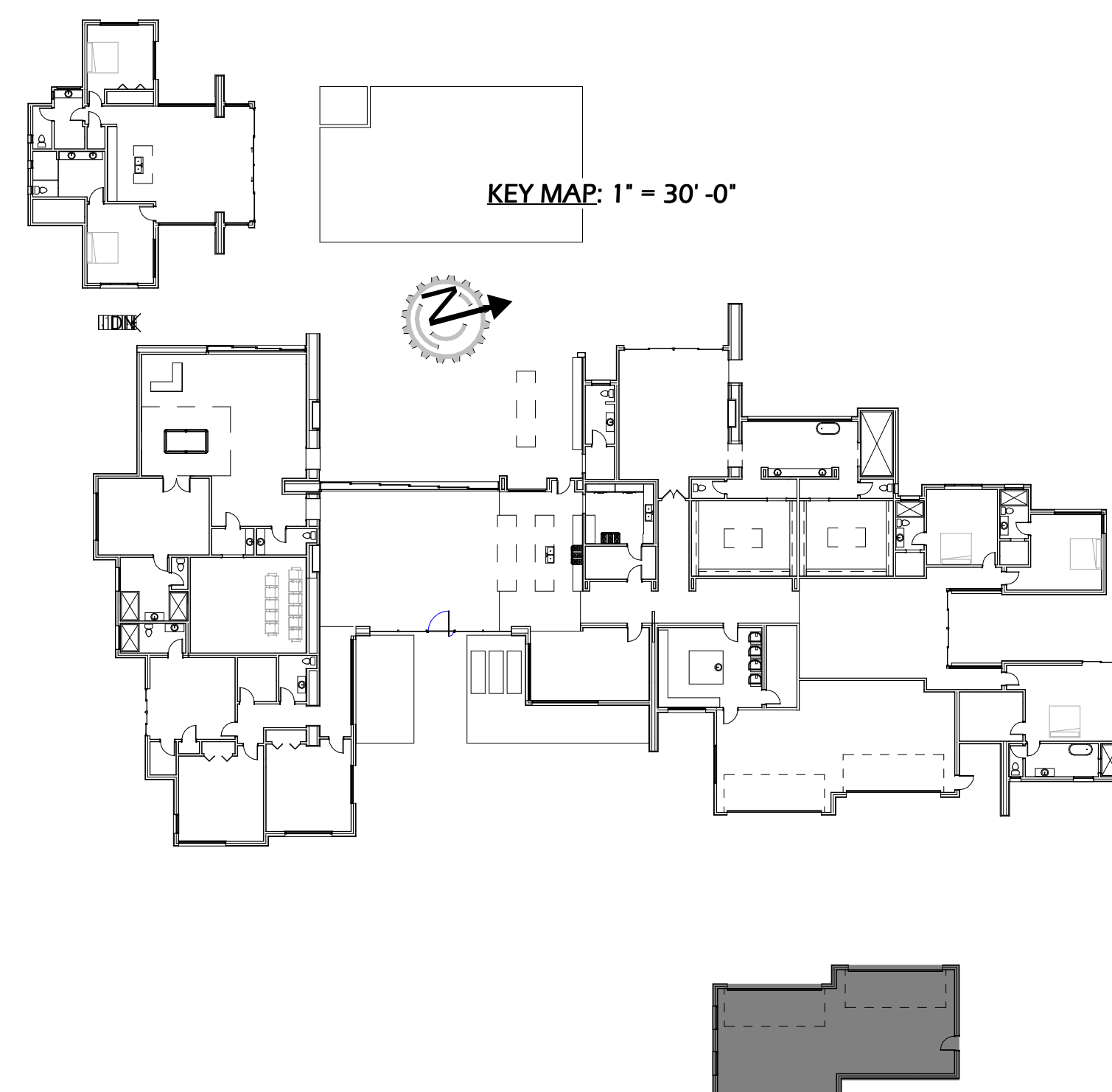
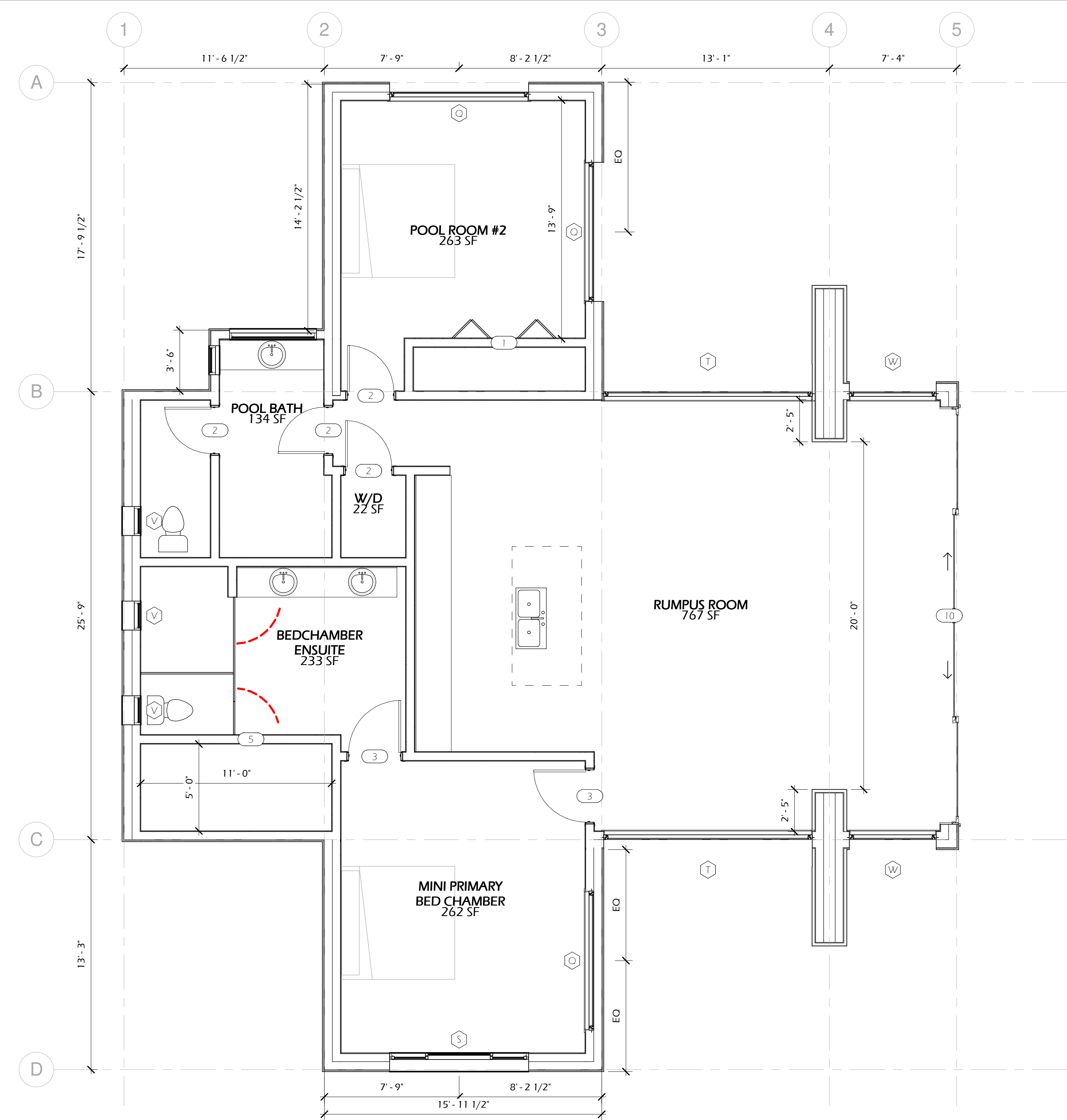
**DOOR SCHEDULE**

#	Width	Height	Count	Keynote
1	6'-0"	6'-8"	3	
2	2'-8"	8'-0"	15	
3	3'-0"	8'-0"	22	
4	6'-0"	8'-0"	1	
5	2'-8"	6'-8"	1	
6	21'-0"	10'-0"	1	
7	3'-0"	8'-0"	1	
8	5'-0"	8'-0"	1	
9	5'-11 1/2"	9'-11 1/2"	1	
10	24'-0"	10'-0"	1	
11	10'-0"	8'-0"	1	
12	8'-0"	8'-0"	1	
13	16'-0"	10'-0"	1	
14	37'-11"	9'-11 1/2"	1	
15	20'-11"	9'-11 1/2"	1	
16	20'-0"	8'-0"	4	

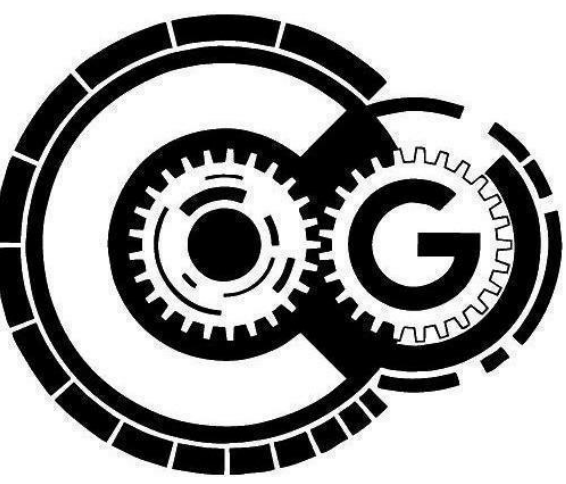
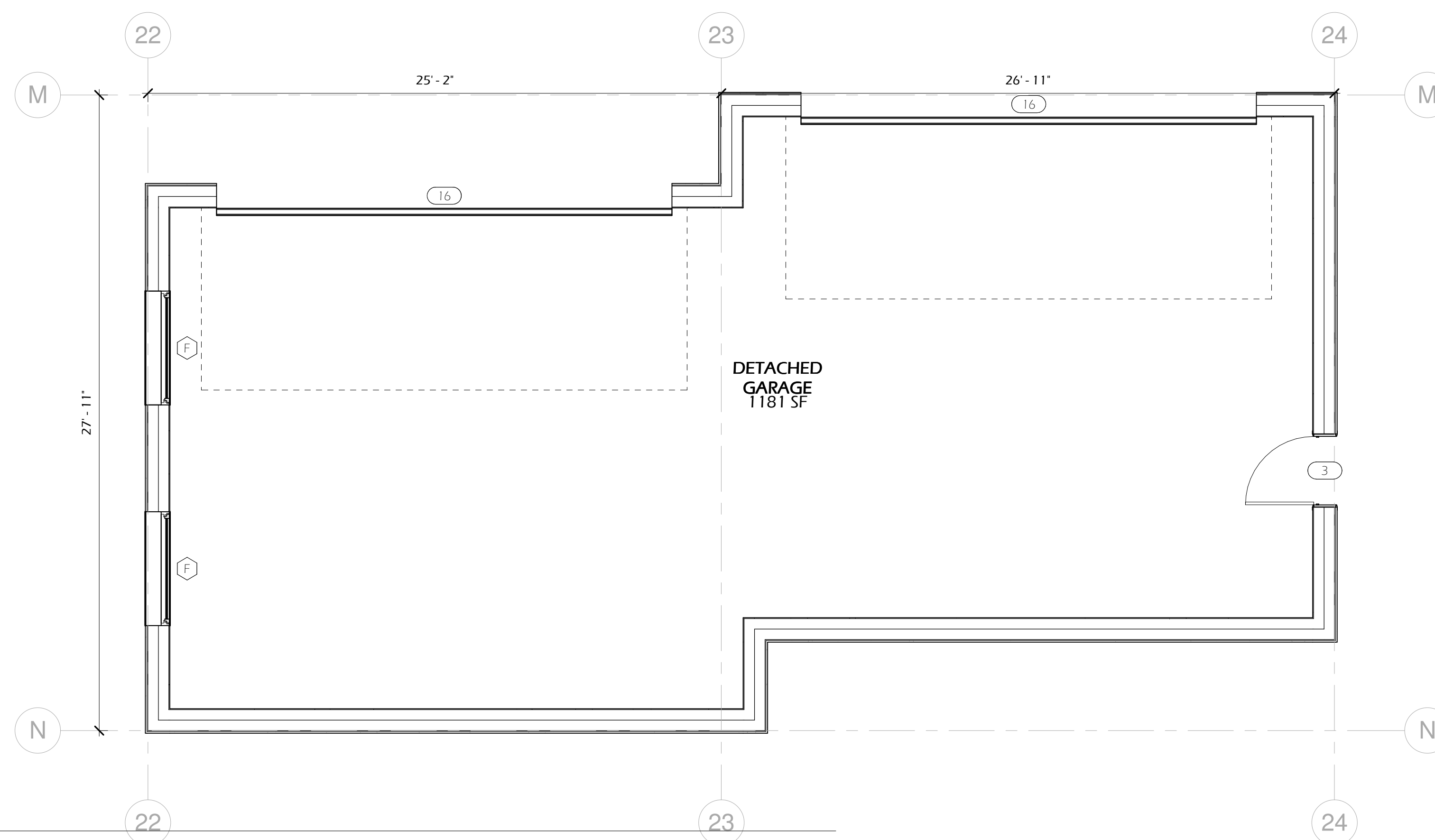
New: 56



1 POOL HOUSE - FLOOR PLAN  
1/4" = 1'-0"



3 DETACHED GARAGE - FLOOR PLAN  
1/4" = 1'-0"



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DATE	PURPOSE	NO.

**CLIENTS INFORMATION:**

Owner  
2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361

SHEET TITLE:  
**POOL HOUSE & DETACHED GARAGE FLOOR PLANS**

PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361**

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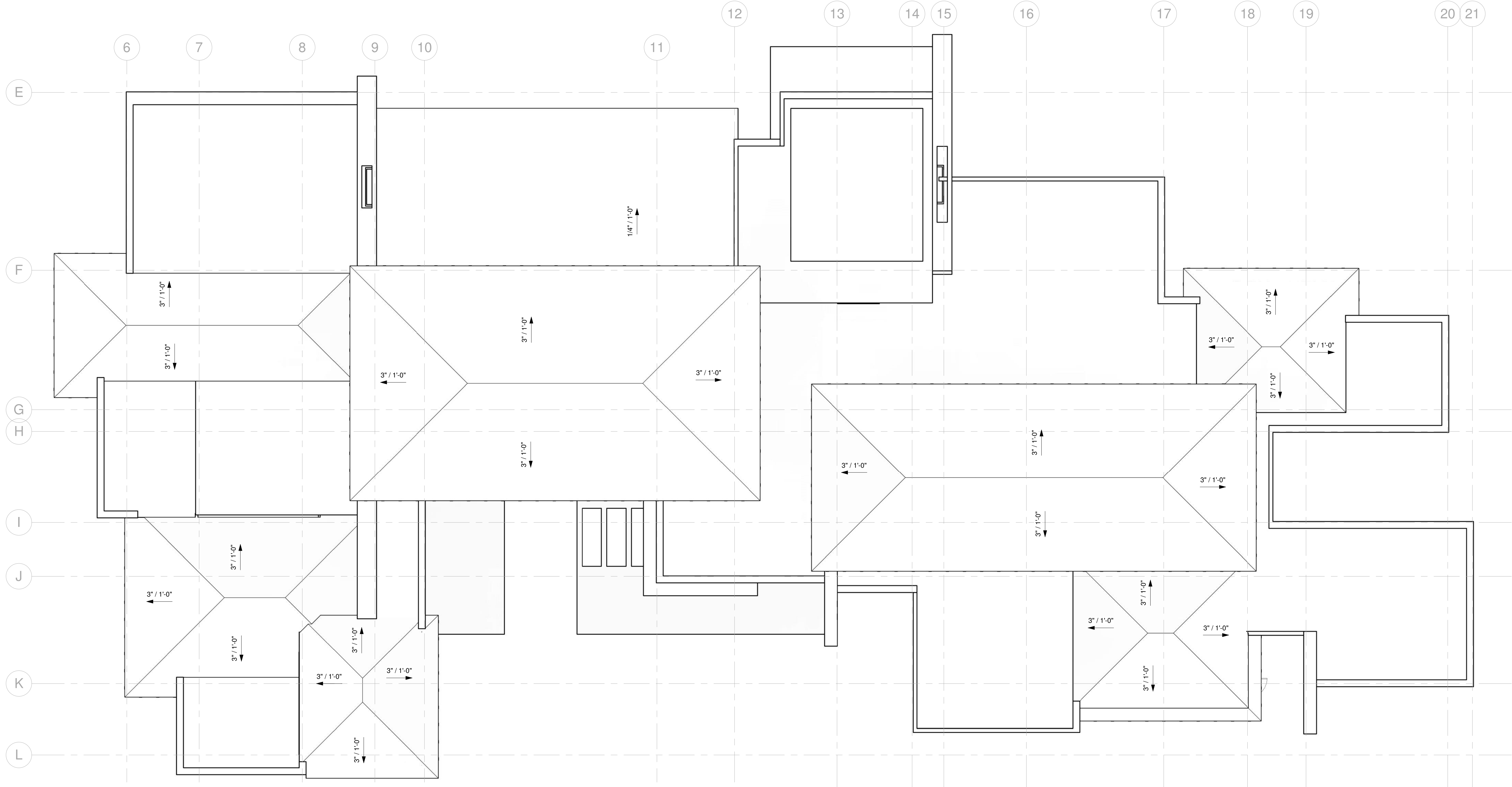
Author: 20.1012.179

SHEET NUMBER: A-1.3

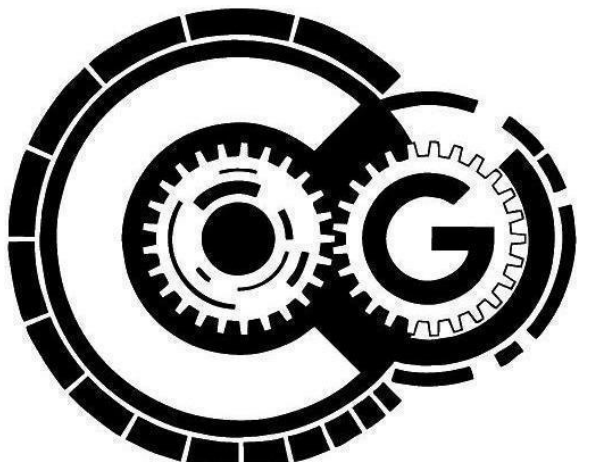
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**1** ROOF PLAN - MAIN HOUSE  
 1/8" = 1'-0"



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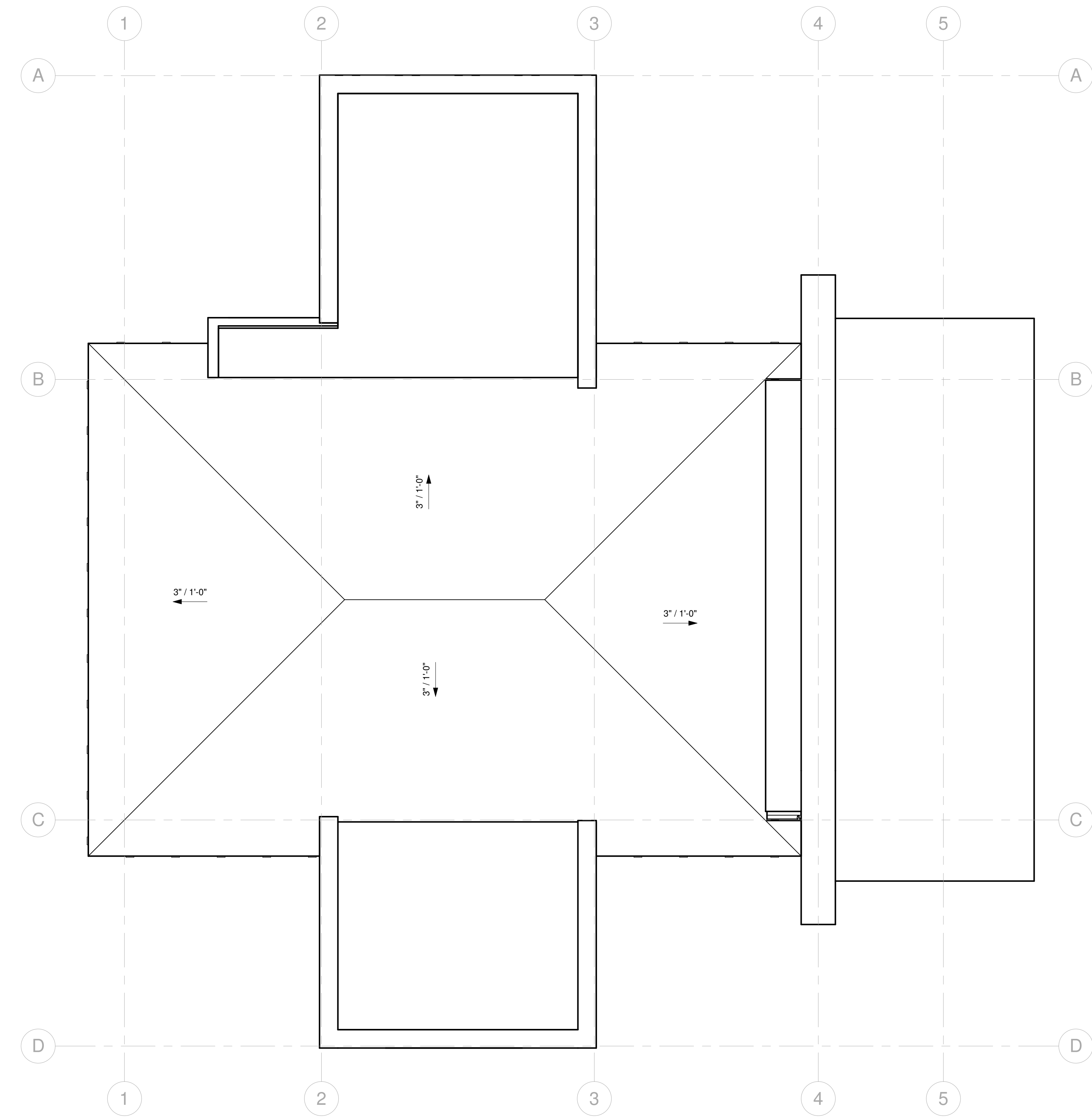
SHEET TITLE:  
**ROOF PLAN - MAIN HOUSE**  
 PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361**

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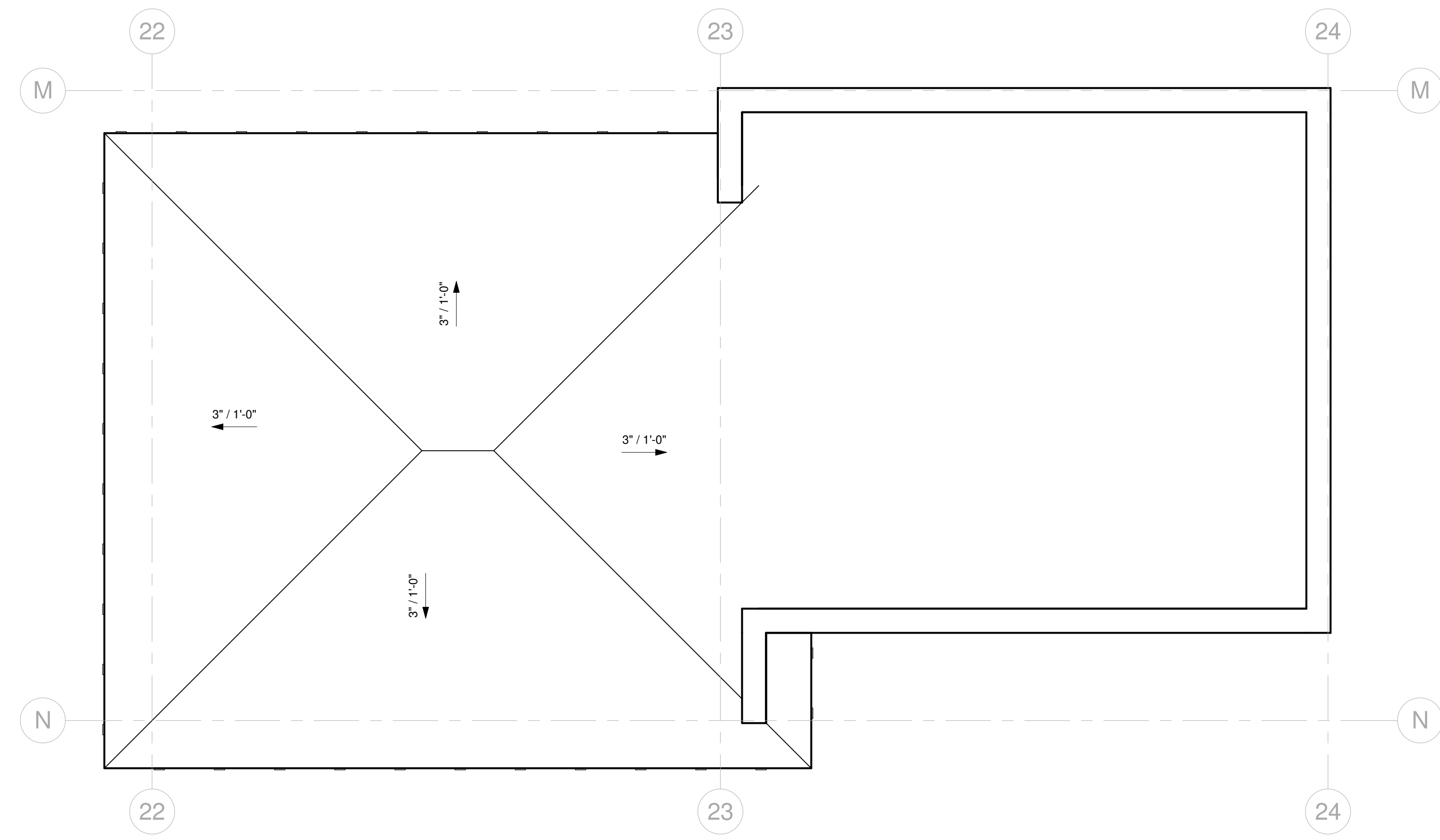
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1 ROOF PLAN - POOL HOUSE  
1/4" = 1'-0"



2 ROOF PLAN - DETACHED GARAGE  
1/4" = 1'-0"



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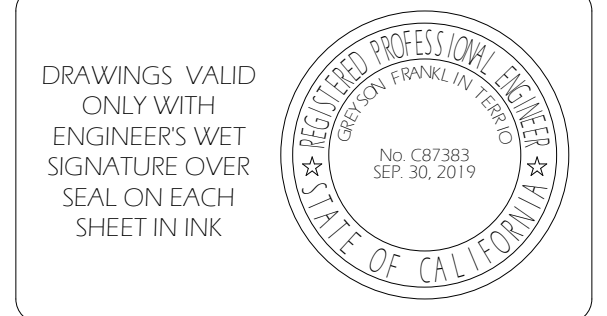
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(805) 469-4883

PRINTS ISSUED		
DATE	PURPOSE	NO.

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SHEET TITLE:  
**ROOF PLAN - POOL HOUSE & DETACHED GARAGE**

PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361**

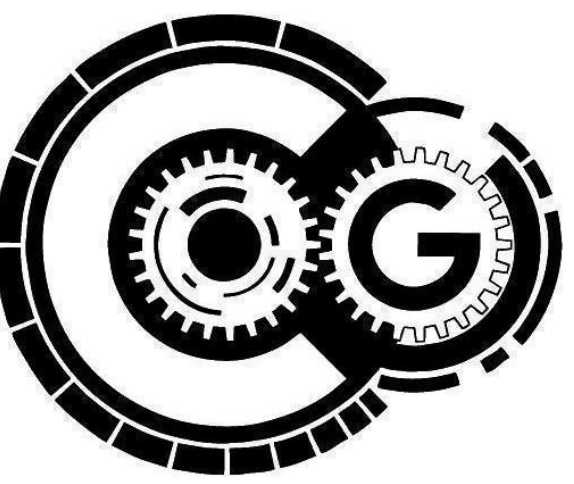
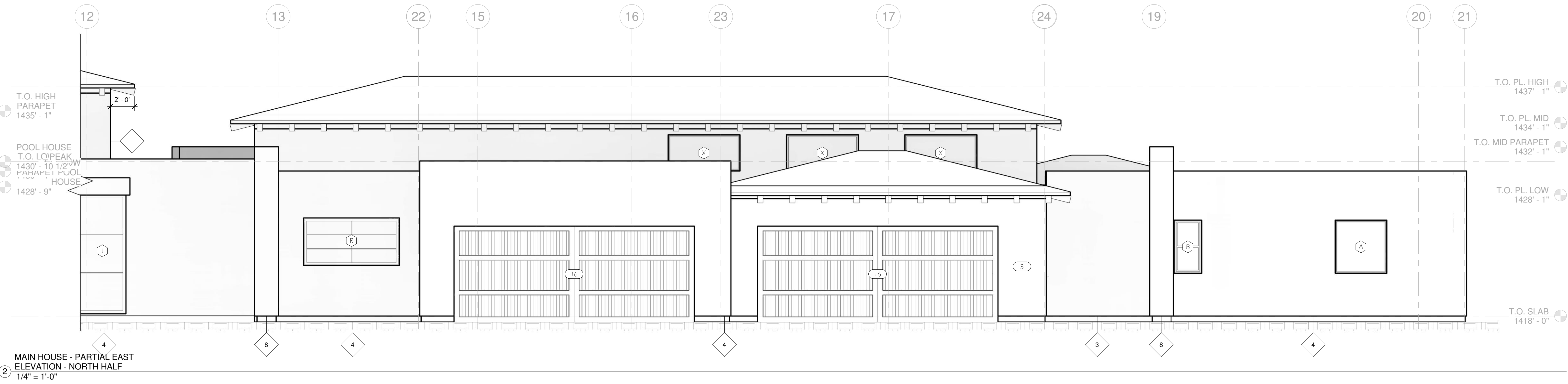
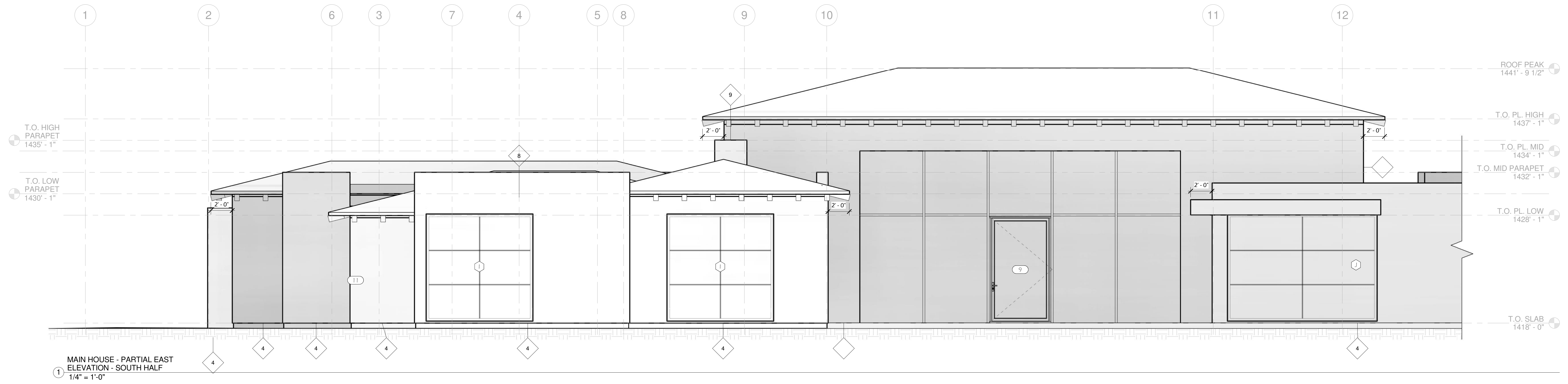


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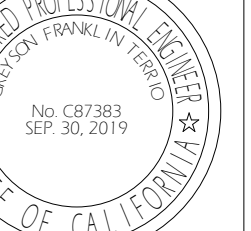
DATE	PURPOSE	NO.

CLIENTS INFORMATION:  
Owner  
2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361

SHEET TITLE:  
**MAIN HOUSE - EAST ELEVATION**

PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361**

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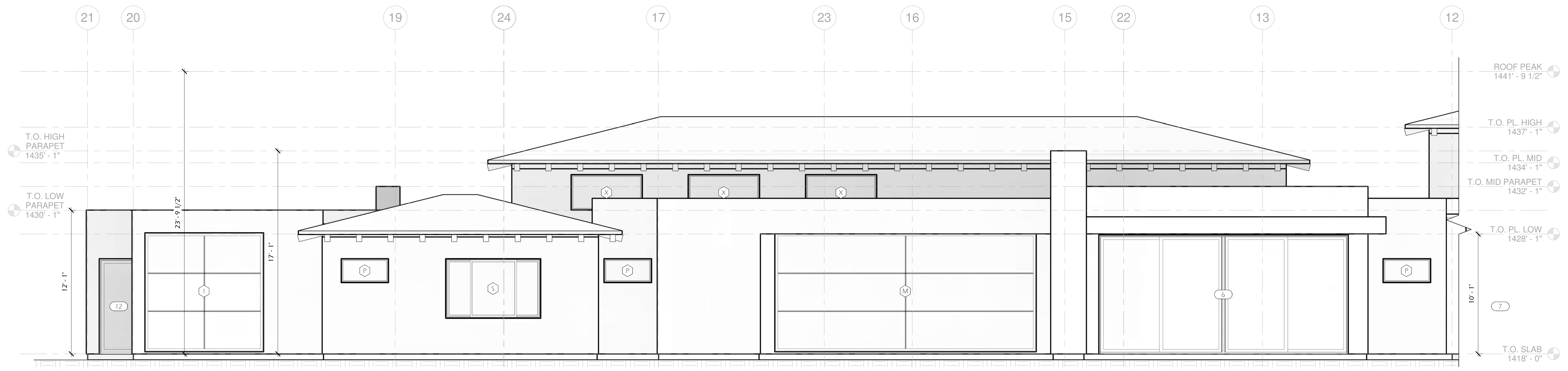
Author 20.1012.179

SHEET NUMBER

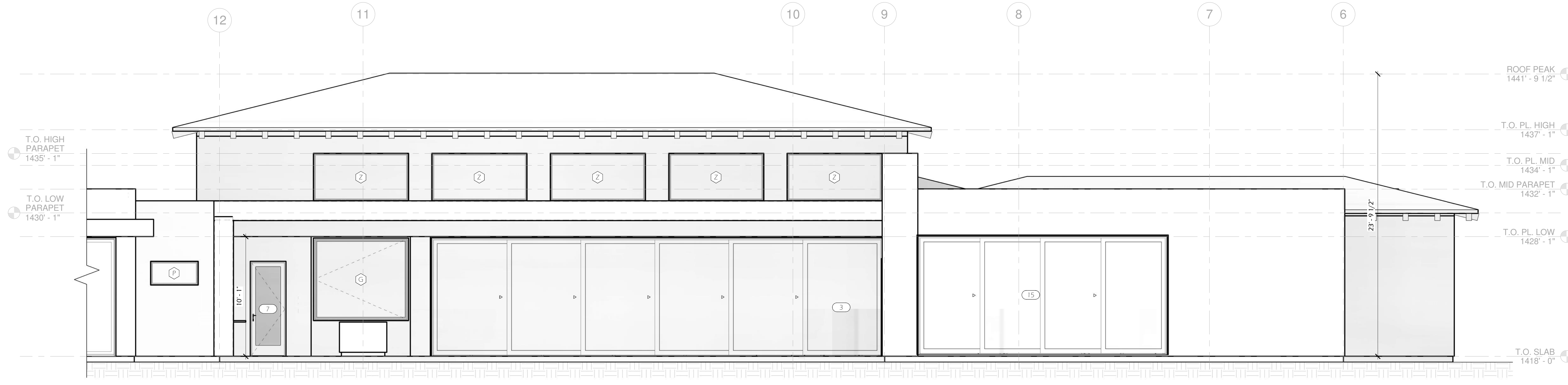
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NOTES & PRODUCT INFORMATION - A-3



1 MAIN HOUSE - PARTIAL WEST  
ELEVATION - NORTH HALF  
1/4" = 1'-0"



2 MAIN HOUSE - PARTIAL WEST  
ELEVATION - SOUTH HALF  
1/4" = 1'-0"



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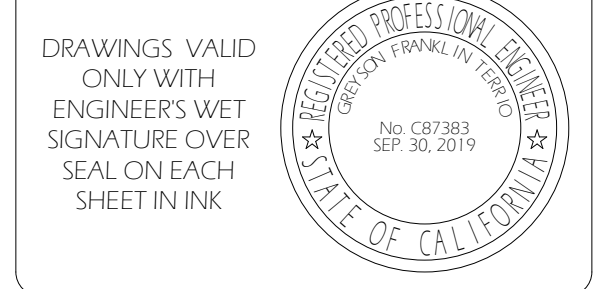
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DATE	PURPOSE	NO.

CLIENTS INFORMATION:  
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THOUSAND OAKS, CA 91361

SHEET TITLE:  
**MAIN HOUSE - WEST ELEVATION**

PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361**



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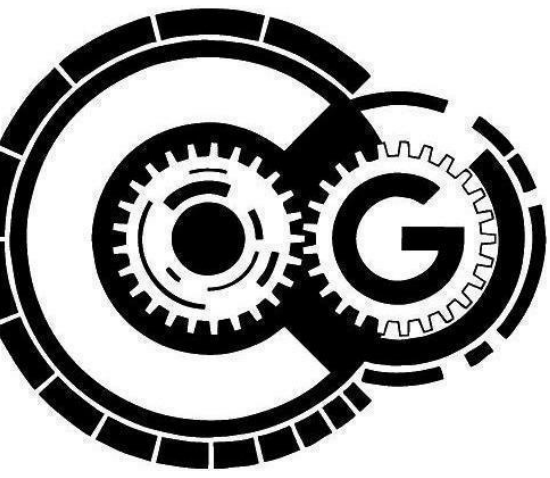
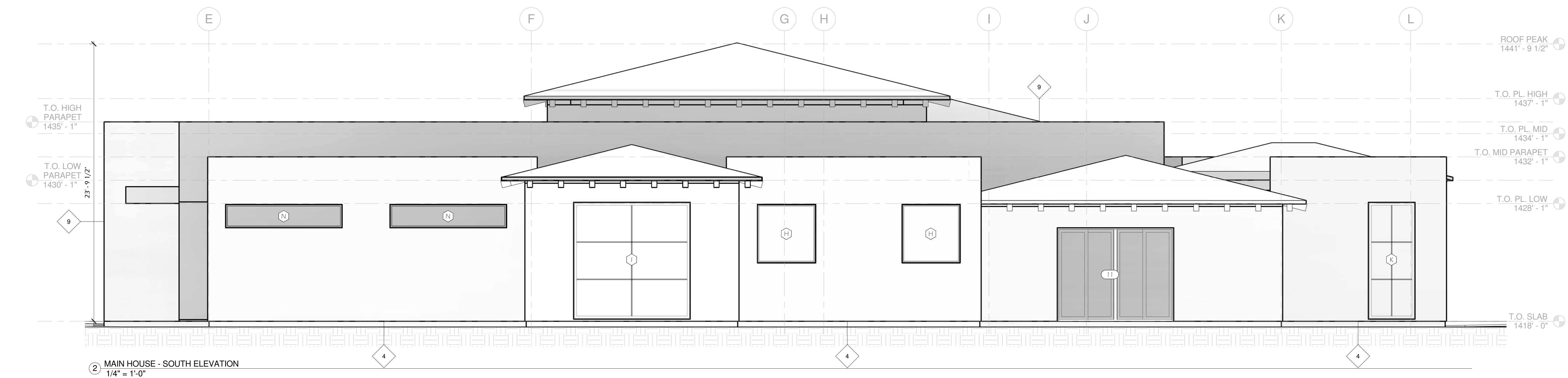
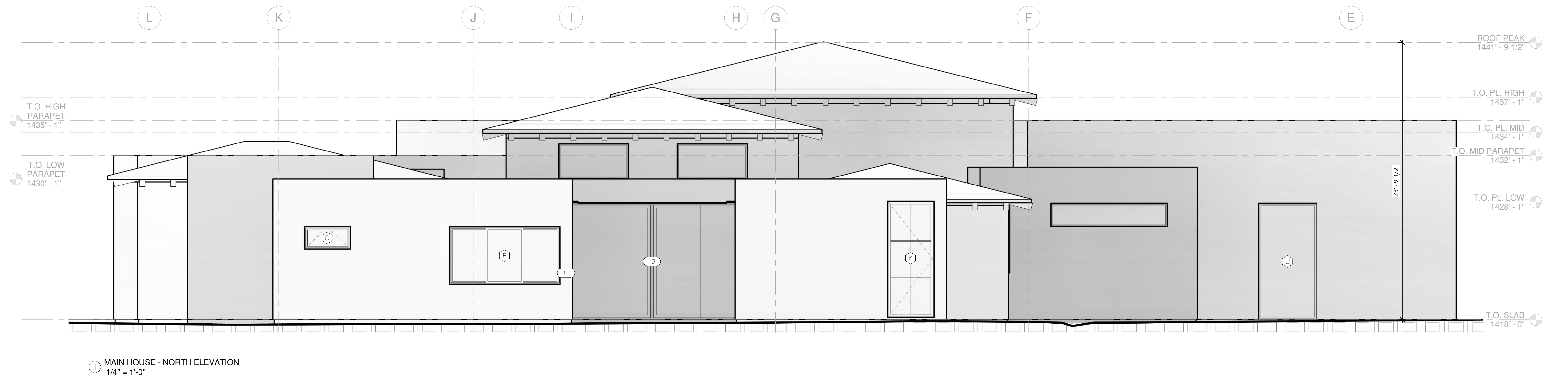
Author 20.1012.179

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**A-3.1**

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NOTES & PRODUCT INFORMATION - A-3

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 THOUSAND OAKS, CA 91361

SHEET TITLE:  
**MAIN HOUSE - NORTH & SOUTH ELEVATIONS**

PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361**

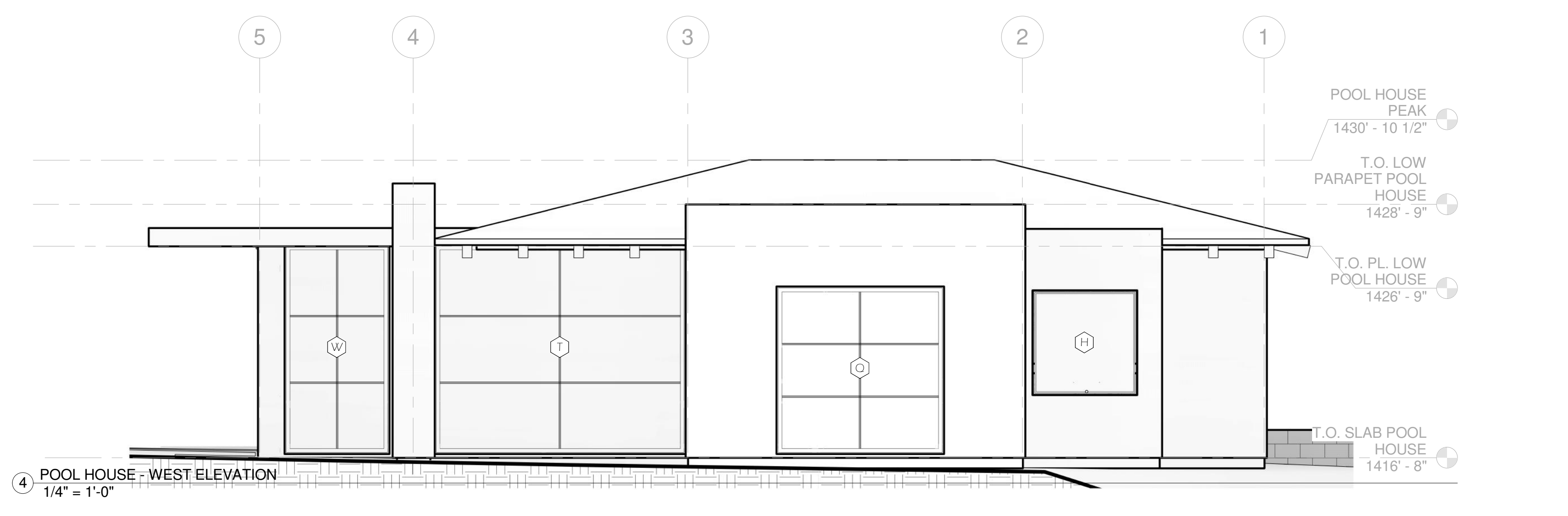
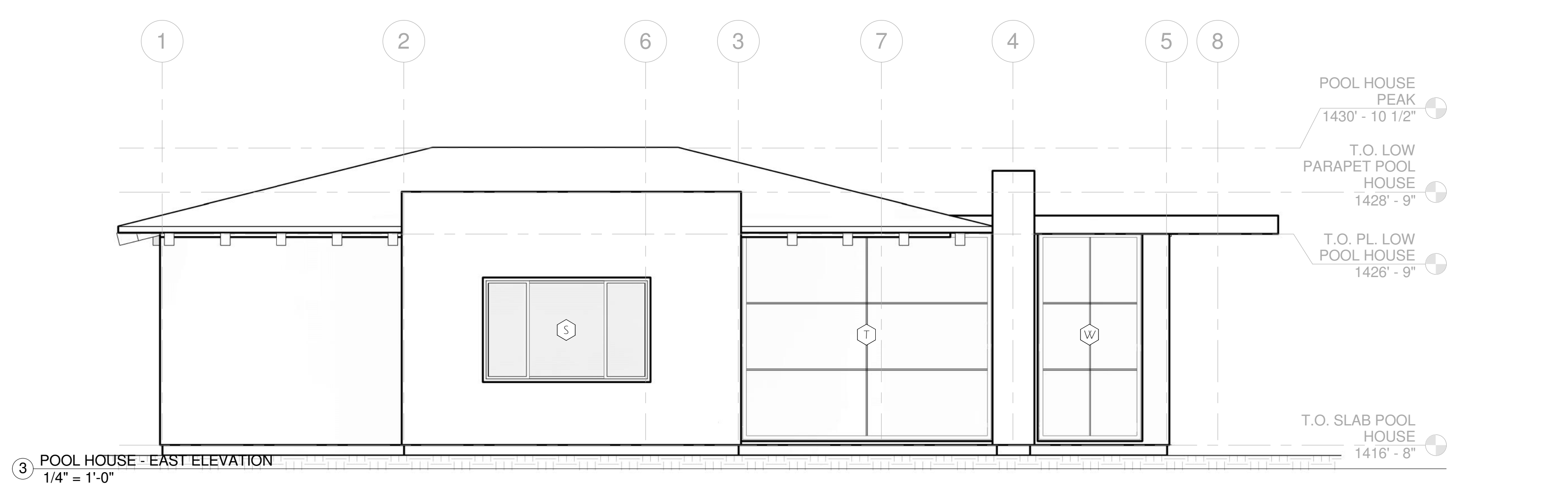
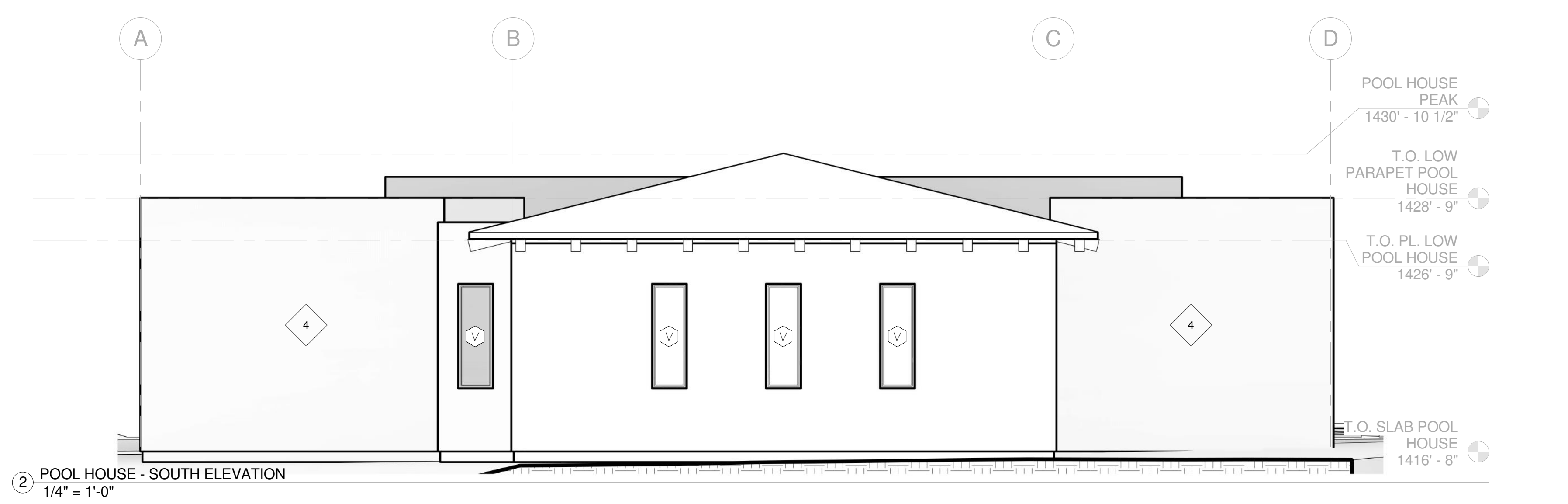
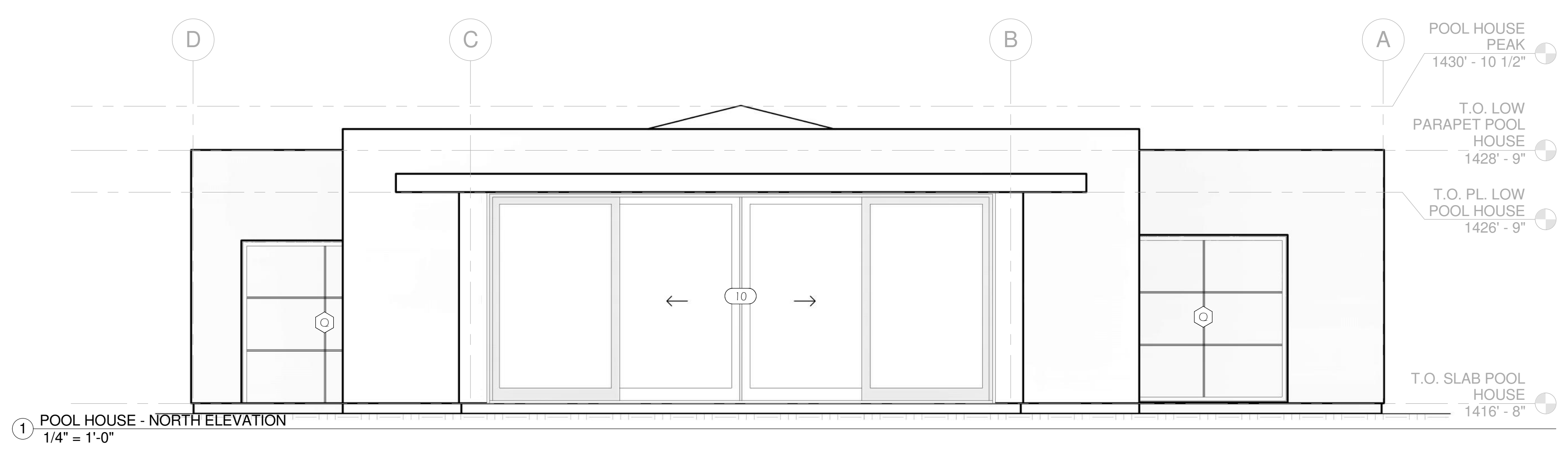
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**A-3.2**

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DATE	PURPOSE	NO.

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SHEET TITLE:  
**POOL HOUSE - ELEVATIONS**  
 PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361**

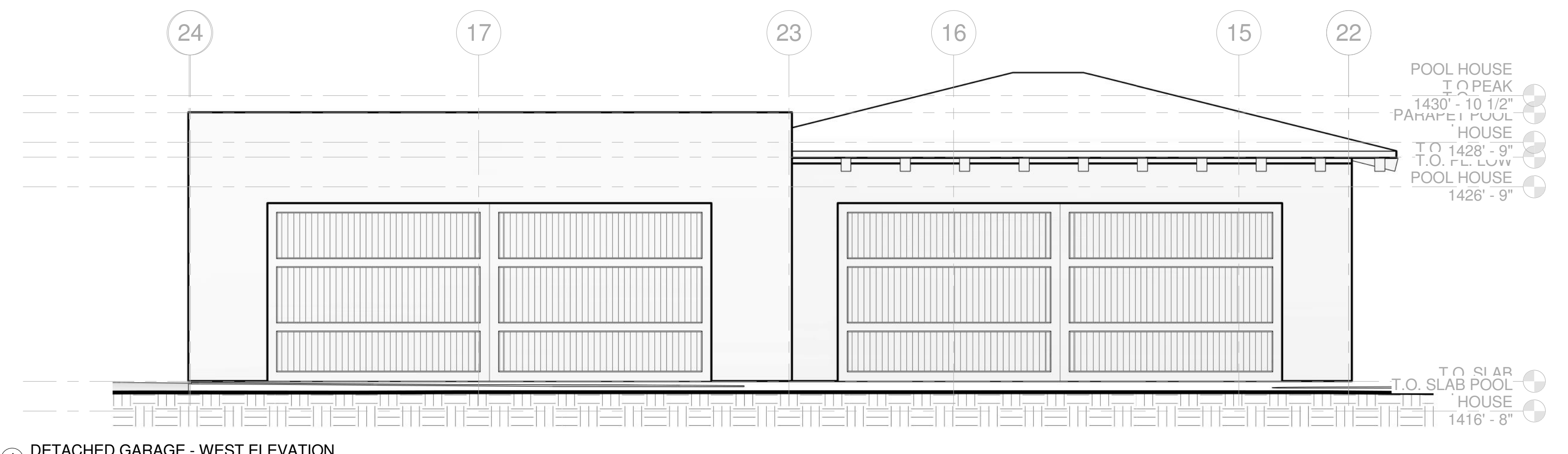


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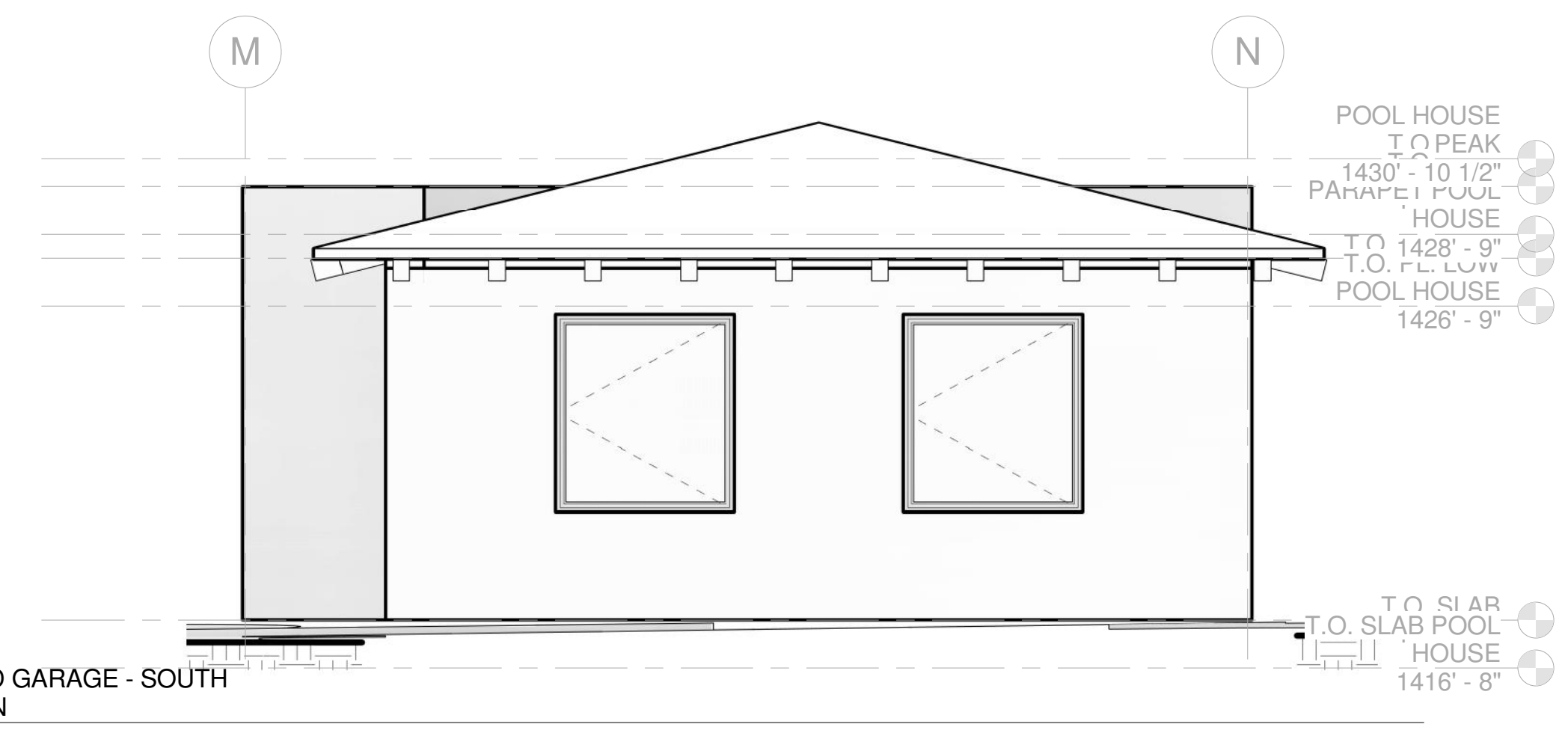
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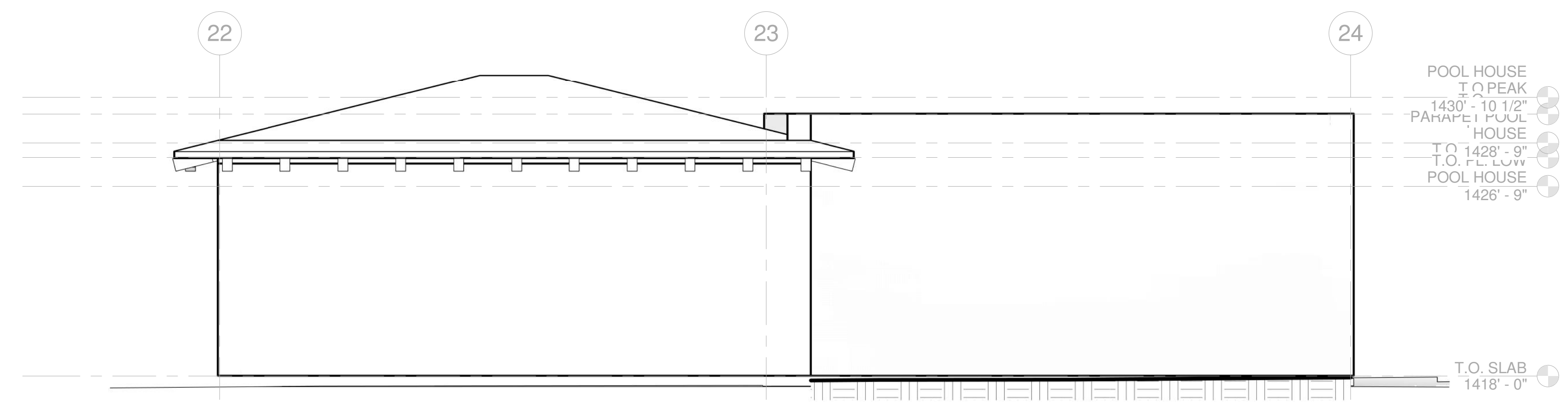
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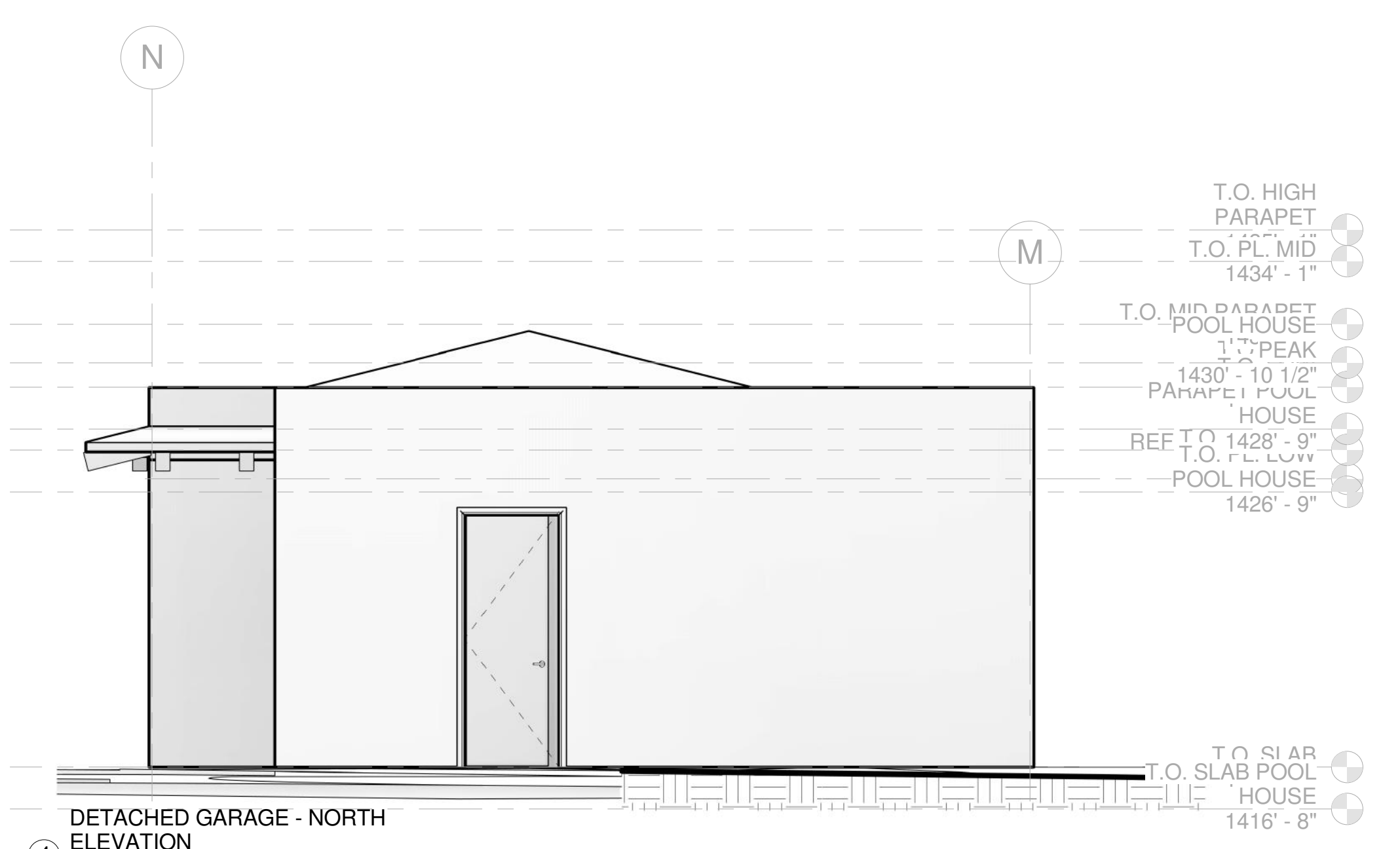
1 DETACHED GARAGE - WEST ELEVATION  
1/4" = 1'-0"



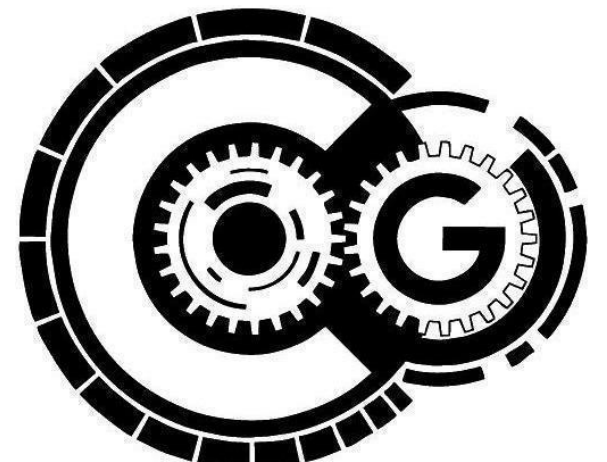
2 DETACHED GARAGE - SOUTH ELEVATION  
1/4" = 1'-0"



3 DETACHED GARAGE - EAST ELEVATION  
1/4" = 1'-0"



4 DETACHED GARAGE - NORTH ELEVATION  
1/4" = 1'-0"



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SHEET TITLE:  
**DETACHED GARAGE ELEVATIONS**

PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361**

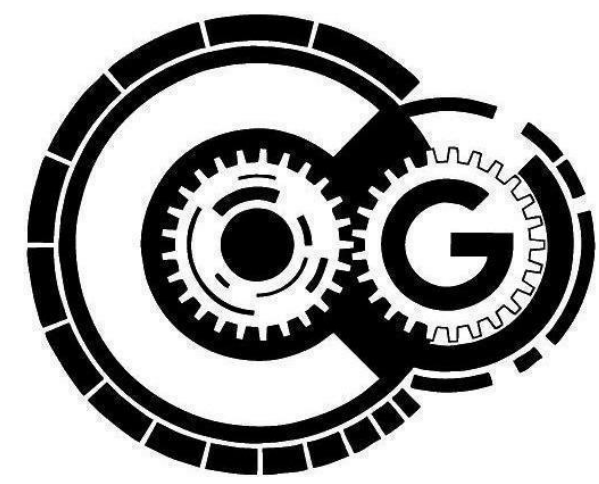
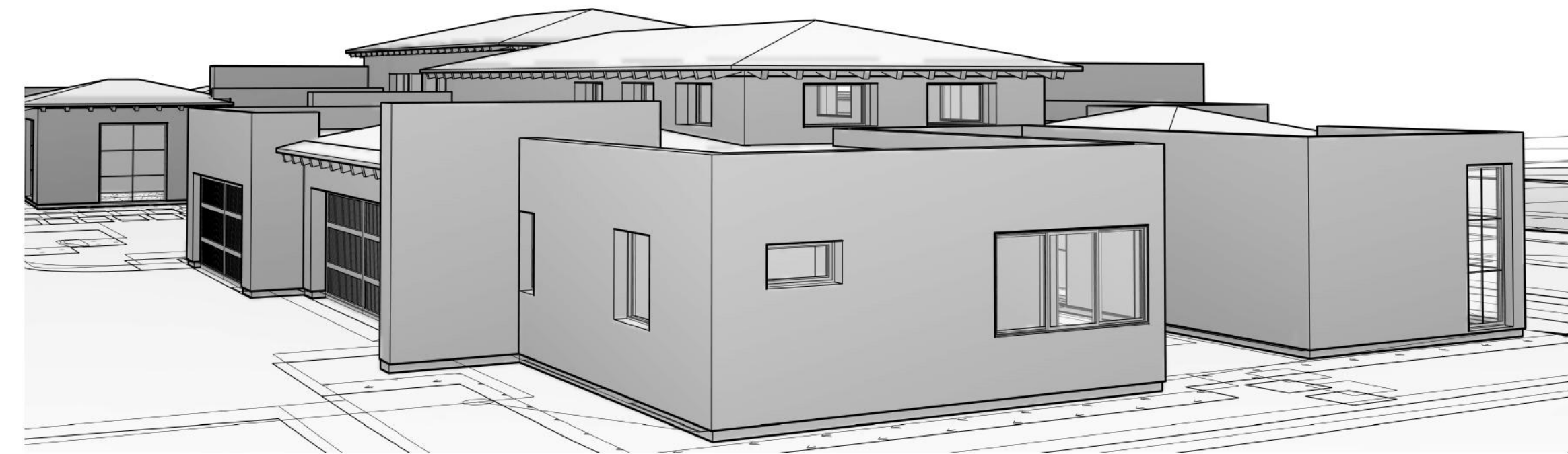
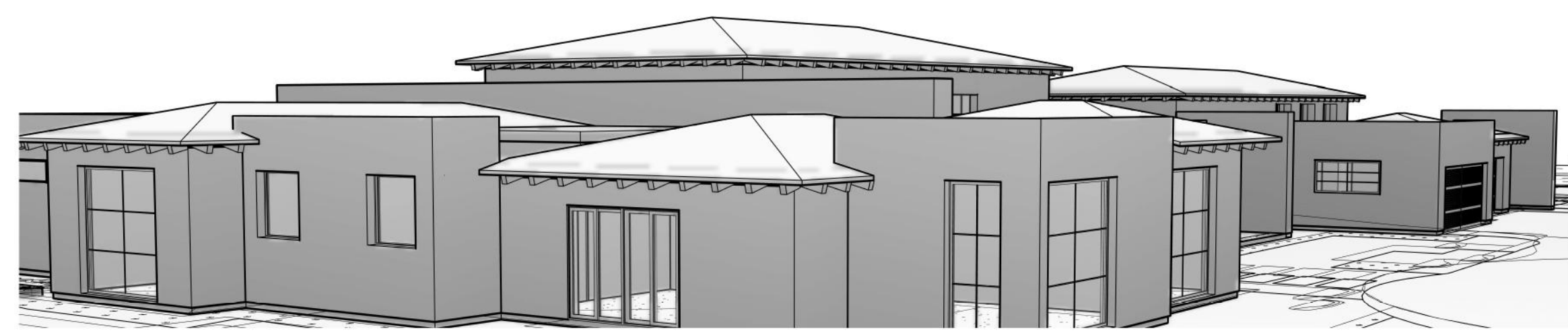
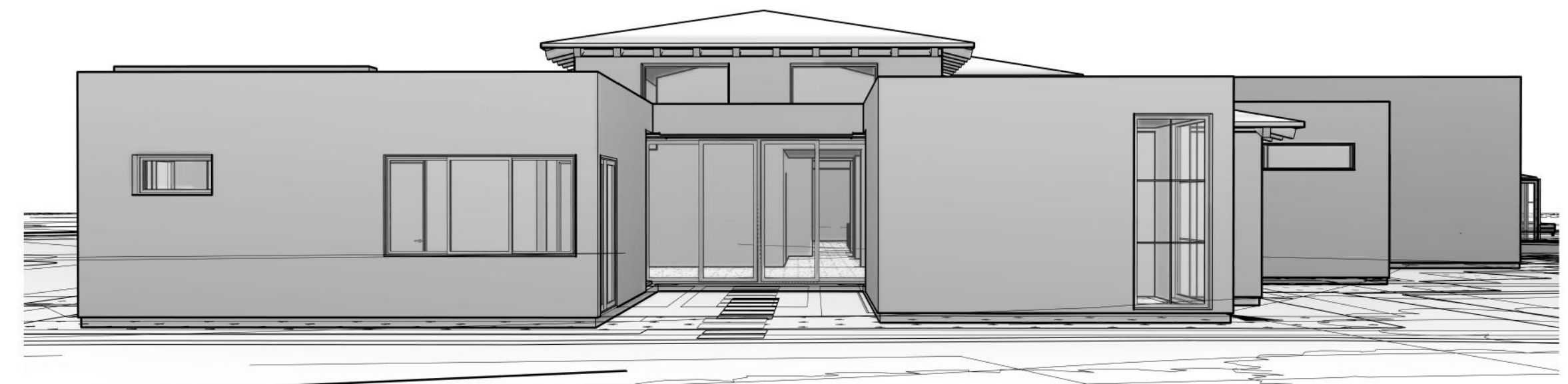
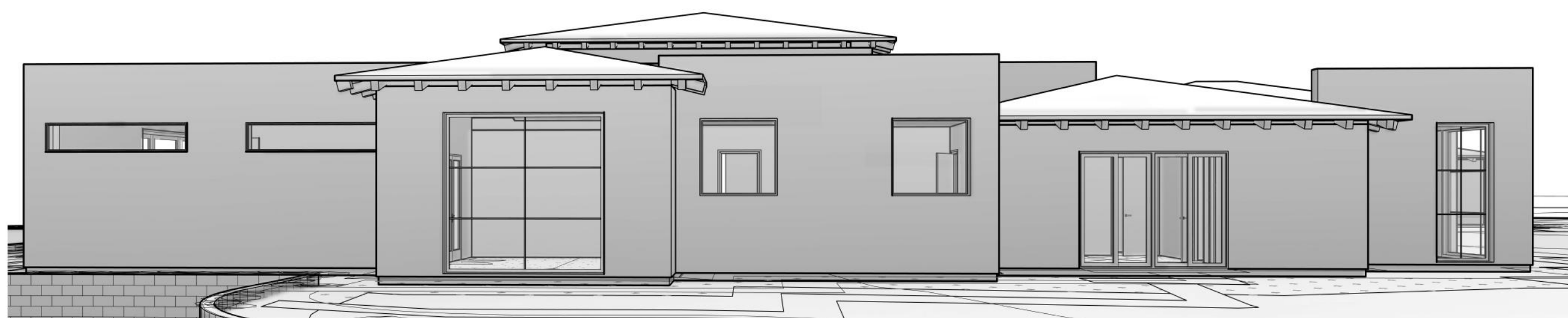
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SHEET TITLE:  
**PERSPECTIVE PHOTOS**

PROJECT ADDRESS:  
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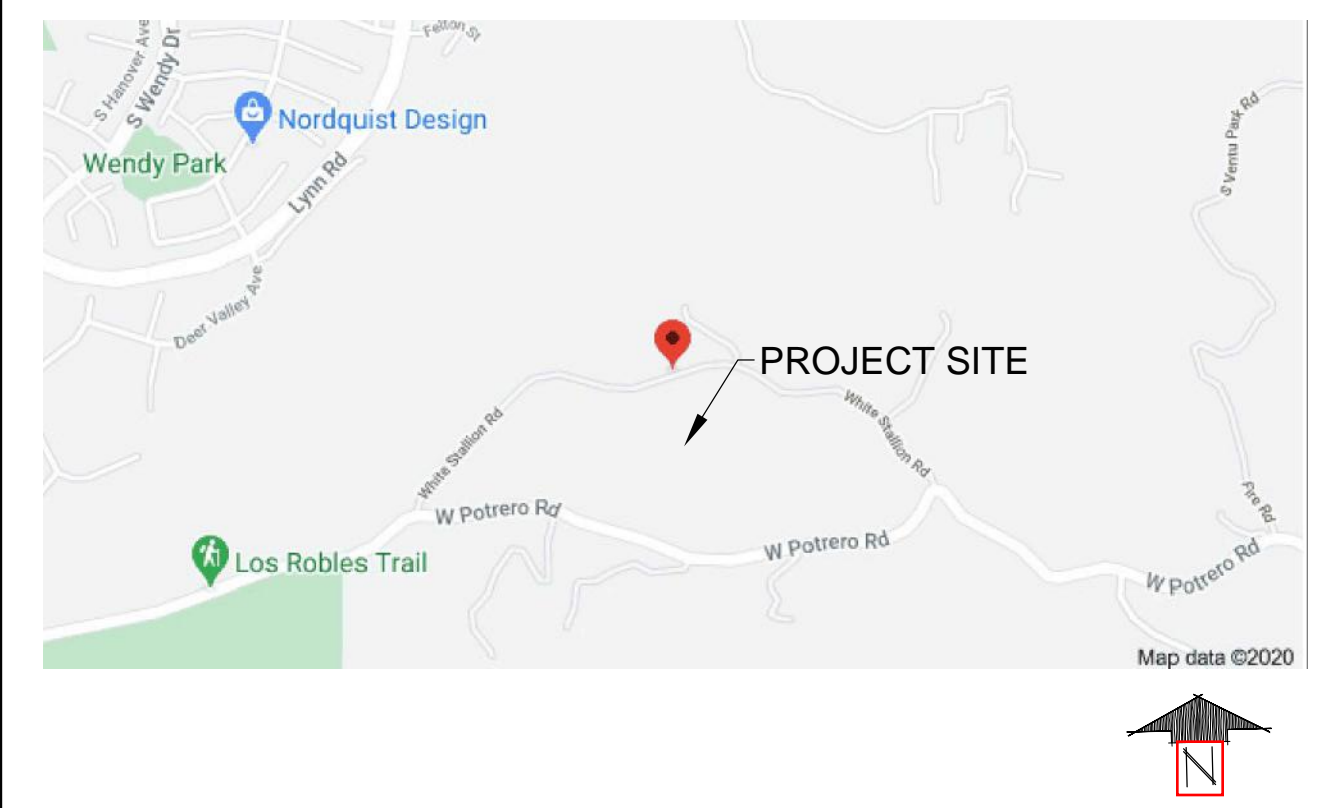
**NEW SINGLE FAMILY DWELLING**  
**2551 WHITE STALLION ROAD**  
**THOUSAND OAKS, CA 91361**  
**APN 668-0-080-140**

**PERRIN DESIGN GROUP, INC.**  
 LANDSCAPE DESIGN + BUILD  
 2753 Lander Ct. • Newbury Park, CA 91320  
 805-795-7995 (Cell) • jlperrin@verizon.net (Email)

**SINGLE FAMILY RESIDENCE**  
 2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361

**COVER SHEET & GENERAL INFORMATION**  
 CONCEPTUAL PLANS  
 FOR PLAN CHECK ONLY

**VICINITY MAP** SCALE: NTS



**SHEET INDEX**

SHEET #	DESCRIPTION
L-0	COVER SHEET
L-1	SITE PLAN
L-2	LANDSCAPE PLAN - (PAD AREA) & SECTION
L-3	LANDSCAPE PLAN - (ENTRY GATE)
L-4	PLANTING PLAN - (PAD AREA)
L-5	PLANTING PLAN - (ENTRY GATE)
L-6	FUEL MODIFICATION PLAN - (PAD AREA)
L-7	FUEL MODIFICATION PLAN - (ENTRY GATE)

**SCOPE OF WORK**

- PROPOSED NEW SINGLE FAMILY HOME AND PROPOSED NEW LANDSCAPE.
- CONCEPTUAL LANDSCAPE PLAN

**PROJECT STATISTICS:**

<b>TOTAL PROJECT SITE (S.F.):</b>	20.79 ACRES (905,720.9 S.F.)
<b>TOTAL LANDSCAPED AREA (S.F.):</b>	52,105 S.F.
NATIVE PLANTER AREAS	26,940 S.F.
LOW WATER ORNAMENTAL	7,050 S.F.
ARTIFICIAL TURF	14,890 S.F.
GRASSCRETE	3,225 S.F.
<b>TOTAL PROPOSED TREES:</b>	57 TOTAL
36" BOX TREES	43
48" BOX TREES	6
60" BOX TREES	4
72" BOX TREES	4
<b>TOTAL HARDSCAPE (S.F.):</b>	21,000 S.F.
NEW CONCRETE DRIVEWAY (NOT INCLUDING EXISTING ASPHALT DRIVEWAY)	14,300 S.F.
CONCRETE PAVING	4,400 S.F.
DECOMPOSED GRANITE PAVING	2,300 S.F.

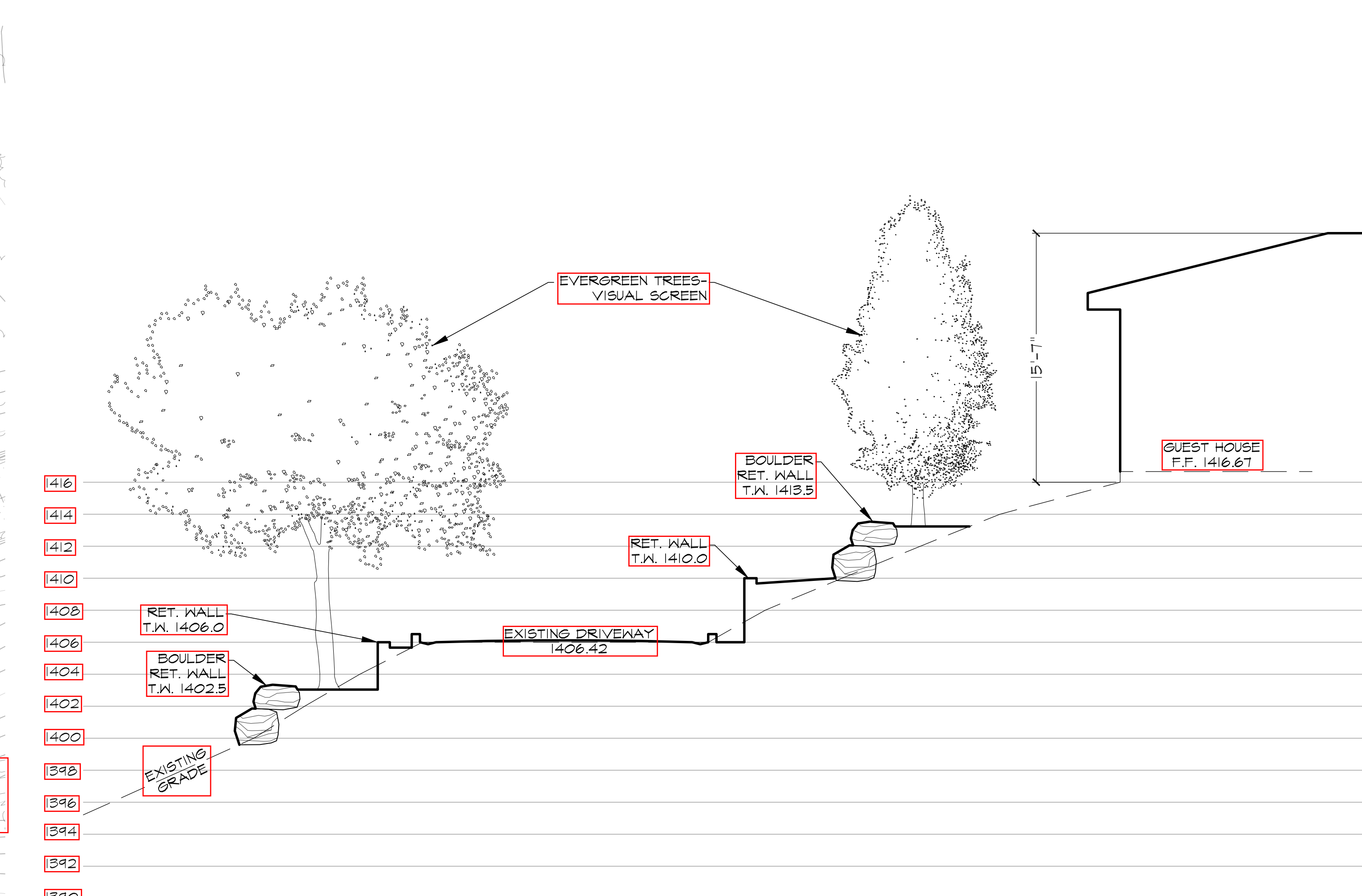
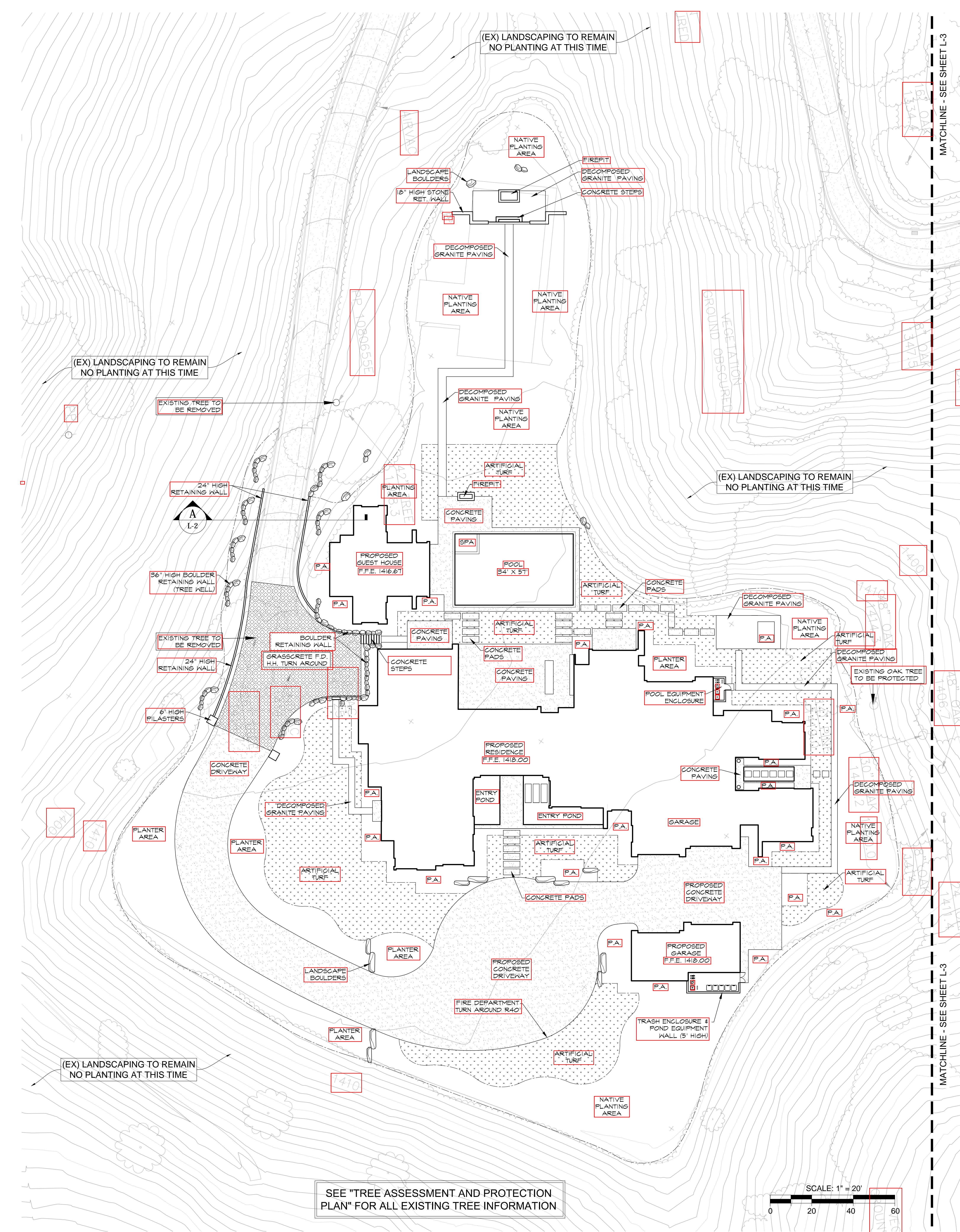
Date: FEBRUARY 9, 2021

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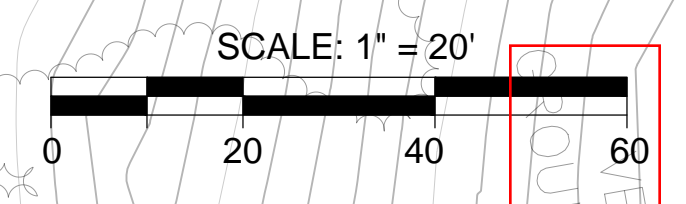
**L-0**

2/9/21 PLOTTED 2/9/21



**A GUEST HOUSE SECTION**  
SCALE: 3/16"=1'-0"

SEE "TREE ASSESSMENT AND PROTECTION PLAN" FOR ALL EXISTING TREE INFORMATION



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**SINGLE FAMILY RESIDENCE**  
2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361

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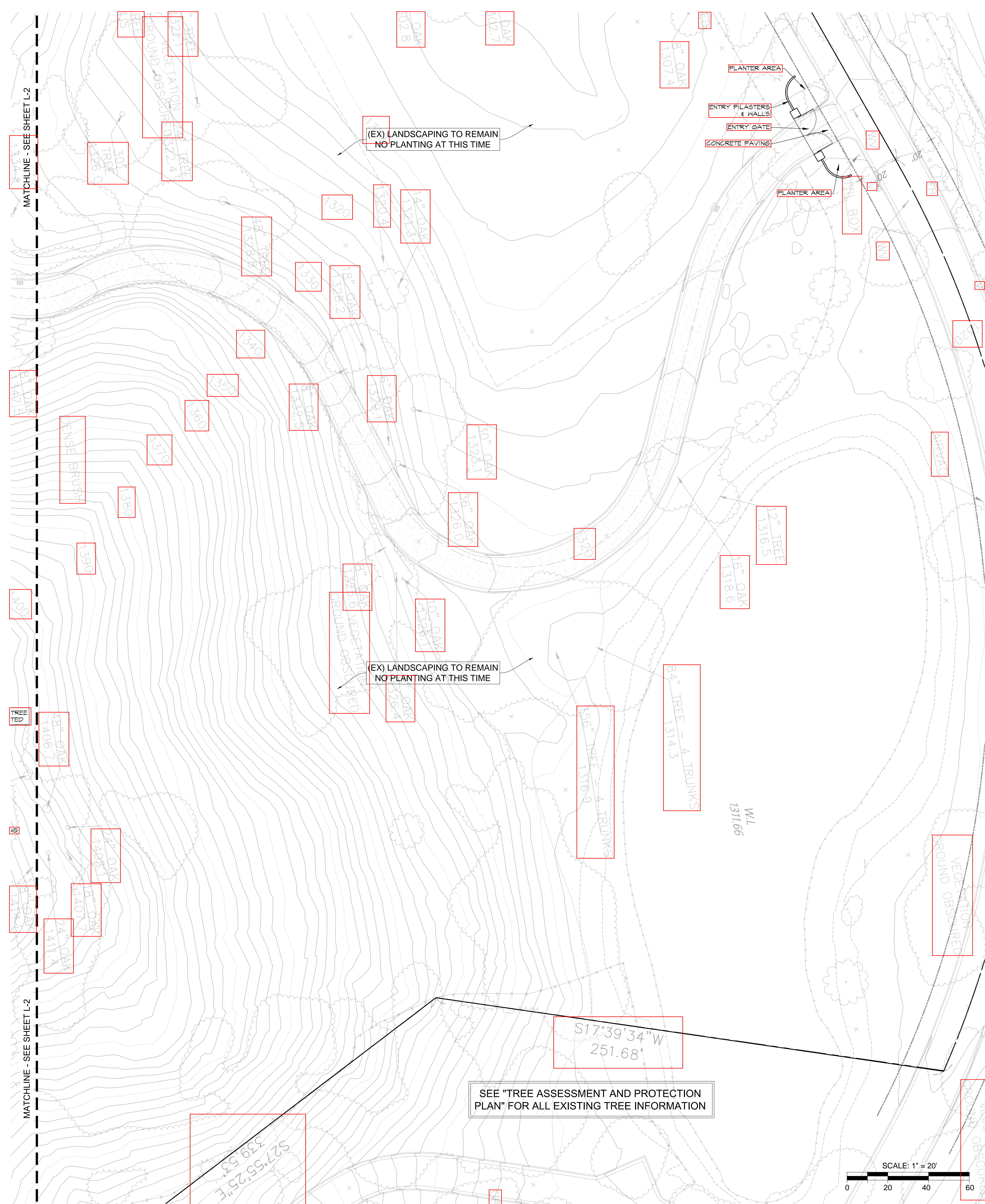
**LANDSCAPE PLAN/  
SECTION & ELEVATIONS**  
CONCEPTUAL PLANS  
FOR PLAN CHECK ONLY

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Date: FEBRUARY 9, 2021  
Drawn: [Signature]  
Scale: 1"=20'-0"  
OF SEVEN PLOTTED: 2/9/21

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**L-2**



MATCHLINE - SEE SHEET L-2

MATCHLINE - SEE SHEET L-2

(EX) LANDSCAPING TO REMAIN  
NO PLANTING AT THIS TIME

(EX) LANDSCAPING TO REMAIN  
NO PLANTING AT THIS TIME

PLANTER AREA  
ENTRY PILASTERS & WALLS  
ENTRY GATE  
CONCRETE PAVING

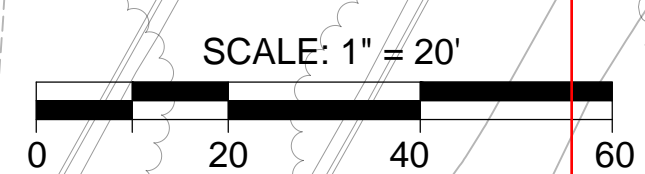
PLANTER AREA

PHIL BOY

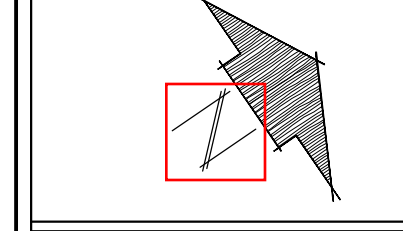
SEE "TREE ASSESSMENT AND PROTECTION  
PLAN" FOR ALL EXISTING TREE INFORMATION

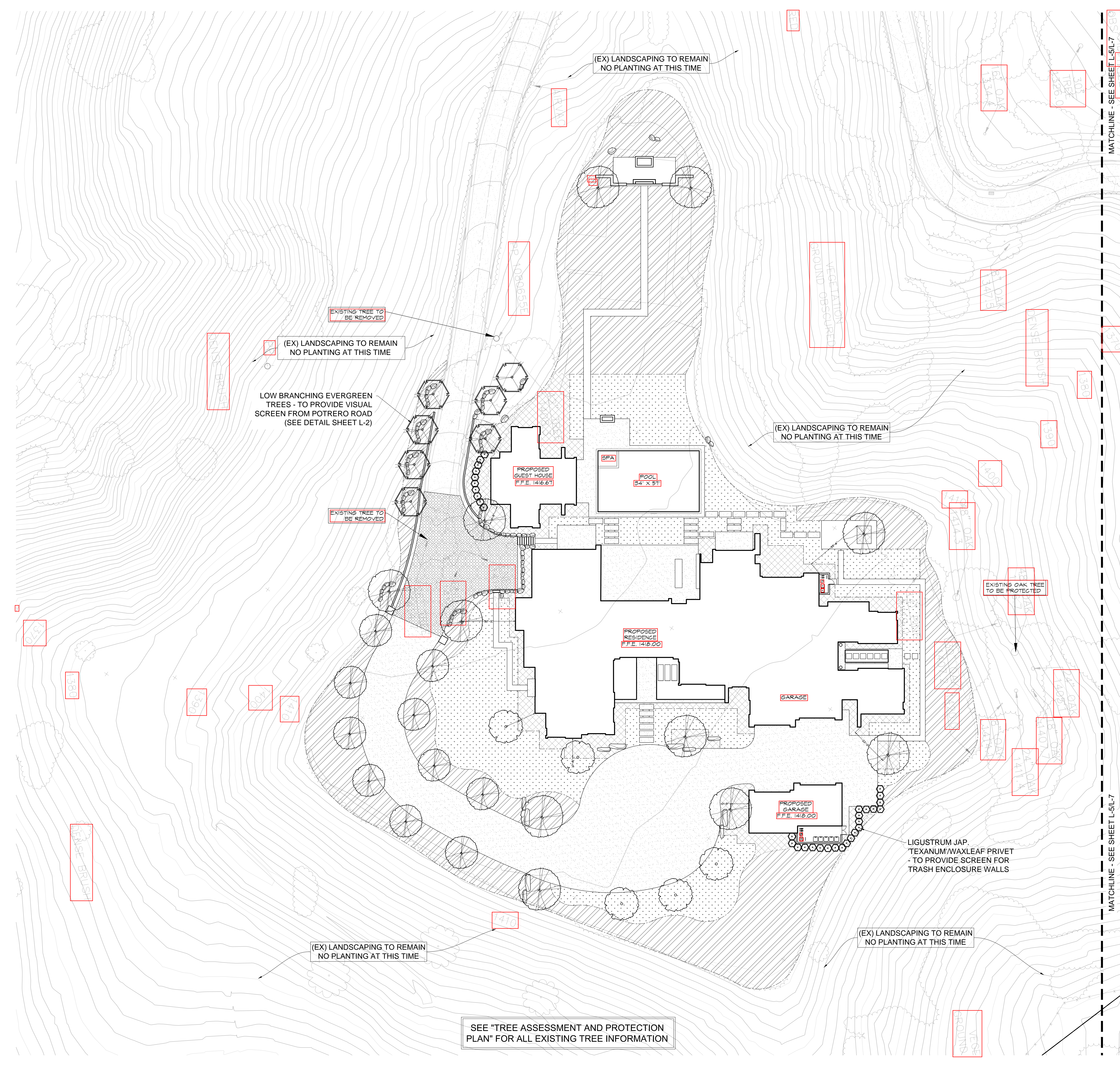
S17°39'34"W  
251.68'

S27°55'25"E  
339.53'



SCALE: 1" = 20'





### PROPOSED PLANT LEGEND

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
<b>TREES</b>				
	1	36" BOX	AREBUTUS UNEDO 'MARINA' MARINA STRAWBERRY TREE	EVERGREEN STD TRUNK
	1	36" BOX	LAGERSTROMIA INDICA 'TUSCARORA' TUSCARORA GRAPE MYRTLE	DECIDUOUS STD TRUNK
	1	36" BOX	ACACIA SALISMA BLUE-LEAF KEEPING WATTLE	EVERGREEN LE
	2	36" BOX	OLEA EUROPAEA 'MAJESTIC BEAUTY' MAJESTIC BEAUTY FRUITLESS OLIVE	EVERGREEN MULTI TRUNK
	2	36" BOX	OLEA EUROPAEA 'MAJESTIC BEAUTY' MAJESTIC BEAUTY FRUITLESS OLIVE	EVERGREEN MULTI TRUNK
	1	36" BOX	PARKINSONIA HYBRID 'AZT' PALO VERDE THORNLESS HYBRID	EVERGREEN STD

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
<b>VINES</b>				
	5	5 GAL	GALLIANDREA HAEMATOCEPHALA PINK POWDER PUFF	EVERGREEN STAKED

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
<b>SHRUBS</b>				
	5	5 GAL	AGAVE ATTENUATA FOXTAIL AGAVE	EVERGREEN
	5	5 GAL	CALLISTEMON VIMINALIS 'SLIM' SLIM BOTTLEBRUSH	EVERGREEN
	5	5 GAL	GIBBUS PULVERULENTUS 'SUNSET' MAGENTA ROCK ROSE	EVERGREEN
	5	5 GAL	HELIOTRICHON SEM. 'SAPPHIRE' SAPPHIRE BLUE OAT GRASS	EVERGREEN
	5	5 GAL	LIGUSTRUM JAP. TEXANUM WAXLEAF PRIVET	EVERGREEN STAKED
	1	5 GAL	NASSELLA TENUISSIMA MEXICAN FEATHER GRASS	EVERGREEN
	5	5 GAL	PHORMIUM TEXAS 'PINK STRIPE' PINK STRIPE FLAX	EVERGREEN
	5	5 GAL	PITTOSPORIUM TOB. 'CREME DE MINT' CREME DE MINT DWARF PITTOSPORIUM	EVERGREEN
	5	5 GAL	PITTOSPORIUM TOB. 'WHEELER'S DWARF' WHEELER'S DWARF PITTOSPORIUM	EVERGREEN
	5	5 GAL	ROSMARINUS OFFICINALIS 'PROSTRATE' PROSTRATE ROSEMARY	EVERGREEN
	5	5 GAL	BENECIO MANDRALISCAE BLUE CHALK STICKS	SUCCULENT
	1	5 GAL	TEUCCRIUM X LUCIDRYS WALL GERMANDER	EVERGREEN
	5	5 GAL	NESTRINSEA FRU. 'MADI' DWARF MADI COAST ROSEMARY	EVERGREEN

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
<b>SHRUBS - NATIVE</b>				
	1	5 GAL	AQUILEGIA FORMOSA WESTERN COLUMBINE	EVERGREEN
	1	5 GAL	BACCHARIS PILLULARIS 'TWIN PEAKS' PROSTRATE COYOTE BUSH	EVERGREEN
	5	5 GAL	CEANOETHUS GRIS. HOR. 'YANKEE POINT' YANKEE POINT CALIFORNIA LILAC	EVERGREEN
	5	5 GAL	CEANOETHUS GRIS. HOR. 'CONCHA' CONCHA CALIFORNIA LILAC	EVERGREEN
	5	5 GAL	EPILOBIUM CAL. 'EVERETT'S CHOICE' GHOSTLY RED CALIFORNIA FUCHSIA	EVERGREEN
	5	5 GAL	LAVATERA MARITIMA MEDITERRANEAN TREE MALLOW	EVERGREEN
	1	5 GAL	LUPINUS EXCUBITUS GRAPE SODA LUPINE	EVERGREEN
	1	5 GAL	MIMULUS AURANTIAGUS STICKY MONKEY FLOKER	EVERGREEN
	1	5 GAL	PENSTEMON BACCHARIFOLIUS 'DIABLO' DIABLO ROCK PENSTEMON	EVERGREEN

SYMBOL	QTY	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
	14,890 S.F.	ARTIFICIAL TURF	500'
	1,050 S.F.	ORNAMENTAL PLANTING	NOTE: ALL PLANTINGS WITHIN 5' WALK AROUND TO BE HERBACIOUS PLANTS ADHERING TO L.A. COUNTY FIRE CODE.
	26,450 S.F.	NATIVE PLANTING	
ALL PLANTER AREAS - (SEE NOTE)			
NOTE: A MIN. OF 3" INCH LAYER OF MULCH SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS KEEPING OR TOOTING GROUND COVER, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.			

### LIGHTING LEGEND - LOW VOLTAGE

SYMBOL	DESCRIPTION	MANUF. & MODEL NO.	TYPE	FINISH	QTY
	UP LIGHT	SPJ LIGHTING INC. 800-461-5631 MR-UNIVERSE	2IN LEP 12V-2100K	MBR	X
	PATH LIGHT	SPJ-3124	2IN LEP 12V-2100K	MBR	X
	BELL LIGHT	SPJ-M1000-P-REB	6IN LEP 12V-2100K	MBR	X
	NICHE LIGHT	SPJ-55-1	2IN LEP 12V-2100K	MBR	X
	WALL MOUNT LIGHT	SPJ-LH-2	6IN LEP 12V-2100K	MBR	X
	UNDER WATER LIGHT	SPJ-LH-2	2IN LEP 12V-2100K	MBR	X
	RECESSED UP LIGHT	SPJ-M1000-F	2IN LEP 12V-2100K	MBR	X

### GENERAL NOTES

- PROVIDE 100% IRRIGATION TO ALL PLANTING AREAS FROM CURB LINE.
- BURY LINES 18" MAINLINE (P.V.C.) AND 12" LATERAL (SCH. 40).
- PROVIDE SOILS AMENDMENTS PER SOILS REPORT (PROVIDED BY OTHERS).
- SEPARATE SHRUB, LAWN AND SUN EXPOSURE SYSTEMS.
- PROVIDE DEEP ROOT BARRIERS ON ALL TREES.
- PROVIDE 4' X 3' DEEP VENTILATION HOLE FILLED WITH 3/4" GRAVEL IN ALL TREE PITS.
- 12 PER TREE
- PROVIDE ESPALIER SUPPORTS.
- ALL EXISTING IRRIGATION TO REMAIN AND CONTRACTOR TO VERIFY PROPER COVERAGE AND ALL FUNCTIONING.
- ALL NEW PLANTER AREAS TO RECEIVE NEW DRIP LINES. USE EXISTING VALVES AND INSTALL PRESSURE REGULATORS WHERE NECESSARY.
- PROVIDE 100% IRRIGATION TO ALL PLANTING AREAS FROM CURB LINE.
- BURY LINES 18" MAINLINE (P.V.C.) AND 12" LATERAL (SCH. 40).
- SEPARATE SHRUB, LAWN AND SUN EXPOSURE SYSTEMS.
- EXISTING IRRIGATION CLOCK TO BE USED. IF NONE, PROVIDE NEW IRRIGATION CONTROLLER LOCATED IN GARAGE. POWER TO BE SUPPLIED BY OWNER.
- CONTRACTOR TO VERIFY ALL EXISTING DRAINAGE INLETS AND DRAIN LINES ARE FUNCTIONING AND HAVE POSITIVE UNBLOCKED FLOW TO EXISTING OUTLETS.
- CONTRACTOR TO REPAIR OR REPLACE NON-FUNCTIONING DRAINAGE INLETS AND DRAIN LINES WHERE NEEDED.
- ALL PAVED AREAS WITHOUT DRAINS ARE TO BE SLOPED AT 1/2% AWAY FROM STRUCTURE AND TOWARDS PLANTERS WITH DRAINS.
- CONNECT ALL ROOF DOWNSPOUTS INTO DRAINAGE SYSTEM.
- ANY DRAINS SHOWN ON PLAN ARE DIAGRAMMATIC ONLY AND NOT REPRESENTATIVE OF THE DRAINAGE PLAN. IF A GRADING AND DRAINAGE PLAN IS REQUIRED OR NECESSARY, CLIENT SHALL EMPLOY A CIVIL ENGINEER FOR A GRADING AND DRAINAGE PLAN.

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**SINGLE FAMILY RESIDENCE**  
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THOUSAND OAKS, CA 91361

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**PLANTING PLAN**  
CONCEPTUAL PLANS  
FOR PLAN CHECK ONLY

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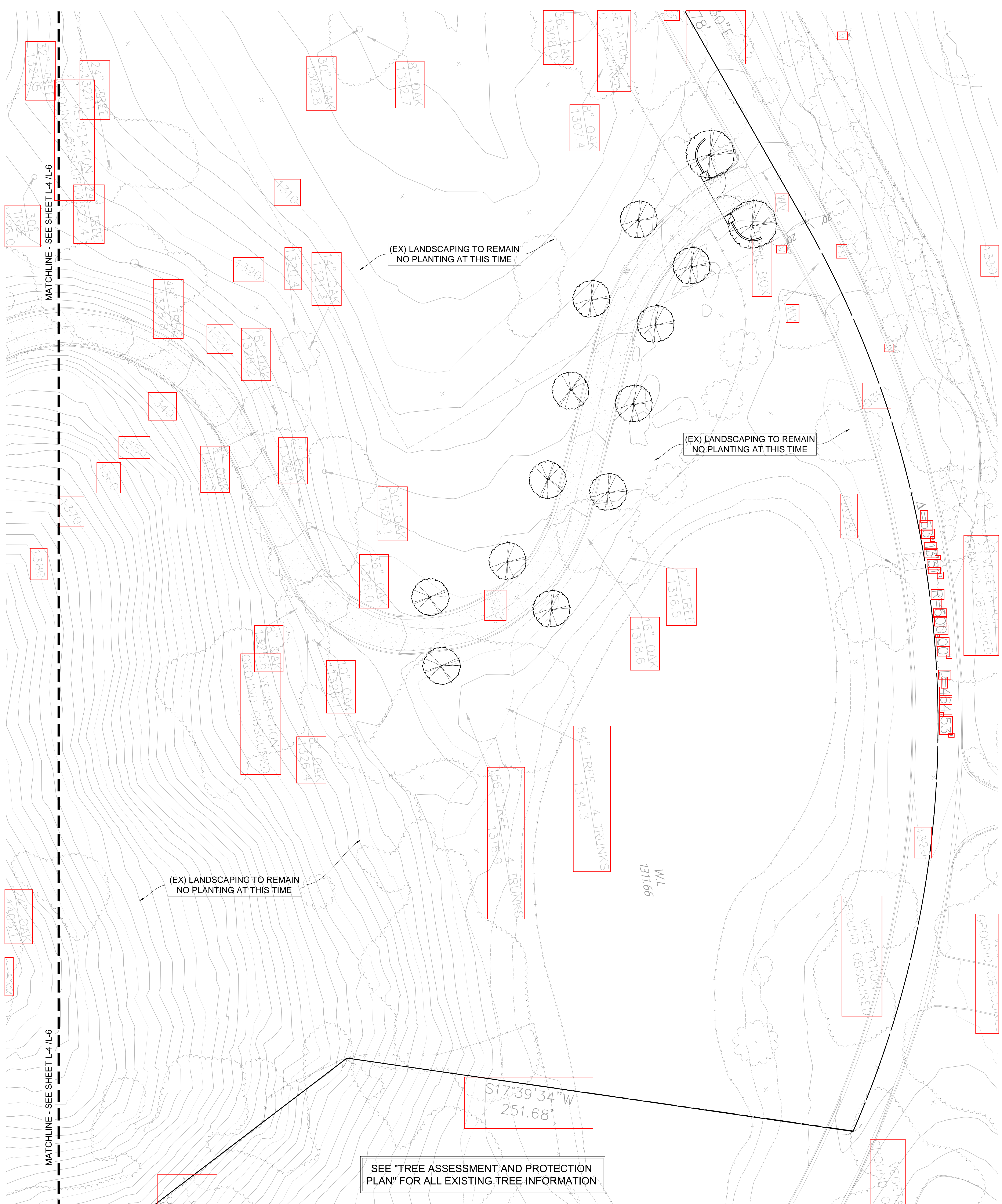
**FEBRUARY 9, 2021**  
Date

Drawn

Scale 1" = 20'-0"

**L-4**

OF 7 PLOTTED 2/9/21



**PROPOSED PLANT LEGEND**

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
<b>TREES</b>				
	1	56" BOX	ARECATUS UNEDO MARINA MARINA STRAWBERRY TREE	EVERGREEN STD TRUNK
	1	56" BOX	LAGERSTROEMIA INDICA TUSCARORA TUSCARORA CRAPE MYRTLE	DECIDUOUS STD TRUNK
	1	56" BOX	ACACIA SALIGNA BLUE-LEAF KEEPER HATTLE	EVERGREEN LB
	22	56" BOX	OLEA EUROPAEA MAJESTIC BEAUTY MAJESTIC BEAUTY FRUITLESS OLIVE	EVERGREEN MULTI TRUNK
	12	56" BOX	PARKINSONIA HYBRID 'AZI' PALO VERDE THORNLESS HYBRID	EVERGREEN STD
<b>VINES</b>				
	5	5 GAL	CALLIANDRA HEMATOCEPHALA PINK POWDER PUFF	EVERGREEN STAKED
<b>SHRUBS</b>				
	5	5 GAL	AGAVE ATTENUATA FOXTAIL AGAVE	EVERGREEN
	5	5 GAL	CALLISTEMON VINCINALIS 'SLIM' SLIM BOTTLEBRUSH	EVERGREEN
	5	5 GAL	CISTUS PULVERULENTUS 'SUNSET' MAGENTA ROCK ROSE	EVERGREEN
	5	5 GAL	HELIOTRICHON SEN. 'SAPPHIRE' SAPPHIRE BLUE OAT GRASS	EVERGREEN
	15	5 GAL STAKED	LIGUSTRUM JAP. 'TEXANUM' WAXLEAF PRIVET	EVERGREEN STAKED
	1	1 GAL	NASSELLA TENNISSIMA MEXICAN FEATHER GRASS	EVERGREEN
	5	5 GAL	PHORMIUM TEXAS 'PINK STRIPE' PINK STRIPE FLAX	EVERGREEN
	5	5 GAL	PITTOSPORUM TOB. 'CREME DE MINT' CREME DE MINT DWARF PITTOSPORUM	EVERGREEN
	5	5 GAL	PITTOSPORUM TOB. 'WHEELER'S DWARF' WHEELER'S DWARF PITTOSPORUM	EVERGREEN
	1	1 GAL	ROSMARINUS OFFICINALIS 'PROSTRATE' PROSTRATE ROSEMARY	EVERGREEN
	1	1 GAL	SENEGIO MANDRALISCAE BLUE CHALK STICKS	SUCCULENT
	1	1 GAL	TEUCRIUM X LUCIDRYS WALL GERMANDER	EVERGREEN
	5	5 GAL	WESTRINGEA FRU. 'MUNDI' DWARF MUNDI COAST ROSEMARY	EVERGREEN
<b>SHRUBS - NATIVE</b>				
	1	1 GAL	AQUILEGIA FORMOSA WESTERN COLUMBINE	EVERGREEN
	1	1 GAL	BACCHARIS PILLULARIS 'TWIN PEAKS' PROSTRATE GOYOTE BUSH	EVERGREEN
	5	5 GAL	CEANOTHUS GRIS HOR. 'YANKEE POINT' YANKEE POINT CALIFORNIA LILAC	EVERGREEN
	5	5 GAL	CEANOTHUS GRIS HOR. 'CONCHA' CONCHA CALIFORNIA LILAC	EVERGREEN
	5	5 GAL	EPILOBIUM GAL. EVERETT'S CHOICE GHOSTLY RED CALIFORNIA FUCHSIA	EVERGREEN
	5	5 GAL	LAYATERA MARITIMA MEDITERRANEAN TREE MALLOW	EVERGREEN
	1	1 GAL	LUPINES EXCUBITUS GRAPPE SOGA LUPINE	EVERGREEN
	1	1 GAL	MIMULUS ALPANTACUS STICKY MEXY FLORES	EVERGREEN
	1	1 GAL	PENSTEMON BACCHANIFOLIUS 'DIABLO' DIABLO ROCK PENSTEMON	EVERGREEN

SYMBOL	QTY	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
	4,840	ARTIFICIAL TURF	500
	1,050	ORNAMENTAL PLANTING	NOTE: ALL PLANTINGS WITHIN 5' WALK AROUND TO BE HERBACIOUS PLANTS ADHERING TO L.A. COUNTY FIRE CODE
	26,450	NATIVE PLANTING	

ALL PLANTER AREAS - (SEE NOTE)

MULCH- AGROMIN ES2

NOTE: A MIN. OF 3" HIGH LAYER OF MULCH SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS SERVING OR TOOTHING GROUND COVERS OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

**LIGHTING LEGEND - LOW VOLTAGE**

SYMBOL	DESCRIPTION	MANUF. & MODEL NO.	TYPE	FINISH	QTY
	UP LIGHT	SPJ LIGHTING INC. 800-462-3631 MVA-1000	2X LED 2V-2700K	MBR	X
	PATH LIGHT	SPJ-S124	2X LED 2V-2700K	MBR	X
	BELL LIGHT	SPJ-M1000-P-RE	2X LED 2V-2700K	MBR	X
	NIGHT LIGHT	SPJ-SC-1	2X LED 2V-2700K	MBR	X
	WALL MOUNT LIGHT	SPJ-L112	2X LED 2V-2700K	MBR	X
	UNDER WATER LIGHT	SPJ-L112	2X LED 2V-2700K	MBR	X
	RECESSED UP LIGHT	SPJ-M1000-P	2X LED 2V-2700K	MBR	X

**GENERAL NOTES**

- PROVIDE 100% IRRIGATION TO ALL PLANTING AREAS FROM CURB LINE.
- BURY LINES, 18" MAINLINE (P.V.C.) AND 12" LATERAL (SCH. 40).
- PROVIDE SOILS AMENDMENTS PER SOILS REPORT (PROVIDED BY OTHERS).
- SEPARATE SHRUB, LAWN AND SUN EXPOSURE SYSTEMS.
- PROVIDE DEEP ROOT BARRIERS ON ALL TREES.
- PROVIDE 4" X 3" DEEP VENTILATION HOLE FILLED WITH 3/4" GRAVEL IN ALL TREE PITS. (2 PER TREE)
- PROVIDE ESPALIER SUPPORTS.
- ALL EXISTING IRRIGATION TO REMAIN AND CONTRACTOR TO VERIFY PROPER COVERAGE AND ALL FUNCTIONING.
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- CONNECT ALL ROOF DOWNSPOUTS INTO DRAINAGE SYSTEM.
- ANY DRAINS SHOWN ON PLAN ARE DIAGNOSTIC ONLY AND NOT REPRESENTATIVE OF THE DRAINAGE PLAN. IF A GRADING AND DRAINAGE PLAN IS REQUIRED OR NECESSARY, CLIENT SHALL EMPLOY A CIVIL ENGINEER FOR A GRADING AND DRAINAGE PLAN.

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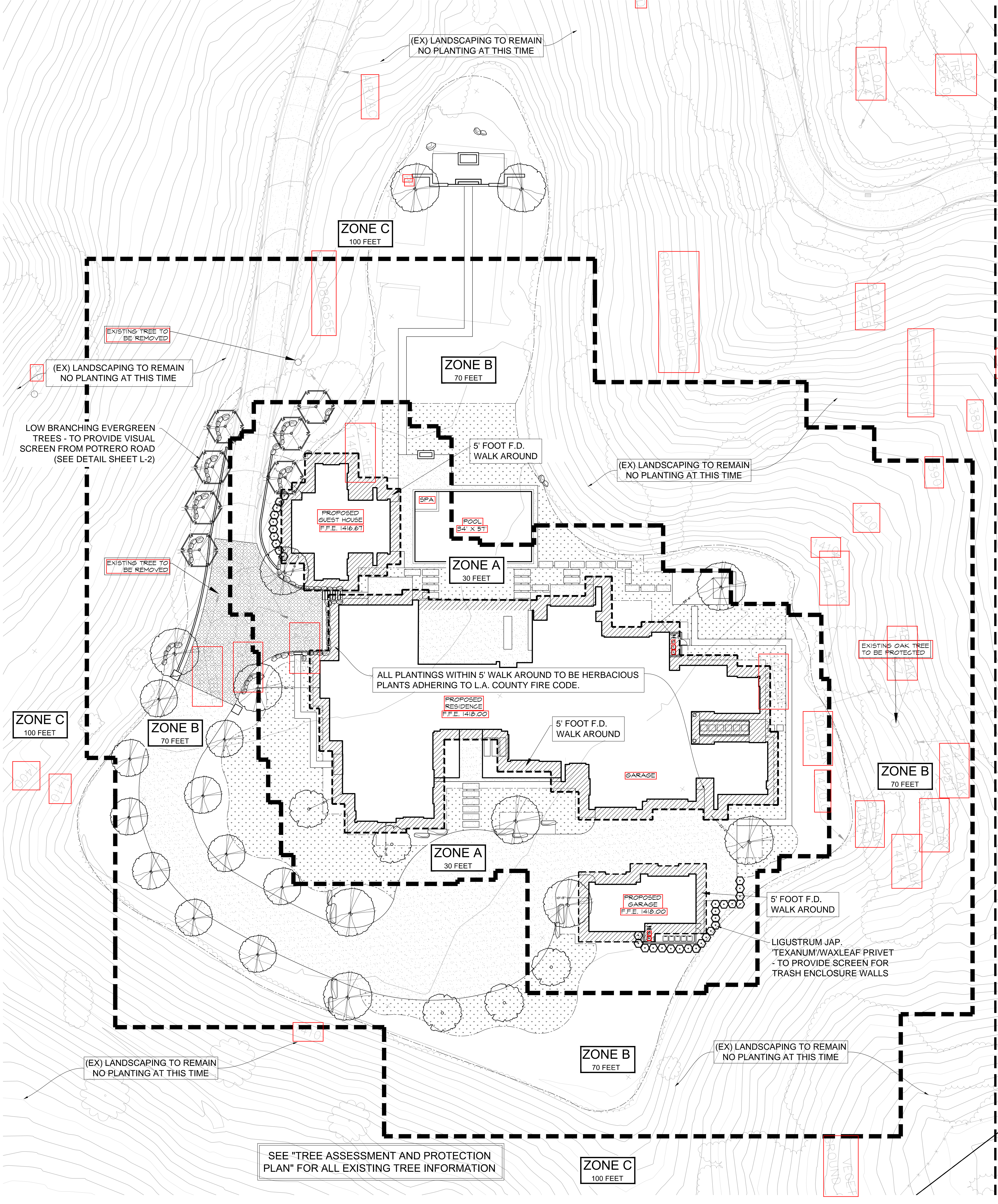
**PLANTING PLAN -**  
ENTRY GATE  
CONCEPTUAL PLANS  
FOR PLAN CHECK ONLY

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Date: FEBRUARY 9, 2021  
Drawn: [Signature]  
Scale: 1" = 20'-0"

**L-5**

OF SEVEN PLOTTED 2/9/21



### FUEL MODIFICATION GUIDELINES

- VEGETATION SHALL BE MAINTAINED AS APPROVED. THE FOLLOWING NOTES SHALL BE ADHERED TO.
- MAINTENANCE OF ZONE A:** 30 FEET (FROM EDGE OF THE STRUCTURE TO A DISTANCE OF 30 FEET)
- PROVIDE FOR 5FT FIRE DEPARTMENT WALK AROUND WITH HERBACEOUS PLANTS RECOMMENDED TO PLACE WALKWAYS, PATIOS, SPORTS COURTS ETC. ABUTTING STRUCTURE
  - AVOID PLANTING WOODY PLANTS WITHIN 10 FEET OF STRUCTURE
  - USE HERBACEOUS PLANTS, SUCCULENTS, LOW GROWING GRASSES AND GRASS LIKE PLANTS
  - USE INORGANIC MULCHES SUCH AS GRAVEL WITHIN 10 FEET OF THE STRUCTURE. DO NOT USE RECYCLED RUBBER.
  - SMALL TREE SPECIES (15'-25' IN HEIGHT) MAY BE PLANTED 10' FROM STRUCTURE IF USED SPARINGLY
  - NO CLIMBING VINES ON STRUCTURES
  - REMOVE DEAD AND DOWN PLANT MATERIAL, WOOD PILES, PATIO FURNITURE, ETC.
- MAINTENANCE OF ZONE B:** 70 FEET
- ARRANGE PLANTS AND LIMIT DENSITIES SO NOT TO CREATE LADDER FUELS OR DENSE THICKETS OF VEGETATION
  - DENSITIES CAN BE INCREASED SLIGHTLY IN THIS ZONE
- MAINTENANCE OF ZONE C:** 100 FEET
- MAINTENANCE EXCEEDING 100 FEET BUT NOT TO EXCEED 200 FROM STRUCTURES MAY BE DEEMED NECESSARY BY THE FIRE OFFICIAL IN ACCORDANCE WITH SECTION 325.2.2 OF THE LOS ANGELES COUNTY FIRE CODE (CLEARANCE OF BRUSH AND VEGETATION GROWTH, EXTRA HAZARD)

**NOTE:** ALL FUEL MODIFICATION ZONES ARE TERMINATED AT THE SUBJECT PARCEL/TRACT BOUNDARY

- MAINTENANCE:** YEAR ROUND
- CLEAR ALL LEAVES, LITTER AND DEBRIS FROM RAIN GUTTERS, ROOFS AND ACCUMULATIONS AGAINST STRUCTURES
  - REGULARLY REMOVE ALL DEAD VEGETATION, FLAMMABLE DEBRIS, FLAMMABLE PATIO FURNITURE FROM LANDSCAPE
  - STORE WOOD PILES, COMPOST BINS, MULCH BINS, ETC. 30' FROM STRUCTURES
  - CUT AND REMOVE ANNUAL GRASSES DOWN TO 4 INCHES
  - IRRIGATION OF ANY FORM SHALL BE APPLIED TO MAINTAIN HIGH FUEL MOISTURE. IRRIGATION TO NATIVE PLANTS IS BENEFICIAL IN SMALL AMOUNTS 1-2 TIMES PER MONTH DURING SUMMER MONTHS

### PROPOSED PLANT LEGEND

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
<b>TREES</b>				
	01	36" BOX	ARBUS UNEDO MARINA MARINA STRAWBERRY TREE	EVERGREEN STD TRUNK
	01	36" BOX	LASERSTROEMIA INDICA TUSCARORA TUSCARORA GRAPE MYRTLE	DECIDUOUS STD TRUNK
	01	36" BOX	ACACIA SALICINA BLUE-LEAF WEEPING WATTLE	EVERGREEN LB
	02	36" BOX	OLEA EUROPAEA MAJESTIC BEAUTY MAJESTIC BEAUTY FRUITLESS OLIVE	EVERGREEN MULTI TRUNK
	01	36" BOX	FARKSONIA HYBRID 'AZT' PALO VERDE THORNLESS HYBRID	EVERGREEN STD
<b>VINES</b>				
	05	5 GAL	GALLIANDRA HAEMATOCOPHALA PINK POWDER PUFF	EVERGREEN STAKED
<b>SHRUBS</b>				
	05	5 GAL	AGAVE ATTENUATA FOXTAIL AGAVE	EVERGREEN
	05	5 GAL	CALLISTEMON VIMINALIS SLIM SLIM BOTTLEBRUSH	EVERGREEN
	05	5 GAL	CISTUS PLYBERLENTUS 'SUNSET' MAGENTA ROCK ROSE	EVERGREEN
	05	5 GAL	HELIOTROPICUM SEM SAPPAPHIRE SAPPAPHIRE BLUE CAT GRASS	EVERGREEN
	05	5 GAL	LIGUSTRUM JAP TEXANUM MAXLEAF PRIVET	EVERGREEN STAKED
	05	5 GAL	MIXOBELIA TENNIS/STIMA MEXICAN FEATHER GRASS	EVERGREEN
	05	5 GAL	PHORUM TEXAS PINK STRIPE PINK STRIPE FLAX	EVERGREEN
	05	5 GAL	PITOSPORIUM TOB 'CREME DE MINT' CREME DE MINT DWARF PITOSPORIUM	EVERGREEN
	05	5 GAL	PITOSPORIUM TOB 'WHEELER'S DWARF' WHEELER'S DWARF PITOSPORIUM	EVERGREEN
	05	5 GAL	ROSMARINUS OFFICINALIS PROSTRATE PROSTRATE ROSEMARY	EVERGREEN
	05	5 GAL	SENEGIO MANDRALISCAE BLUE CHALK STICKS	SUCCULENT
	05	5 GAL	TEUCLUM X LUCIDIFOLIA WALL GERMANDER	EVERGREEN
	05	5 GAL	WESTRINGIA FRU 'MUNDI' DWARF MUNDI COAST ROSEMARY	EVERGREEN
<b>SHRUBS - NATIVE</b>				
	05	5 GAL	AGUILEGIA FORMOSA WESTERN COLUMBINE	EVERGREEN
	05	5 GAL	BACCHARIS PILLULARIS 'TWIN PEAKS' PROSTRATE COYOTE BUSH	EVERGREEN
	05	5 GAL	CEANOTHUS GRIS HOR 'YANKEE POINT' YANKEE POINT CALIFORNIA LILAC	EVERGREEN
	05	5 GAL	CEANOTHUS GRIS HOR 'CONCHA' CONCHA CALIFORNIA LILAC	EVERGREEN
	05	5 GAL	EPILOBIUM GAL 'EVERETT'S CHOICE' GHOSTLY RED CALIFORNIA FUCHSIA	EVERGREEN
	05	5 GAL	LAVATERA MARITIMA MEDITERRANEAN TREE MALLOW	EVERGREEN
	05	5 GAL	LUPINUS EXALBATUS GRAPE SODA LUPINE	EVERGREEN
	05	5 GAL	MIMULUS AURANTIACUS STICKY MONKEY FLOPER	EVERGREEN
	05	5 GAL	PENSTEMON BACCHARIFOLIUS DIABLO DIABLO ROCK PENSTEMON	EVERGREEN

**GROUND COVER**

SYMBOL	QTY	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
	4,890 S.F.	ARTIFICIAL TURF	000
	1,050 S.F.	ORNAMENTAL PLANTING	
	26,950 S.F.	NATIVE PLANTING	

**NOTE:** ALL PLANTINGS WITHIN 5' WALK AROUND TO BE HERBACEOUS PLANTS ADHERING TO L.A. COUNTY FIRE CODE

**MULCH:** AGROMIN ES2  
NOTE: A MIN. OF 3" INCH LAYER OF MULCH SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS. EXCEPT TURF AREAS KEEPING OR TOOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

### FUEL MODIFICATION PLAN NOTES

- ZONE A - SETBACK ZONE**
- EXTENDS 30 FEET BEYOND THE EDGE OF ANY COMBUSTIBLE STRUCTURE, ACCESSORY STRUCTURE, APPENDAGE OR PROJECTION. OVERHANGS OR PARTS OF STRUCTURES NOT ACCURATELY REFLECTED ON THE PLANS MAY NEGATE THE APPROVAL OF PLAN LOCATION ON THE APPROVED PLAN.
  - IRRIGATION BY AUTOMATIC OR MANUAL SYSTEMS SHALL BE PROVIDED TO MAINTAIN HEALTHY VEGETATION AND FIRE RESISTANCE
  - VEGETATION IN THIS ZONE SHALL CONSIST PRIMARILY OF GREEN LAWNS, GROUND COVERS NOT EXCEEDING 6 INCHES IN HEIGHT, AND ADEQUATELY SPACED SHRUBS, THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
  - PLANTS IN ZONE A SHALL BE INHERENTLY HIGHLY FIRE RESISTANT AND APPROPRIATELY SPACED. SPECIES SELECTION SHOULD REFERENCE THE FUEL MODIFICATION PLANT LIST. OTHER SPECIES MAY BE USED SUBJECT TO APPROVAL. PLANS RE-SUBMITTED 6 MONTHS AFTER THE INITIAL REVIEW WILL BE EVALUATED BASED ON THE CURRENT FUEL MODIFICATION PLANT LIST, AVAILABLE FROM THE FUEL MODIFICATION UNIT.
  - TREES ARE GENERALLY NOT RECOMMENDED, EXCEPT FOR DWARF VARIETIES OR MATURE TREES SMALL IN STATURE.
  - TARGET SPECIES WILL TYPICALLY NOT BE WITHIN 30 FEET OF COMBUSTIBLE STRUCTURES AND MAY REQUIRE REMOVAL IF EXISTING.
  - VINES AND CLIMBING PLANTS SHALL NOT BE ALLOWED ON ANY COMBUSTIBLE STRUCTURE REQUIRING REVIEW.
- ZONE B - IRRIGATED ZONE**
- EXTENDS FROM THE OUTER EDGE OF ZONE A TO 100 FEET FROM STRUCTURES.
  - IRRIGATION BY AUTOMATIC OR MANUAL SYSTEMS SHALL BE PROVIDED TO MAINTAIN HEALTHY VEGETATION AND FIRE RESISTANCE
  - VEGETATION IN THIS ZONE SHALL PRIMARILY CONSIST OF GREEN LAWNS, GROUND COVERS, AND ADEQUATELY SPACED SHRUBS AND TREES.
  - UNLESS OTHERWISE APPROVED, GROUND COVERS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 6 INCHES. ON SLOPES, 12 INCHES IS ACCEPTABLE WITHIN 50 FEET OF A STRUCTURE, AND 18 INCHES BEYOND 50 FEET. THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT. SPECIMEN NATIVE PLANTS MAY BE APPROVED TO REMAIN IF PROPERLY MAINTAINED FOR ADEQUATE DEFENSIBLE SPACE. ANNUAL GRASSES OR WEEDS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 3 INCHES.
  - PLANTS SHALL BE FIRE RESISTANT AND APPROPRIATELY SPACED. PLANT SELECTION SHOULD REFERENCE THE FUEL MODIFICATION PLANT LIST. OTHER PLANTS MAY BE USED SUBJECT TO APPROVAL.
  - REPLACEMENT PLANTING TO MEET MINIMUM CITY OR COUNTY SLOPE COVERAGE REQUIREMENTS OR ORDINANCES WILL BE CONSIDERED. IN ALL CASES, THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
  - TARGET SPECIES MAY REQUIRE REMOVAL WITHIN 50 FEET OF STRUCTURES, DEPENDING ON SITE CONDITIONS.
  - ALL TREES, UNLESS OTHERWISE APPROVED, SHALL BE PLANTED FAR ENOUGH FROM STRUCTURES AND FIRE ACCESS ROADS, AS TO NOT OVERHANG ANY STRUCTURE OR ACCESS AT MATURITY.
- ZONE C - NATIVE BRUSH THINNING ZONE**
- EXTENDS FROM THE OUTER EDGE OF ZONE B UP TO 200 FEET FROM STRUCTURES OR TO THE PROPERTY LINE.
  - REQUIRED THINNING AND CLEARANCE WILL BE DETERMINED UPON INSPECTION.
  - IRRIGATION SYSTEMS ARE NOT REQUIRED.
  - VEGETATION MAY CONSIST OF MODIFIED EXISTING NATIVE PLANTS, ADEQUATELY SPACED ORNAMENTAL SHRUBS AND TREES, OR BOTH. REPLACEMENT PLANTING TO MEET MINIMUM CITY OR COUNTY SLOPE COVERAGE REQUIREMENTS OR ORDINANCES WILL BE CONSIDERED. IN ALL CASES, THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
  - PLANTS SHALL BE SPACED APPROPRIATELY. EXISTING NATIVE VEGETATION SHALL BE MODIFIED BY THINNING AND REMOVAL OF PLANTS CONSTITUTING A FIRE RISK. THESE INCLUDE, BUT ARE NOT LIMITED TO: CHAMISE, SAGE, SAGE BRUSH, AND BUCKWHEAT.
  - ANNUAL GRASSES AND WEEDS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 3 INCHES.
  - GENERAL SPACING FOR EXISTING NATIVE SHRUBS OR GROUPS OF SHRUBS IS 15 FEET BETWEEN CANOPIES. NATIVE PLANTS MAY BE THINNED BY REDUCED AMOUNTS AS THE DISTANCE FROM DEVELOPMENT INCREASES.
  - GENERAL SPACING FOR EXISTING NATIVE TREES OR GROUPS OF TREES IS 30 FEET BETWEEN CANOPIES. THIS DISTANCE MAY VARY DEPENDING ON THE SLOPE, ARRANGEMENT OF TREES IN RELATION TO SLOPE, AND THE TREE SPECIES.
- FIRE ACCESS ROAD ZONE**
- EXTENDS A MINIMUM OF 10 FEET FROM THE EDGE OF ANY PUBLIC OR PRIVATE ROAD USED BY FIRE-FIGHTING RESOURCES.
  - CLEAR AND REMOVE FLAMMABLE GROWTH FOR A MINIMUM OF 10 FEET ON EACH SIDE OF FIRE ACCESS ROADS. (FIRE CODE 325.10) ADDITIONAL CLEARANCE BEYOND 10 FEET MAY BE REQUIRED UPON INSPECTION.
  - FIRE ACCESS ROADS, DRIVEWAYS AND TURNAROUNDS SHALL BE MAINTAINED IN ACCORDANCE WITH FIRE CODE. FIRE ACCESS ROADS SHALL HAVE UNOBSTRUCTED VERTICAL CLEARANCE CLEAR TO THE SKY FOR A WIDTH OF 20 FEET. (FIRE CODE 503.1)
  - REMAINING PLANTS SHALL BE APPROPRIATELY SPACED AND MAINTAINED TO PROVIDE SAFE EGRESS IN WILDLAND FIRE ENVIRONMENTS.
  - ALL TREES, UNLESS OTHERWISE APPROVED, SHALL BE PLANTED FAR ENOUGH FROM STRUCTURES AND FIRE ACCESS ROADS, AS TO NOT OVERHANG ANY STRUCTURE OR ACCESS AT MATURITY.

- MAINTENANCE**
- ROUTINE MAINTENANCE SHALL BE REGULARLY PERFORMED IN ALL ZONES. REQUIREMENTS INCLUDE ITEMS IN THE FUEL MODIFICATION GUIDELINES AND THOSE OUTLINED BELOW.
- REMOVAL OR THINNING OF UNDESIRABLE COMBUSTIBLE VEGETATION AND REMOVAL OF DEAD OR DYING PLANTS TO MEET MINIMUM BRUSH CLEARANCE REQUIREMENTS.
  - PRUNING AND THINNING TO REDUCE THE OVERALL FUEL LOAD AND CONTINUITY OF FUELS.
  - FUEL LOADS SHALL BE REDUCED BY PRUNING LOWER BRANCHES OF TREES AND TREE-FORM SHRUBS TO 1/2 OF THEIR HEIGHT, OR 6 FEET FROM LOWEST HANGING BRANCHES TO THE GROUND, TO HELP PREVENT FIRE FROM SPREADING AND MAKE MAINTENANCE EASIER. TREES WITH UNDERSTORY PLANTS SHOULD BE LIMBED UP AT LEAST THREE TIMES THE HEIGHT OF THE UNDERLYING VEGETATION OR UP TO ONE THIRD THE HEIGHT OF THE TREE, WHICHEVER IS LESS, TO HELP PREVENT FIRE FROM SPREADING UPWARD INTO THE CROWN.
  - ACCUMULATED PLANT LITTER AND DEAD WOOD SHALL BE REMOVED. DEBRIS AND TRIMMINGS PRODUCED BY MAINTENANCE SHOULD BE REMOVED FROM THE SITE OR CHIPPED AND EVENLY DISPersed IN THE SAME AREA TO A MAXIMUM DEPTH OF 6 INCHES.
  - ALL INVASIVE SPECIES AND THEIR PARTS SHOULD BE REMOVED FROM THE SITE.
  - MANUAL AND AUTOMATIC IRRIGATION SYSTEMS SHALL BE MAINTAINED FOR OPERATIONAL INTEGRITY AND PROGRAMMING. EFFECTIVENESS SHOULD BE REGULARLY EVALUATED TO AVOID OVER OR UNDER-WATERING.
  - COMPLIANCE WITH THE FIRE CODE IS A YEAR-ROUND RESPONSIBILITY. ENFORCEMENT WILL OCCUR FOLLOWING INSPECTION BY THE FIRE DEPARTMENT. ANNUAL INSPECTIONS FOR BRUSH CLEARANCE CODE REQUIREMENTS ARE CONDUCTED FOLLOWING THE NATURAL DRYING OF GRASSES AND FINE FUELS, BETWEEN THE MONTHS OF APRIL AND JUNE DEPENDING ON CLIMATE REGION. INSPECTION FOR COMPLIANCE WITH AN APPROVED FUEL MODIFICATION PLAN MAY OCCUR AT ANY TIME OF YEAR.
  - BRUSH CLEARANCE ENFORCEMENT ISSUES ON ADJACENT PROPERTIES SHOULD BE DIRECTED TO THE COUNTY OF LOS ANGELES FIRE DEPARTMENT'S BRUSH CLEARANCE UNIT AT (626) 969-2375.
  - ALL FUTURE PLANTINGS SHALL BE IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT FUEL MODIFICATION GUIDELINES AND APPROVED PRIOR TO INSTALLATION. CHANGES TO THE APPROVED PLAN WHICH REQUIRE AN ADDITIONAL PLAN REVIEW WILL INCUR A PLAN REVIEW FEE.
  - QUESTIONS REGARDING LANDSCAPE PLANTING AND MAINTENANCE WITH REGARD TO FIRE SAFETY SHOULD BE DIRECTED TO THE FIRE DEPARTMENT'S FUEL MODIFICATION UNIT AT (626) 969-5205.

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805-795-7955 (cell) • jlperrin@perindesign.com (Email)

**SINGLE FAMILY RESIDENCE**  
2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361

**FUEL MODIFICATION PLAN**  
CONCEPTUAL PLANS  
FOR PLAN CHECK ONLY

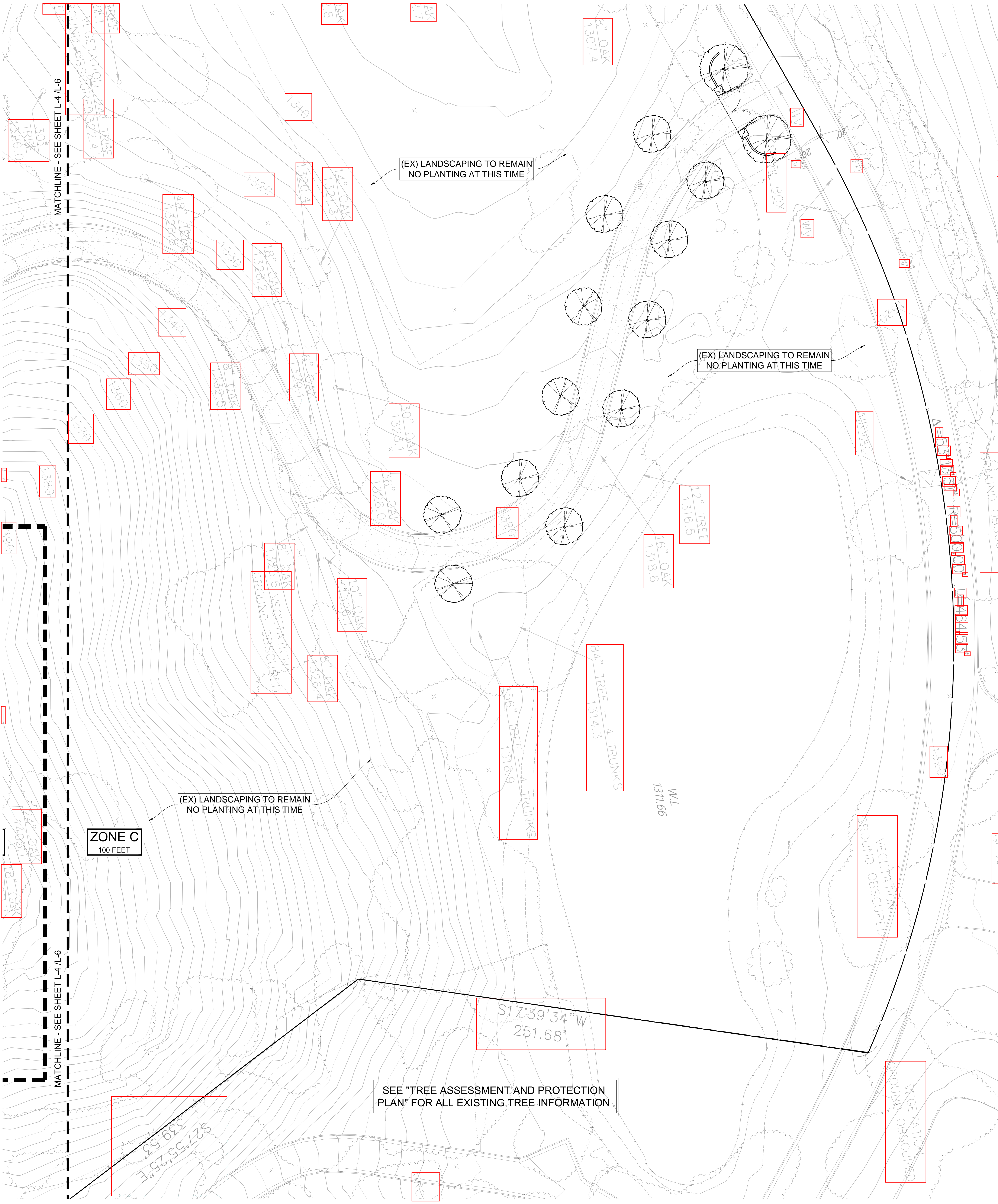
**FEBRUARY 9, 2021**  
Date

Drawn **JLP**

Scale **1"=20'-0"**

**L-6**

OF SEVEN PLOTTED 2/9/21



**FUEL MODIFICATION GUIDELINES**

VEGETATION SHALL BE MAINTAINED AS APPROVED. THE FOLLOWING NOTES SHALL BE ADHERED TO.

- MAINTENANCE OF ZONE A:** 30 FEET FROM EDGE OF THE STRUCTURE TO A DISTANCE OF 30 FEET
- PROVIDE FOR 5FT FIRE DEPARTMENT WALK AROUND WITH HERBACEOUS PLANTS
  - RECOMMENDED TO PLACE WALKWAYS, PATIOS, SPORTS COURTS ETC. ABUTTING STRUCTURE
  - AVOID PLANTING WOODY PLANTS WITHIN 10 FEET OF STRUCTURE
  - USE HERBACEOUS PLANTS, SUCULENTS, LOW GROWING GRASSES AND GRASS LIKE PLANTS
  - USE INORGANIC MULCHES SUCH AS GRAVEL WITHIN 10 FEET OF THE STRUCTURE. DO NOT USE RECYCLED RUBBER.
  - SMALL TREE SPECIES (15'-25' IN HEIGHT) MAY BE PLANTED 10' FROM STRUCTURE IF USED SPARINGLY
  - NO CLIMBING VINES ON STRUCTURES
  - REMOVE DEAD AND DOWN PLANT MATERIAL, WOOD PILES, PATIO FURNITURE, ETC.

- MAINTENANCE OF ZONE B:** 70 FEET
- ARRANGE PLANTS AND LIMIT DENSITIES SO NOT TO CREATE LADDER FUELS OR DENSE THICKETS OF VEGETATION
  - DENSITIES CAN BE INCREASED SLIGHTLY IN THIS ZONE

- MAINTENANCE OF ZONE C:** 100 FEET
- MAINTENANCE EXCEEDING 100 FEET BUT NOT TO EXCEED 200 FROM STRUCTURES MAY BE DEEMED NECESSARY BY THE FIRE OFFICIAL IN ACCORDANCE WITH SECTION 325.2.2 OF THE LOS ANGELES COUNTY FIRE CODE (CLEARANCE OF BRUSH AND VEGETATION GROWTH, EXTRA HAZARD)

**NOTE:** ALL FUEL MODIFICATION ZONES ARE TERMINATED AT THE SUBJECT PARCEL/TRACT BOUNDARY

- MAINTENANCE:** YEAR ROUND
- CLEAR ALL LEAVES, LITTER AND DEBRIS FROM RAIN GUTTERS, ROOFS AND ACCUMULATIONS AGAINST STRUCTURES
  - REGULARLY REMOVE ALL DEAD VEGETATION, FLAMMABLE DEBRIS, FLAMMABLE PATIO FURNITURE FROM LANDSCAPE
  - STORE WOOD PILES, COMPOST BINS, MULCH BINS, ETC. 30' FROM STRUCTURES
  - CUT AND REMOVE ANNUAL GRASSES DOWN TO 4 INCHES
  - IRRIGATION OF ANY FORM SHALL BE APPLIED TO MAINTAIN HIGH FUEL MOISTURE. IRRIGATION TO NATIVE PLANTS IS BENEFICIAL IN SMALL AMOUNTS 1-2 TIMES PER MONTH DURING SUMMER MONTHS

**PROPOSED PLANT LEGEND**

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
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TREES				
	1	36" BOX	ARBUS UNEDO 'MARINA' MARINA STRAWEERRY TREE	EVERGREEN STD TRUNK
	1	36" BOX	LAGERSTRÆMIA INDICA 'TUSCARORA' TUSCARORA GRAPE MYRTLE	DECIDUOUS STD TRUNK
	1	36" BOX	ACACIA SALIGNA 'BLUE-LEAF' KEEPING HATTEL	EVERGREEN LB
	1	36" BOX	OLEA EUROPAEA 'MAJESTIC BEAUTY' MAJESTIC BEAUTY FRUITLESS OLIVE	EVERGREEN MULTI TRUNK
	1	36" BOX	PARKINSONIA HYBRID 'AZT' PALM VERDE THORNLESS HYBRID	EVERGREEN STD

VINES				
	15	GAL	CALLIANDRA HAEMATOCEPHALA PINK POWDER PUFF	EVERGREEN STAKED

SHRUBS				
	5	GAL	AGAVE ATTENUATA FOXTAIL AGAVE	EVERGREEN
	5	GAL	CALLISTEMON VIMINALIS 'SLIM' SLIM BOTTLEBRUSH	EVERGREEN
	5	GAL	CISTUS LYLLIBRENTUS 'SUNSET' MAGENTA ROCK ROSE	EVERGREEN
	5	GAL	HELICTOTRICHON SEX 'SAPPHIRE' SAPPHIRE BLUE OAT GRASS	EVERGREEN
	5	GAL	LIGUSTRUM JAP 'TEXANUM' RAZLEAF PRIVET	EVERGREEN STAKED
	1	GAL	NASSELLA TENNISSEIA MEXICAN FEATHER GRASS	EVERGREEN
	5	GAL	PHORMIUM TEXAS 'PINK STRIPE' PINK STRIPE FLAX	EVERGREEN
	5	GAL	PITTOSPORIUM TOB 'CREME DE MINT' CREME DE MINT DWARF PITTOSPORIUM	EVERGREEN
	5	GAL	PITTOSPORIUM TOB 'WHEELER'S DWARF' WHEELER'S DWARF PITTOSPORIUM	EVERGREEN
	1	GAL	ROSMARINUS OFFICINALIS 'PROSTRATE' PROSTRATE ROSEMARY	EVERGREEN
	1	GAL	SENEGIO MANDRALISCAE BLUE CHALK STICKS	SUCULENT
	1	GAL	TEUCCRIUM X LUCIDRYS WALL GERMANDER	EVERGREEN
	5	GAL	WESTRINGEA FRU 'MUNDI' DWARF MUNDI COAST ROSEMARY	EVERGREEN

SHRUBS - NATIVE				
	1	GAL	AQUILEGIA FORMOSA WESTERN COLUMBINE	EVERGREEN
	1	GAL	BACCHARIS PILLULARIS 'TWIN PEAKS' PROSTRATE COYOTE BUSH	EVERGREEN
	5	GAL	GEANTHUS GRIS HOR 'YANKEE POINT' YANKEE POINT CALIFORNIA LILAC	EVERGREEN
	5	GAL	GEANTHUS GRIS HOR 'CONCHA' CONCHA CALIFORNIA LILAC	EVERGREEN
	5	GAL	EPILOBUM GAL 'EVERETT'S CHOICE' GHOSTLY RED CALIFORNIA FUCHSIA	EVERGREEN
	5	GAL	LAVATERA MARITIMA MEDITERRANEAN TREE MALLOW	EVERGREEN
	1	GAL	LUPINUS ENGIPIBUS GRAPE SODA LUPINE	EVERGREEN
	1	GAL	MIMULUS AURANTIACUS STICKY MONKEY FLOWER	EVERGREEN
	1	GAL	PENSTEMON BACCHARIFOLIUS DIABLO DIABLO ROCK PENSTEMON	EVERGREEN

**GROUND COVER**

SYMBOL	QTY	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
	4,890	ARTIFICIAL TURF	SDP
	7,050	ORNAMENTAL PLANTING	
	26,950	NATIVE PLANTING	

**NOTE:** ALL PLANTINGS WITHIN 5' WALK AROUND TO BE HERBACEOUS PLANTS ADHERING TO L.A. COUNTY FIRE CODE

**NOTE:** MULCH- AGROMIN ES2

**NOTE:** A MIN. OF 3" INCH LAYER OF MULCH SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CEPPING OR TOOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED

**FUEL MODIFICATION PLAN NOTES**

**ZONE A - SETBACK ZONE**

- EXTENDS 30 FEET BEYOND THE EDGE OF ANY COMBUSTIBLE STRUCTURE, ACCESSORY STRUCTURE, APPENDAGE OR PROJECTION, OVERHANGS OR PARTS OF STRUCTURES NOT ACCURATELY REFLECTED ON THE PLANS MAY NEGATE THE APPROVAL OF PLANT LOCATION ON THE APPROVED PLAN.
- IRRIGATION BY AUTOMATIC OR MANUAL SYSTEMS SHALL BE PROVIDED TO MAINTAIN HEALTHY VEGETATION AND FIRE RESISTANCE.
- VEGETATION IN THIS ZONE SHALL CONSIST PRIMARILY OF GREEN LAWNS, GROUND COVERS NOT EXCEEDING 6 INCHES IN HEIGHT, AND ADEQUATELY SPACED SHRUBS. THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
- PLANTS IN ZONE A SHALL BE INHERENTLY HIGHLY FIRE RESISTANT AND APPROPRIATELY SPACED. SPECIES SELECTION SHOULD REFERENCE THE FUEL MODIFICATION PLANT LIST. OTHER SPECIES MAY BE USED SUBJECT TO APPROVAL. PLANS RE-SUBMITTED 6 MONTHS AFTER THE INITIAL REVIEW WILL BE EVALUATED BASED ON THE CURRENT FUEL MODIFICATION PLANT LIST, AVAILABLE FROM THE FUEL MODIFICATION UNIT.
- TREES ARE GENERALLY NOT RECOMMENDED, EXCEPT FOR DWARF VARIETIES OR MATURE TREES SMALL IN STATURE.
- TARGET SPECIES WILL TYPICALLY NOT BE ALLOWED WITHIN 30 FEET OF COMBUSTIBLE STRUCTURES AND MAY REQUIRE REMOVAL IF EXISTING.
- VINES AND CLIMBING PLANTS SHALL NOT BE ALLOWED ON ANY COMBUSTIBLE STRUCTURE REQUIRING REVIEW.

**ZONE B - IRRIGATION ZONE**

- EXTENDS FROM THE OUTER EDGE OF ZONE A TO 100 FEET FROM STRUCTURES.
- IRRIGATION BY AUTOMATIC OR MANUAL SYSTEMS SHALL BE PROVIDED TO MAINTAIN HEALTHY VEGETATION AND FIRE RESISTANCE.
- VEGETATION IN THIS ZONE SHALL PRIMARILY CONSIST OF GREEN LAWNS, GROUND COVERS, AND ADEQUATELY SPACED SHRUBS AND TREES.
- UNLESS OTHERWISE APPROVED, GROUND COVERS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 6 INCHES. ON SLOPES, 12 INCHES IS ACCEPTABLE WITHIN 50 FEET OF A STRUCTURE, AND 18 INCHES BEYOND 50 FEET. THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT. SPECIMEN NATIVE PLANTS MAY BE APPROVED TO REMAIN IF PROPERLY MAINTAINED FOR ADEQUATE DEFENSIBLE SPACE. ANNUAL GRASSES OR WEEDS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 3 INCHES.
- PLANTS SHALL BE FIRE RESISTANT AND APPROPRIATELY SPACED. PLANT SELECTION SHOULD REFERENCE THE FUEL MODIFICATION PLANT LIST. OTHER PLANTS MAY BE USED SUBJECT TO APPROVAL.
- REPLACEMENT PLANTING TO MEET MINIMUM CITY OR COUNTY SLOPE COVERAGE REQUIREMENTS OR ORDINANCES WILL BE CONSIDERED. IN ALL CASES, THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
- TARGET SPECIES MAY REQUIRE REMOVAL WITHIN 50 FEET OF STRUCTURES, DEPENDING ON SITE CONDITIONS.
- ALL TREES, UNLESS OTHERWISE APPROVED, SHALL BE PLANTED FAR ENOUGH FROM STRUCTURES AND FIRE ACCESS ROADS, AS TO NOT OVERHANG ANY STRUCTURE OR ACCESS AT MATURITY.

**ZONE C - NATIVE BRUSH THINNING ZONE**

- EXTENDS FROM THE OUTER EDGE OF ZONE B UP TO 200 FEET FROM STRUCTURES OR TO THE PROPERTY LINE.
- REQUIRED THINNING AND CLEARANCE WILL BE DETERMINED UPON INSPECTION.
- IRRIGATION SYSTEMS ARE NOT REQUIRED.
- VEGETATION MAY CONSIST OF MODIFIED EXISTING NATIVE PLANTS, ADEQUATELY SPACED ORNAMENTAL SHRUBS AND TREES, OR BOTH. REPLACEMENT PLANTING TO MEET MINIMUM CITY OR COUNTY SLOPE COVERAGE REQUIREMENTS OR ORDINANCES WILL BE CONSIDERED. IN ALL CASES, THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
- PLANTS SHALL BE SPACED APPROPRIATELY. EXISTING NATIVE VEGETATION SHALL BE MODIFIED BY THINNING AND REMOVAL OF PLANTS CONSTITUTING A FIRE RISK. THESE INCLUDE, BUT ARE NOT LIMITED TO: CHAMISE, SAGE, SAGE BRUSH, AND BUCKWHEAT.
- ANNUAL GRASSES AND WEEDS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 3 INCHES.
- GENERAL SPACING FOR EXISTING NATIVE SHRUBS OR GROUPS OF SHRUBS IS 15 FEET BETWEEN CANOPIES. NATIVE PLANTS MAY BE THINNED BY REDUCED AMOUNTS AS THE DISTANCE FROM DEVELOPMENT INCREASES.
- GENERAL SPACING FOR EXISTING NATIVE TREES OR GROUPS OF TREES IS 30 FEET BETWEEN CANOPIES. THIS DISTANCE MAY VARY DEPENDING ON THE SLOPE, ARRANGEMENT OF TREES IN RELATION TO SLOPE, AND THE TREE SPECIES.

**FIRE ACCESS ROAD ZONE**

- EXTENDS A MINIMUM OF 10 FEET FROM THE EDGE OF ANY PUBLIC OR PRIVATE ROAD USED BY FIRE-FIGHTING RESOURCES.
- CLEAR AND REMOVE FLAMMABLE GROWTH FOR A MINIMUM OF 10 FEET ON EACH SIDE OF FIRE ACCESS ROADS (FIRE CODE 325.10) ADDITIONAL CLEARANCE BEYOND 10 FEET MAY BE REQUIRED UPON INSPECTION.
- FIRE ACCESS ROADS, DRIVEWAYS AND TURNAROUNDS SHALL BE MAINTAINED IN ACCORDANCE WITH FIRE CODE. FIRE ACCESS ROADS SHALL HAVE UNOBSTRUCTED VERTICAL CLEARANCE CLEAR TO THE SKY FOR A WIDTH OF 20 FEET. (FIRE CODE 503.2.1)
- REMAINING PLANTS SHALL BE APPROPRIATELY SPACED AND MAINTAINED TO PROVIDE SAFE EGRESS IN WILDLAND FIRE ENVIRONMENTS.
- ALL TREES, UNLESS OTHERWISE APPROVED, SHALL BE PLANTED FAR ENOUGH FROM STRUCTURES AND FIRE ACCESS ROADS, AS TO NOT OVERHANG ANY STRUCTURE OR ACCESS AT MATURITY.

**MAINTENANCE**

ROUTINE MAINTENANCE SHALL BE REGULARLY PERFORMED IN ALL ZONES. REQUIREMENTS INCLUDE ITEMS IN THE FUEL MODIFICATION GUIDELINES AND THOSE OUTLINED BELOW:

- REMOVAL OR THINNING OF UNDESIRABLE COMBUSTIBLE VEGETATION AND REMOVAL OF DEAD OR DYING PLANTS TO MEET MINIMUM BRUSH CLEARANCE REQUIREMENTS.
- PRUNING AND THINNING TO REDUCE THE OVERALL FUEL LOAD AND CONTINUITY OF FUELS.
- FUEL LOADS SHALL BE REDUCED BY PRUNING LOWER BRANCHES OF TREES AND TREE-FORM SHRUBS TO 1/3 OF THEIR HEIGHT, OR 6 FEET FROM LOWEST HANGING BRANCHES TO THE GROUND, TO HELP PREVENT FIRE FROM SPREADING AND MAKE MAINTENANCE EASIER. TREES WITH UNDERSTORY PLANTS SHOULD BE LIMBED UP AT LEAST THREE TIMES THE HEIGHT OF THE UNDERLYING VEGETATION OR UP TO ONE THIRD THE HEIGHT OF THE TREE, WHICHEVER IS LESS, TO HELP PREVENT FIRE FROM SPREADING UPWARD INTO THE CROWN.
- ACCUMULATED PLANT LITTER AND DEAD WOOD SHALL BE REMOVED. DEBRIS AND TRIMMINGS PRODUCED BY MAINTENANCE SHOULD BE REMOVED FROM THE SITE OR CHIPPED AND EVENLY DISPERSED IN THE SAME AREA TO A MAXIMUM DEPTH OF 6 INCHES.
- ALL INVASIVE SPECIES AND THEIR PARTS SHOULD BE REMOVED FROM THE SITE.
- MANUAL AND AUTOMATIC IRRIGATION SYSTEMS SHALL BE MAINTAINED FOR OPERATIONAL INTEGRITY AND PROGRAMMING. EFFECTIVENESS SHOULD BE REGULARLY EVALUATED TO AVOID OVER OR UNDER WATERING.
- COMPLIANCE WITH THE FIRE CODE IS A YEAR-ROUND RESPONSIBILITY. ENFORCEMENT WILL OCCUR FOLLOWING INSPECTION BY THE FIRE DEPARTMENT. ANNUAL INSPECTIONS FOR BRUSH CLEARANCE CODE REQUIREMENTS ARE CONDUCTED FOLLOWING THE NATURAL DRYING OF GRASSES AND FINE FUELS, BETWEEN THE MONTHS OF APRIL AND JUNE DEPENDING ON GEOGRAPHIC REGION. INSPECTION FOR COMPLIANCE WITH AN APPROVED FUEL MODIFICATION PLAN MAY OCCUR AT ANY TIME OF YEAR.
- BRUSH CLEARANCE ENFORCEMENT ISSUES ON ADJACENT PROPERTIES SHOULD BE DIRECTED TO THE COUNTY OF LOS ANGELES FIRE DEPARTMENT'S BRUSH CLEARANCE UNIT AT (626) 969-2375.
- ALL FUTURE PLANTINGS SHALL BE IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT FUEL MODIFICATION GUIDELINES AND APPROVED PRIOR TO INSTALLATION. CHANGES TO THE APPROVED PLAN WHICH REQUIRE AN ADDITIONAL PLAN REVIEW WILL INCUR A PLAN REVIEW FEE.
- QUESTIONS REGARDING LANDSCAPE PLANTING AND MAINTENANCE WITH REGARD TO FIRE SAFETY SHOULD BE DIRECTED TO THE FIRE DEPARTMENT'S FUEL MODIFICATION UNIT AT (626) 969-2375.

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**FUEL MODIFICATION PLAN-ENTRY GATE**

**CONCEPTUAL PLANS FOR PLAN CHECK ONLY**

**FEBRUARY 9, 2021**  
Date

Drawn **LP**

Scale **1" = 20'-0"**

**L-7**

OF **SEVEN**  
PLOTTED **2/9/21**

# 2551 White Stallion Road, Thousand Oaks





# 2551 White Stallion Rd Thousand Oaks, CA

## Stone:

Texas Limestone

Style: Cut Course, Staggard, Linear Pattern

## Door & Window Trim:

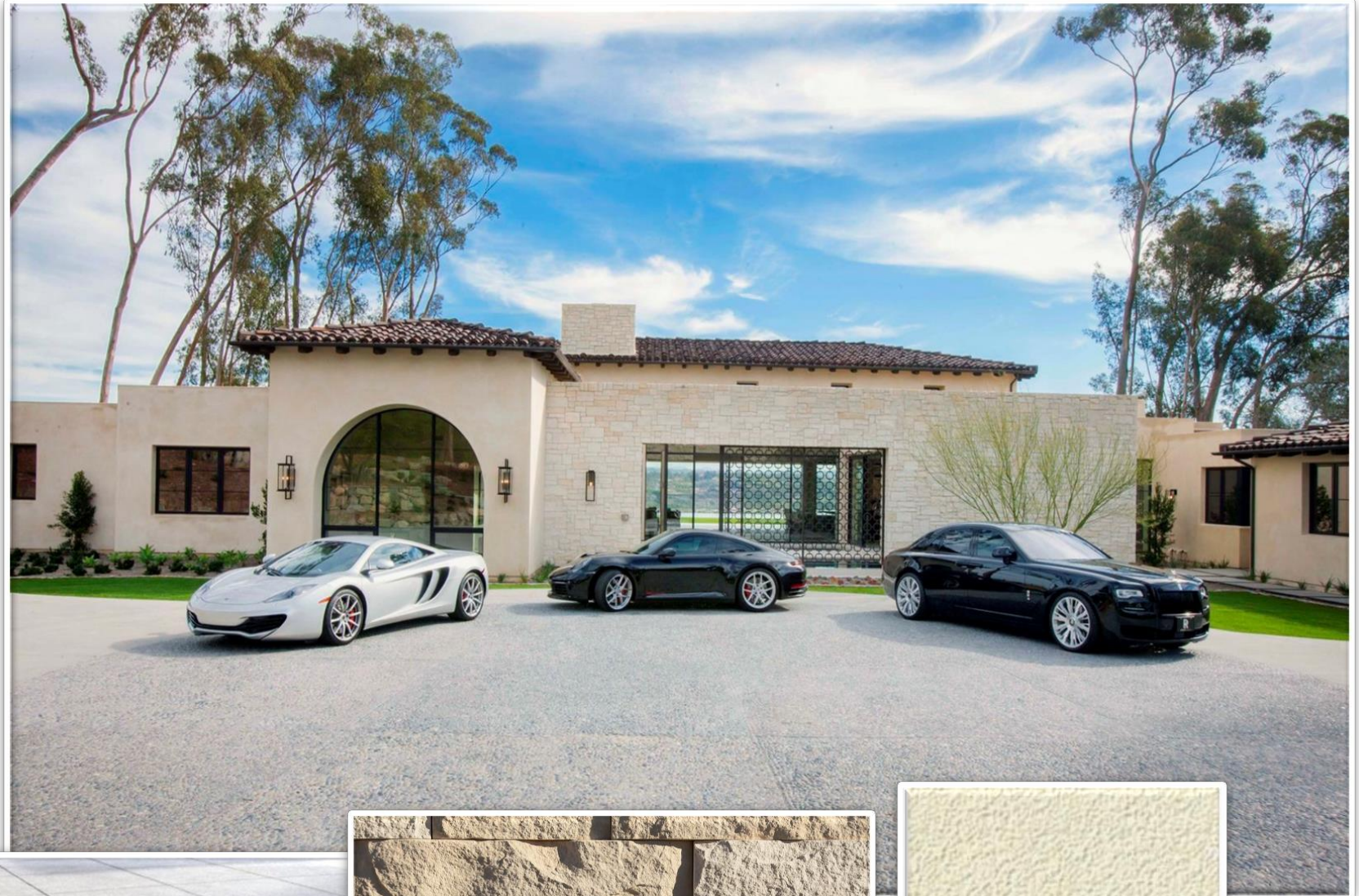
Black Metal

## Concrete:

Top Cast Concrete- Natural Finish

## Stucco:

434 Vanilla Cream- Smooth Finish



2551 White Stallion Rd  
Thousand Oaks, CA

**Stucco:**

434 Vanilla Cream- Smooth Finish

**Door & Window Trim:**

Black Metal

**Garage Door Stain:**

Full Coverage Espresso Finish



434 VANILLA CREAM



Espresso

# 2551 White Stallion Rd Thousand Oaks, CA

## Exterior Trim:

Black Metal

## Exterior Wood Accent:

IPE Wood

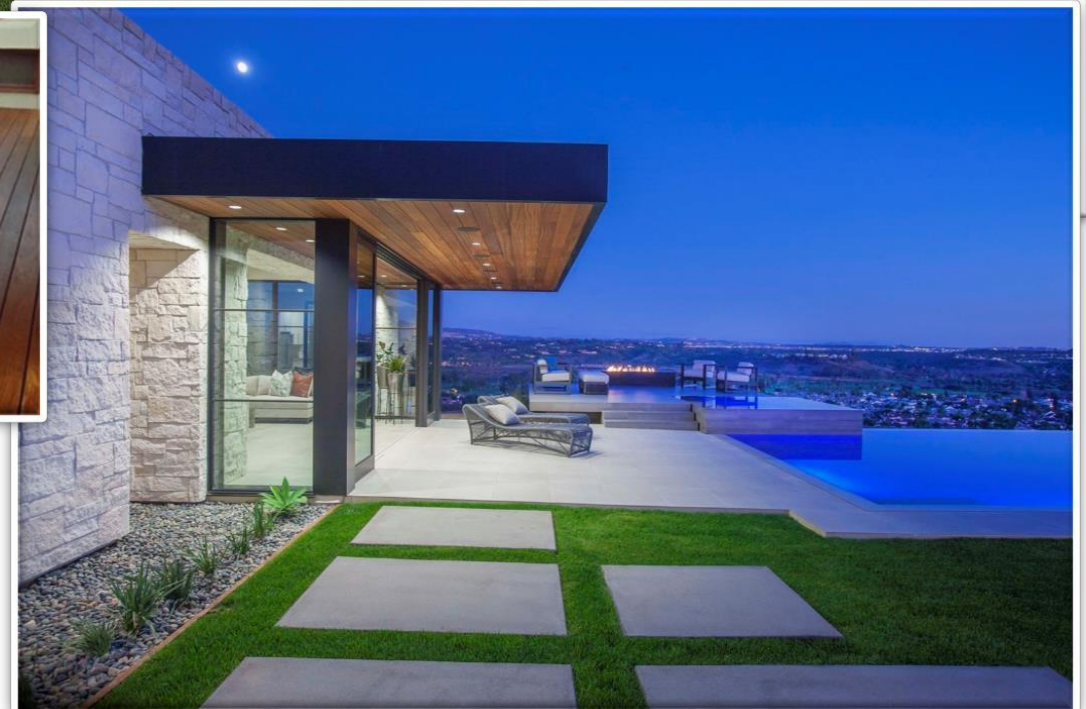
## Stone:

Texas Limestone

Style: Course Cut, Staggard, Linear Pattern

## Concrete:

Top Cast Concrete- Finish: Natural



# 2551 White Stallion Rd Thousand Oaks, CA

## **Eaves Trim Finish:**

Full Coverage Espresso Finish

## **Redlands 2-Piece Baja Clay Roof Tile:**

65% Old Sedona

20% Adobe Brown

15% Café Antigua

Install w/ mortar bird stop w/ 100%

field mortar boost and 10% field tile boost



2551 White Stallion Rd  
Thousand Oaks, CA

**Outdoor Sconces:**

Finish: Black metal X-Frame

Size: 36" H – LED (Wet Listed)





## MITIGATED NEGATIVE DECLARATION

### A. PROJECT DESCRIPTION:

**Entitlement:** Planned Development Permit No. PL21-0020

**Applicant:** Robert Erdmann

**Location:** 2551 White Stallion Road, Thousand Oaks

**Assessor's Parcel Nos.:** 668-0-080-140 and -150

**Parcel Size:** 20.75 acres

**General Plan Designation:** Open Space

**Zoning Designation:** Open Space, 20-acre minimum parcel size

**Responsible and/or Trustee Agencies:** California Department of Fish and Wildlife

**Project Description:** Request for a Planned Development (PD) Permit for the construction of a new single-family dwelling and accessory structures in the Scenic Resource Protection Overlay Zone. The permit would authorize construction of (1) a one-story single-family dwelling with an attached four-car garage totaling 15,784 sq. ft.; (2) an accessory dwelling unit of 1,799 sq. ft.; (3) a detached four-car garage of 1,272 sq. ft; and (4) a swimming pool. The permit would also authorize the demolition of a 2,592 sq. ft. structure that is not considered of historic or cultural interest and the removal of one protected Italian stone pine. The dwelling and accessory structures will cover 0.49 acres of a 20.75-acre lot.

In addition to the structural improvements, this PD Permit will also authorize grading, landscaping, installation of drainage improvements, and fuel modification. Grading will be limited to over-excavation and re-compaction of the existing building pad. Landscaping will include the planting of 58 trees as well as shrubs and vines. Groundcover will include 14,890 sq. ft. of artificial turf, 7,050 sq. ft. of ornamental planting, and 26,950 sq. ft. of native planting. Fuel modification will occur within 100 feet of proposed structures and will cover an area of approximately 3.87 acres. All drainage from the new development will be directed to a box planter and any overflow will be conveyed to an underground retention system, both to be located in the landscaped area.

Access to the proposed dwelling will be by way of an existing paved driveway that extends one-quarter (0.25) mile from White Stallion Road to the building pad. White Stallion Road, a paved private loop road, intersects with Potrero Road, a

County-maintained arterial road, 0.36 miles west and 0.38 miles east of the project site.

Potable water will be supplied by California-American Water Company. Wastewater will be disposed of using an on-site wastewater treatment system comprised of a septic tank, secondary treatment system, and two 40-foot-deep seepage pits.

**B. STATEMENT OF ENVIRONMENTAL FINDINGS:**

State law requires the Resource Management Agency, Planning Division, as the lead agency for the proposed project, to prepare an Initial Study (environmental analysis) to determine if the proposed project could significantly affect the environment. Based on the findings contained in the attached Initial Study, it has been determined that the proposed project may have a significant effect on the environment; however, mitigation measures are available that would reduce the impacts to less than significant levels. Therefore, a Mitigated Negative Declaration has been prepared and the applicant has agreed to implement the mitigation measures.

**C. LISTING OF POTENTIALLY SIGNIFICANT ENVIRONMENTAL IMPACTS**

**IDENTIFIED:** Biological Resources – Species, Sensitive Communities, and Habitat Connectivity

**D. PUBLIC REVIEW:**

**Legal Notice Method:** Direct mailing to property owners within 300 feet of the property on which the proposed project is located, and a legal notice in the *Ventura County Star*.

**Document Posting Period:** March 29, 2022, through April 28, 2022

**Public Review:** The Initial Study/Mitigated Negative Declaration is available for public review online at <https://vcrma.org/divisions/planning> (select “CEQA Environmental Review”) or at the County of Ventura, Resource Management Agency, Planning Division, 800 South Victoria Avenue, Ventura, California, from 8:00 am to 5:00 pm, Monday, Wednesday, or Friday.

**Comments:** The public is encouraged to submit written comments regarding this Initial Study/Mitigated Negative Declaration no later than 5:00 p.m. on the last day of the document posting period to Michael Conger, the case planner, at the County of Ventura Resource Management Agency, Planning Division, 800 South Victoria Avenue L#1740, Ventura, CA 93009. You may also e-mail the case planner at [Michael.Conger@ventura.org](mailto:Michael.Conger@ventura.org).

**D. CONSIDERATION AND APPROVAL OF THE MITIGATED NEGATIVE DECLARATION:**

Prior to approving the project, the decision-making body of the Lead Agency must consider this Mitigated Negative Declaration and all comments received on the Mitigated Negative Declaration. That body may approve the Mitigated Negative

Declaration if it finds that all the significant effects have been identified and that the proposed mitigation measures will reduce those effects to less than significant levels.

**Prepared by:**

**Reviewed for Release to the Public by:**

  
Michael T. Conger, Case Planner  
(805) 654-5038

  
Jennifer Trunk, Manager  
Residential Permits Section





# Initial Study

County of Ventura • Resource Management Agency

800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-2478•

## Initial Study for White Stallion Planned Development Permit

### Section A – Project Description

1. **Project Case Number(s):** PL21-0020
2. **Name of Applicant:** Robert Erdmann
3. **Project Location and Assessor's Parcel Number(s):** The project site is located at 2551 White Stallion Road in the unincorporated area of Thousand Oaks. The Tax Assessor's Parcel Numbers (APNs) for the parcels that constitute the project site are 668-0-080-140 and -150.
4. **General Plan Land Use Designation and Zoning Designation of the Project Site:**
  - a. **General Plan Land Use Designation:** Open Space
  - b. **Thousand Oaks Area Plan Land Use Designation:** Open Space, 20-acre minimum parcel size
  - c. **Zoning Designation:** Open Space, 20-acre minimum parcel size / Scenic Resource Protection Overlay Zone (OS-20 ac. / SRP)
5. **Description of the Environmental Setting:** The proposed project site is a 20.75-acre undeveloped parcel located in the Hidden Valley community. The subject parcel fronts White Stallion Road to the north and Potrero Road to the south. The parcel, Lot 9, was created in 1982 under Parcel Map No. 3559 (Book 37, Page 10 of Parcel Maps).

The proposed building pad occupies the top of a small ridgeline. The parcel's elevation rises from 1,230 feet at the Potrero Road frontage to 1,420 feet above mean sea level at the proposed building pad. The hillside has a slope of approximately 36 percent. Vegetation is predominantly comprised of coastal sage scrub with scattered oaks.

Based on review of the County Surveyor's aerial imagery, a level pad located at the proposed building site and a driveway leading to Potrero Road were present in 1961. These improvements pre-dated the County's adoption of grading permit provisions in the Uniform Building Code, which occurred in 1964. According to the tax records (County Assessor, 1976), a 2,592 sq. ft. concrete block "recreation

building” was constructed on a portion of the pad in 1958. This structure appears to have been built without the benefit of permits. It has since fallen into disrepair.

In 1985, subdivision improvements were constructed for Parcel Map No. 3559 under a County-issued grading permit. The subdivision improvements included constructing White Stallion Road, widening and improving the 0.25-mile access driveway from White Stallion Road to the building pad, rough grading to expand the pre-existing building pad to approximately 2.08 acres, and creation of a landscaping irrigation pond in the northeast corner of the parcel. The project site today reflects the conditions shown in the grading plans from 1985.

The project site is located in the White Stallion Ranch area, as indicated in the Thousand Oaks Area Plan. This area is characterized by custom homes and accessory structures on large parcels of 20 or more acres. The adjacent parcels surrounding the project site consist of the following:

Adjacent Parcels	Zoning Designation	Zoning Description	Existing Uses
North	OS-20 ac. / SRP	Open Space, 20-acre minimum parcel size, Scenic Resource Protection	Single family dwelling and residential accessory structures
East	OS-20 ac. / SRP	Open Space, 20-acre minimum parcel size, Scenic Resource Protection	Single family dwelling and accessory residential structures
South	OS-40 ac.	Open Space, 40-acre minimum parcel size	Single family dwelling
West	OS-80 ac. / SRP	Open Space, 80-acre minimum parcel size, Scenic Resource Protection	Single family dwelling

- 6. Project Description:** Request for a Planned Development (PD) Permit for the construction of a new single-family dwelling and accessory structures in the Scenic Resource Protection Overlay Zone. The permit would authorize construction of (1) a one-story single-family dwelling with an attached four-car garage totaling 15,784 sq. ft.; (2) an accessory dwelling unit of 1,799 sq. ft.; (3) a detached four-car garage of 1,272 sq. ft; and (4) a swimming pool. The permit would also authorize the demolition of a dilapidated shed that is not considered of historic or cultural interest and the removal of one protected Italian stone pine. The dwelling and accessory structures will cover 0.49 acres of a 20.75-acre lot.

In addition to the structural improvements, this PD Permit will also authorize grading, landscaping, installation of drainage improvements, and fuel modification. Grading will be limited to over-excavation and re-compaction of the existing building pad. Landscaping will include the planting of 58 trees as well as shrubs and vines. Groundcover will include 14,890 sq. ft. of artificial turf, 7,050 sq. ft. of ornamental planting, and 26,950 sq. ft. of native planting. Fuel modification will occur within 100 feet of proposed structures and will cover an area of approximately 3.87 acres. All drainage from the new development will be directed

to a box planter and any overflow will be conveyed to an underground retention system, both to be located in the landscaped area.

The project will also incorporate the following project design features:

- (1) **Fencing Limitation.** The applicant has voluntarily limited fencing to be constructed with materials that are not harmful to wildlife. Materials not to be used include spikes, glass, razor, or barbed wire. This limitation shall apply for the life of the project.
- (2) **Grading and Grubbing Approach.** The applicant has proposed to use a grading and grubbing approach that will not result in the temporary creation of islands of habitat. Grubbing and grading will be done from the center of the project site, working outward towards adjacent habitat where wildlife may escape.

Access to the proposed dwelling will be by way of an existing paved driveway that extends one-quarter (0.25) mile from White Stallion Road to the building pad. White Stallion Road, a paved private loop road, intersects with Potrero Road, a County-maintained arterial road, 0.36 miles west and 0.38 miles east of the project site.

Potable water will be supplied by California-American Water Company. Wastewater will be disposed of using an on-site wastewater treatment system comprised of a septic tank, secondary treatment system, and two 40-foot-deep seepage pits.

7. **List of Responsible and Trustee Agencies:** California Department of Fish and Wildlife
8. **Methodology for Evaluating Cumulative Impacts:** Pursuant to the CEQA Guidelines [Section 15064(h)(1)], this Initial Study evaluates the cumulative impacts of the project by considering the incremental effects of the proposed project in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects. More specifically, the projects noted in Table 1 were included in the evaluation of the cumulative impacts of the project, due to their proximity to the proposed project site and potential to contribute to environmental effects of the proposed project (Attachment 4, Map of Projects within the Unincorporated Ventura County):

**Table 1- Unincorporated Ventura County Pending and Recently Approved Projects Within 5 Mile Radius**

Permit No.	Status	Description
LU10-0003	Pending	Major Modification to Conditional Use Permit (CUP) No. 3817 to extend operations of a hard rock mining operation by 30 years and expand operations.

**Table 1- Unincorporated Ventura County Pending and Recently Approved Projects Within 5 Mile Radius**

Permit No.	Status	Description
PL16-0114	Pending	Minor modification to CUP No. 4301 to extend the use of agricultural accessory structures for 20 additional years. The project includes the conversion two existing caretaker's units into a single caretaker's unit and the conversion of a caretaker's unit into an agricultural office.
PL17-0088	Pending	Coastal Planned Development (PD) Permit for construction of a new swimming pool, deck, and pool cabana.
PL18-0010	Pending	Coastal PD Permit to authorize vegetation restoration in an area that had been cleared without permits.
PL19-0001	Pending	Minor Modification to CUP No. 3397 to extend the operation of an existing animal compound that trains exotic and domestic animals for use in educational events by 10 years.
PL20-0025	Pending	PD Permit to allow the construction of a single-family dwelling in the Scenic Resource Protection Overlay Zone.
PL20-0026	Pending	PD Permit to allow the construction of a single-family dwelling in the Scenic Resource Protection Overlay Zone.
PL20-0091	Approved	Minor Modification to CUP No. 3790 to extend the operations of an exotic animal compound for an additional 10 years.
PL20-0105	Approved	Minor Modification to CUP No. 5162 to extend the operation of an existing wireless communications facility by 10 years.
PL20-0135	Approved	Major Modification to CUP No. 5050 to authorize construction of a new barn for storage and animal keeping.
PL21-0006	Pending	Lot Line Adjustment between three legal lots of record.
PL21-0039	Approved	Site Plan Adjustment to Coastal PD No. PL18-0020, which authorizes construction of a single-family dwelling, accessory dwelling, detached gazebos, and a swimming pool.
PL21-0047	Pending	CUP for installation of a non-commercial antenna for HAM radio operation.
PL21-0048	Pending	Coastal PD Permit to allow construction of a single-family dwelling and detached garage.
PL21-0061	Approved	Rescission of and reentry into a Land Conservation Act contract.
PL21-0092	Pending	PD Permit to allow the construction of a single-family dwelling and detached garage in the Scenic Resource Protection Overlay Zone.

**Table 2- City of Thousand Oaks Pending and Recently Approved Projects Within 5 Mile Radius**

Permit No.	Status	Description
2008-70465	Pending	Subdivision into smaller office condominium units for office buildings.
2011-70005	Pending	Amend the Thousand Oaks Municipal Code and architectural guidelines pertaining to signs.
2014-70263	Approved	Two-year time extension for the installation of a new wireless communications facility consisting of antennas on a replacement street light and its associated equipment.
2016-70259	Pending	Construction of a new carwash at an existing gas station.
2016-70348	Approved	Demolition of an existing convenience store and service bay at an existing service station.
2016-70411	Pending	Amend Dos Vientos Specific Plan design guidelines concerning parkway and median landscaping.

2017-70044	Approved	Encroachment into 25%+ slopes in conjunction with the construction of a single-family dwelling.
2017-70048	Approved	Encroachment into 25%+ slopes for the construction of a single-family dwelling and waiver of requirement to underground existing adjacent overhead utility lines.
2017-70335	Approved	Construction of five single-family dwellings, adjust lot lines for 4 lots of record and waive the requirement to underground existing utility services.
2018-70038	Approved	Construction of a single-family dwelling with encroachment into 25%+ slopes, waive the requirement to underground the existing utilities, and to allow merger of two parcels.
2018-70257	Approved	Construction of a new one-story single-family dwelling.
2018-70339	Approved	Modifications within an existing radome light pole and equipment vault.
2019-70439	Pending	Construction of 15 industrial buildings.
2019-70508	Approved	216 residential apartment units contained within two- and three-story buildings inclusive of 26 affordable units, a 120-room, three-story hotel, and the preservation, rehabilitation, and adaptive reuse of a designated landmark (Landmark No. 12, Timber School).
2019-70542	Approved	Exterior modifications to an existing commercial building, including parking stall restriping to accommodate the installation of a 476 sq. ft. compactor pad.
2019-70742	Approved	26-unit residential apartment project.
2019-70783	Approved	Lot line adjustment between two lots of record.
2019-70829	Approved	Medical office uses within a commercial office plaza.
2019-70913	Pending	Construct a new gym building.
2019-70921	Approved	Construct a new single-family residence on a vacant lot.
2020-70230	Approved	Two-year time extension of DP 2016-70254, previously approved for the construction of a five (5)-unit apartment complex and associated development.
2020-70326	Approved	Construction of a one-story single-family dwelling.
2020-70417	Approved	Interior and exterior remodel and façade improvements to an existing hotel and restaurant, including the expansion of an outdoor dining area and reconfiguration of existing parking stalls.
2020-70606	Approved	Demolition of 5,600 sq. ft. of existing industrial building and construction of a 7,700 sq. ft. addition, including an interior and exterior remodel, hardscape, drainage, parking lot improvements, and removal and replacement of existing landscaping to accommodate proposed building modifications, site improvements, and onsite bio-retention basins.
2020-70704	Approved	Reduction in parking requirement by more than 10 spaces.
2020-70727	Pending	New 9,990 square foot building with a fenced outdoor play area to be utilized as a daycare; a new 1,800 square foot drive-through building pad; two outdoor dining areas; relocation of an existing trash enclosure; and parking modifications.
2021-70060	Pending	Construction of 16-unit apartments
2021-70172	Pending	Demolition and reconstruction of a fast food restaurant.

## Section B – Initial Study Checklist and Discussion of Responses<sup>1</sup>

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>RESOURCES:</b>								
<b>1. Air Quality (VCAPCD)</b>								
<b>Will the proposed project:</b>								
a) Exceed any of the thresholds set forth in the air quality assessment guidelines as adopted and periodically updated by the Ventura County Air Pollution Control District (VCAPCD), or be inconsistent with the Air Quality Management Plan?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 1 of the Initial Study Assessment Guidelines?		X				X		

### Impact Discussion:

**1a.** Based on information provided by the applicant, regional air quality impacts will be less than significant and below the 25 pounds per day (lbs./day) significance threshold for reactive organic compounds (ROC) and oxides of nitrogen (NO<sub>x</sub>) for the Thousand Oaks Non-Growth Area. Determination was based on information provided by the applicant and the CalEEMod air emissions modeling program version 2016.3.2, which calculated proposed operational emissions at .40 lbs./day ROC and .10 lbs./day NO<sub>x</sub>. The emissions model used a residential land use parameter for the proposed square footage of 14,000 sq. ft. single-family dwelling (SFD), 1,800 sq. ft. of accessory dwelling unit (ADU) and default settings for the land use type selected. The model calculates the expected energy (natural gas, electricity), mobile (vehicle trips) and area (consumer products, landscape, maintenance) emissions based on state and local air pollution control laws by subcategory and combines all emission sources.

The proposed project must address consistency with the AQMP if estimated operational emissions exceed 2 lbs./day or greater for ROC or NO<sub>x</sub>, as described in the AQAG, Section 4.2. The proposed project's operational emissions do not exceed 2 lbs./day for either ozone precursor, therefore, an AQMP consistency analysis is not required. The project would not conflict or obstruct with implementation of the most recent AQMP

<sup>1</sup> The threshold criteria in this Initial Study are derived from the *Ventura County Initial Study Assessment Guidelines* (April 26, 2011). For additional information on the threshold criteria (e.g., definitions of issues and technical terms, and the methodology for analyzing each impact), please see the *Ventura County Initial Study Assessment Guidelines*.

adopted (Initial Study Item Checklist C. Air Quality, Item 1) and would have a less than significant impact.

**1b.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 1 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>2a. Water Resources – Groundwater Quantity (WPD)</b>								
<b>Will the proposed project:</b>								
1) Directly or indirectly decrease, either individually or cumulatively, the net quantity of groundwater in a groundwater basin that is overdrafted or create an overdrafted groundwater basin?		X				X		
2) In groundwater basins that are not overdrafted, or are not in hydrologic continuity with an overdrafted basin, result in net groundwater extraction that will individually or cumulatively cause overdrafted basin(s)?		X				X		
3) In areas where the groundwater basin and/or hydrologic unit condition is not well known or documented and there is evidence of overdraft based upon declining water levels in a well or wells, propose any net increase in groundwater extraction from that groundwater basin and/or hydrologic unit?		X				X		
4) Regardless of items 1-3 above, result in 1.0 acre-feet, or less, of net annual increase in groundwater extraction?		X				X		
5) Be consistent with the applicable General Plan Goals and Policies for Item 2A of the Initial Study Assessment Guidelines?		X				X		

## Impact Discussion:

**2a-1 through 2a-4.** The proposed project will not directly decrease, either individually or cumulatively, the net quantity of groundwater in an over-drafted groundwater basin because the site is not located in an over-drafted basin.

The site partially overlies the Conejo Basin (Department of Water Resources [DWR] Basin No. 4-010), a very low priority basin. The site is within the Hidden Valley Municipal Water District service area but will be served water by California-American (Cal-Am) Water Company, which obtains imported State Water Project (SWP) water from Calleguas Municipal Water District. The applicant provided a Will Serve Notice from Cal-Am, dated April 16, 2021. The proposed project will not result in an increase of 1.0-acre foot or less of net groundwater extraction.

No new groundwater wells or groundwater extraction is proposed. There are several active domestic and agricultural groundwater wells on adjacent parcels. A geotechnical report titled Geotechnical Report, dated February 4, 2021, was prepared by Gold Coast Geoservices, Inc. The report indicates that no groundwater was encountered in exploratory excavations, but temporary, transient groundwater can occur due to excessive irrigation and during or following seasonal rainstorms.

The proposed project will not, either individually or cumulatively, cause an over-drafted basin from a groundwater basin that is not over-drafted or not in hydrologic/hydrogeologic continuity with an over-drafted basin, because the site will not use groundwater from a non-over-drafted basin and is not in hydrologic/hydrogeologic continuity with a documented basin.

**2a-5.** The proposed project is consistent with the applicable *Ventura County General Plan* Goals and Policies for Item 2a of the *Ventura County Initial Study Assessment Guidelines*.

## Mitigation/Residual Impact(s)

None.



Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>2b. Water Resources - Groundwater Quality (WPD)</b>								
<b>Will the proposed project:</b>								
1) Individually or cumulatively degrade the quality of groundwater and cause groundwater to exceed groundwater quality objectives set by the Basin Plan?		X				X		
2) Cause the quality of groundwater to fail to meet the groundwater quality objectives set by the Basin Plan?		X				X		
3) Propose the use of groundwater in any capacity and be located within two miles of the boundary of a former or current test site for rocket engines?		X				X		
4) Be consistent with the applicable General Plan Goals and Policies for Item 2B of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**2b-1 and 2b-2.** Sewer service is not available in the area. Wastewater will be serviced by a proposed onsite wastewater treatment system consisting of a septic tank, secondary treatment system and two seepage pits. The applicant provided an onsite wastewater treatment system design report from Gold Coast Geoservices, Inc. dated February 4, 2021.

Test borings were drilled to a maximum depth of 60 feet below ground surface (bgs). Topanga Formation material was encountered. This formation is designated as a “formation of concern” per the Ventura County Environmental Health Division (EHD). A wastewater treatment tank system is proposed to meet the EHD requirements for onsite disposal of effluent in this Formation. The secondary effluent treatment system will be capable of denitrification to meet the EHD ordinance pertaining to the “formation of concern”. The treatment system will discharge effluent to two 40 feet deep seepage pits. The seepage pit locations will maintain a horizontal setback of at least 10 feet from groundwater. No groundwater was encountered at the proposed seepage pit location. Field performance percolation testing indicated an adequate percolation rate.

The proposed project will not cause the quality of groundwater to fail to meet the groundwater quality objectives set by the Basin Plan because a secondary effluent treatment system will be used in conjunction with the proposed wastewater treatment system to comply with Ventura County Environmental Health Division regulations. Therefore the project is anticipated to result in less-than-significant project-specific and cumulative impacts to groundwater quality.

**2b-3.** The project is not located within two miles of the boundary of a former or current test site for rocket engines.

**2b-4.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 2b of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>2c. Water Resources - Surface Water Quantity (WPD)</b>								
<b>Will the proposed project:</b>								
1) Increase surface water consumptive use (demand), either individually or cumulatively, in a fully appropriated stream reach as designated by SWRCB or where unappropriated surface water is unavailable?		X				X		
2) Increase surface water consumptive use (demand) including but not limited to diversion or dewatering downstream reaches, either individually or cumulatively, resulting in an adverse impact to one or more of the beneficial uses listed in the Basin Plan?		X				X		
3) Be consistent with the applicable General Plan Goals and Policies for Item 2C of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**2c-1 and 2c-2.** Surface water is not proposed to be used for this project. The subject parcel receives its water from the California-American Water Company (Cal-Am), which obtains imported water from the State Water Project through Calleguas Municipal Water District (CMWD). The proposed project will not increase surface water consumptive use (demand) individually or cumulatively in a manner that results in an adverse impact to one or more beneficial uses identified in the Basin Plan.

Therefore, project-specific and cumulative impacts to surface water quality will be less than significant.

**2c-3.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 2c of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>2d. Water Resources - Surface Water Quality (WPD)</b>								
<b>Will the proposed project:</b>								
1) Individually or cumulatively degrade the quality of surface water causing it to exceed water quality objectives as contained in Chapter 3 of the three Basin Plans?		X				X		
2) Directly or indirectly cause storm water quality to exceed water quality objectives or standards in the applicable MS4 Permit or any other NPDES Permits?		X				X		
3) Be consistent with the applicable General Plan Goals and Policies for Item 2D of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**2d-1.** The proposed project will not individually or cumulatively degrade the quality of surface water causing it to exceed water quality objectives, as contained in Chapter 3 of the Los Angeles Basin Plan as applicable for this area. Surface Water Quality is deemed

less than significant because the proposed project is not expected to result in a violation of any surface water quality standards as defined in the Los Angeles Basin Plan.

**2d-2.** The site is not located within the County Urban Unincorporated Area or a High-Risk Area. In accordance with the Ventura Countywide Municipal Stormwater NPDES Permit CAS004002, “Development Construction Program” Subpart 4.F, the applicant will be required to include Best Management Practices (BMPs) designed to ensure compliance and implementation of an effective combination of erosion and sediment control measures for a disturbed site area greater than 1 acre (Table 7 in Subpart 4.F, SW 2). The proposed construction activities are also subject to coverage under the NPDES General Construction Permit (No. CAS000002). As such, neither the individual project nor the cumulative threshold for significance would be exceeded and the project is expected to have a less-than-significant impact related to water quality objectives or standards in the applicable MS4 Permit (Ventura Countywide Municipal Stormwater NPDES Permit CAS004002) or any other NPDES Permits.

**2d-3.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 2d of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>3a. Mineral Resources – Aggregate (Plng.)</b>								
<b>Will the proposed project:</b>								
1) Be located on or immediately adjacent to land zoned Mineral Resource Protection (MRP) overlay zone, or adjacent to a principal access road for a site that is the subject of an existing aggregate Conditional Use Permit (CUP), and have the potential to hamper or preclude extraction of or access to the aggregate resources?	X				X			
2) Have a cumulative impact on aggregate resources if, when considered with other pending and recently approved projects in the area, the project hampers or precludes extraction or access to identified resources?					X			

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
3) Be consistent with the applicable General Plan Goals and Policies for Item 3A of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**3a-1 and 3a-2.** The project site is not located within a Mineral Resource Protection (MRP) Overlay Zone or located on or adjacent to land classified as Mineral Resource Zone 2 (MRZ-2). These designations are used to indicate areas where significant mineral deposits may be present. In addition, the project site is located on White Stallion Road, which is not a principal access road to any existing mining facility. Therefore, the proposed project will not create a project specific impact and will not make a cumulatively considerable contribution to a significant impact with regards to the extraction of, or access to, aggregate mineral resources.

**3a-3.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 3a of the Ventura County Initial Study Assessment Guidelines.*

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>3b. Mineral Resources – Petroleum (Plng.)</b>								
<b>Will the proposed project:</b>								
1) Be located on or immediately adjacent to any known petroleum resource area, or adjacent to a principal access road for a site that is the subject of an existing petroleum CUP, and have the potential to hamper or preclude access to petroleum resources?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 3B of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**3b-1.** The proposed project is not located within or immediately adjacent to any known petroleum resource area. The nearest active petroleum extraction Conditional Use Permit (CUP) is located approximately 4 miles northwest of the project site. The project site is located on White Stallion Road, which does not provide access to any existing petroleum extraction operations. Therefore, the proposed project does not have the potential to hamper or preclude access to petroleum resources, would not impact these resources, and would not make a cumulatively considerable contribution to a significant cumulative impact related to petroleum resources.

**3b-2.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 3b of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>4. Biological Resources</b>								
<b>4a. Species</b>								
<b>Will the proposed project, directly or indirectly:</b>								
1) Impact one or more plant species by reducing the species' population, reducing the species' habitat, fragmenting its habitat, or restricting its reproductive capacity?			X			X		
2) Impact one or more animal species by reducing the species' population, reducing the species' habitat, fragmenting its habitat, or restricting its reproductive capacity?			X			X		

**Existing Conditions:**

Biological assessment surveys were conducted by Envicom Corporation in February, April, and June 2021 (Attachment 5; Initial Study Biological Assessment; Envicom Corporation; February 18, 2022). The survey area consists of the area proposed for development and grading plus a 200-foot buffer. The area proposed for development is

a level building pad that was graded as part of a grading permit for improvements to the parent subdivision (Parcel Map No. 3559).

Vegetation communities. Vegetation within the survey area consists of California coastal scrub, chaparral, cleared land, coast live oak woodland, and individual native trees (i.e., coast live oak and blue elderberry). The development area/limit of grading is comprised of cleared land with a 10-15 percent cover of non-native species. The upland vegetation communities within the survey area are comprised of chaparral and coastal scrub species characterized by low-growing aromatic, and drought-deciduous shrubs adapted to the semi-arid Mediterranean climate of the coastal lowlands. The native and non-native plant communities present within the survey area are summarized in the following table:

Plant Community	Development Area (acres)	Fuel Modification Zone (acres)	Total Area (acres)	Percentage of Survey Area
California sagebrush-deerweed scrub	0.10	1.40	1.50	25.3%
Chamise chaparral	0.00	0.21	0.21	3.5%
California sagebrush scrub	0.03	0.22	0.25	4.2%
Laurel sumac scrub	0.02	0.19	0.21	3.5%
Purple sage scrub	0.00	0.57	0.57	9.6%
Bush monkeyflower scrub	0.00	0.33	0.33	5.6%
Blue elderberry scrub	0.00	0.05	0.05	0.8%
Chamise – black sage chaparral	0.00	0.29	0.29	4.9%
Greenbark ceanothus scrub	0.00	0.16	0.16	2.7%
Chamise laurel sumac scrub	0.00	0.06	0.06	1.0%
Coast live oak woodland	0.00	0.10	0.10	1.7%
Cleared land	1.81	0.19	1.98	33.4%
Urban/disturbed land	0.12	0.10	0.22	3.7%
Total	2.08	3.87	5.94	100.0%

The biological survey identified 61 plant species within the survey area with 49 (82 percent) native and 12 (18 percent) non-native species. As shown above, the predominant vegetation patterns are cleared land within the development area. Within the fuel modification zone, California sagebrush-deerweed scrub is the primary vegetation community. This shrubland association is characterized by dominance of California sagebrush (*Artemisia californica*) in the shrub layer, low cover of deerweed (*Acmispon glaber*), and scattered, mostly non-native herbaceous plants. Native vegetation also includes chamise (*Adenostoma fasciculatum*), laurel sumac (*Malosam laurina*), purple

sage (*Salvia leucophylla*), bush monkeyflower (*Diplacus aurantiacus*), blue elderberry (*Sambucus nigra ssp. caerulea*), black sage (*Salvia mellifera*), and greenbark ceanothus (*Ceanothus spinosus*). Of the plant communities in the survey area, two are identified as sensitive: bush monkeyflower scrub and blue elderberry scrub.

The project site also contains protected trees (Bill Spiewak, Consulting Arborist; February 7, 2021, with addendum of May 8, 2021). Two Italian stone pines meet the criteria for heritage trees. The survey area includes a small amount of coast live oak woodland (0.1 acres). One coast live oak (*Quercus agrifolia*) is located adjacent to the limits of disturbance and will be protected in place. The project area also includes two heritage Italian stone pines (*Pinus pinea*), one of which will be removed. Additional oak tree and blue elderberry clusters are found within the fuel modification zone.

Wildlife. During the surveys several animals were observed or noted by signs/scat. These include the following: coyote (*Canus latrans*), jackrabbit (*Lepus sp.*), bobcat (*Lynx rufus*), mule deer (*Odocoileus hemionus*), California ground squirrel (*Spermophilus beecheyi*), and western fence lizard (*Sceloporus occidentalis*).

Additionally, several birds were observed or heard. These include the following: Cooper's hawk (*Accipiter cooperi*), western scrub jay (*Aphelocoma californica*), great blue heron (*Ardea herodias*), red-tailed hawk (*Buteo jamicensis*), California quail (*Callipepla californica*), turkey vulture (*Cathartes aura*), northern flicker (*Colaptes auratus*), house finch (*Haemorhous mexicanus*), California towhee (*Melospiza crissalis*), house sparrow (*Passer domesticus*), bushtit (*Psaltriparus minimus*), lesser goldfinch (*Spinus psaltria*), western kingbird (*Tyrannus verticalis*), Cassin's kingbird (*Tyrannus vociferans*), mourning dove (*Zenaidura macroura*), and white-crowned sparrow (*Zonotrichia leucophrys*).

Potential for special-status species. Special-status plant species that have a moderate to high potential to occur on the project site include the following: Malibu baccharis (*Baccharis malibuensis*), round-leafed filaree (*California macropylla*), Plummer's mariposa-lily (*Calochortus plummerae*), Conejo buckwheat (*Eriogonum crocatum*), white-veined monardella (*Monardella hypoleuca ssp. hypoleuca*), and Ojai navarretia (*Navarretia ojaiensis*).

Special status wildlife species that have a moderate to high potential to occur on the project site include the following: California legless lizard (*Anniella spp.*), Southern California legless lizard (*Anniella stebbinsi*), coast whiptail (*Aspidoscelis tigris stejnegeri*), white-tailed kite (*Elanus leucurus*), [pallid bat \(\*Antrozous pallidus\*\)](#), [Crotch's bumble bee \(\*Bombus crotchii\*\)](#), and San Diego desert woodrat (*Neotoma lepida intermedia*).

Physical features. A small area of rocky outcrop was noted within the laurel sumac scrub plant community west of the existing shed. Waters and/or wetlands were not found within the survey area.



## Impact Discussion:

**4a-1.** The proposed project will involve grading and clearing the existing 2.08-acre building pad. Additionally, the project will include fuel modification within a 100-foot buffer which consists of an additional 3.86 acres, for a total of 5.94 acres of potential land disturbance or vegetation modification.

No special-status plant species were detected during botanical surveys. Grading and construction activities will primarily affect cleared land that is barren or sparsely vegetated with non-native species. This area, which was previously graded under a County grading permit, is of little ecological value. Fuel modification will, however, impact native plant communities. These impacts are discussed in Section 4.b, below. These native plant communities have the potential to include six species of special-status plants. To ensure that these plants are not present or are adequately protected from development and initial fuel modification, the biologist completed botanical surveys during the appropriate blooming period.

The project will involve the removal of one protected heritage tree, a non-native Italian stone pine (*Pinus pinea*). An additional heritage Italian stone pine and a coast live oak which are in proximity to grading and construction limits will be preserved in place. Implementation of Mitigation Measures BIO-4 (Qualified Biologist for Construction Monitoring), BIO-5 (Protection Measures During Construction Activities), and BIO-6 (Mitigation for Impacts to Protected Trees) will reduce any potential impacts to protected trees to a less-than-significant level.

**4a-2.** No special-status wildlife species were identified on the project site during biological surveys. Several special-status species, however, have the potential to exist on the site, as discussed above under the “Existing Conditions” heading. Project grading and construction may result in direct mortality to wildlife species on the project site. In addition, loss of vegetation and dust generated during construction activities may also indirectly impact wildlife. These impacts, therefore, are considered significant. Implementation of Mitigation Measure BIO-1 (Pre-Construction Sensitive Wildlife Survey and Impact Avoidance) would ensure that this impact is reduced to a less-than-significant level.

The Federal Migratory Bird Treaty Act (MBTA) and the California Fish and Game Code protect most native birds. The project site contains suitable nesting habitat for birds within native habitats outside of the grading footprint and within the project fuel modification zone. If construction activities occur during the nesting bird season (February 1 through August 31), the project could potentially impact nesting birds protected under the MBTA and California Fish and Game Code. Nesting birds could be directly impacted (e.g., by nest destruction) or indirectly impacted (e.g., by nest abandonment due to noise and vibration) by construction activities. As a result, potentially significant impacts could occur. To address these impacts, the project will include implementation of Mitigation Measure BIO-1 (Pre-Construction Sensitive Wildlife Survey and Impact Avoidance). Additionally, the project will be subject to a standard condition of approval that requires

pre-construction surveys for nesting birds if construction activities are proposed during the nesting season. The combination of Mitigation Measure BIO-1 and the standard condition of approval concerning nest surveys will reduce potential impacts to a less-than-significant level.

**Mitigation:**

Mitigation Measure BIO-1: Pre-Construction Sensitive Wildlife Survey and Impact Avoidance

**Purpose:** To avoid significant impacts to special-status wildlife that could occur during vegetation clearing and grading.

**Requirement:** The project applicant shall implement the following:

- a. At least two weeks prior to the initiation of ground disturbance activities (e.g., vegetation removal and grading), the Permittee shall install a silt-screen fence around the disturbance areas. ~~The silt fencing must remain in place until the completion of ground disturbance activities.~~
- b. Following the installation of the silt-screen fence and within two weeks prior to the initiation of, and periodically throughout, ground disturbance activities, a County-approved qualified biologist shall conduct surveys for special-status wildlife to ensure that special-status wildlife are not harmed within these fenced areas.
- c. Individuals of these species that are found shall be relocated to suitable undisturbed habitat, outside of the areas directly and indirectly (e.g., noise) affected by ground disturbance activities. A County-approved qualified biologist, with a California Department of Fish and Wildlife (CDFW) Scientific Collecting Permit, shall conduct the surveys and relocation activities according to methods approved by the CDFW. ~~The silt fencing must remain in place until the completion of ground disturbance activities.~~ A species-specific relocation plan shall be developed in consultation with CDFW. The plan should include, but not be limited to, the following information:
  - (1) Timing and location of surveys and identification of locations where additional survey efforts will be focused.
  - (2) Habitat and conditions in any proposed relocation site(s).
  - (3) Methods that will be used to trap and relocate individuals.

**Documentation:** The Permittee shall provide to the Planning Division a signed contract with a County-approved qualified biologist that ensures that installation of the silt-screen fencing, wildlife surveys, and relocation of wildlife will be conducted within 14 days prior to, and during, any ground disturbance activities. The Permittee shall submit a memorandum to the Planning Division within 14 days of the wildlife surveys, notifying the Planning Division of the results of the surveys and avoidance and relocation activities.

**Timing:** Prior to the issuance of a Zoning Clearance for construction, the Permittee shall provide the signed contract. Within 14 days of the wildlife surveys and relocation activities, the Permittee shall provide a memorandum reporting the results.

**Monitoring and Reporting:** The Permittee shall confirm with the Planning Division that a County-approved qualified biologist has been contracted to implement the requirements of this condition prior to issuance of a Zoning Clearance for construction. The Planning Division maintains copies of the signed contract and the survey reports in the Project file. The Planning Division has the authority to inspect the property during the development phase of the Project to ensure that the survey and wildlife relocation work is conducted as required and the silt fencing is maintained as required. If the Planning Division confirms that the required surveys are not conducted as agreed upon or the fencing is not maintained as required, enforcement actions may be enacted in accordance with § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

Mitigation Measure BIO-2: Woodrat Nest Avoidance and Relocation

**Purpose:** In order to minimize impacts to woodrats, land clearing and construction activities shall be regulated.

**Requirement:** The Permittee shall conduct all demolition, tree removal/trimming, vegetation clearing, and grading activities (collectively, “land clearing activities”), and construction in such a way as to minimize impacts to woodrats. This can be accomplished by implementing one of the following options:

1. The relocation or disturbance of wood rat midden areas are prohibited during the peak nesting season (November 1 through March 15).
2. Surveys: Conduct site-specific surveys prior to land clearing or construction activities. A County-approved qualified biologist with a California Department of Fish and Wildlife (CDFW) Scientific Collecting Permit, hereafter referred to as “qualified biologist” shall survey suitable habitat for woodrats within areas that will be subject to land clearing activities, and within 50 feet of areas that will be subject to land clearing activities 14 days prior to the initiation of land clearing or construction activities.

If the qualified biologist does not find any nests, then no further action is required.

3. Avoidance Measures:
  - a. If the qualified biologist finds active woodrat nests, the Permittee shall implement a 50-foot radius buffer area around the nests in which land clearing activities will be avoided.
  - b. Wildlife exclusion fencing shall be installed around land clearing activities where middens are detected within 50 feet of the project footprint. Orange

snow fencing is not considered a wildlife exclusion fence and is prohibited in areas where middens are found.

4. Relocation of Middens: If the minimum fencing distance cannot be achieved and the middens cannot be protected and/or avoided, the qualified biologist in consultation with CDFW, will select the location of artificial midden sites according to the following instructions:
  - a. Artificial Midden Ratio: Artificial middens shall be installed at a 2:1 ratio for less than 5 middens impacted. If more than 5 middens are impacted in the population, the qualified biologist shall consult with the Planning Division to determine the appropriate ratio.
  - b. Artificial Midden Location: Midden locations shall include but not be limited to downed woody debris, cactuses, dense understory and overstory cover (ideally 90 percent cover), or other "core element" (e.g., a stump, large log, rock, rock outcrop), and outside of drainage channels. Artificial middens shall be placed in a clustered pattern relative to adjacent natural middens (when present) and no further than 550 feet of the project footprint.
  - c. Dismantling of Natural Middens: The entire midden site, including the aboveground midden and the below ground basement area, will be carefully examined to ensure that no adults or young are present before the midden is dismantled and the basement filled in.
  - d. Trapping: If woodrats are present a trapping effort will be initiated. The trapping will consist of two to three live traps per active midden site being set each evening for 3 days. The traps will be baited with oatmeal, peanut butter, and apple and will contain synthetic batting for use as nesting material. Traps will be checked the following morning within 1 hour following sunrise. Traps containing woodrats will be placed facing the entrance of relocated middens and opened, allowing the woodrats to leave the traps on their own accord. Each release site will be monitored for approximately 1 hour after each woodrat is released to determine the short-term success rate of the artificial middens.
  - e. Dismantling Middens: To provide refuge for woodrats that may be become displaced, piles of sticks/vegetation/slash shall be placed between the midden site to be dismantled and the new artificial midden site, 3 days prior to dismantling. The midden will be dismantled by hand, removing the materials layer by layer. All salvageable midden materials will be relocated and incorporated (as needed) or placed adjacent to the artificial midden.
  - d. Post-Midden Relocation: The qualified biologist will perform a survey to determine if the woodrat has reoccupied the project footprint following the implementation of the midden relocation measures.

5. Woodrat Presence and Activity After Midden Relocation:

- a. If newly constructed middens are found inside the project footprint following the commencement of land clearing activities, the trapping effort noted in section 4(d) above) shall be implemented.

**Documentation:** The Permittee shall provide to the Planning Division and CDFW a Survey Report from the qualified biologist that includes a map, physical description of middens (size, width, materials, etc.), a photo of each of the midden, and a plan for avoidance or relocation of the nests in accordance with the requirements set forth in this condition (above). Along with the Survey Report, the Permittee shall provide a copy of a signed contract (financial information redacted) with the qualified biologist(s) who will monitor avoidance and relocation efforts. Following the completion of land clearing activities, the Permittee shall submit to the Planning Division and CDFW a Mitigation Monitoring Report from the qualified biologist(s) that documents the actions implemented to avoid or relocate woodrat nests, a map of the natural and artificial midden locations, trapping and relocation procedures, and the results of the relocation effort.

**Timing:** The qualified biologist shall conduct the survey within 30 days prior to the initiation of land clearing activities and follow all relocation timing protocols set forth in this condition (above). The Permittee shall submit the Survey Report and signed contract to the Planning Division, prior to issuance of a Zoning Clearance for construction. The Mitigation Monitoring Report shall be submitted within 14 days of completion of the land clearing activities.

**Monitoring and Reporting:** The Planning Division reviews for adequacy, and maintains in the Project file, the signed contract, Survey Report, and Mitigation Monitoring Report. If the Planning Division confirms that the required surveys and relocation measures were not implemented in compliance with the requirements of this condition, then enforcement actions may be enacted in accordance with § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

Mitigation Measure BIO-3: Qualified Biologist for Construction Monitoring

**Purpose:** To minimize and avoid impacts to sensitive habitats (coast live oak woodland, Bush monkeyflower scrub and Blue elderberry scrub) within the project fuel modification zone, as well as impacts to potentially present sensitive wildlife (California legless lizard, Southern California legless lizard, California glossy snake, coastal whiptail and the San Diego desert woodrat) during construction.

**Requirement:** The Permittee shall retain the services of a County-approved qualified biologist to monitor the clearing and grubbing phase of ground-disturbance activities, and initial vegetation thinning fuel modification activities that may impact sensitive habitats and potentially present sensitive wildlife (California legless lizard, Southern California legless lizard, California glossy snake, coastal whiptail, [pallid bat](#), [Crotch's bumble bee](#), and the San Diego desert woodrat). Additionally, a wildlife exclusion fence will be placed

outside the project area to avoid any impacts to special status species during grading and grubbing.

**Documentation:** The Permittee shall provide to the Planning Division name of a designated County-approved biologist who will be present on-site during the grading, grubbing, fence installation and initial fuel modification phase, that may impact the sensitive and locally important habitats present within the survey area, special status plants if found and potentially present and special status wildlife (California legless lizard, Southern California legless lizard, California glossy snake, coastal whiptail, [pallid bat](#), [Crotch's bumble bee](#), and the San Diego desert woodrat). The Applicant shall specify (1) when the County-approved biologist must monitor the Project Site; and (2) the disturbance areas that the County-approved biologist will monitor. The Permittee shall submit a written document to the Planning Division within 14 days of the completion of ground-disturbance activities, notifying the Planning Division of the results of the monitoring.

**Timing:** The Permittee shall submit the name of a County-approved biologist to the Planning Division for review and approval, prior to any ground disturbance. The Permittee shall submit the written document that sets forth the results of the monitoring to the Planning Division, within 14 days of the completion of ground-disturbance activities.

**Monitoring and Reporting:** The Permittee submit weekly monitoring reports during the grading, grubbing, fence installation and the initial fuel modification phase and a post construction monitoring report after completion of all ground disturbing and initial fuel-modification activities.

#### Mitigation Measure BIO-4 Protection Measures During Construction Activities

**Purpose:** To avoid impacts to native habitats adjacent to or in the vicinity of the limits of disturbance, as well as special-status flora and fauna that could potentially be associated with these habitats.

#### **Requirements:**

- a) Prior to all ground disturbing activities, the Applicant shall demarcate the project limits of disturbance with temporary silt screen construction fencing to prevent encroachment of project activities into adjacent native habitats and to dissuade wildlife from entering the construction area. The fencing shall be marked with highly visible flagging. The Planning Division shall verify the fencing has been correctly installed prior to the start of ground disturbance or construction activities. Additional fencing shall also be required around oak trees whose tree protection zones are within 20 feet of construction activities. The temporary fencing shall be routinely inspected and maintained in functional condition for the duration of project construction.
- b) To reduce impacts to wildlife, the applicant will submit a construction plan that includes the following:

- 1) All construction and maintenance activities shall operate in accordance with the Construction Noise Condition which limits construction activities, to the hours of 7:00 a.m. to 7:00 p.m.
- 2) No nighttime construction activities or lighting is permitted.
- 3) No pets shall be allowed on the Project Site during construction.
- 4) All temporary and permanent food-related trash shall be disposed of in closed animal-proof containers.
- 5) During construction, trenches shall be filled within the same day or covered.
- 6) Construction equipment shall be cleaned and decontaminated of weeds and soils prior to entering the Project Site to reduce the potential for the spread and introduction of invasive and noxious weeds.

**Documentation:** Monitoring reports shall be submitted to the Planning Division after fence installation and upon completion of clearing, grubbing, and the initial vegetation thinning for fuel modification. Monitoring reports shall include a discussion of compliance with the measures listed above. If inconsistencies with measures are observed, the property owner shall cease operations and assure the preservation of the area in which the biological resources are found; notify the County Planner in writing, within three days of the discovery; obtain the County Planner's written concurrence with the recommended disposition of the site before resuming construction; and implement the agreed upon recommendations.

**Timing:** These measures shall be implemented prior to and during all ground disturbing activities throughout all construction phases of the project. Construction fencing shall be installed prior to the issuance of grading permit.

**Monitoring and Reporting:** The Planning Division reviews the monitoring reports for adequacy of implementing measures listed above. The Planning Division has the authority to inspect the Project Site to ensure that the permittee implements these measures as required.

Mitigation Measure BIO-5: Tree Protection Plan (TPP)

**Purpose:** To comply with the County's Tree Protection Regulations (TPR) set forth in § 8107-25 et seq. of the Ventura County Non-Coastal Zoning Ordinance and the Tree Protection Guidelines (TPG).

**Requirement:** The Permittee shall provide the Planning Division with a TPP that shows removal of one (1) non-native Italian stone pine heritage tree (Tree No. 1). The TPP shall also show the protection of one heritage Italian stone pine (Tree No. 2) and one coast live oak (Tree No. 3) in place. If protected trees are felled/damaged and require offsets/mitigation pursuant to the TPR (§ 8107-25.10) and TPG (§ IV.C, Offset/Replacement Guidelines), the Permittee shall post a financial assurance to cover the costs of planting and maintaining the offset trees.

**Documentation:** The Permittee shall prepare and submit to the Planning Division for review and approval, a TPP pursuant to the "Content Requirement for Tree Protection

Plans” that is currently available on-line at:  
<http://www.ventura.org/rma/planning/pdf/permits/tree/Tree-Protection-Plan-11-11-19.pdf>. The TPP must include (but is not limited to):

- a. measures to protect all TPR-protected trees whose tree protection zones (TPZs) are within 50 feet of the construction envelope (including stockpile and storage areas, access roads, and all areas to be used for construction activities) or within 10 feet of other trees proposed for felling or removal;
- b. the offset or mitigation that will be provided for any trees approved for felling; and
- c. the offset or mitigation that will be provided should any protected trees be damaged unexpectedly.

A qualified arborist<sup>2</sup> shall prepare the TPP in conformance with the County’s TPR, TPG, and “Content Requirements for Tree Protection Plans.”

If in-lieu fees will be paid to a conservation agency for tree offsets/mitigation, the Permittee shall submit to the Planning Division for review and approval, a tree mitigation plan from a conservation agency that explains how the mitigation funds will be used to support the preservation of protected trees. After the Planning Division’s review and approval of the tree mitigation plan, the Permittee shall provide the Planning Division with a copy of the contract between the conservation agency and the Permittee.

If a financial assurance is required for tree offsets/mitigation, the Planning Division shall provide the Permittee with a “Financial Assurance Acknowledgement” form. The Permittee shall submit the required financial assurance and the completed “Financial Assurance Acknowledgement” form to the Planning Division. The Permittee shall submit annual verification that any non-cash financial assurances are current and have not expired.

**Timing:** Prior to the issuance of a Zoning Clearance for construction, the Permittee shall submit the TPP to the Planning Division for review and approval, implement all prior-to-construction tree protection measures, and submit the required documentation to demonstrate that the Permittee implemented the tree protection measures. Unless otherwise approved by the Planning Director, replacement and transplant trees must be planted prior to occupancy. Other monitoring and reporting dates shall be as indicated in the approved TPP.

If in lieu fees are required and will be paid to the Planning Division’s Tree Impact Fund, the Permittee shall submit these fees prior to the issuance of a Zoning Clearance for

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<sup>2</sup> A qualified arborist may be either an International Society of Arboriculture certified arborist or a related professional, such as a landscape architect, with qualifying education, knowledge and experience, as determined by the Planning Director. The project arborist is the arborist who prepared the TPP and remains involved with implementation and monitoring of the Project.



construction. Where a TPP damaged tree addendum is prepared, the Permittee shall remit payment of the fees within 30 days of Planning Division’s approval of the addendum.

If in lieu fees are required and will be paid to an approved conservation agency, the Permittee shall submit these fees, along with the required tree mitigation plan and contract from the conservation organization, prior to the issuance of a Zoning Clearance for construction.

If a financial assurance is required, the Permittee shall submit the required financial assurance and the completed “Financial Assurance Acknowledgement” form prior to the issuance of a Zoning Clearance for construction/within 30 days of the Planning Division’s approval of the TPP damaged tree addendum. The Planning Division may release the financial assurance after receiving the report from the project arborist that verifies that the replacement trees met their final 5 or 7 year performance targets set forth in the TPP.

**Monitoring and Reporting:** The Permittee shall retain an arborist to monitor and prepare the documentation regarding the health of the protected trees, pursuant to the monitoring and reporting requirements set forth in the “Content Requirements for Tree Protection Plans.” The Planning Division maintains the approved TPP and all supporting documentation in the Project file. The Resource Management Agency Operations Division maintains copies of all financial documentation. Planning Division staff, Building and Safety Inspectors, and Public Works Agency grading inspectors have the authority to inspect the site during the construction phase of the Project, in order to verify that tree protection measures remain in place during construction activities, consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

**Residual Impacts:**

After incorporation of the above mitigation measures, impacts on biological resources – species will be reduced to a less-than-significant level.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>4b. Ecological Communities - Sensitive Plant Communities</b>								
<b>Will the proposed project:</b>								
1) Temporarily or permanently remove sensitive plant communities through construction, grading, clearing, or other activities?			X			X		

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
2) Result in indirect impacts from project operation at levels that will degrade the health of a sensitive plant community?			X			X		

**Impact Discussion:**

**4b-1 and 4b-2.** Plant communities are considered special status if they are designated as sensitive by California Department of Fish and Wildlife or if they are identified as Locally Important Species by the County of Ventura. Plant communities are also provided with legal protection when they provide habitat for protected species.

As stated in Section 4a, above, the proposed building pad was previously graded as part of a grading permit and is characterized as “cleared land” that lacks ecological importance. Project fuel modification activities, however, will affect two sensitive plant communities: bush monkeyflower scrub (0.33 acres) and blue elderberry scrub (0.05 acres). These impacts, though significant, can be mitigated to a less-than-significant level by implementing Mitigation Measures BIO-3 (Qualified Biologist for Construction Monitoring) and BIO-6 (Sensitive Plant Community Restoration – Scrub Habitats).

**Mitigation:**

Mitigation Measure BIO-6: Sensitive Plant Community Restoration – Scrub Habitats

**Purpose:** To compensate for the loss of 0.33 acre of Bush monkeyflower scrub and 0.05 acre of Blue elderberry scrub, both sensitive plant communities/ natural communities of special concern.

**Requirement:** At least 0.66 acres of Bush monkeyflower scrub and 0.10 acres of Blue elderberry scrub shall be restored and permanently protected on-site. The areas selected to be restored on-site (Restoration Areas) shall be located outside the limits of development and the fuel modification areas. The Permittee shall modify the site plan to include the Restoration Areas. The Permittee shall ensure that a County-approved, qualified biologist prepares a Restoration Plan [in consultation with California Department of Fish and Wildlife](#) that includes the following:

1. Restoration of Bush monkeyflower scrub and Blue elderberry scrub.
2. Description of the project/impact and mitigation sites.
3. Specific objectives.
4. Performance standards

5. A reference site for each vegetation alliance (Bush monkeyflower scrub and Blue elderberry scrub) that is an ecologically intact example of the alliance with minimal disturbance, with the following documented for each reference site:
  - a. Total percent cover by native plant species;
  - b. Species richness; and
  - c. Total percent cover by non-native plant species.
6. A plant palette and methods of salvaging, propagating, and planting. The plant palette shall consist only of plants propagated from locally collected (on the project site or adjacent to the project site) seeds or cuttings.
7. An implementation plan including:
  - a. Methods of soil preparation;
  - b. Method and timing of irrigation; and
  - c. Best Management Practices to avoid impacting the Bush monkeyflower scrub and Blue elderberry scrub.
8. Maintenance and monitoring necessary to ensure that the restored plant communities meet the following success criteria:
  - a. Within three years of the maintenance and monitoring program:
    - i. Absolute cover of native species no less than 60 percent; and
    - ii. Non-native species in the treated area less than 15 percent relative cover.
  - b. By Year 5 of the maintenance and monitoring program:
    - i. 90 percent of the native plant cover found for the reference site;
    - ii. 100 percent of the species richness found for the reference site; and
    - iii. Equal or lower percent cover by non-native plant species as that found for the reference site.
  - c. Restoration will be considered successful after the performance standards have been met for a period for at least one (1) year without any maintenance or remediation activities other than invasive species control.

The restored habitat that is located on the property as shown in the Restoration Plan shall be maintained in open space in perpetuity. The following shall be prohibited within the restoration area:

- a. Removal, mining, excavation, or disturbance of the soil or surface rocks or decaying material such as fallen trees;
- b. Dumping, filling, storing, disposal, burying or stockpiling of any natural or manmade materials;
- c. Erection of buildings or structures of any kind, including, but not limited to, fencing, corrals, advertising signs, antennas, and light poles;
- d. Placement of pavements, concrete, asphalt and similar impervious materials, laying of decomposed granite for pathways, or setting of stones, paving bricks, or timbers;
- e. Operation of dune buggies, motorcycles, all-terrain vehicles, bicycles, mowers, tractors, or any other types of motorized or non-motorized vehicles or equipment;
- b. Removal or alteration of native trees or plants, through such activities as irrigating, mowing, draining, plowing, tilling, or disking, except as necessary for controlled burns (for fuel reduction, as regulated by the Ventura County Fire Protection District), removal of non-native species, and native habitat restoration or maintenance (which must be under the direction of a qualified biologist);
- c. Application of insecticides or herbicides, poisons, or fertilizers;
- d. Grazing or keeping of cattle, sheep, horses or other livestock, or pet animals;
- i. Agricultural activity of any kind including the harvesting of native materials for commercial purposes;
- j. Planting, introduction, or dispersal of non-native plant or animal species;
- k. Hunting or trapping, except live trapping for purposes of scientific study or removal of non-native species;
- l. Manipulating, impounding or altering any natural watercourse, body of water or water circulation on the restoration area, and activities or uses detrimental to water quality, including but not limited to degradation or pollution of any surface or sub-surface waters;
- m. Light pollution (e.g., lighting that is located outside of, yet directed towards, the restoration area); and
- n. Other activities that damage the existing flora, fauna, or hydrologic conditions of the restoration area.

The Permittee shall record these conditions of approval and the Restoration Plan with the Office of County Recorder in the chain of title to the subject property, and shall ensure that the Restoration Plan is fully implemented.

**Documentation:** The Permittee shall provide the Planning Division with a Restoration Plan prepared by a County-approved qualified biologist that meets the requirements of this condition; and revised site plan. The Permittee shall record for the subject property (1) the conditions of this PD and (2) the Restoration Plan map, establishing that the restoration area that will remain as open space in perpetuity as a result of the Project. The Permittee shall submit a copy of the recorded conditions of approval and Restoration

Plan to the Planning Division. The Permittee shall submit a report with photographs of the restoration area and a description of the restoration work to demonstrate to the Planning Division that implementation of the Restoration Plan has commenced. The Permittee shall provide annual reports prepared by a County-approved qualified biologist on the progress of the restoration area for 5 years (or more, if the success criteria have not been met by Year 5).

**Timing:** Prior to issuance of a Zoning Clearance for construction, the Permittee shall provide the Restoration Plan and revised site plan to Planning Division staff for review and approval. The Permittee shall record these conditions of approval and the Restoration Plan, and provide a copy of the recorded conditions of approval and Restoration Plan to the Planning Division, prior to issuance of a Zoning Clearance for construction. Implementation of the Restoration Plan shall commence prior to issuance of a Zoning Clearance for use inauguration. The annual reports must be provided to the Planning Division by December 31<sup>st</sup> of each year during the monitoring period.

**Monitoring and Reporting:** The Planning Division shall review for approval the Restoration Plan and revised site plan prior to issuing a Zoning Clearance for construction. The Planning Division shall review the Permittee's report with photographs of the restoration area and a description of the restoration work to confirm that implementation of the Restoration Plan has commenced prior to issuing a Zoning Clearance for use inauguration. The restoration area must be monitored by a County-approved qualified biologist for at least 5 years (or more, if the success criteria have not been met by Year 5). The biologist shall provide an annual report on the status of the restoration area, including results of qualitative monitoring (i.e., photographs taken at permanent photo-points, observations of the health and condition of plantings and wildlife use of the restoration area) and quantitative monitoring (i.e., randomly placed transects to estimate cover and richness), to the Planning Division for the length of the monitoring period. The Permittee shall submit the annual reports to the Planning Division to demonstrate compliance with this condition and the success criteria. The release of the requirement for monitoring the restoration area may occur when the Planning Division determines that the success criteria have been met by Year 5 or later, based on the annual reports and a Planning Division staff site inspection. The Planning Division will review this Project and all future projects on the subject property to ensure compliance with the requirements of this condition. The Planning Division has the authority to inspect the site to confirm on-going compliance with this mitigation measure.

**Residual Impact:**

After incorporation of the above mitigation measure and the mitigation measures identified in Section 4a, above, impacts on sensitive plant communities will be reduced to a less-than-significant level.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>4c. Ecological Communities - Waters and Wetlands</b>								
<b>Will the proposed project:</b>								
1) Cause any of the following activities within waters or wetlands: removal of vegetation; grading; obstruction or diversion of water flow; change in velocity, siltation, volume of flow, or runoff rate; placement of fill; placement of structures; construction of a road crossing; placement of culverts or other underground piping; or any disturbance of the substratum?	X				X			
2) Result in disruptions to wetland or riparian plant communities that will isolate or substantially interrupt contiguous habitats, block seed dispersal routes, or increase vulnerability of wetland species to exotic weed invasion or local extirpation?	X				X			
3) Interfere with ongoing maintenance of hydrological conditions in a water or wetland?	X				X			
4) Provide an adequate buffer for protecting the functions and values of existing waters or wetlands?	X				X			

**Impact Discussion:**

**4c-1 through 4c-4.** The United States Fish and Wildlife Service (USFWS) National Wetlands Inventory (NWI) includes the 0.8-acre man-made pond at the northeastern corner of the property. The NWI notes that the pond is a permanently flooded palustrine system created by an impoundment and dominated by plants that grow principally on or below the surface of the water. This area was not included within the scope of the biological survey, as it is located more than 200 feet from the limits of grading. No project drainage will be conveyed to the pond. Instead, drainage will be directed to a planter box and underground retention system located in the landscaped portion of the building pad. Additionally, the project provides a sufficient buffer, as the nearest portion of the building pad is approximately 300 feet from the pond. Because the project will not involve alterations to or direct drainage to the pond, no impacts to waters or wetlands are anticipated.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>4d. Ecological Communities - ESHA (Applies to Coastal Zone Only)</b>								
<b>Will the proposed project:</b>								
1) Temporarily or permanently remove ESHA or disturb ESHA buffers through construction, grading, clearing, or other activities and uses (ESHA buffers are within 100 feet of the boundary of ESHA as defined in Section 8172-1 of the Coastal Zoning Ordinance)?	X				X			
2) Result in indirect impacts from project operation at levels that will degrade the health of an ESHA?	X				X			

**Impact Discussion:**

**4d-1 and 2.** The project site is not located in the Coastal Zone. Therefore, ESHA policies and analysis do not apply. The proposed project will not result in direct or indirect cumulatively considerable impacts to ESHA.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>4e. Habitat Connectivity</b>								
<b>Will the proposed project:</b>								
1) Remove habitat within a wildlife movement corridor?		X				X		
2) Isolate habitat?		X				X		

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
3) Construct or create barriers that impede fish and/or wildlife movement, migration or long term connectivity or interfere with wildlife access to foraging habitat, breeding habitat, water sources, or other areas necessary for their reproduction?		X				X		
4) Intimidate fish or wildlife via the introduction of noise, light, development or increased human presence?			X				X	

**Impact Discussion:**

**4e-1 through 4e-4.** The survey area does not connect with or lie close to any part of a documented wildlife corridor or linkage. As a result, no direct impacts to a mapped wildlife corridor are anticipated. The project site is surrounded by scattered residences on large parcels varying in size from 20 to 80 acres. This provides sufficient open space to support localized wildlife movement and foraging. The scattered nature of the residential development, however, serves to fragment natural habitats and reduces the likelihood that the project site will be used for access between habitat areas.

The project site is located approximately 2.3 miles east of the Santa Monica – Sierra Madre Habitat Connectivity Corridor. Project development will not result in removal of habitat within this designated movement corridor. There is open space between the project site and the Santa Monica – Sierra Madre Habitat Connectivity Corridor. Therefore, there is potentially unrestricted wildlife movement between the two areas. Roads and trails in the vicinity of the project site likely serve as conduits for wildlife, such as deer, mountain lions, or other animals.

The presence of a new single-family dwelling and accessory structures on the property will introduce new sources of night lighting. Artificial light can have a significant impact on wildlife movement if it is significant and shines into areas with potential wildlife habitat. To address this impact, Mitigation Measure BIO-7 (Lighting Plan) is proposed, which requires that the applicant submit a lighting plan limiting the intensity and directing light downward.

[Fencing associated with a single-family dwelling may also preclude movement of wildlife through the project site. As part of the project, the applicant has agreed to ensure that any fencing to be installed will not be hazardous to wildlife.](#)

[Habitat fragmentation may also result from grading and grubbing activities. The applicant has agreed to implement an approach to grading and grubbing that will ensure that islands](#)



of habitat are not created. This will be accomplished by grading/grubbing from the center of the site outward.

The proposed single-family dwelling and associated development will likely also increase levels of noise and human presence above current levels; however, significant impacts will not occur if noise levels are consistent with those typical of a residential development.

**Mitigation:**

Mitigation Measure BIO-7: Lighting Plan

**Purpose:** To ensure lighting on the subject property is provided in compliance with § 8109-4.1.5 of the Ventura County Non-Coastal Zoning Ordinance and to ensure the following objectives are met:

- a. avoids interference with reasonable use of adjoining properties;
- b. avoids conflict with landscape features;
- c. minimizes on-site and eliminates off-site glare;
- d. provides adequate on-site lighting for security;
- e. minimizes impacts to wildlife movement;
- f. minimizes energy consumption; and
- g. includes devices that are compatible with the design of the permitted facility.

**Requirement:** The Permittee shall submit two copies of a lighting plan to the Planning Division for review and approval prior to implementing such plan. The lighting plan must comply with the following:

- a. the lighting plan shall include a photometric plan and manufacturer's specifications for each exterior light fixture type (e.g., light standards, bollards, and wall mounted packs).;
- b. the lighting plan shall provide illumination information for all exterior lighting such as parking areas, walkways/driveways, streetscapes, and open spaces proposed throughout the development;
- c. in order to minimize light and glare on the project property, all exterior structure light fixtures and freestanding light standards must be a cut-off type, fully shielded, and downward directed, such that the lighting is projected downward onto the property and does not cast light on any adjacent property or roadway; and,
- d. light emanation shall be controlled so as not to produce excessive levels of glare or abnormal light levels directed at any neighboring uses. Lighting shall be kept to a minimum to maintain the normal night-time light levels in the area, but not inhibit adequate and safe working light levels.

The Permittee shall bear the total cost of the review and approval of the lighting plan. The Permittee shall install all exterior lighting in accordance with the approved lighting plan.

**Documentation:** The Permittee shall submit two copies of a lighting plan to the Planning Division for review and approval.

**Timing:** The Permittee shall obtain the Planning Division’s approval of the lighting plan prior to the issuance of a Zoning Clearance for construction. The Permittee shall maintain the lighting as approved in the lighting plan for the life of the Project.

**Monitoring and Reporting:** The Planning Division maintains a stamped copy of the approved lighting plan in the Project file. The Permittee shall ensure that the lighting is installed according to the approved lighting plan prior to occupancy. The Building and Safety Inspector and Planning Division staff have the authority to ensure that the lighting is installed according to the approved lighting plan. Planning Division staff has the authority to conduct periodic site inspections to ensure ongoing compliance with this condition consistent with the requirements of § 8114-3 of the Non-Coastal Zoning Ordinance.

**Residual Impacts:**

After incorporation of the above mitigation measure and the mitigation measures identified in Section 4a and 4b, above, impacts on habitat connectivity will be reduced to a less-than-significant level.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
4f. Will the proposed project be consistent with the applicable General Plan Goals and Policies for Item 4 of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**4f.** The proposed project has been evaluated by the Planning Division’s contract biologist for potential impacts to wetland habitats. With the exception of the man-made irrigation pond at the northeast corner of the project site, there are no watercourses, drainages, wetlands, or other aquatic features on the project site. Proposed development will be located more than 300 feet from the pond. Therefore, the project is consistent with Conservation and Open Space Element Policy COS-1.10 (Evaluation of Potential Impacts of Discretionary Development on Wetlands) and Policy COS-1.11 (Discretionary Development Sited Near Wetlands) which requires development to be set back a minimum of 100 feet from significant wetland habitats.

The proposed project is within the Thousand Oaks Area Plan boundary. The proposed project is consistent with all applicable area plan policies governing biological resources.

The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 4 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>5a. Agricultural Resources – Soils (Plng.)</b>								
<b>Will the proposed project:</b>								
1) Result in the direct and/or indirect loss of soils designated Prime, Statewide Importance, Unique or Local Importance, beyond the threshold amounts set forth in Section 5a.C of the Initial Study Assessment Guidelines?	X				X			
2) Involve a General Plan amendment that will result in the loss of agricultural soils?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 5A of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**5a-1.** The project site is mapped as “Other Land” in the Important Farmland Inventory data maintained by the California Department of Conservation as part of the Farmland Mapping and Monitoring Program. The Department of Conservation describes “Other Land” as follows:

*“Land not included in any other mapping category. Common examples include low density rural developments; brush, timber, wetland, and riparian areas not suitable for livestock grazing; confined livestock, poultry or aquaculture facilities; strip mines, borrow pits; and water bodies smaller than forty acres. Vacant and nonagricultural land surrounded on all sides by urban development and greater than 40 acres is mapped as Other Land.”*

Lands classified as “Other Lands” exclude lands that the Department of Conservation considers to be prime farmland, unique farmland, farmland of statewide importance, or farmland of local importance. Therefore, the project would not result in the direct or indirect loss of important farmland soils, would not have a project-specific impact, and will not make a cumulatively considerable contribution to a significant cumulative impact related to agricultural soil resources.

**5a-2.** The proposed project does not involve a General Plan amendment that would result in the loss of agricultural soils.

**5a-3.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 5a of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>5b. Agricultural Resources - Land Use Incompatibility (AG.)</b>								
<b>Will the proposed project:</b>								
1) If not defined as Agriculture or Agricultural Operations in the zoning ordinances, be closer than the threshold distances set forth in Section 5b.C of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 5b of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**5b-1.** The proposed project, as a single-family dwelling, is not defined as “Agricultural Operations” in the zoning ordinances. Therefore, development must be set back a minimum distance of 300 feet from adjacent agricultural operations, as established in the *Ventura County Initial Study Assessment Guidelines*. The nearest classified farmland is approximately 2,200 feet northeast of the project site. As such, the project has no impact.

**5b-2.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 5b of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>6. Scenic Resources (PInG.)</b>								
<b>Will the proposed project:</b>								
a) Be located within an area that has a scenic resource that is visible from a public viewing location, and physically alter the scenic resource either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable future projects?		X				X		
b) Be located within an area that has a scenic resource that is visible from a public viewing location, and substantially obstruct, degrade, or obscure the scenic vista, either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable future projects?		X				X		
c) Be consistent with the applicable General Plan Goals and Policies for Item 6 of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**6a and 6b.** The project site is zoned Open Space (OS). The purpose of this zone is to preserve natural resources including lakeshores, banks of rivers and streams, and watershed lands. The proposed project is also located within the Scenic Resource Protection (SRP) overlay zone, which preserves and protects visual quality within the viewshed of selected County lakes, along the County’s adopted scenic highways, and at other locations as determined by an Area Plan.

Proposed development on the property includes a one-story single-family dwelling with attached garage totaling 15,784 sq. ft., a detached garage of 1,272 sq. ft., and a detached accessory dwelling unit of 1,799 sq. ft. The proposed residence and accessory structures comply with all applicable standards in the Ventura County Non-Coastal Zoning Ordinance. The dwelling will have a height of just under 22 feet. The closest property line is 170 feet from the nearest structure. Approximately 2.3 percent of the site would be covered by structures.

The proposed development will utilize a modern design style with a mix of low-pitched hip clay tile roofs and flat roofs. Materials will consist of cream-colored stucco with limestone and wood accents. Doors and windows will use a black metal trim.

The proposed development will not be visible from the Regional Road Network. The project site is bounded on the north by White Stallion Road, a privately maintained road, and on the south by Potrero Road, an Eligible County Scenic Highway. The building pad is approximately 170 feet higher in elevation than Potrero Road. Development would be no closer than 502 feet to Potrero Road. The change in elevation and development setback ensure that all proposed structural development would not be visible from Potrero Road. The project site is not visible from other roads in the Regional Road Network.

As part of the project, the applicant proposes to remove one Italian stone pine, Tree No. 1 as identified in the arborist report (Bill Spiewak, Consulting Arborist; February 7, 2021, with addendum of May 8, 2021), which meets the size criteria to be considered a protected heritage tree. In its place, the project will include the planting of 58 trees of varying species including Majestic Beauty fruitless olive (*Olea Europaea* 'Majestic Beauty'), Marina strawberry tree (*Arbutus unedo* 'Marina'), Tuscarora crape myrtle (*Lagerstroemia indica* 'Tuscarora'), blue-leaf weeping wattle (*Acacia saligna*), and Palo Verde thornless hybrid (*Parkinsonia hybrid* 'AZT').

The project will be subject to a standard condition of approval for development in the Scenic Resource Protection overlay zone. This condition requires that development use earth-tone colors and natural-appearing exterior building materials. This requirement is designed to comply with Scenic Resource Protection overlay standards (Ventura County NCZO Section 8109-4.1.5.a) and would avoid creating visual contrast between the structures and their natural surroundings.

**6c.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 6 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>7. Paleontological Resources</b>								
<b>Will the proposed project:</b>								
a) For the area of the property that is disturbed by or during the construction of the proposed project, result in a direct or indirect impact to areas of paleontological significance?	X				X			
b) Contribute to the progressive loss of exposed rock in Ventura County that can be studied and prospected for fossil remains?	X				X			
c) Be consistent with the applicable General Plan Goals and Policies for Item 7 of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**7a and 7b.** The proposed project building pad is underlain by sedimentary rocks (sandstone interbedded with siltstone), which is mapped as part of the Topanga Formation and dates to the Miocene age (Gold Coast Geoservices, Inc.; February 4, 2021). According to the *Ventura County Initial Study Assessment Guidelines*, the Topanga Formation has “Moderate” paleontological importance. Because the Topanga Formation does not have “Moderate to High” or “High” incidence of paleontological resources, a determination of no impact may be made. All future grading activities will be subject to a standard condition of approval that requires work to stop and the Planning Director to be notified if paleontological resources are unexpectedly encountered during grading. The project will not contribute to the progressive loss of exposed rock in Ventura County that can be studied and prospected for fossil remains. As a result, no project-specific impacts to paleontological resources are anticipated and the project will not result in a cumulatively considerable contribution to a significant cumulative impact.

**7c.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 7 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>8a. Cultural Resources - Archaeological</b>								
<b>Will the proposed project:</b>								
1) Demolish or materially alter in an adverse manner those physical characteristics that account for the inclusion of the resource in a local register of historical resources pursuant to Section 5020.1(k) requirements of Section 5024.1(g) of the Public Resources Code?		X				X		
2) Demolish or materially alter in an adverse manner those physical characteristics of an archaeological resource that convey its archaeological significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for the purposes of CEQA?		X				X		
3) Be consistent with the applicable General Plan Goals and Policies for Item 8A of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**8a-1 and 8a-2.** A Phase I archaeological assessment was prepared for the subdivision that created the subject parcel by Ancient Enterprises, Inc. (July 1, 1980). The assessment notes an archaeological site existed (CA-VEN-320), however, was apparently destroyed in the late 1970s and the project archaeologist was unable to locate it. The assessment concluded that no prehistoric or cultural resources were identified during the survey of the project site.

In addition to the Phase I survey, a request for consultations were sent to six tribal contacts as required by Public Resources Code Section 210080.3.1 et seq. (AB 52): Barbareno-Ventureno Band of Mission Indians, Chumash Council of Bakersfield, Coastal Band of the Chumash Nation, Northern Chumash Tribal Council, San Luis Obispo County Chumash Council, and Santa Ynez Band of Chumash Indians. As of the publication of this document, no requests to consult have been received.

Although the proposed project is unlikely to result in impacts to archaeological resources, future ground disturbance activities will be subject to a standard condition of approval to ensure the protection of any subsurface resources that may be inadvertently encountered. With the inclusion of the standard condition of approval, the proposed



project would not demolish or materially alter in an adverse manner the physical characteristics of an archaeological resource. Therefore, the proposed project will have a less-than-significant impact on archaeological resources. Furthermore, the proposed project will not make a cumulatively considerable contribution to a significant cumulative impact related to archaeological resources.

**8a-3.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 8a of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>8b. Cultural Resources – Historic (Plng.)</b>								
<b>Will the proposed project:</b>								
1) Demolish or materially alter in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources?	X				X			
2) Demolish or materially alter in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to Section 5020.1(k) of the Public Resources Code or its identification in a historical resources survey meeting the requirements of Section 5024.1(g) of the Public Resources Code?	X				X			
3) Demolish or materially alter in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA?	X				X			

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
4) Demolish, relocate, or alter an historical resource such that the significance of the historical resource will be impaired [Public Resources Code, Sec. 5020(q)]?	X				X			

**Impact Discussion:**

**8b-1 through 8b-4.** The project site is not listed or determined to be eligible for listing as an historical site on the California Register of Historic Resources or the National Register of Historic Places. Additionally, it is not identified in an historic survey as worthy of designation as a County landmark or site of merit. There are no designated historic buildings, structures, or other historic features on the site.

The project would include the demolition of a large, dilapidated shed. The proposal was forwarded to Cultural Heritage Board (CHB) staff for review (County File No. CH21-0015). CHB staff found that the project is exempt from the Cultural Heritage Ordinance, noting that the existing structure does not possess historic integrity and is ineligible as a potential resource.

Therefore, the proposed project would not have a project-specific impact or make a cumulatively considerable contribution to a significant cumulative impact on historic resources.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>9. Coastal Beaches and Sand Dunes</b>								
<b>Will the proposed project:</b>								
a) Cause a direct or indirect adverse physical change to a coastal beach or sand dune, which is inconsistent with any of the coastal beaches and coastal sand dunes policies of the California Coastal Act, corresponding Coastal Act regulations, Ventura County Coastal Area Plan, or the Ventura County General Plan Goals, Policies and Programs?	X				X			

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
b) When considered together with one or more recently approved, current, and reasonably foreseeable probable future projects, result in a direct or indirect, adverse physical change to a coastal beach or sand dune?					X			
c) Be consistent with the applicable General Plan Goals and Policies for Item 9 of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**9a and 9b.** The project site is located approximately 7.2 miles from the coast and, at that distance, does not have the potential to adversely impact a coastal beach or sand dune. Therefore, the proposed project will not create a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact to coastal beach or sand dunes.

**9c.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 9 of the Ventura County Initial Study Assessment Guidelines.*

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>10. Fault Rupture Hazard (PWA)</b>								
<b>Will the proposed project:</b>								
a) Be at risk with respect to fault rupture in its location within a State of California designated Alquist-Priolo Special Fault Study Zone?	X							
b) Be at risk with respect to fault rupture in its location within a County of Ventura designated Fault Hazard Area?	X							

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
c) Be consistent with the applicable General Plan Goals and Policies for Item 10 of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

Any discussion of potential impacts of seismic and geologic hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

**10a and b.** There are no known active or potentially active faults extending through the proposed project based on State of California Earthquake Fault Zones in accordance with the Alquist-Priolo Earthquake Fault Zoning Act, and Ventura County General Plan Section 7.4 Geologic and Seismic Hazards, HAZ 4.1, HAZ 4.2, and HAZ 4.17. Furthermore, no habitable structures are proposed within 50 feet of a mapped trace of an active fault. There is no impact from potential fault rupture hazard. There is no known cumulative fault rupture hazard impact that will occur as a result of other approved, proposed, or probable projects.

**10c.** The proposed project is consistent with the applicable *Ventura County General Plan* Goals and Policies for Item 10 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>11. Ground Shaking Hazard (PWA)</b>								
<b>Will the proposed project:</b>								
a) Be built in accordance with all applicable requirements of the Ventura County Building Code?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 11 of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

Any discussion of potential impacts of ground shaking hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

**11a.** The property will subject to moderate to strong ground shaking from seismic events on local and regional fault systems. The County of Ventura Building Code adopted from the California Building Code, dated 2019, Chapter 16, Section 1613 requires structures be designed to withstand this ground shaking. The Geotechnical Report, (Gold Coast Geoservices; February 4, 2021) provides the structural seismic design criteria (Page 12) for the proposed project and may be required to be updated to the Building Code in effect at the time of building permit issuance. The requirements of the building code will reduce the effects of ground shaking to less than significant. The hazards from ground shaking will affect each project individually; and no cumulative ground shaking hazard will occur as a result of other approved, proposed, or probable projects.

**11b.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 11 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>12. Liquefaction Hazards (PWA)</b>								
<b>Will the proposed project:</b>								
a) Expose people or structures to potential adverse effects, including the risk of loss, injury, or death involving liquefaction because it is located within a Seismic Hazards Zone?	X							
b) Be consistent with the applicable General Plan Goals and Policies for Item 12 of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

Any discussion of potential impacts of liquefaction hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

**12a.** The project site is not located within a potential liquefaction zone based on the State of California Seismic Hazards Maps for the County of Ventura. These maps are used as the basis for delineating the potential liquefaction hazards within the county. The 2040 *Ventura County General Plan* Chapter 7, Policy HAZ-4.8, requires the county to not allow development of habitable structures with areas prone to liquefaction unless a geotechnical report is prepared, and sufficient safeguards are incorporated into the project. Gold Coast Geoservices Geotechnical Report, dated February 4, 2021, concludes the site is not within an area subject to liquefaction due to high groundwater. As the site is not within a potential liquefaction zone, there is no impact from potential hazards from liquefaction. Therefore, the project is consistent with the applicable *Ventura County General Plan* Policy, HAZ 4.8. The hazards from liquefaction will affect each project individually. No cumulative liquefaction hazard would occur as a result of other approved, proposed, or probable projects.

**12b.** The proposed project is consistent with the applicable *Ventura County General Plan* Goals and Policies for Item 12 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>13. Seiche and Tsunami Hazards (PWA)</b>								
<b>Will the proposed project:</b>								
a) Be located within about 10 to 20 feet of vertical elevation from an enclosed body of water such as a lake or reservoir?	X							
b) Be located in a mapped area of tsunami hazard as shown on the County General Plan maps?	X							
c) Be consistent with the applicable General Plan Goals and Policies for Item 13 of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

Any discussion of potential impacts of seiche and tsunami hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

**13a and 13b.** The project is not mapped within 10 to 20 vertical feet of a closed water body and based on the 2040 *Ventura County General Plan*, Chapter 7, Policies HAZ-4.14, HAZ-4.18 and 2040 *Ventura County General Plan* Background Report Section 11.2, Figure 11.9. The site is not located adjacent to a closed or restricted body of water based on aerial imagery review (photos dated December 2019, aerial imagery is under the copyrights of Pictometry) and is not subject to seiche hazard. There is no hazard from potential seiche and no impact to the proposed project.

The project is not mapped within a tsunami inundation zone based on the 2040 *Ventura County General Plan*, Chapter 7, Policies HAZ-2.7 and HAZ-4.14, and 2040 *Ventura County General Plan* Background Report Section 11.2, Figure 11.9. There is no impact from potential hazards from tsunami. Therefore, the project is consistent with the applicable General Plan Policies HAZ-2.7 and HAZ-4.14.

The hazards from seiche and tsunami will affect each project individually; and no cumulative seiche and tsunami hazard will occur as a result of other approved, proposed, or probable projects.

**13c.** The proposed project is consistent with the applicable *Ventura County General Plan* Goals and Policies for Item 13 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>14. Landslide/Mudflow Hazard (PWA)</b>								
<b>Will the proposed project:</b>								
a) Result in a landslide/mudflow hazard, as determined by the Public Works Agency Certified Engineering Geologist, based on the location of the site or project within, or outside of mapped landslides, potential earthquake induced landslide zones, and geomorphology of hillside terrain?		X						
b) Be consistent with the applicable General Plan Goals and Policies for Item 14 of the Initial Study Assessment Guidelines?		X			X			

**Impact Discussion:**

Any discussion of potential impacts from landslide/mudflow hazards is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

**14a.** The site is located in a hillside area and portions of the property outside the area of the project are located in a potential earthquake-induced landslide area. Based on analysis conducted by the California Geological Survey as part of California Seismic Hazards Mapping Act, 1991, Public Resources Code Sections 2690 2699.6, portions of the slopes within the property are within potential seismically induced landslide zones. A map showing the location of Deep-Seated Landslide Area is included as Figure 11-3 in the 2040 Ventura County General Plan Background Report, Section 11.1. The potential seismically induced landslide areas are outside of the limits of the proposed project; however, the site is located at the top of descending slopes and these slopes may be subject to earthquake induced landslide hazards. Nonetheless, the project was evaluated in a geotechnical report (Gold Coast Geoservices, Inc.; February 4, 2021), which found that sufficient slope stability factors can be maintained. In this regard, the landslide hazard is considered to be less than significant. Therefore, the project is consistent with the applicable *Ventura County General Plan Policies*, HAZ-4.4, HAZ-4.9, HAZ-4.10, and HAZ-4.11. The hazards from landslides/mudslides will affect each project individually; and no cumulative landslide/mudslide hazard will occur as a result of other approved, proposed, or probable projects.

**14b.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 14 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>15. Expansive Soils Hazards (PWA)</b>								
<b>Will the proposed project:</b>								
a) Expose people or structures to potential adverse effects, including the risk of loss, injury, or death involving soil expansion because it is located within a soils expansive hazard zone or where soils with an expansion index greater than 20 are present?	X							



Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
b) Be consistent with the applicable General Plan Goals and Policies for Item 15 of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

Any discussion of potential impacts of expansive soils hazards to the proposed project is provided for informational purpose only and is neither required by CEQA nor subject to its requirements.

**15a.** The Expansion Index test contained in the Geotechnical Report, (Gold Coast Geoservices; February 4, 2021) indicates the near surface expansion is 14, non-expansive. Future development at the site will be subject to the requirements of the County of Ventura Building Code adopted from the California Building Code, in effect at the time of construction that requires mitigation of potential adverse effects of expansive soils. There is no impact from potential hazards from expansive soils. Therefore, the project is consistent with the applicable *Ventura County General Plan Policy HAZ 4.13*. The hazards from expansive soils will affect each project individually; and no cumulative expansive soils hazard will occur as a result of other approved, proposed, or probable projects.

**15b.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 15 of the Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>16. Subsidence Hazard (PWA)</b>								
<b>Will the proposed project:</b>								
a) Expose people or structures to potential adverse effects, including the risk of loss, injury, or death involving subsidence because it is located within a subsidence hazard zone?	X							

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
b) Be consistent with the applicable General Plan Goals and Policies for Item 16 of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

Any discussion of potential impacts from subsidence hazards is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

**16a.** The subject property is not within the probable subsidence hazard zone as delineated in the Ventura County General Plan. The project does not propose the construction of new extraction wells or is within an area known for subsidence hazard (*Ventura County General Plan Policies HAZ-4.14, HAZ-4.15, HAZ-4.16*). Therefore, the project is considered to have no impact on the hazard of subsidence. Additionally, the project is consistent with the applicable *Ventura County General Plan Policies HAZ-4.14, HAZ-4.15, and HAZ-4.16*. The hazards from subsidence will affect each project individually; no cumulative subsidence hazard will occur as a result of other approved, proposed, or probable projects.

**16b.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 16 of the Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>17a. Hydraulic Hazards – Non-FEMA (PWA)</b>								
<b>Will the proposed project:</b>								
1) Result in a potential erosion/siltation hazard and flooding hazard pursuant to any of the following documents (individually, collectively, or in combination with one another):								
<ul style="list-style-type: none"> <li>• 2007 Ventura County Building Code Ordinance No.4369</li> <li>• Ventura County Land Development Manual</li> <li>• Ventura County Subdivision Ordinance</li> </ul>		X				X		

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<ul style="list-style-type: none"> <li>• Ventura County Coastal Zoning Ordinance</li> <li>• Ventura County Non-Coastal Zoning Ordinance</li> <li>• Ventura County Standard Land Development Specifications</li> <li>• Ventura County Road Standards</li> <li>• Ventura County Watershed Protection District Hydrology Manual</li> <li>• County of Ventura Stormwater Quality Ordinance, Ordinance No. 4142</li> <li>• Ventura County Hillside Erosion Control Ordinance, Ordinance No. 3539 and Ordinance No. 3683</li> <li>• Ventura County Municipal Storm Water NPDES Permit</li> <li>• State General Construction Permit</li> <li>• State General Industrial Permit</li> <li>• National Pollutant Discharge Elimination System (NPDES)?</li> </ul>								
2) Be consistent with the applicable General Plan Goals and Policies for Item 17A of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**17a 1.** The project proposes an increase of impervious surface area up to a total of approximately 39,051 square feet. To offset the additional runoff generated by the proposed project, the improvements are being designed with stormwater control measures including a planter box and an underground stormwater detention basin, as indicated in the Hydrology and Stormwater Quality Control Report, prepared by Pacific Coast Civil, Inc.(May 6, 2021) to reduce any increase in post development runoff to be equivalent to pre-development peak flow rates.

**17a-2.** The proposed project is consistent with the applicable *Ventura County General Plan* Goals and Policies for Item 17a of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>17b. Hydraulic Hazards – FEMA (WPD)</b>								
<b>Will the proposed project:</b>								
1) Be located outside of the boundaries of a Special Flood Hazard Area and entirely within a FEMA-determined 'X-Unshaded' flood zone (beyond the 0.2% annual chance floodplain: beyond the 500-year floodplain)?		X				X		
2) Be located outside of the boundaries of a Special Flood Hazard Area and entirely within a FEMA-determined 'X-Shaded' flood zone (within the 0.2% annual chance floodplain: within the 500-year floodplain)?	X				X			
3) Be located, in part or in whole, within the boundaries of a Special Flood Hazard Area (1% annual chance floodplain: 100-year), but located entirely outside of the boundaries of the Regulatory Floodway?	X				X			
4) Be located, in part or in whole, within the boundaries of the Regulatory Floodway, as determined using the 'Effective' and latest available DFIRMs provided by FEMA?	X				X			
5) Be consistent with the applicable General Plan Goals and Policies for Item 17B of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**17b-1 through 17b-4.** The project site is in a location identified by the Federal Emergency Management Agency (FEMA) as an area of minimal flood hazard Zone X unshaded. This is evidenced on FEMA Map Panel 06111C0966E effective January 20, 2010. The nearest floodplain to the project site is located roughly 2,500 feet southeast of the project site in the Hidden Valley area. The project will not increase flooding risk in downslope areas, as all drainage is directed to a planter box and underground retention system. The proposed development is therefore deemed to be less than significant for Hydraulic Hazards - FEMA.

**17b-5.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 17b of the Ventura County Initial Study Assessment Guidelines.*

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>18. Fire Hazards (VCFPD)</b>								
<b>Will the proposed project:</b>								
a) Be located within High Fire Hazard Areas/Fire Hazard Severity Zones or Hazardous Watershed Fire Areas?		X				X		
watb) Be consistent with the applicable General Plan Goals and Policies for Item 18 of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**18a.** The proposed project is located in a Very High Fire Hazard Area/Fire Hazard Severity Zone. Fire Station No. 32 (830 South Reino Road) is approximately two miles west of the project site. The project will comply with all applicable Federal and State regulations and the requirements of the Ventura County Building Code (VCBC) and Fire Code. Therefore, the proposed project will not create a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact related to fire hazards.

**18b.** The proposed project is consistent with the applicable *Ventura County General Plan* Goals and Policies for Item 18 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>19. Aviation Hazards (Airports)</b>								
<b>Will the proposed project:</b>								
a) Comply with the County's Airport Comprehensive Land Use Plan and pre-established federal criteria set forth in Federal Aviation Regulation Part 77 (Obstruction Standards)?	X				X			
b) Will the proposed project result in residential development, a church, a school, or high commercial business located within a sphere of influence of a County airport?	X				X			
c) Be consistent with the applicable General Plan Goals and Policies for Item 19 of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**19a and b.** The proposed project is not located within the airport land use planning area or sphere of influence of any public airport. Camarillo Airport and Oxnard Airport are located 9 miles west and 15 miles west of the subject site, respectively. The proposed project will not involve any obstructions to navigable airspace. The proposed residence would be just under 22 feet in height, which is below the permissible maximum height of 35 feet. Therefore, the proposed project will comply with the County's Airport Comprehensive Land Use Plan and pre-established federal criteria set forth in Federal Aviation Regulation Part 77 (Obstruction Standards). The proposed project will not create a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact related to aviation hazards.

**19c.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 19 of the Ventura County Initial Study Assessment Guidelines.*

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>20a. Hazardous Materials/Waste – Materials (EHD/Fire)</b>								
<b>Will the proposed project:</b>								
1) Utilize hazardous materials in compliance with applicable state and local requirements as set forth in Section 20a of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 20a of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**20a 1.** The proposed project is a residential development and will not utilize hazardous materials which require permitting or inspection from Ventura County Environmental Health Division/Certified Unified Program Agency but may use hazardous materials typically associated with construction activities. Improper storage, handling, and disposal of these materials may contribute to adverse impacts to the environment. Compliance with applicable state and local regulations will reduce the potential environmental impact with regards to proper handling, storage, and disposal of hazardous materials during construction activities. No project-specific or cumulative impacts related to hazardous materials, therefore, are expected.

**20a-2.** The proposed project is consistent with the applicable *Ventura County General Plan* Goals and Policies for Item 20a of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>20b. Hazardous Materials/Waste – Waste (EHD)</b>								
<b>Will the proposed project:</b>								
1) Comply with applicable state and local requirements as set forth in Section 20b of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 20b of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**20b 1.** The proposed project will not generate hazardous wastes which require a Ventura County Environmental Health Division/Certified Unified Program Agency permit. Future occupants are required to properly dispose of household hazardous wastes and used batteries in accordance with state and local regulations. No project specific or cumulative impact related to hazardous waste is expected.

**20b-2.** The proposed project is consistent with the applicable *Ventura County General Plan* Goals and Policies for Item 20b of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>21. Noise and Vibration</b>								
<b>Will the proposed project:</b>								
a) Either individually or when combined with other recently approved, pending, and probable future projects, produce noise in excess of the standards for noise in the Ventura County General Plan Goals, Policies and Programs (Section 2.16) or the applicable Area Plan?		X				X		



Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
b) Either individually or when combined with other recently approved, pending, and probable future projects, include construction activities involving blasting, pile-driving, vibratory compaction, demolition, and drilling or excavation which exceed the threshold criteria provided in the Transit Noise and Vibration Impact Assessment (Section 12.2)?		X				X		
c) Result in a transit use located within any of the critical distances of the vibration-sensitive uses listed in Table 1 (Initial Study Assessment Guidelines, Section 21)?		X				X		
d) Generate new heavy vehicle (e.g., semi-truck or bus) trips on uneven roadways located within proximity to sensitive uses that have the potential to either individually or when combined with other recently approved, pending, and probable future projects, exceed the threshold criteria of the Transit Use Thresholds for rubber-tire heavy vehicle uses (Initial Study Assessment Guidelines, Section 21-D, Table 1, Item No. 3)?		X				X		
e) Involve blasting, pile-driving, vibratory compaction, demolition, drilling, excavation, or other similar types of vibration-generating activities which have the potential to either individually or when combined with other recently approved, pending, and probable future projects, exceed the threshold criteria provided in the Transit Noise and Vibration Impact Assessment [Hanson, Carl E., David A. Towers, and Lance D. Meister. (May 2006) Section 12.2]?		X				X		
f) Be consistent with the applicable General Plan Goals and Policies for Item 21 of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**21a.** To determine whether a project will result in significant noise impacts, the *Ventura County Initial Study Assessment Guidelines* set forth standards to determine whether the

proposed use is a “Noise Sensitive Use” or a “Noise Generator.” Noise-sensitive uses are dwellings, schools, hospitals, nursing homes, churches, and libraries. Though the *Ventura County General Plan Goals, Policies, and Programs* and the *Ventura County Initial Study Assessment Guidelines* consider residential land uses a noise-sensitive use, they are not a long-term noise generator. This is because residences do not generate new heavy vehicle (e.g., semi-truck or bus) trips on uneven roadways, do not involve the creation of a new transit use, and do not involve the creation of a new commercial or industrial use that involves noise-generating activities. As the proposed project does not include a noise-generating use (except with regards to construction noise, which is addressed separately in Section 21e of this Initial Study, below), the proposed project will have no impacts related to the introduction of a new noise generator near noise-sensitive uses.

The proposed project site is located north of Potrero Road but would be outside of the 60 dB(A) Community Noise Equivalent Level (CNEL) contour as mapped in the RMA-GIS noise contour maps. Therefore, future residential uses on the project site will not be subject to noise levels from traffic along Potrero Road, which may be incompatible with residential development. In addition, the proposed project site is not located within five miles of any airports or railroads. Therefore, the proposed project will not be subject to unacceptable levels of noise from these noise generators.

**21b and 21e.** The proposed project includes the construction of a new single-family dwelling and accessory structures. As part of the development, the building pad will be over-excavated and re-compacted. Construction activities could include such vibration-generating activities as vibratory compaction and drilling to create two 40-foot-deep seepage pits. These activities could lead to ground-borne vibration which could affect nearby structures. The nearest structures to the building pad are a single-family dwelling and an accessory dwelling unit, located approximately 474 feet west and 235 feet east, respectively. Given the distance to these structures, vibration generated from the project are expected to attenuate to less-than-significant levels before reaching a nearby structure. Although the proposed development is unlikely to generate excessive ground-borne vibration or ground-borne noise levels, it will be subject to a standard condition of approval limiting construction hours. This condition is designed to ensure compliance with *Ventura County General Plan Policy HAZ-9.2 (Noise Compatibility Standards)*. Therefore, the proposed project will not have a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact related to vibration-generating activities.

**21c.** The proposed project does not involve the creation of vibration-generating transit use. Therefore, the proposed project will not have a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact related to the creation of a transit use located within any of the critical distances of the vibration-sensitive uses listed in Table 1 of the *Ventura County Initial Study Assessment Guidelines*, Section 21.

**21d.** The project site has direct access to White Stallion Road, which is a paved street. The proposed project will not involve the use of semi-trucks or buses. Therefore, the proposed project will not have a project-specific vibratory impact and will not make a cumulatively considerable contribution to a significant cumulative vibratory impact related to the use of rubber tire heavy vehicles.

**21f.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 21 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>22. Daytime Glare</b>								
<b>Will the proposed project:</b>								
a) Create a new source of disability glare or discomfort glare for motorists travelling along any road of the County Regional Road Network?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 22 of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**22a.** The proposed project site is located adjacent to Potrero Road, an eligible scenic County highway. The proposed project includes the construction of a single-family dwelling and accessory structures, which could introduce new sources of light or reflective surfaces (e.g., windows) that could possibly produce disability glare. Pursuant to Mitigation Measure BIO-7 (See Section 4e, above), the applicant will provide a lighting plan to ensure that new light sources associated with the proposed project would not illuminate areas outside of the project area. As discussed in Section 6e, the proposed structures will not be visible from Potrero Road or any other roads in the Regional Road Network due to topography. As a result, no impacts to passing motorists caused by glare from reflective windows are anticipated. Therefore, the proposed project would have a less-than-significant project-specific impact and would not make a cumulatively considerable contribution to a significant cumulative impact associated with disability or discomfort glare.

**22b.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 22 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>23. Public Health (EHD)</b>								
<b>Will the proposed project:</b>								
a) Result in impacts to public health from environmental factors as set forth in Section 23 of the Initial Study Assessment Guidelines?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 23 of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**23a.** The proposed project has the potential to impact public health due to the use of an onsite wastewater treatment system (OWTS). An OWTS that is undersized, improperly installed, failing, or poorly maintained has the potential to create a public nuisance and/or contaminate groundwater. Potential impacts can be reduced to less than significant with adherence to state and local OWTS regulations and proper maintenance of tanks and disposal fields. The septic tank must be pumped by a Ventura County Environmental Health Division (EHD) permitted pumper, and septage wastes must be disposed of in an approved manner. Because future residents will be required to comply with applicable regulations pertaining to the maintenance of septic systems and disposal of septage wastes, public health impacts will be less than significant.

Water for the project will be provided by California-American Water Company. As a result, the proposed project will not adversely affect public health as it relates to domestic water supply.

**23b.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 23 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>24. Greenhouse Gases (VCAPCD)</b>								
<b>Will the proposed project:</b>								
a) Result in environmental impacts from greenhouse gas emissions, either project specifically or cumulatively, as set forth in CEQA Guidelines §§ 15064(h)(3), 15064.4, 15130(b)(1)(B) and -(d), and 15183.5?		X				X		

**Impact Discussion:**

**24a.** The Ventura County Air Pollution Control District (VCAPCD) has not yet adopted an approach to setting a greenhouse gas threshold of significance for land use development projects. The estimated GHG emissions from the project were calculated at 33 MTCO<sub>2</sub>e/yr (operational and construction amortized over 30 years). The CalEEMod Version 2016.3.2 emissions model was used to calculate the expected energy (natural gas, electricity), mobile (vehicle trips) and area (consumer products, landscape, maintenance) emissions based on state and local air pollution control laws by subcategory, combining all emission sources. The GHG emissions estimated for the project are below the recommended lower 3,000 MT CO<sub>2</sub>e/Yr threshold for residential projects used in neighboring air districts. Therefore, the project specific and cumulative impacts to greenhouse gases will be less than significant.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>25. Community Character (Plng.)</b>								
<b>Will the proposed project:</b>								
a) Either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable probable future projects, introduce physical development that is incompatible with existing land uses, architectural form or style, site design/layout, or density/parcel sizes within the community in which the project site is located?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 25 of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**25a.** In accordance with the adopted *Ventura County Initial Study Assessment Guidelines*, a project’s effect on community character is evaluated based on consistency with specific General Plan policies and whether it would introduce physical development that is incompatible with existing land uses. The project site is located on land zoned Open Space (OS). The purpose of this zone is to preserve natural resources, including lakeshores, banks of rivers and streams, and watershed lands. The project site is also located within the Scenic Resource Protection (SRP) overlay zone. The purpose of this zone is to protect the visual quality within the viewshed of selected County lakes and scenic roadways and to minimize development that conflicts with the value of scenic resources.

The proposed project site is in the White Stallion Ranch, a 10-lot subdivision consisting of custom homes on 20-acre lots. White Stallion Ranch and the surrounding area is developed with one- and two-story single-family residences using a variety of architectural styles. Residences in the surrounding area are large, ranging in size from 5,000 sq. ft. to over 18,000 sq. ft. The proposed project would result in the construction of a one-story single-family dwelling and accessory structures consistent with the development standards set forth for the Open Space, 20-acre minimum parcel size zone and the Scenic Resource Protection overlay zone (NCZO Sec. 8109-4.1.5). The residence is similar to existing residential development in and around the White Stallion Ranch area with respect to size, placement, height, and design. The maximum building coverage is 43,560 sq. ft. and the proposed project would cover 21,334 sq. ft. The project complies with height and setback requirements of the Ventura County NCZO (Sec. 8106-1.1 et seq.).

As discussed in Section 6, the proposed residence uses a modern architectural design with a mix of low-pitched hip roofs and flat roofs. The structures are proposed to use a cream color, comprised of stucco with limestone and wood accents. This design is compatible with the eclectic mix of architectural styles in and around White Stallion Ranch.

Therefore, the proposed project will not create a significant project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact related to community character.

**25b.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 25 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>26. Housing (PIng.)</b>								
<b>Will the proposed project:</b>								
a) Eliminate three or more dwelling units that are affordable to: <ul style="list-style-type: none"> <li>• moderate-income households that are located within the Coastal Zone; and/or,</li> <li>• lower-income households?</li> </ul>	X				X			
b) Involve construction which has an impact on the demand for additional housing due to potential housing demand created by construction workers?	X				X			
c) Result in 30 or more new full-time-equivalent lower-income employees?	X				X			
d) Be consistent with the applicable General Plan Goals and Policies for Item 26 of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**26a.** The proposed project will not eliminate any existing dwelling units and will result in the construction of a new single-family dwelling. Therefore, the proposed project would not have an adverse impact on existing dwelling units within Ventura County and would not make a considerable contribution to a cumulatively significant impact related to removal of dwelling units.

**26b.** As stated in the *Initial Study Assessment Guidelines* (page 146), any project that involves construction has an impact on the demand for additional housing due to potential housing demand created by construction workers. However, construction worker demand is a less-than-significant project-specific and cumulative impact because construction work is short-term and there is a sufficient pool of construction workers within Ventura County and the Los Angeles metropolitan regions.

**26c.** The proposed project will not result in 30 or more new full-time-equivalent lower-income employees, as the proposed project will not facilitate the development of a new commercial or industrial use on the subject property. Therefore, the proposed project will not create a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact, related to the demand for housing for employees associated with commercial or industrial development.

**26d.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 26d of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27a(1). Transportation &amp; Circulation - Roads and Highways - Level of Service (LOS) (PWA)</b>								
<b>Will the proposed project:</b>								
a) Cause existing roads within the Regional Road Network or Local Road Network that are currently functioning at an acceptable LOS to function below an acceptable LOS?		X				X		

**Impact Discussion:**

**27a(1)-a.** The California Natural Resources Agency has adopted new CEQA Guidelines that require an analysis of vehicle miles travelled (VMT). VMT measures the per capita



number of car trips generated by a project and distances cars will travel to and from a project rather than congestion levels at intersections and road segments (level of service of “LOS,” graded on a scale of A-F). Ventura County will only require LOS analysis to determine consistency with the County’s General Plan policies. LOS will not be assessed for CEQA purposes.

Trip- or tour-based VMT analysis is recommended over boundary-based VMT analysis as the established and most appropriate methodology for analyzing VMT impacts under CEQA. Trip-based assessment of VMT capture the full extent of the vehicle trip length, including the portion that extends beyond the jurisdictional boundary. VMT impacts are assessed by quantifying trips to or from a jurisdiction, which start or end within the jurisdiction. Conversely, a boundary-based assessment of VMT impacts is quantified by the length of the vehicle trips that occur within the boundaries of a jurisdiction.

Based on the Office of Planning and Research (OPR) Screening Criteria under Senate Bill (SB) 743, if a proposed land use project is consistent with Policies CTM-1.1 and CTM-1.2 of the *Ventura County 2040 General Plan* and the Regional Transportation Plan / Sustainable Communities Strategy (RTP/SCS) regionally adopted by Southern California Association of Governments (SCAG), projects that generate or attract fewer than 110 trips per day are presumed to have a less-than-significant impact on VMT. For residential land uses, OPR recommends a VMT per capita threshold set at 15 percent below baseline levels. Using the Ventura County Transportation Commission (VCTC) Ventura County Traffic Model (VCTM), the average trip length of all home-based model trip types has been used as more reflective of Ventura County’s transportation setting while still containing a per capita estimate. Based on VCTM’s baseline, the average trip length for all home-based trips is 19.84 miles. Applying the 15 percent reduction yields a VMT threshold of 16.87 miles, which is the threshold of significant for residential land use projects.

The proposed dwelling is adjacent to White Stallion Road. The project site also fronts Potrero Road along its southern boundary. The term ‘average’ of all home-based trips refers to the ‘middle’ or ‘central’ point that is a typical representation of several trips generated in one day. The proposed dwellings home-based trips will likely average one per day given the distance to employment centers and public services. Based on the above 16.87-mile VMT and the location of the residence in relation to Potrero Road, the VMT that would be generated from the proposed development would not exceed the threshold.

Vehicle trips generated by the residence are not expected to result in a VMT impact consistent with the VMT reduction goals of the OPR’s Technical Advisory on Evaluating Transportation Impacts and would not conflict or be inconsistent with CEQA Guidelines Section 15064.3, subdivision (b).

The proposed project includes the construction of a single-family dwelling and detached accessory structures and will generate additional traffic on the local public roads and the Regional Road Network. To address the cumulative adverse impacts of traffic on the

Regional Road Network, Ventura County Traffic Impact Mitigation Fee (TIMF) Ordinance 4246, Thousand Oaks Area Plan Policy TO-13.3, and *Ventura County General Plan* Policy CTM-1.7 (Pro-Rata Share of Improvements) require that the Roads and Transportation Department of the Public Works Agency collect a TIMF for traffic-generating development. The proposed project is subject to this ordinance and these policies. With payment of the TIMF, the level of service and safety of the existing roads would remain consistent with the level of service standards set forth in the *Ventura County General Plan*. Therefore, adverse traffic impacts relating to level of service will be less than significant.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27a(2). Transportation &amp; Circulation - Roads and Highways - Safety and Design of Public Roads (PWA)</b>								
<b>Will the proposed project:</b>								
a) Have an Adverse, Significant Project-Specific or Cumulative Impact to the Safety and Design of Roads or Intersections within the Regional Road Network (RRN) or Local Road Network (LRN)?		X				X		

**Impact Discussion:**

**27a(2)-a.** The proposed project would result in the construction of a single-family dwelling, which corresponds to an increase in traffic. Potrero Road is a public road that will provide access to the project site by way of White Stallion Road, a private road. The project, as proposed, does not have the potential to alter the level of safety of roadways and intersections near the project. Therefore, the project, as proposed, does not have the potential to alter the level of safety of roadways and intersections near the project and associated impacts would be less than significant. Impacts related to safety/design of County roads will therefore be less than significant.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27a(3). Transportation &amp; Circulation - Roads &amp; Highways – Safety &amp; Design of Private Access (VCFPD)</b>								
a) If a private road or private access is proposed, will the design of the private road meet the adopted Private Road Guidelines and access standards of the VCFPD as listed in the Initial Study Assessment Guidelines?	X				X			
b) Will the project be consistent with the applicable General Plan Goals and Policies for Item 27a(3) of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**27a(3)-a.** Access to the proposed building pad will be by way of an existing paved driveway extending from White Stallion Road, which is a paved private road. White Stallion Road meets minimum VCFPD access standards. No new private roads are proposed. Therefore, the proposed project will not have a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact related to safety and design of private access.

**27a(3)-b.** The proposed project is consistent with the applicable *Ventura County General Plan* Goals and Policies for Item 27a(3) of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27a(4). Transportation &amp; Circulation - Roads &amp; Highways - Tactical Access (VCFPD)</b>								
<b>Will the proposed project:</b>								
a) Involve a road or access, public or private, that complies with VCFPD adopted Private Road Guidelines?	X				X			
b) Be consistent with the applicable General Plan Goals and Policies for Item 27a(4) of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**27a(4)-a.** Potrero Road is an existing public road serving the project site and is in full compliance of VCFPD requirements. No new public or private roads are proposed for this project. Therefore, the proposed project will not have a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact related to tactical access.

**27a(4)-b.** The proposed project is consistent with the applicable *Ventura County General Plan* Goals and Policies for Item 27a(4) of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27b. Transportation &amp; Circulation - Pedestrian/Bicycle Facilities (PWA/PIng.)</b>								
<b>Will the proposed project:</b>								
1) Will the Project have an Adverse, Significant Project-Specific or Cumulative Impact to Pedestrian and Bicycle Facilities within the Regional Road Network (RRN) or Local Road Network (LRN)?		X				X		
2) Generate or attract pedestrian/bicycle traffic volumes meeting requirements for protected highway crossings or pedestrian and bicycle facilities?		X				X		
3) Be consistent with the applicable General Plan Goals and Policies for Item 27b of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**27b-1 and 2.** The proposed project will not generate significant pedestrian and bicycle traffic. Therefore, adverse impacts relating to the addition of pedestrians and bicycles into the area will be less than significant.

**27b-3.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 27b of the Ventura County Initial Study Assessment Guidelines.*

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27c. Transportation &amp; Circulation - Bus Transit</b>								
<b>Will the proposed project:</b>								
1) Substantially interfere with existing bus transit facilities or routes, or create a substantial increase in demand for additional or new bus transit facilities/services?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27c of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**27c-1.** There are no bus facilities within the vicinity of the project site with which the proposed project could interfere. The nearest bus stop is a Thousand Oaks Transit stop, located 2 miles northwest of the proposed project at Wendy Drive and Corning Street in Newbury Park. In addition, the proposed project will not have project-specific adverse impacts and will not make a cumulatively considerable contribution to a significant cumulative impact related to bus transit facilities or service.

**27c-2.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 27c of the Ventura County Initial Study Assessment Guidelines.*

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27d. Transportation &amp; Circulation - Railroads</b>								
<b>Will the proposed project:</b>								
1) Individually or cumulatively, substantially interfere with an existing railroad's facilities or operations?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27d of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**27d-1.** There are no railroads within the vicinity of the project site with which the proposed project could interfere. The nearest railroad is located seven miles west of the project site (Union Pacific Railroad in Camarillo). The proposed project will not create additional demand for railroad facilities or operations. Therefore, the proposed project will not have a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact related to railroad facilities.

**27d-2.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 27d of the Ventura County Initial Study Assessment Guidelines.*

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27e. Transportation &amp; Circulation – Airports (Airports)</b>								
<b>Will the proposed project:</b>								
1) Have the potential to generate complaints and concerns regarding interference with airports?	X				X			

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
2) Be located within the sphere of influence of either County operated airport?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 27e of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**27e-1 and 27e-2.** The proposed project site is not located within the airport planning area of an airport. The nearest public airport, Camarillo Airport, is located 8.8 miles northwest of the subject site. The proposed single-family dwelling is just under 22 feet in height as measured from average natural grade to the midpoint of the roof and will not exceed the maximum height of 35 feet above average natural grade as allowed by the Ventura County NCZO. Proposed development will not involve the introduction of substantial lighting or other features that could interfere with air traffic safety. Potential impacts from lighting-based glare will be mitigated to a less-than-significant level by implementing Mitigation Measure BIO-7 (see Section 4e, above), which calls for the preparation of a lighting plan. Furthermore, this type of development is not expected to generate complaints or concerns regarding interference with airports. Therefore, the proposed project will not have a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact related to airport facilities or operations.

**27e-3.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 27e of the Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.



Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27f. Transportation &amp; Circulation - Harbor Facilities (Harbors)</b>								
<b>Will the proposed project:</b>								
1) Involve construction or an operation that will increase the demand for commercial boat traffic and/or adjacent commercial boat facilities?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27f of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**27f-1.** The project site is not located adjacent to a harbor, will not affect the operations of a harbor, and will not increase the demands on harbor facilities. The nearest harbor, Port Hueneme, is located 15.4 miles west of the project site. Therefore, the proposed project will not have a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact related to harbor facilities.

**27f-2.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 27f of the Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27g. Transportation &amp; Circulation - Pipelines</b>								
<b>Will the proposed project:</b>								
1) Substantially interfere with, or compromise the integrity or affect the operation of, an existing pipeline?	X				X			

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
2) Be consistent with the applicable General Plan Goals and Policies for Item 27g of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**27g-1.** There are no major or minor pipelines that traverse or enter the subject property, nor are there any pipelines within proximity to the project site. The closest pipeline is located 4.4 miles northeast of the project site. Therefore, the proposed project will not result in project-specific impacts and will not make a cumulatively considerable contribution to a significant cumulative impact related to pipelines.

**27g-2.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 27g of the Ventura County Initial Study Assessment Guidelines.*

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>28a. Water Supply – Quality (EHD)</b>								
<b>Will the proposed project:</b>								
1) Comply with applicable state and local requirements as set forth in Section 28a of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 28a of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**28a 1.** Domestic Water Supply for the proposed project will be provided by the California-American Water Company (Cal-Am). A Will Serve Letter dated April 16, 2021 was submitted for the project site. Cal-Am will supply water service, without exception to the

subject property. However, arrangements may have to be made for the installation of water service connection(s) or other appurtenances. Any costs associated with the installation of water service connection(s) or other appurtenances will be the sole responsibility of the property owner. The proposed project will not have any project specific or cumulative impacts to the domestic water supply.

**28a-2.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 28a of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>28b. Water Supply – Quantity (WPD)</b>								
<b>Will the proposed project:</b>								
1) Have a permanent supply of water?	X				X			
2) Either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable probable future projects, introduce physical development that will adversely affect the water supply - quantity of the hydrologic unit in which the project site is located?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 28b of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**28b-1.** The site is within the Hidden Valley Municipal Water District service area but will be served water by California American (Cal-Am) Water Company which obtains imported State Water Project (SWP) water from Calleguas Municipal Water District. A Will Serve Notice from Cal-Am Water, dated April 16, 2021 was provided by the applicant. Because Cal-Am can supply domestic water to the proposed project, no project-specific or cumulative impacts regarding the permanent supply of water are expected.

**28b-2.** The proposed development would introduce 39,051 sq. ft. of new impervious surfaces. A letter dated April 20, 2021 from Pacific Coast Civil, Inc. indicates that changes to the existing site drainage patterns would occur on a proposed graded pad at the top of a hill located within the project site boundaries. The drainage from this area will be collected and directed to a planter bed. Overflow from the planter bed will then be conveyed to an underground retention system, which will function as a retention/detention stormwater control measure for the added stormwater volume generated from the proposed new impervious surfaces. Based on the provided technical assessment, the new impervious surface area is not likely to adversely affect hydrologic unit recharge or the availability of groundwater resources in the vicinity of the site. The proposed project will not, either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable probable future projects, introduce physical development that would adversely affect the water supply – quantity.

**28b-3.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 28b of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>28c. Water Supply - Fire Flow Requirements (VCFPD)</b>								
<b>Will the proposed project:</b>								
1) Meet the required fire flow?		X				X		
2) Be consistent with the applicable General Plan Goals and Policies for Item 28c of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**28c-1.** California-American Water Co. (Cal-Am) will provide water for the proposed project. Pursuant to Cal-Am’s Water Availability Letter dated April 16, 2021, the water company can provide the required fire flow in accordance with Ventura County Waterworks Manual (VCWWM) and the Ventura County Fire Protection District (VCFPD) Fire Code. Furthermore, the permittee will be required to comply with all applicable federal and state regulations and the requirements of the Ventura County Building Code. Therefore, the project will have a less-than-significant impact and will not make a

cumulatively considerable contribution to a significant cumulative impact related to fire flow.

**28c-2.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 28c of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>29a. Waste Treatment &amp; Disposal Facilities - Individual Sewage Disposal Systems (EHD)</b>								
<b>Will the proposed project:</b>								
1) Comply with applicable state and local requirements as set forth in Section 29a of the Initial Study Assessment Guidelines?		X				X		
2) Be consistent with the applicable General Plan Goals and Policies for Item 29a of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**29a 1.** The proposed project will install a new 3,775-gallon septic tank with two 5-foot by 40-foot-deep seepage pits. A soils report dated February 4, 2021 shows the site is suitable for a conventional septic system with a secondary effluent treatment system. A complete and detailed evaluation of the proposed OWTS shall be conducted by the Environmental Health Division (EHD) during the plan review and construction permitting process. Conformance with the County Building Code Ordinance, State OWTS policy, and EHD guidelines, as well as proper routine maintenance of OWTS, will reduce any project-specific and cumulative impacts to a level considered less than significant.

**29a-2.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 29a of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>29b. Waste Treatment &amp; Disposal Facilities - Sewage Collection/Treatment Facilities (EHD)</b>								
<b>Will the proposed project:</b>								
1) Comply with applicable state and local requirements as set forth in Section 29b of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 29b of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**29b 1.** The proposed project will utilize an onsite wastewater treatment system and will not require connection to a sewage collection facility. The project will not have any project specific or cumulative impacts to a sewage collection facility.

**29b-2.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 29b of the Ventura County Initial Study Assessment Guidelines.*

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>29c. Waste Treatment &amp; Disposal Facilities - Solid Waste Management (PWA)</b>								
<b>Will the proposed project:</b>								
1) Have a direct or indirect adverse effect on a landfill such that the project impairs the landfill's disposal capacity in terms of reducing its useful life to less than 15 years?		X				X		

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
2) Be consistent with the applicable General Plan Goals and Policies for Item 29c of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**29c 1.** As required by California Public Resources Code (PRC) 41701, Ventura County's Countywide Siting Element (CSE), adopted in June 2001 and updated annually, confirms Ventura County has at least 15 years of disposal capacity available for waste generated by County projects. Because the County currently exceeds the minimum disposal capacity required by state PRC, the proposed project will have less than a significant project specific impacts upon Ventura County's solid waste disposal capacity.

In accordance with California's Green Building Standards Code (CALGreen) Sections 4.408 and 5.408, Ventura County Ordinance Code Section 4781 (Ordinance 4421) requires all discretionary permit applicants whose proposed project includes construction and/or demolition activities to reuse, salvage, recycle, or compost a minimum of 65 percent of the solid waste generated by their project. Public Works Agency Integrated Waste Management Division's construction and demolition Waste diversion program (Form B Recycling Plan/Form C Report) ensures this 65 percent diversion goal is met prior to issuance of a final occupancy, consistent with the 2040 Ventura County General Plan's Solid and Hazardous Waste Goals PSF 5.3 and 5.9. Therefore, the proposed project will have less than significant project specific impacts and will not make a cumulatively considerable contribution to significant cumulative impacts related to the Ventura County General Plan's goals and policies for solid waste disposal capacity.

**29c-2.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 29c of the Ventura County Initial Study Assessment Guidelines.*

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>29d. Waste Treatment &amp; Disposal Facilities - Solid Waste Facilities (EHD)</b>								
<b>Will the proposed project:</b>								
1) Comply with applicable state and local requirements as set forth in Section 29d of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 29d of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**29d 1.** The proposed project does not involve a solid waste operation or facility. The project will not have any project specific or cumulative impacts related to a solid waste operation or facility.

**29d-2.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 29d of the Ventura County Initial Study Assessment Guidelines.*

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>30. Utilities</b>								
<b>Will the proposed project:</b>								
a) Individually or cumulatively cause a disruption or re-routing of an existing utility facility?	X				X			



Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
b) Individually or cumulatively increase demand on a utility that results in expansion of an existing utility facility which has the potential for secondary environmental impacts?	X				X			
c) Be consistent with the applicable General Plan Goals and Policies for Item 30 of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**30a and 30b.** The proposed construction of a single-family dwelling will not result in the extension of utility services outside areas of current service. The proposed project will not cause a disruption or re-routing of an existing utility facility, nor will it increase demand of a utility that results in expansion of an existing facility. Therefore, the proposed project will not result in project-specific impacts and will not make a cumulatively considerable contribution to a significant cumulative impact related to existing utility facilities.

**30c.** The proposed project is consistent with the applicable *Ventura County General Plan* Goals and Policies for Item 30 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>31a. Flood Control Facilities/Watercourses - Watershed Protection District (WPD)</b>								
<b>Will the proposed project:</b>								
1) Either directly or indirectly, impact flood control facilities and watercourses by obstructing, impairing, diverting, impeding, or altering the characteristics of the flow of water, resulting in exposing adjacent property and the community to increased risk for flood hazards?		X				X		

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
2) Be consistent with the applicable General Plan Goals and Policies for Item 31a of the Initial Study Assessment Guidelines?		X				X		

**Impact Discussion:**

**31a-1.** The proposed Project is situated roughly 3,000 feet northwest of Hidden Valley Creek, which is a Watershed Protection (WP) jurisdictional redline channel. No direct connections to this WP channel are proposed or indicated on the submitted materials.

This proposed project would result in an increase of impervious area within the subject property. It is understood that impacts from the proposed increase in impervious area and stormwater drainage design within each drainage area will be required to be mitigated to less than significant under the conditions imposed by the County of Ventura Public Works Agency, Engineering Services Division, Land Development Services, requiring that runoff from the proposed Project site will be released at no greater than the existing flow rate and in such manner as to not cause an adverse impact downstream in peak discharge, velocity or duration. The proposed project accomplished this by directing drainage from the developed area to a planter box and underground retention system.

**31a-2.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 31a of the Ventura County Initial Study Assessment Guidelines.*

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>31b. Flood Control Facilities/Watercourses - Other Facilities (PWA)</b>								
<b>Will the proposed project:</b>								
1) Result in the possibility of deposition of sediment and debris materials within existing channels and allied obstruction of flow?		X			X			

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
2) Impact the capacity of the channel and the potential for overflow during design storm conditions?		X			X			
3) Result in the potential for increased runoff and the effects on Areas of Special Flood Hazard and regulatory channels both on and off site?		X			X			
4) Involve an increase in flow to and from natural and man-made drainage channels and facilities?		X			X			
5) Be consistent with the applicable General Plan Goals and Policies for Item 31b of the Initial Study Assessment Guidelines?		X			X			

**Impact Discussion:**

**31b-1 through 31b-4.** The project preserves the existing general drainage patterns. This project will not create an obstruction of flow in the existing drainage as proposed site runoff will generally maintain the existing drainage patterns. Future development will be completed according to current codes and standards that will require no increase in sediment discharge or obstruction of flows in existing channels. All stormwater runoff from the developed area will be directed to the planter box and underground retention system, maintaining the flow equal or less than pre-development peak flow rates and mitigating the increased flows from the projects total impervious area.

Because the project runoff volumes will be similar to the existing condition, no increase in effects on Areas of Special Flood Hazard will occur above the pre project condition. The site drainage system including the underground detention system is designed to maintain runoff at or below predevelopment rates and volume. (Hydrology and Stormwater Quality Control Report for 2551 White Stallion Road, Thousand Oaks, CA; Pacific Coast Civil, Inc.; May 6, 2021)

**31b-5.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 31b of the Ventura County Initial Study Assessment Guidelines.*

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>32. Law Enforcement/Emergency Services (Sheriff)</b>								
<b>Will the proposed project:</b>								
a) Have the potential to increase demand for law enforcement or emergency services?	X				X			
b) Be consistent with the applicable General Plan Goals and Policies for Item 32 of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**32a.** The proposed project involves the construction of a new single-family dwelling and an accessory dwelling unit. This change in land use will not require additional personnel, equipment, or facilities for the Ventura County Sheriff’s Department to provide law enforcement or emergency services to the project site. The nearest County Sheriff’s Station is the Camarillo Station (3701 Las Posas Road), which is 11.7 miles northwest of the project site. Thus, the proposed project will not have a project-specific impact and will not make a cumulatively considerable contribution to a significant impact regarding law enforcement services.

**32b.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 32 of the Ventura County Initial Study Assessment Guidelines.*

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>33a. Fire Protection Services - Distance and Response (VCFPD)</b>								
<b>Will the proposed project:</b>								
1) Be located in excess of five miles, measured from the apron of the fire station to the structure or pad of the proposed structure, from a full-time paid fire department?	X				X			
2) Require additional fire stations and personnel, given the estimated response time from the nearest full-time paid fire department to the project site?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 33a of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**33a-1 and 2.** The proposed project is located two miles east of Ventura County Fire Station No. 32, addressed as 830 South Reino Road in Newbury Park. The response time from VCFD Station No. 32 does not exceed seven minutes. The proposed project will not require additional fire stations and personnel, given the estimated response time. Therefore, the proposed project will not have a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact regarding response time from fire stations.

**33a-3.** The proposed project is consistent with the applicable *Ventura County General Plan* Goals and Policies for Item 33a of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>33b. Fire Protection Services – Personnel, Equipment, and Facilities (VCFPD)</b>								
<b>Will the proposed project:</b>								
1) Result in the need for additional personnel?	X				X			
2) Magnitude or the distance from existing facilities indicate that a new facility or additional equipment will be required?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 33b of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**33b 1 and 2.** The proposed project will not result in the need for additional fire protection personnel. A new facility or additional equipment will not be required. The proposed project site is located two miles east of Ventura County Fire Station No. 32 and response times will be adequate. The nearest fire hydrant will be located along the driveway on the subject property, approximately 375 feet west of the proposed single-family dwelling.

All future development must comply with fire prevention standards in the Ventura County Building and Fire Codes. These include water supply and flow and fuel reduction requirements. Therefore, the proposed project will not have a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact regarding the need for fire personnel, facilities, or equipment.

**33b-3.** The proposed project is consistent with the applicable *Ventura County General Plan* Goals and Policies for Item 33b of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>34a. Education - Schools</b>								
<b>Will the proposed project:</b>								
1) Substantially interfere with the operations of an existing school facility?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 34a of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**34a-1.** The project is not located adjacent to a school with which it could interfere. The nearest elementary school, Banyan Elementary School, is located 1.7 miles west of the project site. The nearest middle school, Sequoia Middle School, and high school, Newbury Park High School are located 3.6 miles north and 3.7 miles northwest of the project site, respectively. Any additional demand created by the proposed project would be mitigated by payment of school fees to the Conejo Valley Unified School District pursuant to Section 65996 of the California Government Code. Therefore, the proposed project will not result in project-specific impacts and will not make a cumulatively considerable contribution to a significant cumulative impact related to existing school facilities.

**34a-2.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 34a of the Ventura County Initial Study Assessment Guidelines.*

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>34b. Education - Public Libraries (Lib. Agency)</b>								
<b>Will the proposed project:</b>								
1) Substantially interfere with the operations of an existing public library facility?	X							
2) Put additional demands on a public library facility which is currently deemed overcrowded?	X							
3) Limit the ability of individuals to access public library facilities by private vehicle or alternative transportation modes?	X							
4) In combination with other approved projects in its vicinity, cause a public library facility to become overcrowded?					X			
5) Be consistent with the applicable General Plan Goals and Policies for Item 34b of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**34b-1 through 4.** The Thousand Oaks Library, Newbury Park Branch is 4.2 miles north of the proposed project site. The addition of approximately 4.62 residents (2.31 residents per new dwelling as estimated in the Thousand Oaks Area Plan) would not result in a significant drain on library resources warranting the need for construction of new facilities. Therefore, the proposed project will not have a significant project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact related to library services.

**34b-5.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies for Item 34b of the Ventura County Initial Study Assessment Guidelines.*

**Mitigation/Residual Impact(s)**

None.



Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>35. Recreation Facilities (GSA)</b>								
<b>Will the proposed project:</b>								
a) Cause an increase in the demand for recreation, parks, and/or trails and corridors?	X				X			
b) Cause a decrease in recreation, parks, and/or trails or corridors when measured against the following standards: <ul style="list-style-type: none"> <li>• <u>Local Parks/Facilities</u> - 5 acres of developable land (less than 15% slope) per 1,000 population;</li> <li>• <u>Regional Parks/Facilities</u> - 5 acres of developable land per 1,000 population; or,</li> <li>• <u>Regional Trails/Corridors</u> - 2.5 miles per 1,000 population?</li> </ul>	X				X			
c) Impede future development of Recreation Parks/Facilities and/or Regional Trails/Corridors?	X				X			
d) Be consistent with the applicable General Plan Goals and Policies for Item 35 of the Initial Study Assessment Guidelines?	X				X			

**Impact Discussion:**

**35a and b.** The proposed development of a single-family dwelling has the potential to increase the population by 4.62 residents (2.31 residents per dwelling unit as estimated in the Thousand Oaks Area Plan). There will be a corresponding increase in recreational demand in the Conejo Valley area as a result. The potential increase in population is minimal and will not impede the future development of local park facilities.

The project site is within the boundaries of the Conejo Recreation and Park District (CRPD). The nearest CRPD parks include Banyan Park and Wendy Park, located 1.6 miles west and 2.2 miles northwest, respectively. Regional parks, trails, and corridors have been provided by federal, state, County, and local agencies. Regional facilities include the Santa Monica Mountain National Recreation Area, the Los Padres National Forest, Channel Islands National Park.

**35c.** The proposed project does not have the potential to impede the development of parks, facilities, trails, or corridors. There are no parks, facilities, trails, or corridors located on, or immediately adjacent to the proposed project site. The closest designated trails are the Los Robles Trail / Potrero Gate to Angel Vista Trail (1,500 feet north), maintained by the Conejo Open Space and Conservation Agency, and the Wendy-Satwiwa Loop Trail (5,900 feet southwest), maintained by the National Parks Service as part of the Santa Monica Mountains National Recreation Area. Nearby trailheads include the Los Robles and Wendy Trailheads, located 0.7 miles and 1.2 miles west of the project site, respectively. At that distance, development on the project site will not have an adverse impact on the development, maintenance, or use of the trails. Therefore, the proposed project will not have a project-specific impact and will not make a cumulatively considerable contribution to a significant cumulative impact related to trails.

**35d.** The proposed project is consistent with the applicable *Ventura County General Plan Goals and Policies* for Item 35 of the *Ventura County Initial Study Assessment Guidelines*.

**Mitigation/Residual Impact(s)**

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>36. Wildfire</b>								
<b>If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:</b>								
a) Substantially impair an adopted emergency response plan or emergency evacuation plan?		X				X		
b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?		X				X		
c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?		X				X		

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?		X				X		

### Impact Discussion

**36a through 36d.** According to the RMA GIS Viewer, the project site is located in a Very High Fire Hazard Severity Zone and a State Responsibility Area. The VCFPD determined that the project would be located within five miles of the nearest fire station. In addition, the VCFPD would require that adequate fire flow is available at the project site, that VCFPD vehicles are provided adequate access to the project site, and that automatic fire sprinklers are installed in new structures as required by VCFPD. Furthermore, the VCFPD determined that the proposed project would not cause adverse fire-related impacts that it would be inconsistent with the applicable 2040 General Plan fire-related goals and policies. Finally, the Ventura County Public Works Agency – Land Development Services analyzed the proposed project and determined that it would not result in adverse effects with regard to slope instability, landslides, drainage, or flooding.

### Mitigation/Residual Impact

None

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>37. Energy</b>								
<b>Would the project:</b>								
a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?		X				X		
b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?		X				X		

## Impact Discussion

**37a and 37b.** The proposed project includes energy efficiency features which would reduce the consumption of energy resources. All diesel vehicles used during the construction phase are subject to idling limits required by applicable California State laws and APCD Rules and Regulations. Construction equipment and activities for the project are anticipated to be similar to other projects of this size in Southern California. All structures will be required to demonstrate energy efficiency in compliance with Title 24 building code standards. This includes such features as dual paned windows, energy-efficient lighting fixtures, and energy-efficient appliances. Therefore, the proposed project would not result in potentially significant environmental effects due to the wasteful, inefficient, or unnecessary consumption of energy or conflict with a known local renewable or energy efficiency plan. Impacts are considered to be less than significant.

## Mitigation/Residual Impact

None

**\*Key to the agencies/departments that are responsible for the analysis of the items above:**

Airports - Department Of Airports	AG. - Agricultural Department	VCAPCD - Air Pollution Control District
EHD - Environmental Health Division	VCFPD - Fire Protection District	GSA - General Services Agency
Harbors - Harbor Department	Lib. Agency - Library Services Agency	Plng. - Planning Division
PWA - Public Works Agency	Sheriff - Sheriff's Department	WPD - Watershed Protection District

**\*\*Key to Impact Degree of Effect:**

N - No Impact  
LS - Less than Significant Impact  
PS-M - Potentially Significant but Mitigable Impact  
PS - Potentially Significant Impact

## Section C – Mandatory Findings of Significance

Based on the information contained within Section B:		
	Yes	No
1. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?		X
2. Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals? (A short-term impact on the environment is one that occurs in a relatively brief, definitive period of time while long-term impacts will endure well into the future).		X
3. Does the project have impacts that are individually limited, but cumulatively considerable? “Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effect of other current projects, and the effect of probable future projects. (Several projects may have relatively small individual impacts on two or more resources, but the total of those impacts on the environment is significant.)		X
4. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?		X

### Findings Discussion:

1. As discussed in Sections 4a, 4b, 4e, and 4f of this Initial Study, the proposed project would have potentially significant impacts on biological resources including degradation of habitat. However, the implementation of mitigation measures as defined in those sections would mitigate potential impacts to less-than-significant both on project-specific and cumulative levels. Because impacts are anticipated to be less than significant, the project would not have the potential to degrade the environment relating to biological resources.
2. The proposed project does not involve the potential to achieve short-term to the disadvantage of long-term environmental goals.
3. As stated in Section B, with the imposition of the recommended mitigation measures and conditions of approval, the proposed project does not have the potential to create a cumulatively considerable contribution to a significant cumulative impact.

- 4.** As stated in Section B, the proposed project will have at most a less-than-significant impact with regard to adverse effects, either directly or indirectly, on human beings.

## Section D – Determination of Environmental Document

Based on this initial evaluation:

<input type="checkbox"/>	I find the proposed project <b>could not</b> have a significant effect on the environment, and a <b>Negative Declaration</b> should be prepared.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measure(s) described in Section B of the Initial Study will be applied to the project. A <b>Mitigated Negative Declaration</b> should be prepared.
<input type="checkbox"/>	I find the proposed project, individually and/or cumulatively, MAY have a significant effect on the environment and an <b>Environmental Impact Report (EIR)</b> is required.
<input type="checkbox"/>	I find that the proposed project MAY have a “potentially significant impact” or “potentially significant unless mitigated” impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An <b>Environmental Impact Report</b> is required, but it must analyze only the effects that remain to be addressed.
<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or Negative Declaration pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, including revisions or mitigation measures that are imposed upon the proposed project, <b>nothing further is required.</b>

  
 Michael T. Conger, AICP, Senior Planner

May 10, 2022  
 Date

### Attachments:

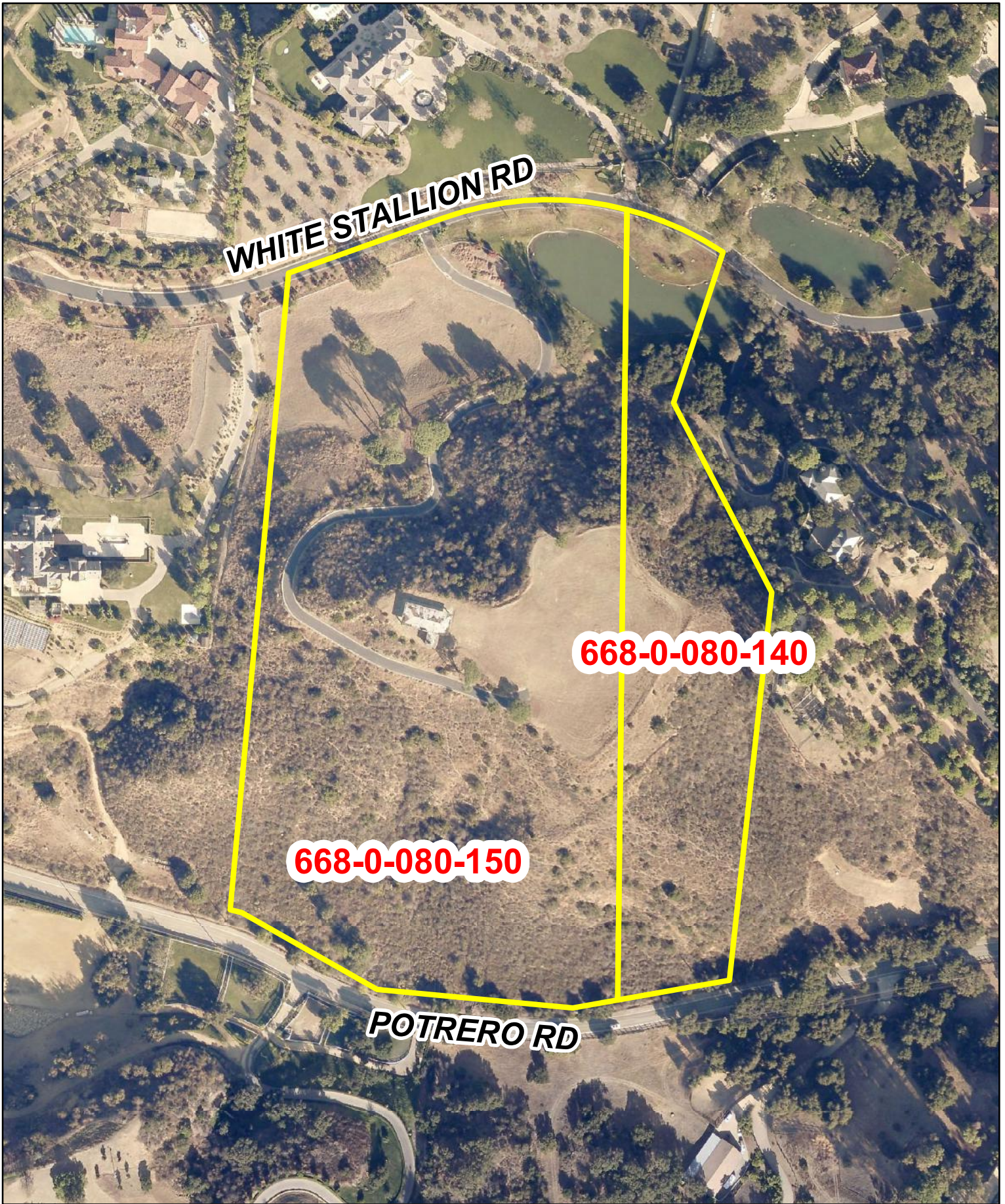
- Attachment 1 – Aerial Location Map
- Attachment 2 – Project Plans
- Attachment 3 – Map of Past, Present, and Reasonably Foreseeable Future Projects Used in the Cumulative Impacts Analysis – Unincorporated Ventura County
- Attachment 4 – Map of Past, Present, and Reasonably Foreseeable Future Projects Used in the Cumulative Impacts Analysis – City of Thousand Oaks
- Attachment 5 – Initial Study Biological Assessment – Envicom Corporation (April 22, 2021; revised June 15, 2021; June 29, 2021; December 9, 2021; and February 18, 2022)

Attachment 6 – Arborist Report – Bill Spiewak, Consulting Arborist (February 7, 2021;  
addendum dated May 8, 2021)

Attachment 7 – Works Cited

[Attachment 8 – Comments Received](#)





**WHITE STALLION RD**

**668-0-080-140**

**668-0-080-150**

**POTRERO RD**



Ventura County, California  
Resource Management Agency  
GIS Development & Mapping Services  
Map Created on 03-03-2022  
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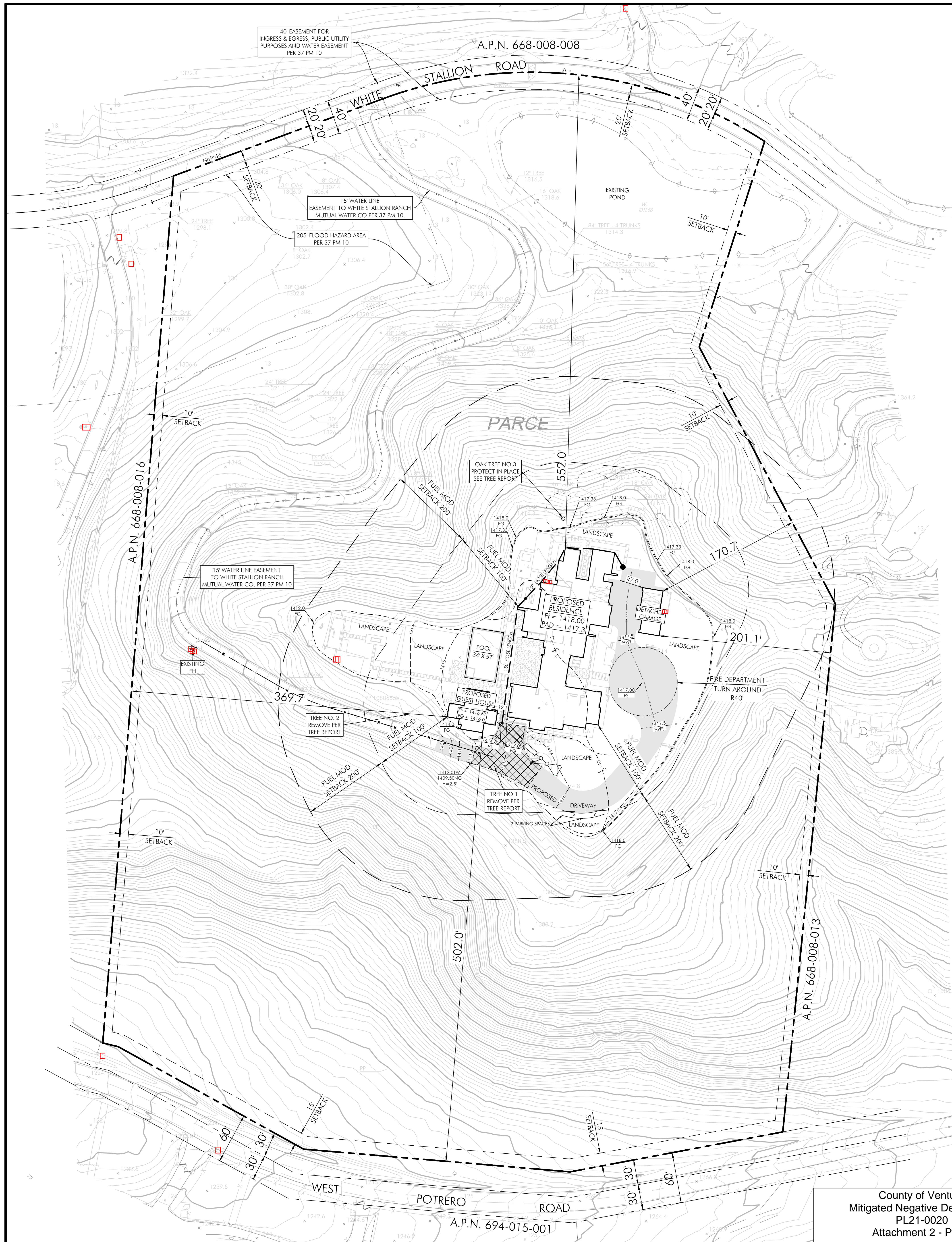


County of Ventura  
Mitigated Negative Declaration  
PL21-0020  
Attachment 1 - Aerial Map



Disclaimer: This Map was created by the Ventura County Resource Management Agency, Mapping Services - GIS which is designed and operated solely for the convenience of the County and related public agencies. The County does not warrant the accuracy of this map and no decision involving a risk of economic loss or physical injury should be made in reliance thereon.





**UTILITIES PROVIDERS**

**WATER**  
 CALIFORNIA WATER SERVICE CO.  
 2524 TOWNGATE RD #A  
 WESTLAKE, CA 91361  
 (805) 497-2757

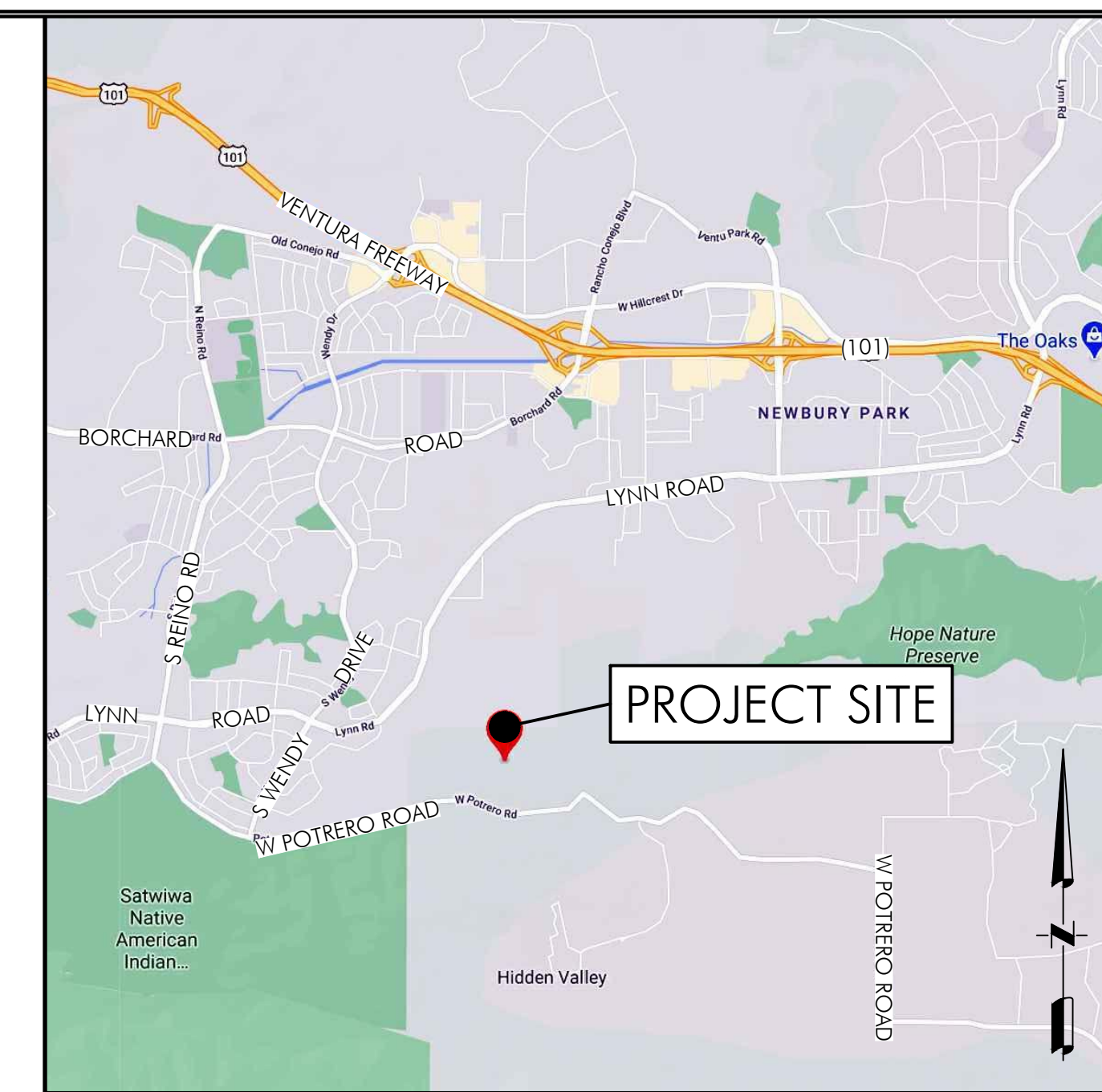
**TRASH**  
 W/M GI INDUSTRIES  
 (805) 522-9400

**LANDFILL**  
 SIMI VALLEY LANDFILL  
 (805) 579-7267

**SEWER**  
 SEPTIC ON-SITE

**ELECTRIC**  
 SOUTHERN CALIFORNIA EDISON  
 3589 FOOTHILL DRIVE  
 THOUSAND OAKS, CA 91360  
 (800) 655-4555

**GAS**  
 SOUTHERN CALIFORNIA GAS COMPANY  
 REGIONAL HEADQUARTERS  
 9400 OAKDALE AVENUE  
 CHATSWORTH, CA  
 (800) 427-2200



VICINITY MAP  
 N.T.S.

**PROPERTY SETBACKS:**

FRONT YARD: 20'  
 SIDE YARD: 10'  
 REAR YARD: 15'

**BENCH MARK:**

VCIPD 1343  
 22-274 RM 1  
 EL = 376.313 METERS (NAVD 88)  
 1234.62 FEET  
 0.3 MILE WESTERLY ALONG POTRERO ROAD FROM ITS INTERSECTION WITH HIDDEN VALLEY ROAD, 50.0 FEET NORTHERLY FROM THE CENTER OF POTRERO ROAD, 6.0 FEET NORTHERLY FROM A CONCRETE DROP INLET AND IN THE EASTERLY CURB OF THE ENTRANCE TO WHITE STALLION RANCH.

**PROJECT STATISTICS:**

PARCEL SIZE: 20.79 ACRES (905,720.9 SQ.FT.)  
 ZONING: OS-20  
 GROSS AREA: 20.79 ACRES (905,725 SQ.FT.)  
 NET AREA: 19.15 ACRES (835,673.8 SQ.FT.)

**20-1701 - 2551 WHITE STALLION STRUCTURE AND PROPERTY STATISTICS**

STRUCTURE TYPE	EXISTING/ PROPOSED	DESCRIPTION (\$18-05-04)	GROSS AREA (SQ.FT.)	BUILDING COVERAGE (SQ.FT.)	TOTAL GROSS FLOOR AREA (SQ.FT.)	TOTAL NET BUILDING COVERAGE (%)	REQUIRED PARKING	PROPOSED PARKING
MAIN HOUSE	PROPOSED	DWELLING	15,784	17,726	21,334	2.4	4	8
POOL HOUSE	PROPOSED	DWELLING/ ACCESSORY STRUCTURE	1,799	2,161	21,334	2.4	1	8
DETACHED GARAGE	PROPOSED	GARAGE	1,272	1,446	21,334	2.4	N/A	N/A

**20-1701 - 2551 WHITE STALLION IMPERVIOUS SURFACES**

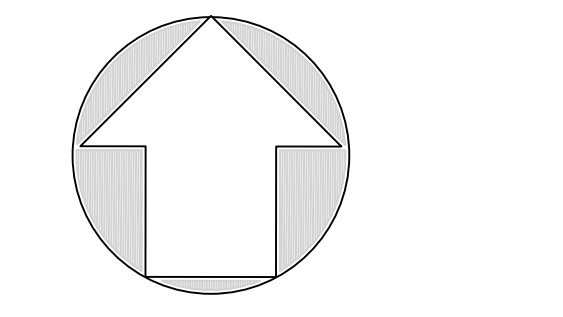
PROPOSED IMPERVIOUS SURFACE TYPE	IMPERVIOUS AREA (SQ.FT.)
STRUCTURES-ROOF TOPS	21,334
HARDSCAPE: DRIVEWAYS, SIDEWALKS, & STEPPING STONES	6,413

**20-1701 - 2551 WHITE STALLION PERVIOUS SURFACES**

PROPOSED PERVIOUS SURFACE TYPE	IMPERVIOUS AREA (SQ.FT.)
LANDSCAPE	44,729

**LEGEND:**

- PROPERTY LINE
- CENTER LINE
- FLOW LINE
- FUEL MOD LINE
- SETBACKS
- EXISTING WATER LINE
- PROPOSED WATER LINE
- CUT/FILL LINE
- DAYLIGHT
- FINISHED FLOOR
- FINISHED GROUND



**DISCRETIONARY  
 LAND USE  
 ENTITLEMENT PLAN  
 SINGLE FAMILY RESIDENCE**

2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CALIFORNIA

A.P.N.: 668-0-080-140 & 668-0-080-150

PARCEL 9, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON THE MAP FILED FEBRUARY 18, 1983, IN BOOK 37, PAGES 10, 11, 12 AND 13, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

February 18, 2021

**DEVELOPER:**  
 ALLIED PROPERTY GROUP LLC  
 1411 WINDSOR DRIVE  
 THOUSAND OAKS, CA 91360  
 (805) 760-4522

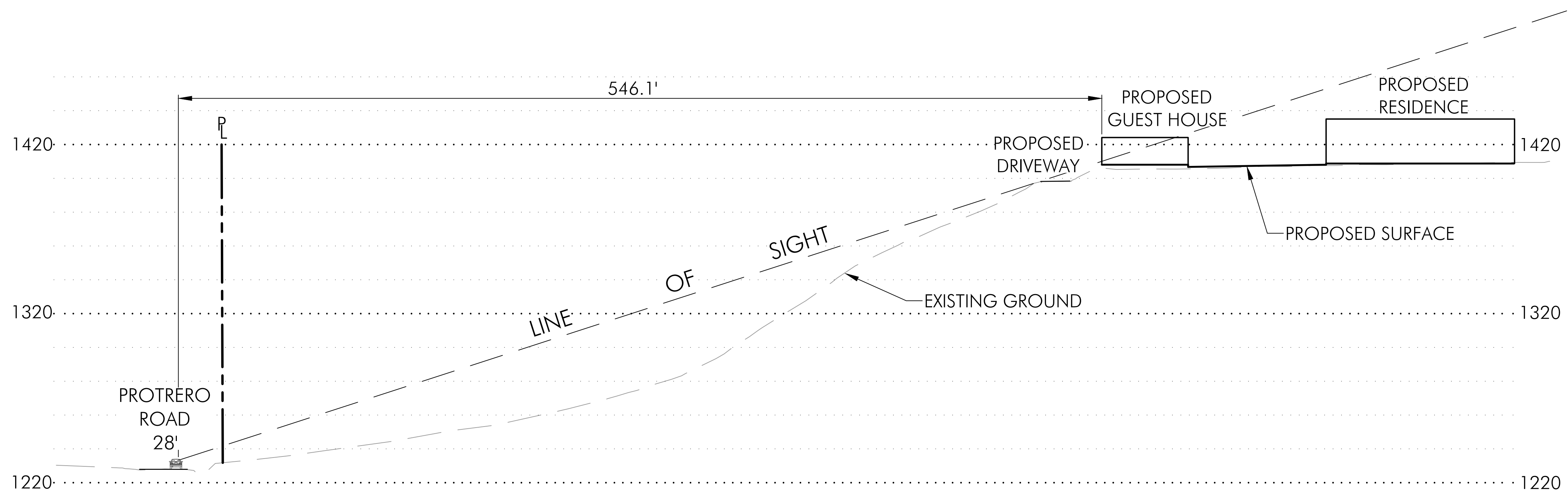
**ARCHITECT:**  
 GREYSON TERRIO, PE  
 22647 VENTURA BLVD. #362  
 WOODLANDS HILLS, CA  
 (805) 469-4883  
 GREYSON@CREATIONINC.COM

**PREPARED BY:**

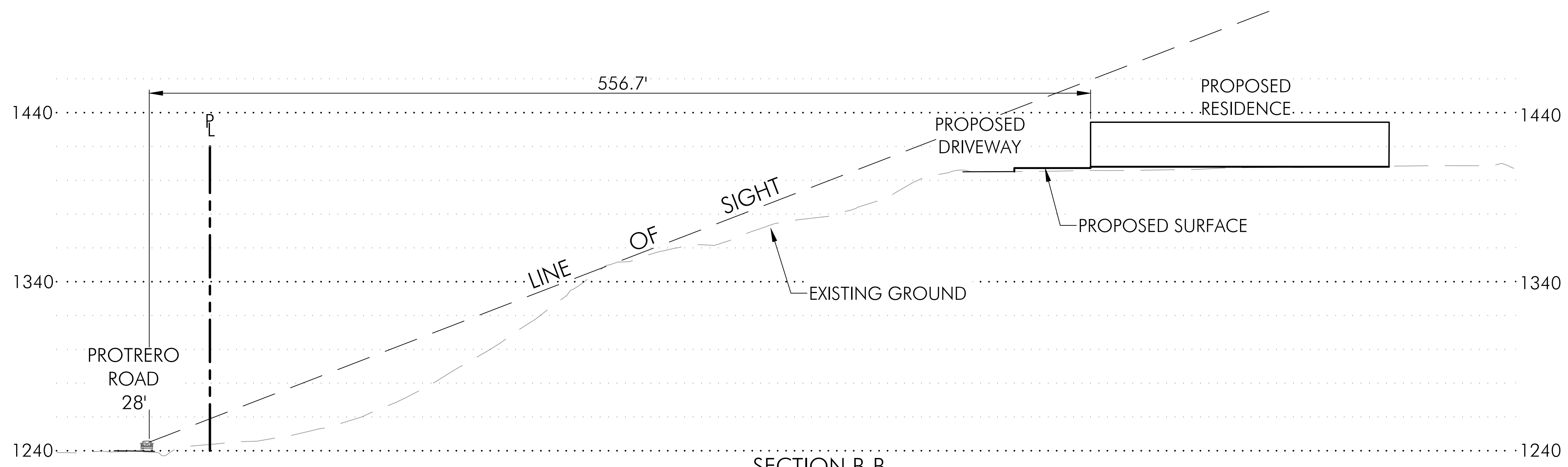
**PACIFIC COAST CIVIL, INC.**  
 30141 AGOURA ROAD, SUITE 200  
 AGOURA HILLS, CA 91301  
 PH: (818) 865-4168  
 FAX: (818) 865-4198

**LANDSCAPE DESIGN:**  
 JOANNE PERRIN  
 2393 TELLER ROAD  
 NEWBURY PARK, CA  
 (805) 795-7995  
 JJPERRIN@VERIZON.NET.COM

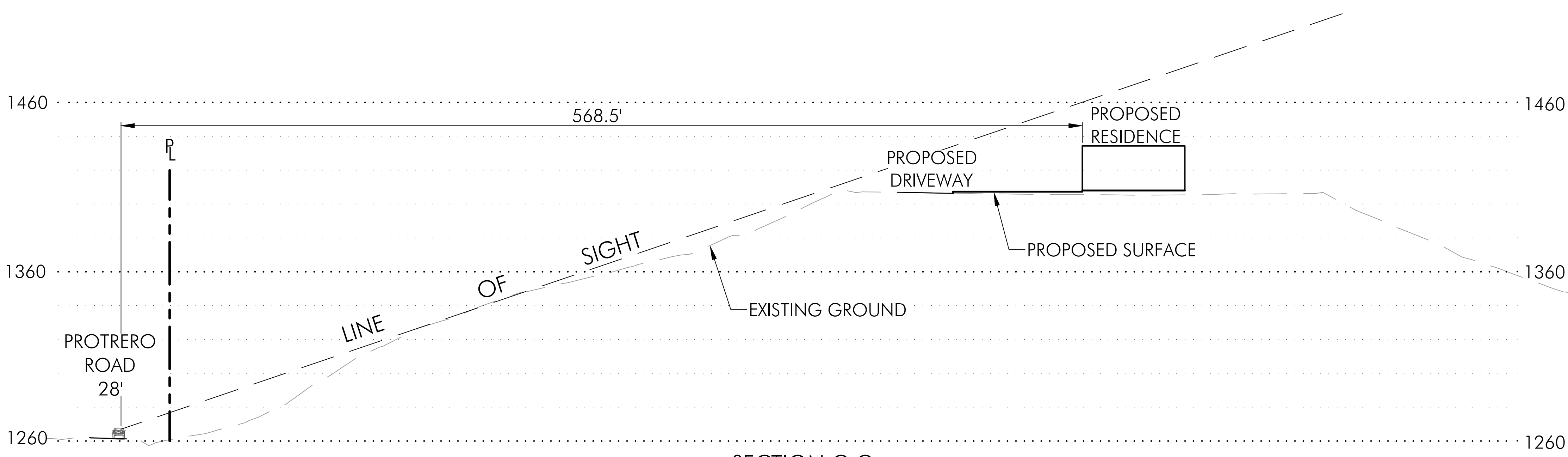
County of Ventura  
 Mitigated Negative Declaration  
 PL21-0020  
 Attachment 2 - Plans



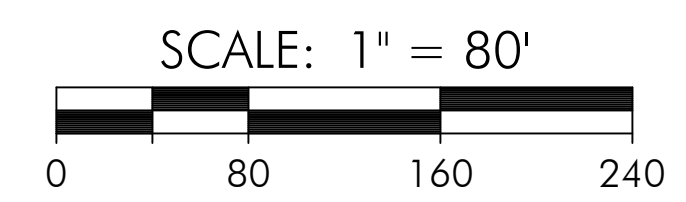
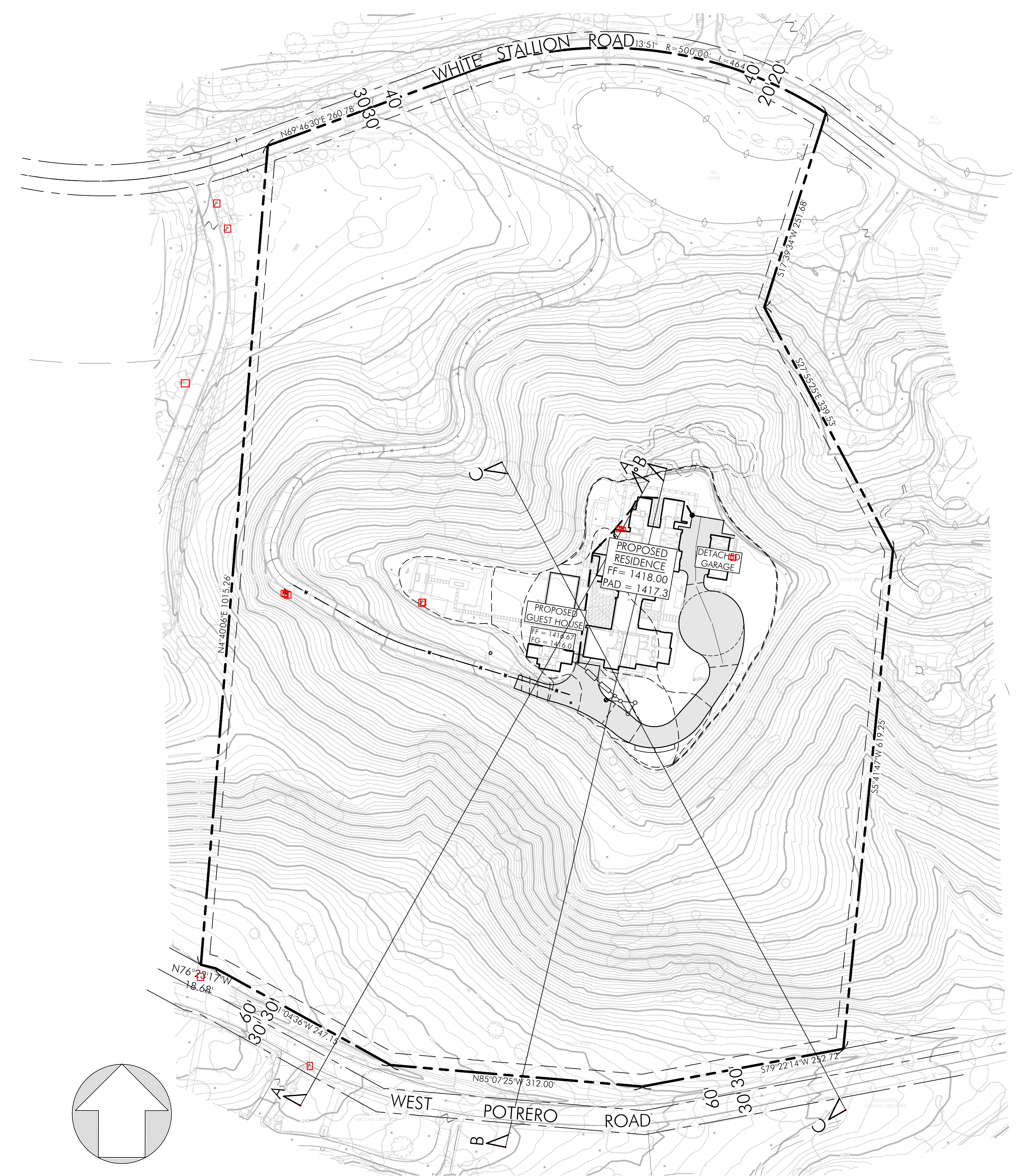
**SECTION A-A**  
HOR. & VERT. SCALE  
1" = 40'



**SECTION B-B**  
HOR. & VERT. SCALE  
1" = 40'



**SECTION C-C**  
HOR. & VERT. SCALE  
1" = 40'



**LEGEND:**

- PROPERTY LINE
- CENTER LINE
- PROPOSED GRADED SURFACE
- FUEL MOD LINE
- EXISTING GROUND
- PROPOSED DRIVEWAY
- LINE OF SIGHT
- FF FINISHED FLOOR
- FG FINISHED GROUND

## SCENIC ROUTE CROSS SECTIONS

2551 WHITE STALLION ROAD  
THOUSAND OAKS, CALIFORNIA

A.P.N.: 668-0-080-140 & 668-0-080-150

PARCEL 9, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA,  
AS SHOWN ON THE MAP FILED FEBRUARY 18, 1983, IN BOOK 37,  
PAGES 10, 11, 12 AND 13, INCLUSIVE OF PARCEL MAPS,  
IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

February 18, 2021

**DEVELOPER:**  
ALLIED PROPERTY GROUP LLC  
1411 WINDSOR DRIVE  
THOUSAND OAKS, CA 91360  
(805) 760-4522

**ARCHITECT:**  
GREYSON TERRIO, PE  
22647 VENTURA BLVD. #362  
WOODLANDS HILLS, CA  
(805) 469-4883  
GREYSON@CREATIONGINC.COM

**PREPARED BY:**



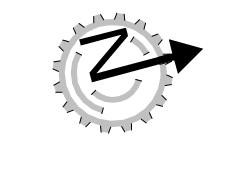
**PACIFIC COAST CIVIL, INC.**  
30141 AGOURA ROAD, SUITE 200  
AGOURA HILLS, CA 91301  
PH: (818) 865-4168  
FAX: (818) 865-4198

**LANDSCAPE DESIGN:**  
JOANNE PERRIN  
2393 TELLER ROAD  
NEWBURY PARK, CA  
(805) 795-7995  
JPERRIN@VERIZON.NET.COM

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1 Site  
1" = 40'-0"



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 WOODLAND HILLS, CA 91364  
 (805) 469-4883

**PRINTS ISSUED**

DATE	PURPOSE	NO.

**CLIENTS INFORMATION:**

2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361

**SITE PLAN**

PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD**  
**THOUSAND OAKS, CA 91361**

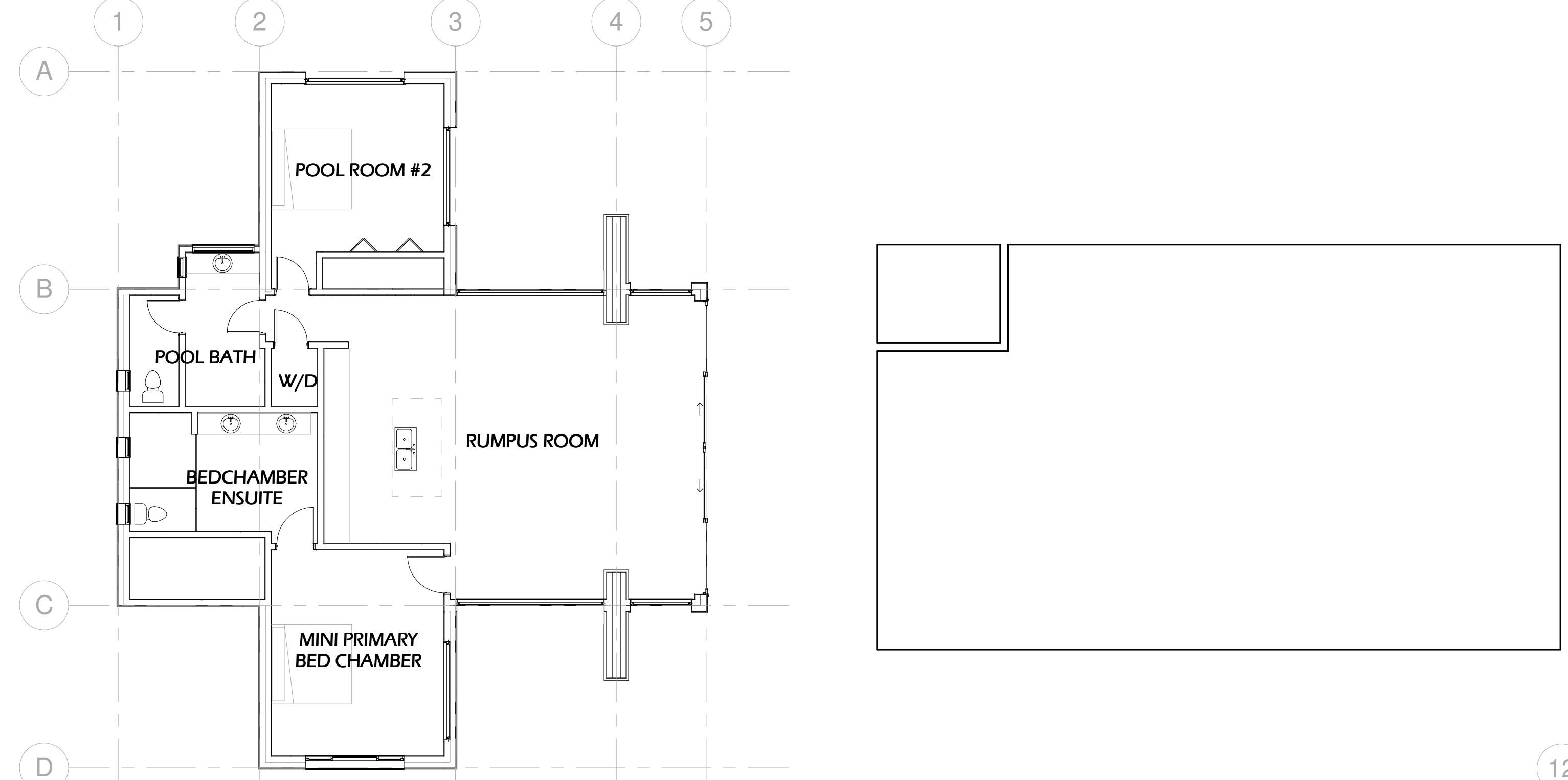
DRAWINGS VALID ONLY WITH ENGINEER'S WET SIGNATURE OVER SEAL ON EACH SHEET IN INK



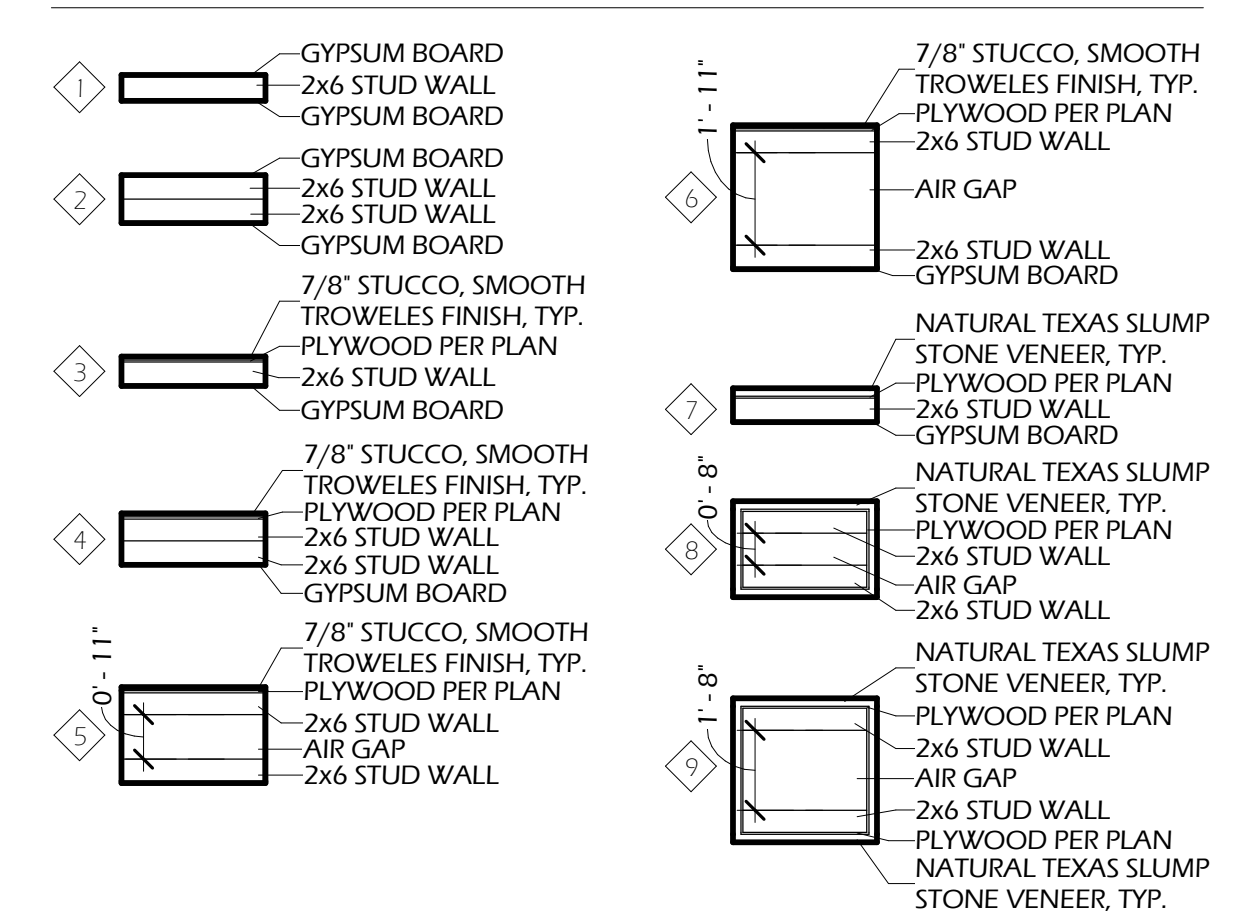
Author 20.1012.179

SHEET NUMBER: **A-0.1**

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**THE LEGEND, THE WALL**

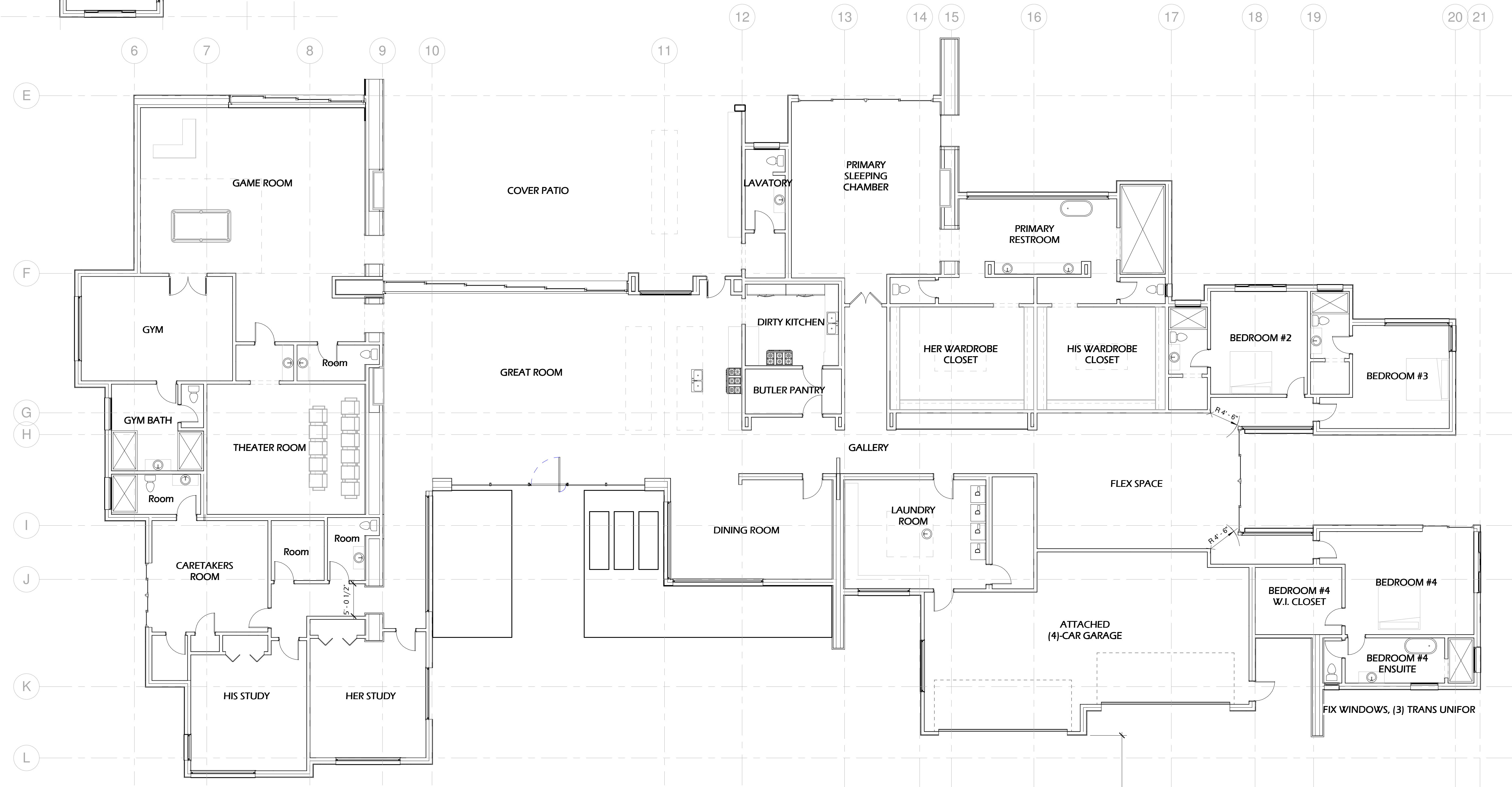


**WINDOW SCHEDULE**

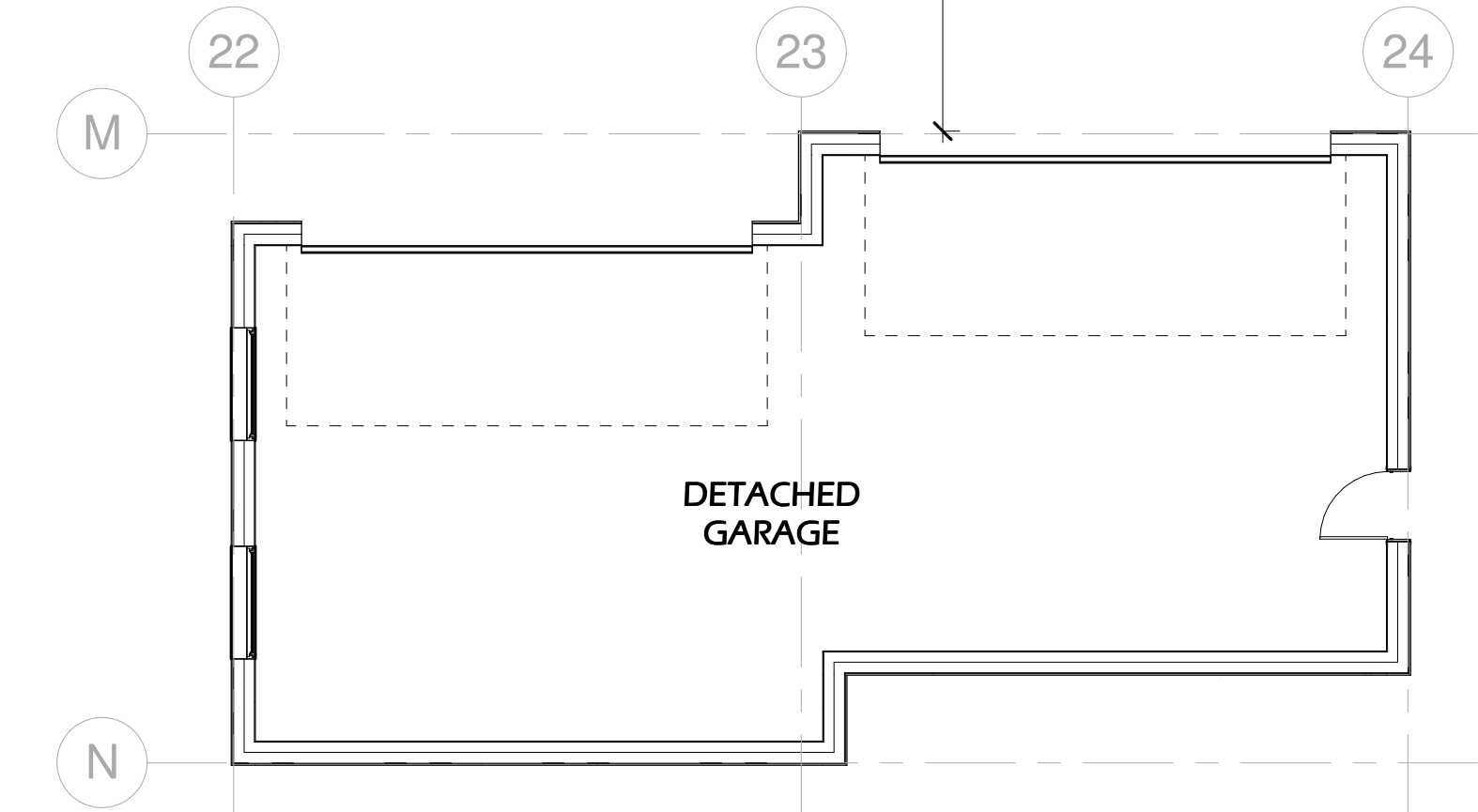
*WINDOW LABELING IS TO REMAIN IN PLACE ON THE WINDOWS AT THE TIME OF THE INSPECTION AND SHALL MATCH THE FACTORS AND COEFFICIENTS ON THE TITLE 24 ENERGY CALCULATIONS.*

Mark	Width	Height	Count	Notes
A	4'-3 1/2"	4'-5 1/2"		
B	2'-3 1/2"	4'-5 1/2"	1	
C	2'-0"	6'-0"	1	
D	3'-11 1/2"	1'-11 1/2"	1	
E	9'-6"	5'-0"	1	
F	5'-0"	5'-6"	2	
G	8'-0"	7'-0"	1	
H	5'-0"	5'-0"	3	
I	10'-0"	10'-0"	4	
J	14'-0"	10'-0"	1	
K	4'-0"	10'-0"	2	
L	18'-0"	10'-0"	1	
M	22'-0"	10'-0"	1	
N	10'-0"	2'-0"	3	
O	8'-0"	10'-0"	1	
P	4'-0"	2'-0"	3	
Q	8'-0"	8'-0"	3	
R	8'-0"	4'-0"	2	
S	8'-0"	5'-0"	2	
T	12'-0"	10'-0"	3	
U	5'-0"	10'-0"	1	
V	1'-8"	5'-0"	4	
W	5'-0"	10'-0"	2	
X	6'-0"	3'-0"	8	
Y	11'-0"	10'-0"	2	
Z	8'-0"	4'-0"	5	

NEW: 59



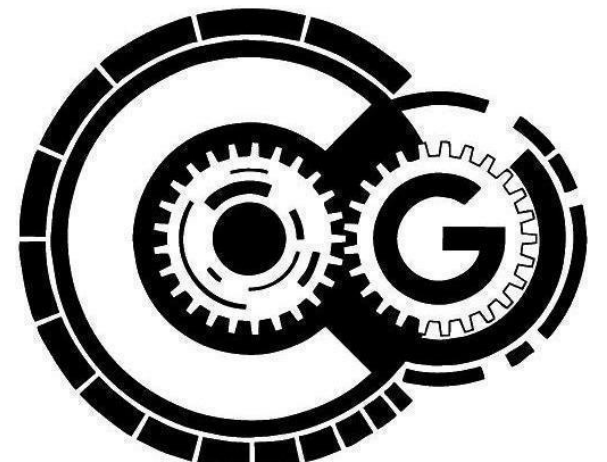
**1 FLOOR PLAN - 1/8" SCALE**  
1/8" = 1'-0"



**DOOR SCHEDULE**

	Width	Height	Count	Keynote
1	6'-0"	6'-8"	3	
2	2'-8"	8'-0"	15	
3	3'-0"	8'-0"	22	
4	6'-0"	8'-0"	1	
5	2'-8"	6'-8"	1	
6	2'-1'-0"	10'-0"	1	
7	3'-0"	8'-0"	1	
8	5'-0"	8'-0"	1	
9	5'-11 1/2"	9'-11 1/2"	1	
10	24'-0"	10'-0"	1	
11	10'-0"	8'-0"	1	
12	8'-0"	8'-0"	1	
13	16'-0"	10'-0"	1	
14	37'-11"	9'-11 1/2"	1	
15	20'-11"	9'-11 1/2"	1	
16	20'-0"	8'-0"	4	

NEW: 56



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 22647 VENTURA BLVD, #362  
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**PRINTS ISSUED**

DATE	PURPOSE	NO.

**CLIENTS INFORMATION:**  
 Owner  
 2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361

**SHEET TITLE:**  
 1/8" SCALE FLOOR PLAN

**PROJECT ADDRESS:**  
 2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361

DRAWINGS VALID ONLY WITH ENGINEERS WET SIGNATURE OVER SEAL ON EACH SHEET IN INK

SEP 30, 2019

Author: 20.1012.179

SHEET NUMBER:  
**A-1.0**

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**LEGENDS AND SCHEDULES**

SYMBOL	DESCRIPTION
Ⓜ	<b>WINDOW SCHEDULE REFERENCE KEY:</b> COORDINATE WITH TITLE 24 REQUIREMENTS ON SHEET N-1 IF PROVIDED, OTHERWISE USE A MIN U-FACTOR OF LESS THAN OR EQUAL TO 0.4 AND AN SHGC LESS THAN OR EQUAL TO 0.35. FOR ADDITIONAL INFORMATION, REFER TO THE WINDOW SCHEDULE.
Ⓝ	<b>DOOR SCHEDULE REFERENCE KEY:</b> FOR EXTERIOR DOOR WITH GLASS, COORDINATE WITH TITLE 24 REQUIREMENTS ON SHEET N-1 IF PROVIDED, OTHERWISE USE A MIN U-FACTOR OF LESS THAN OR EQUAL TO 0.4 AND AN SHGC LESS THAN OR EQUAL TO 0.35. ALL GLASS TO BE TEMPERED. FOR ADDITIONAL INFORMATION, REFER TO THE WINDOW SCHEDULE.
Ⓝ	<b>NOTES &amp; PRODUCT REFERENCE KEY:</b> FOR ADDITIONAL INFORMATION, REFER TO THE NOTES & PRODUCT SCHEDULE.

**NOTES & PRODUCT INFORMATION - A-2**

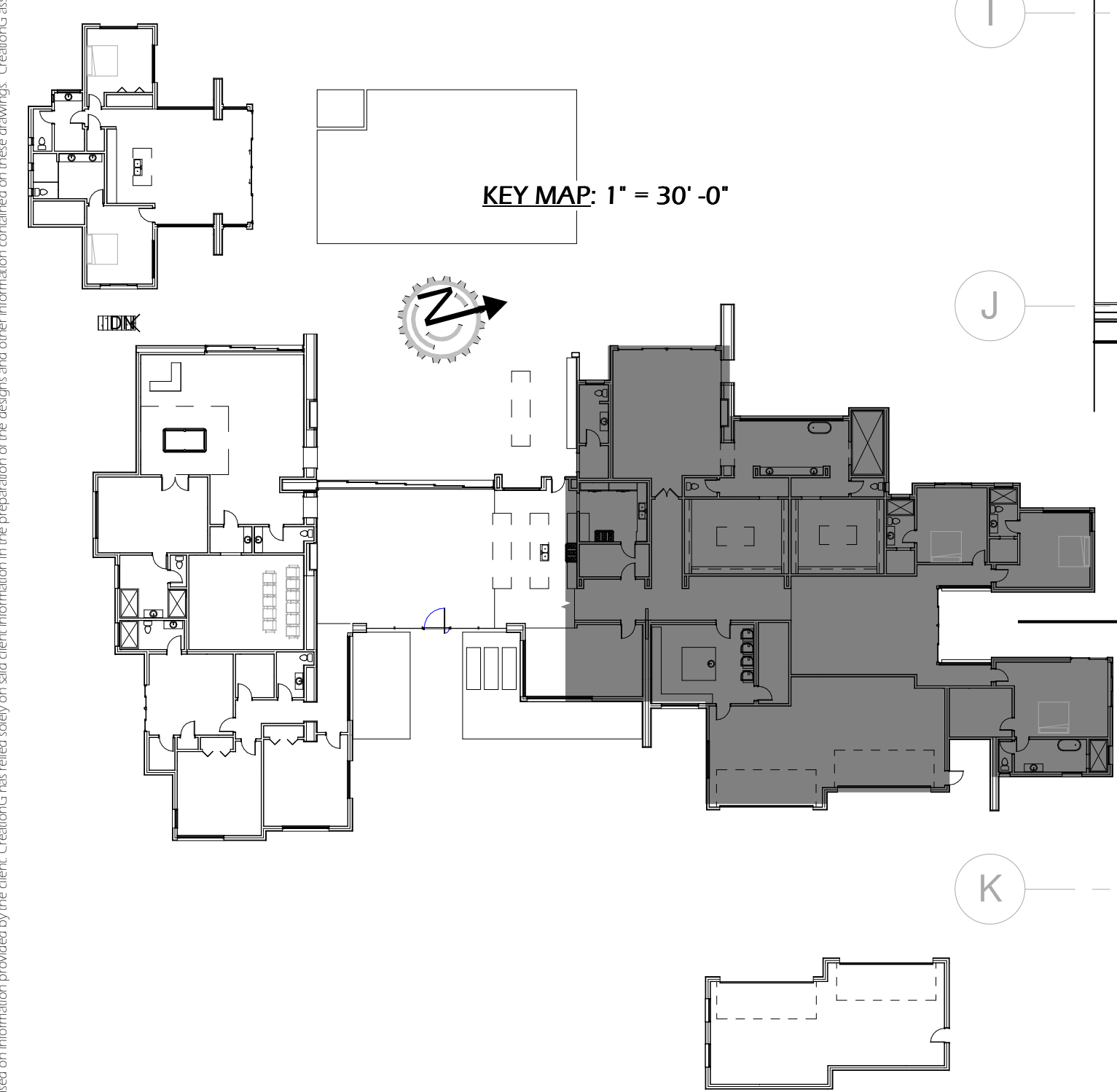
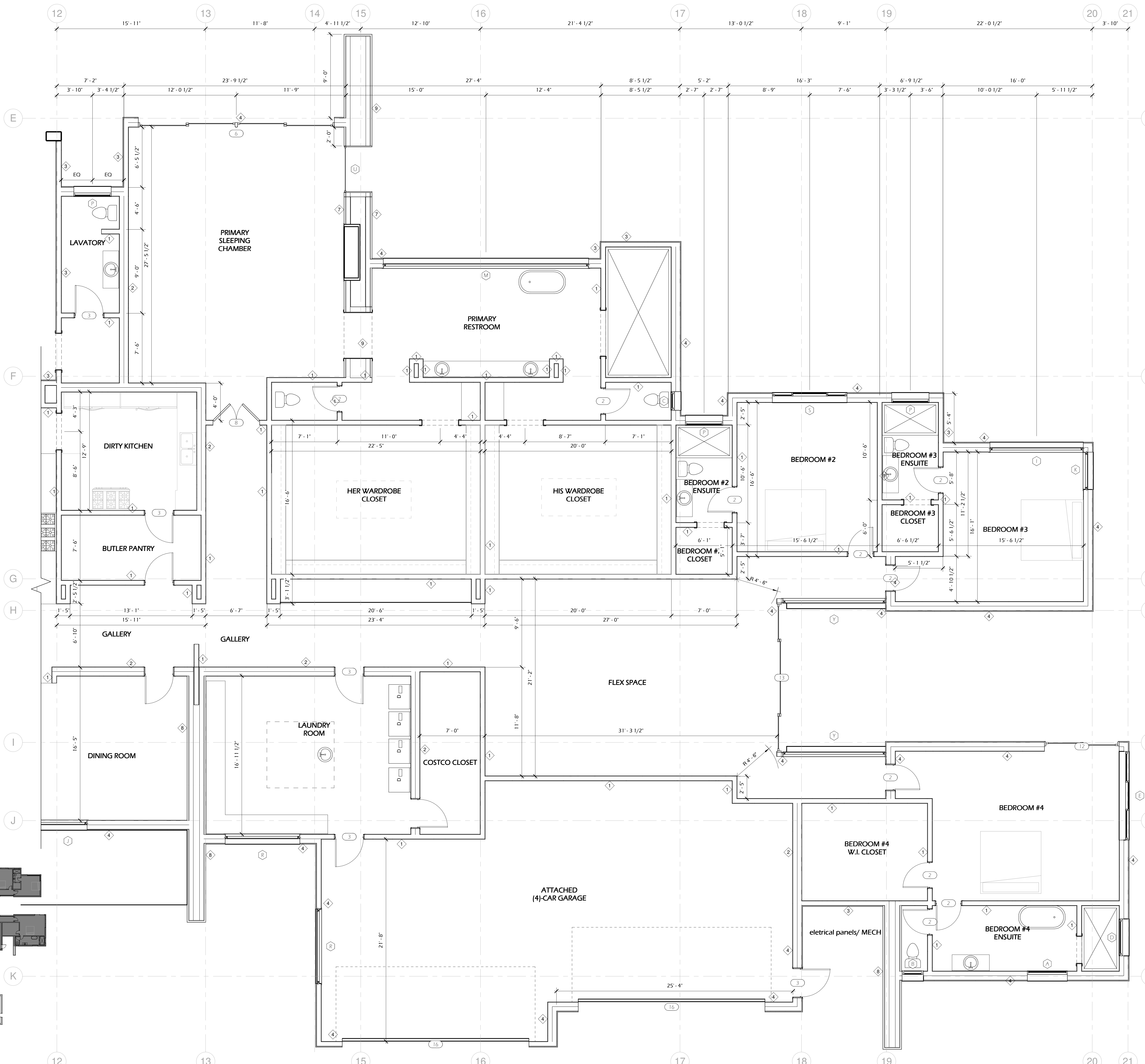
**WINDOW SCHEDULE**

WINDOW LABELING IS TO REMAIN IN PLACE ON THE WINDOW(S) AT THE TIME OF THE INSPECTION AND SHALL MATCH THE FACTORS AND COEFFICIENTS ON THE TITLE 24 ENERGY CALCULATIONS.

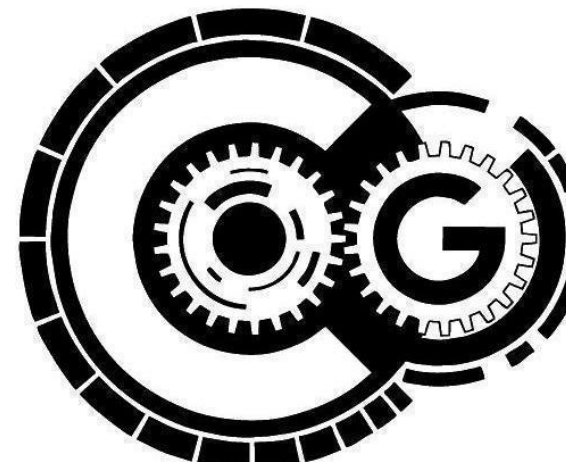
Mark	Width	Height	Count	Notes
A	4'-3 1/2"	4'-5 1/2"	1	
B	2'-3 1/2"	4'-5 1/2"	1	
C	2'-0"	6'-0"	1	
D	3'-11 1/2"	1'-11 1/2"	1	
E	9'-6"	5'-0"	1	
F	5'-0"	5'-6"	2	
G	8'-0"	7'-0"	1	
H	5'-0"	5'-0"	3	
I	10'-0"	10'-0"	4	
J	14'-0"	10'-0"	1	
K	4'-0"	10'-0"	2	
L	18'-0"	10'-0"	1	
M	22'-0"	10'-0"	1	
N	10'-0"	2'-0"	3	
O	8'-0"	10'-0"	1	
P	4'-0"	2'-0"	3	
Q	8'-0"	8'-0"	3	
R	8'-0"	4'-0"	2	
S	8'-0"	5'-0"	2	
T	12'-0"	10'-0"	3	
U	5'-0"	10'-0"	1	
V	1'-8"	5'-0"	4	
W	5'-0"	10'-0"	2	
X	6'-0"	3'-0"	8	
Y	11'-0"	10'-0"	2	
Z	8'-0"	4'-0"	5	

**DOOR SCHEDULE**

#	Width	Height	Count	Keynote
1	6'-0"	6'-8"	3	
2	2'-8"	8'-0"	15	
3	3'-0"	8'-0"	22	
4	6'-0"	8'-0"	1	
5	2'-8"	6'-8"	1	
6	21'-0"	10'-0"	1	
7	3'-0"	8'-0"	1	
8	5'-0"	8'-0"	1	
9	5'-11 1/2"	9'-11 1/2"	1	
10	24'-0"	10'-0"	1	
11	10'-0"	8'-0"	1	
12	8'-0"	8'-0"	1	
13	16'-0"	10'-0"	1	
14	37'-11"	9'-11 1/2"	1	
15	20'-11"	9'-11 1/2"	1	
16	20'-0"	8'-0"	4	



MAIN HOUSE - PARTIAL NORTH FLOOR PLAN  
1/4" = 1'-0"



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22647 VENTURA BLVD, #362  
WOODLAND HILLS, CA 91364  
(805) 469-4883

**PRINTS ISSUED**

DATE	PURPOSE	NO.

**CLIENTS INFORMATION:**

Owner  
2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361

SHEET TITLE:  
**MAIN HOUSE - PARTIAL NORTH FLOOR PLAN**

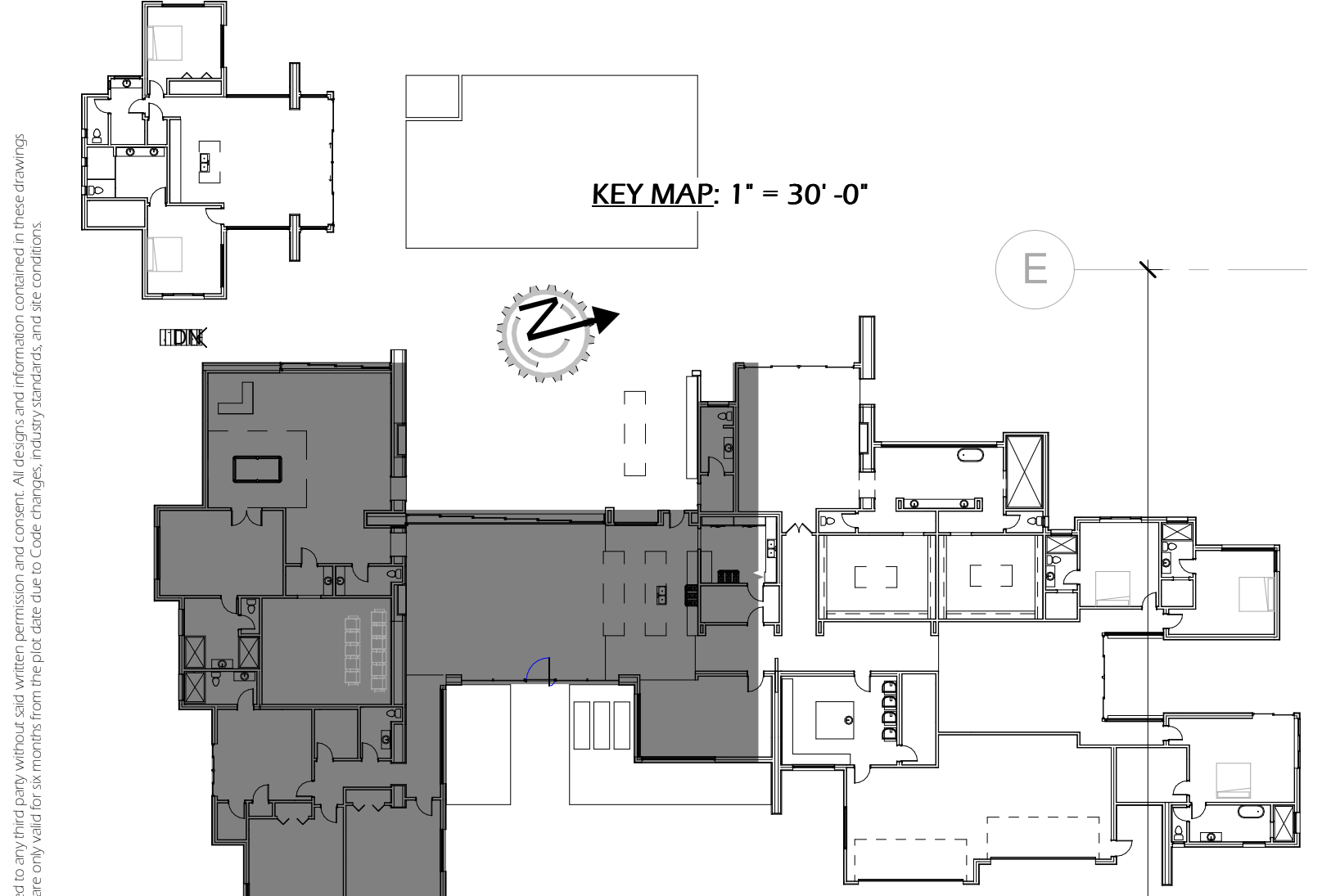
PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361**



Author: 20.1012.179

SHEET NUMBER:  
**A-1.1**

2/21/2021 11:09:36 PM



**LEGENDS AND SCHEDULES**

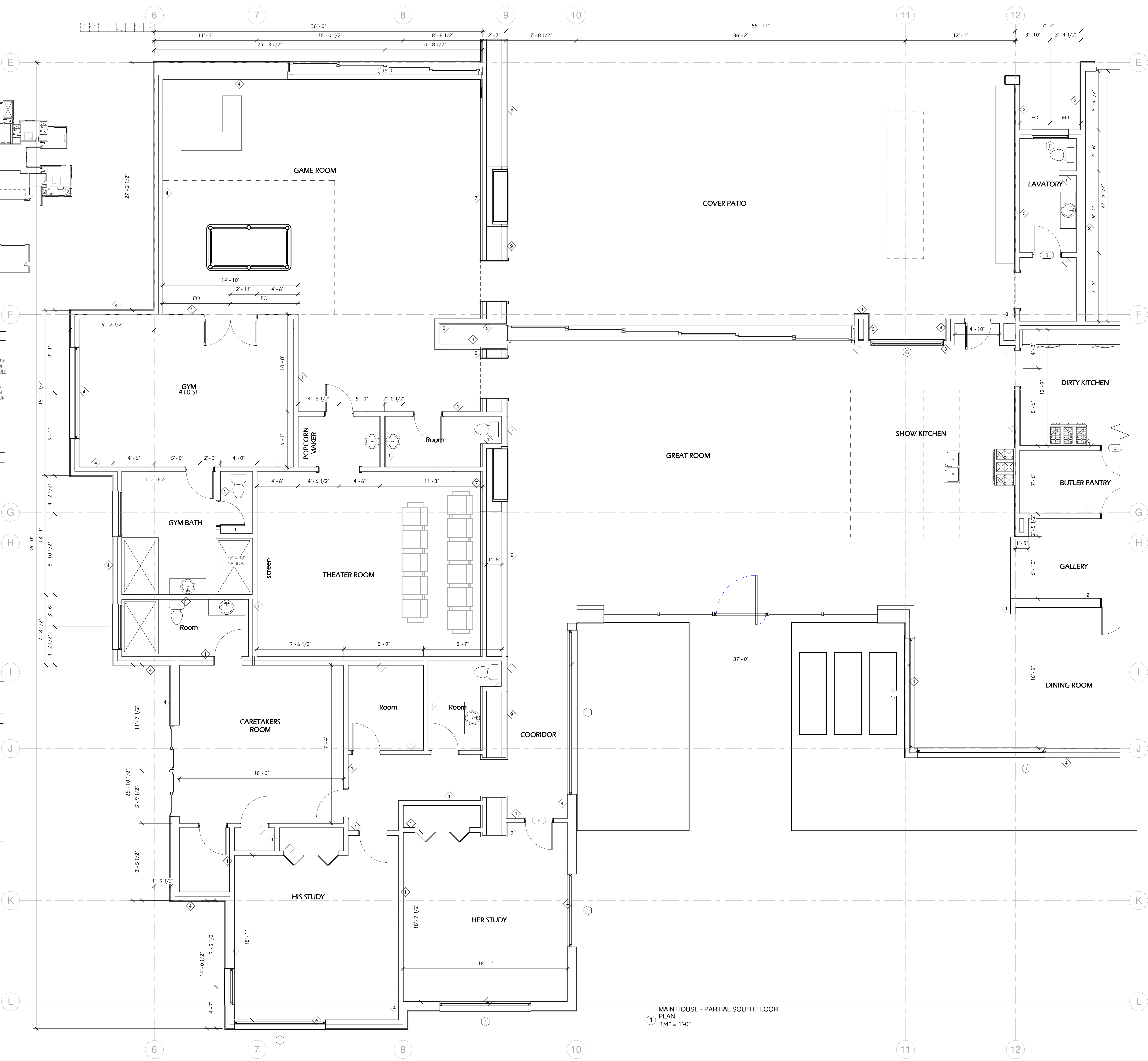
SYMBOL	DESCRIPTION
④	<b>WINDOW SCHEDULE REFERENCE KEY:</b> COORDINATE WITH TITLE-24 REQUIREMENTS ON SHEET N-1 IF PROVIDED, OTHERWISE USE A MIN U-FACTOR OF LESS THAN OR EQUAL TO 0.4 AND AN SHGC LESS THAN OR EQUAL TO 0.35. FOR ADDITIONAL INFORMATION, REFER TO THE WINDOW SCHEDULE.
⑧	<b>DOOR SCHEDULE REFERENCE KEY:</b> FOR EXTERIOR DOOR WITH GLASS, COORDINATE WITH TITLE-24 REQUIREMENTS ON SHEET N-1 IF PROVIDED, OTHERWISE USE A MIN U-FACTOR OF LESS THAN OR EQUAL TO 0.4 AND AN SHGC LESS THAN OR EQUAL TO 0.35. ALL GLASS TO BE TEMPERED. FOR ADDITIONAL INFORMATION, REFER TO THE WINDOW SCHEDULE.
⑩	<b>NOTES &amp; PRODUCT REFERENCE KEY:</b> FOR ADDITIONAL INFORMATION, REFER TO THE NOTES & PRODUCT SCHEDULE.

**WINDOW SCHEDULE**

Mark	Width	Height	Count	Notes
A	4'-3 1/2"	4'-5 1/2"	1	
B	2'-3 1/2"	4'-5 1/2"	1	
C	2'-0"	6'-0"	1	
D	3'-11"	1'-11 1/2"	1	
E	1/2"		1	
F	9'-6"	5'-0"	1	
G	5'-0"	5'-6"	2	
H	5'-0"	7'-0"	1	
I	10'-0"	10'-0"	4	
J	14'-0"	10'-0"	1	
K	4'-0"	10'-0"	2	
L	18'-0"	10'-0"	1	
M	22'-0"	10'-0"	1	
N	10'-0"	2'-0"	3	
O	8'-0"	10'-0"	1	
P	4'-0"	2'-0"	3	
Q	8'-0"	8'-0"	3	
R	8'-0"	4'-0"	2	
S	8'-0"	5'-0"	2	
T	12'-0"	10'-0"	3	
U	5'-0"	10'-0"	1	
V	1'-8"	5'-0"	4	
W	5'-0"	10'-0"	2	
X	6'-0"	3'-0"	8	
Y	11'-0"	10'-0"	2	
Z	8'-0"	4'-0"	5	

**DOOR SCHEDULE**

#	Width	Height	Count	Keynote
1	6'-0"	6'-8"	3	
2	2'-8"	8'-0"	15	
3	3'-0"	8'-0"	22	
4	6'-0"	8'-0"	1	
5	2'-8"	6'-8"	1	
6	21'-0"	10'-0"	1	
7	3'-0"	8'-0"	1	
8	5'-0"	8'-0"	1	
9	5'-11 1/2"	9'-11 1/2"	1	
10	24'-0"	10'-0"	1	
11	10'-0"	8'-0"	1	
12	8'-0"	8'-0"	1	
13	16'-0"	10'-0"	1	
14	37'-11"	9'-11 1/2"	1	
15	20'-11"	9'-11 1/2"	1	
16	20'-0"	8'-0"	4	



MAIN HOUSE - PARTIAL SOUTH FLOOR PLAN  
1/4" = 1'-0"



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 22647 VENTURA BLVD, #362  
 WOODLAND HILLS, CA 91364  
 (805) 469-4883

**PRINTS ISSUED**

DATE	PURPOSE	NO.

**CLIENTS INFORMATION:**  
 Owner  
 2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361

SHEET TITLE:  
**MAIN HOUSE - PARTIAL SOUTH FLOOR PLAN**

PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361**

DRAWINGS VALID ONLY WITH ENGINEERS WET SIGNATURE OVER SEAL ON EACH SHEET IN INK

Author: 20.1012.179

SHEET NUMBER:  
**A-1.2**  
 2/21/2021 11:09:38 PM

**WINDOW SCHEDULE**

WINDOW LABELING IS TO REMAIN IN PLACE ON THE WINDOW(S) AT THE TIME OF THE INSPECTION AND SHALL MATCH THE FACTORS AND COEFFICIENTS ON THE TITLE 24 ENERGY CALCULATIONS

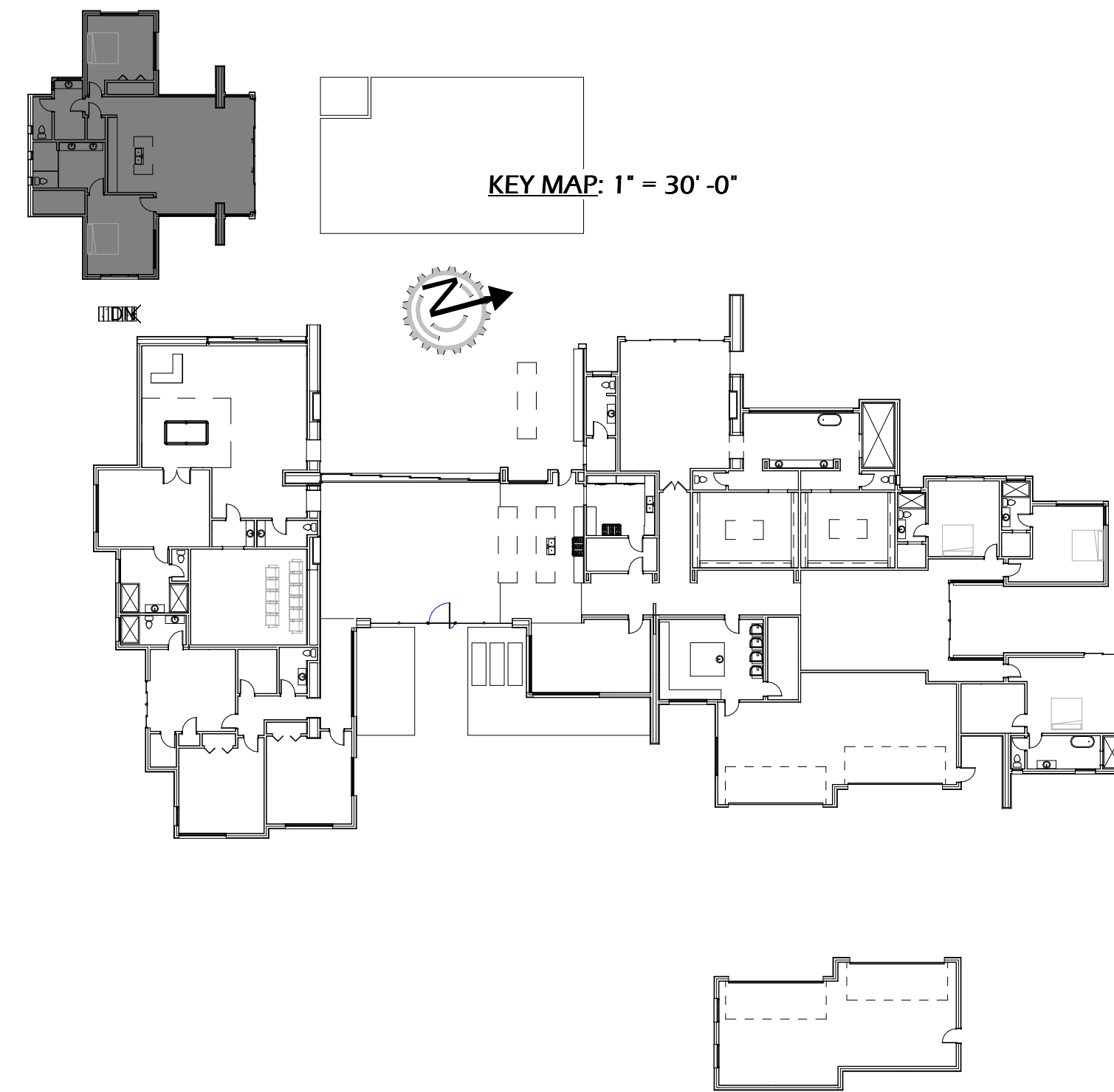
Mark	Width	Height	Count	Notes
A	4'-3 1/2"	4'-5 1/2"	1	
B	2'-3 1/2"	4'-5 1/2"	1	
C	2'-0"	6'-0"	1	
D	3'-11 1/2"	1'-11 1/2"	1	
E	9'-6"	5'-0"	1	
F	5'-0"	5'-6"	2	
G	8'-0"	7'-0"	1	
H	5'-0"	5'-0"	3	
I	10'-0"	10'-0"	4	
J	14'-0"	10'-0"	1	
K	4'-0"	10'-0"	2	
L	18'-0"	10'-0"	1	
M	22'-0"	10'-0"	1	
N	10'-0"	2'-0"	3	
O	8'-0"	10'-0"	1	
P	4'-0"	2'-0"	3	
Q	8'-0"	8'-0"	3	
R	8'-0"	4'-0"	2	
S	8'-0"	5'-0"	2	
T	12'-0"	10'-0"	3	
U	5'-0"	10'-0"	1	
V	1'-8"	5'-0"	4	
W	5'-0"	10'-0"	2	
X	6'-0"	3'-0"	8	
Y	11'-0"	10'-0"	2	
Z	8'-0"	4'-0"	5	

New: 59

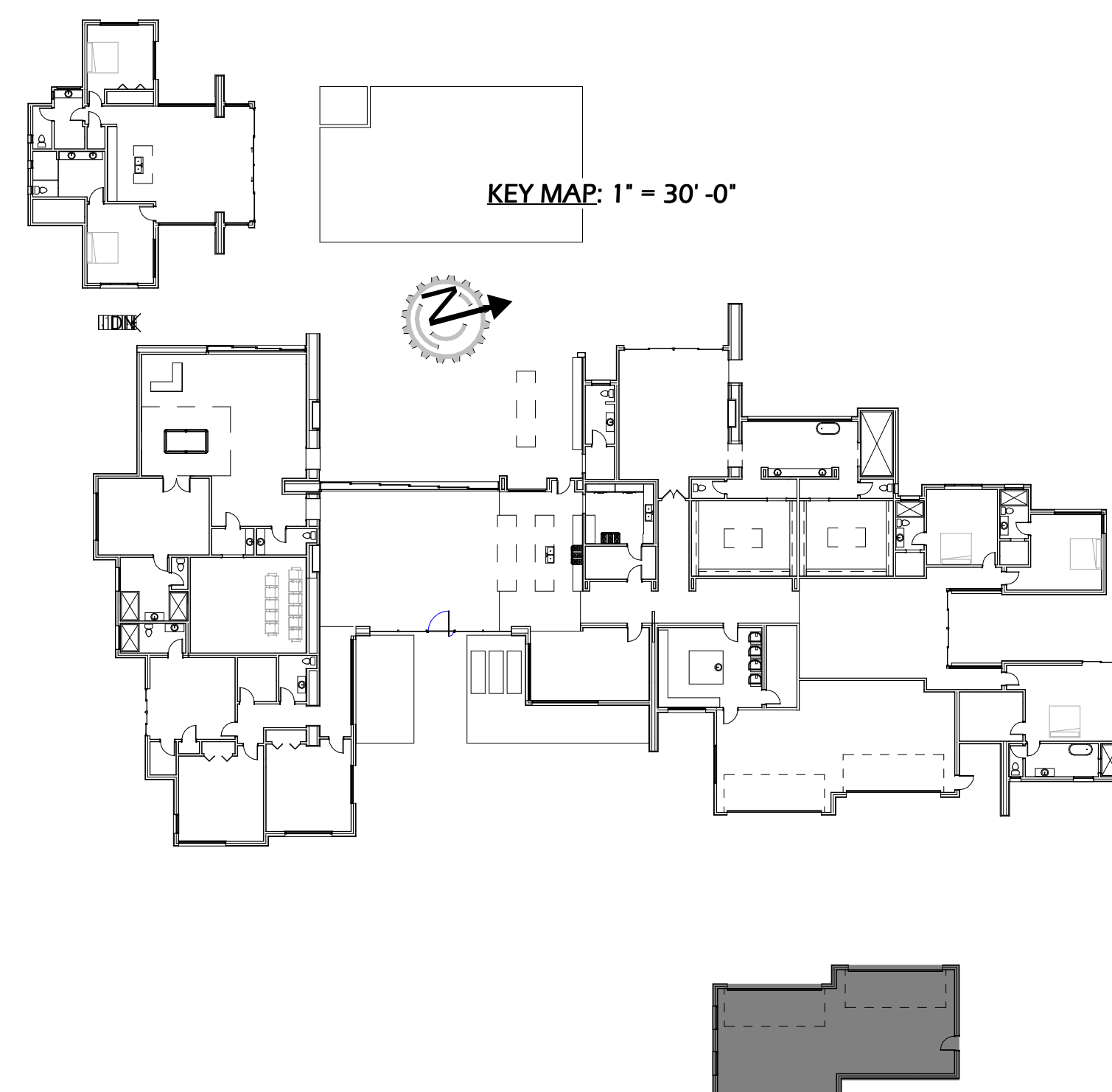
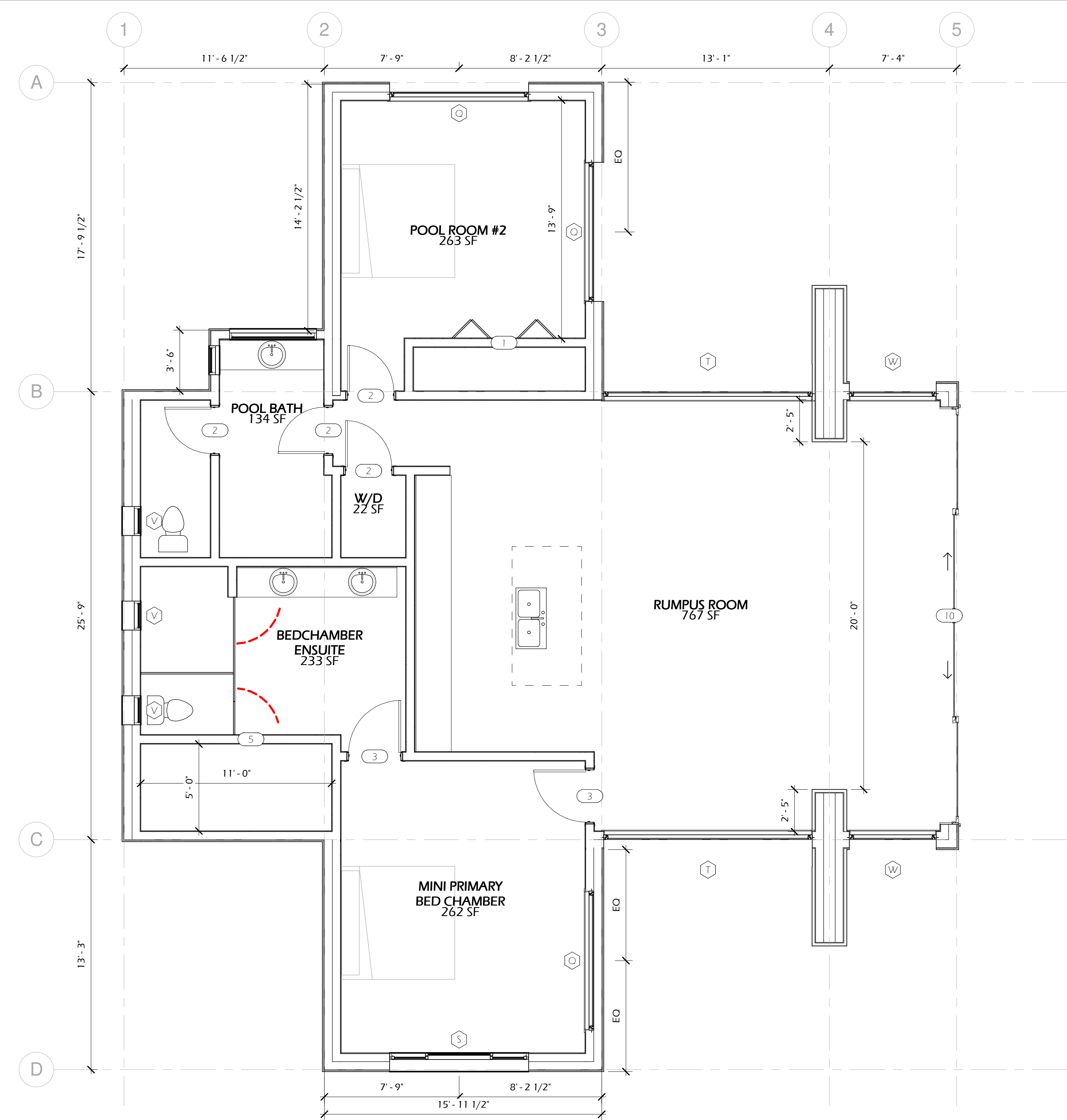
**DOOR SCHEDULE**

#	Width	Height	Count	Keynote
1	6'-0"	6'-8"	3	
2	2'-8"	8'-0"	15	
3	3'-0"	8'-0"	22	
4	6'-0"	8'-0"	1	
5	2'-8"	6'-8"	1	
6	21'-0"	10'-0"	1	
7	3'-0"	8'-0"	1	
8	5'-0"	8'-0"	1	
9	5'-11 1/2"	9'-11 1/2"	1	
10	24'-0"	10'-0"	1	
11	10'-0"	8'-0"	1	
12	8'-0"	8'-0"	1	
13	16'-0"	10'-0"	1	
14	37'-11"	9'-11 1/2"	1	
15	20'-11"	9'-11 1/2"	1	
16	20'-0"	8'-0"	4	

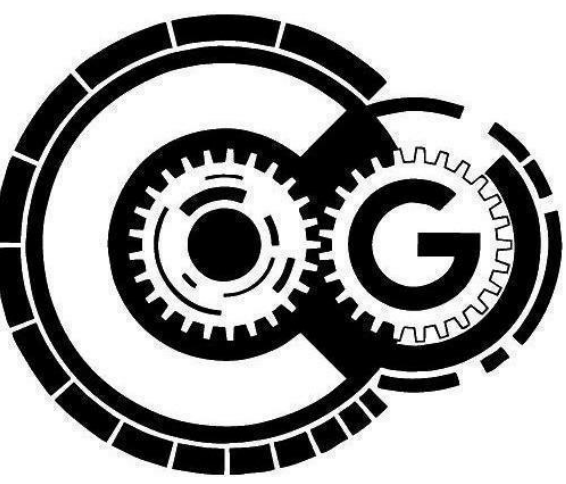
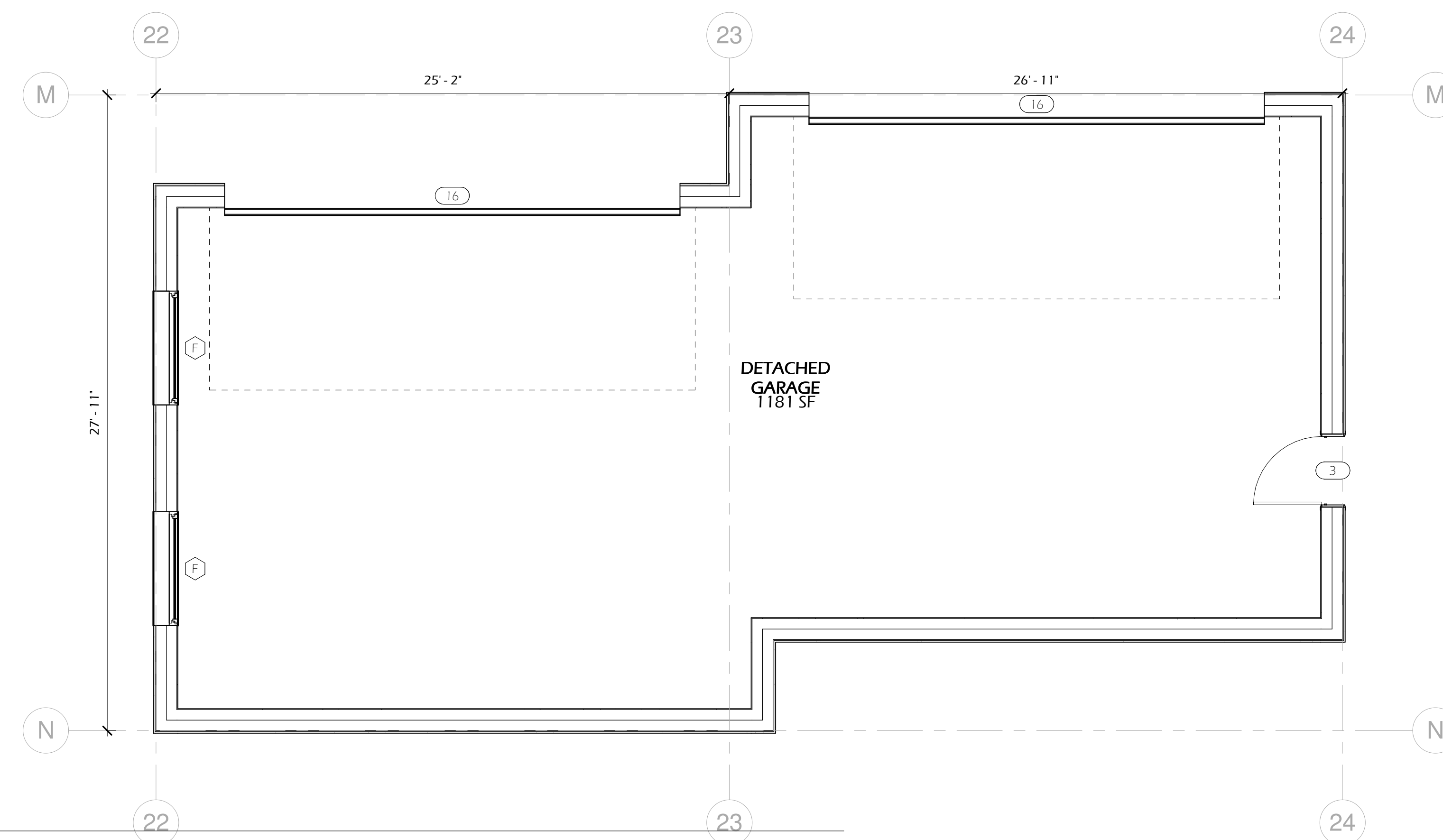
New: 56



1 POOL HOUSE - FLOOR PLAN  
1/4" = 1'-0"



3 DETACHED GARAGE - FLOOR PLAN  
1/4" = 1'-0"



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22647 VENTURA BLVD, #362  
WOODLAND HILLS, CA 91364  
(805) 469-4883

**PRINTS ISSUED**

DATE	PURPOSE	NO.

**CLIENTS INFORMATION:**

Owner  
2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361

SHEET TITLE:  
**POOL HOUSE & DETACHED GARAGE FLOOR PLANS**

PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361**

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Author 20.1012.179

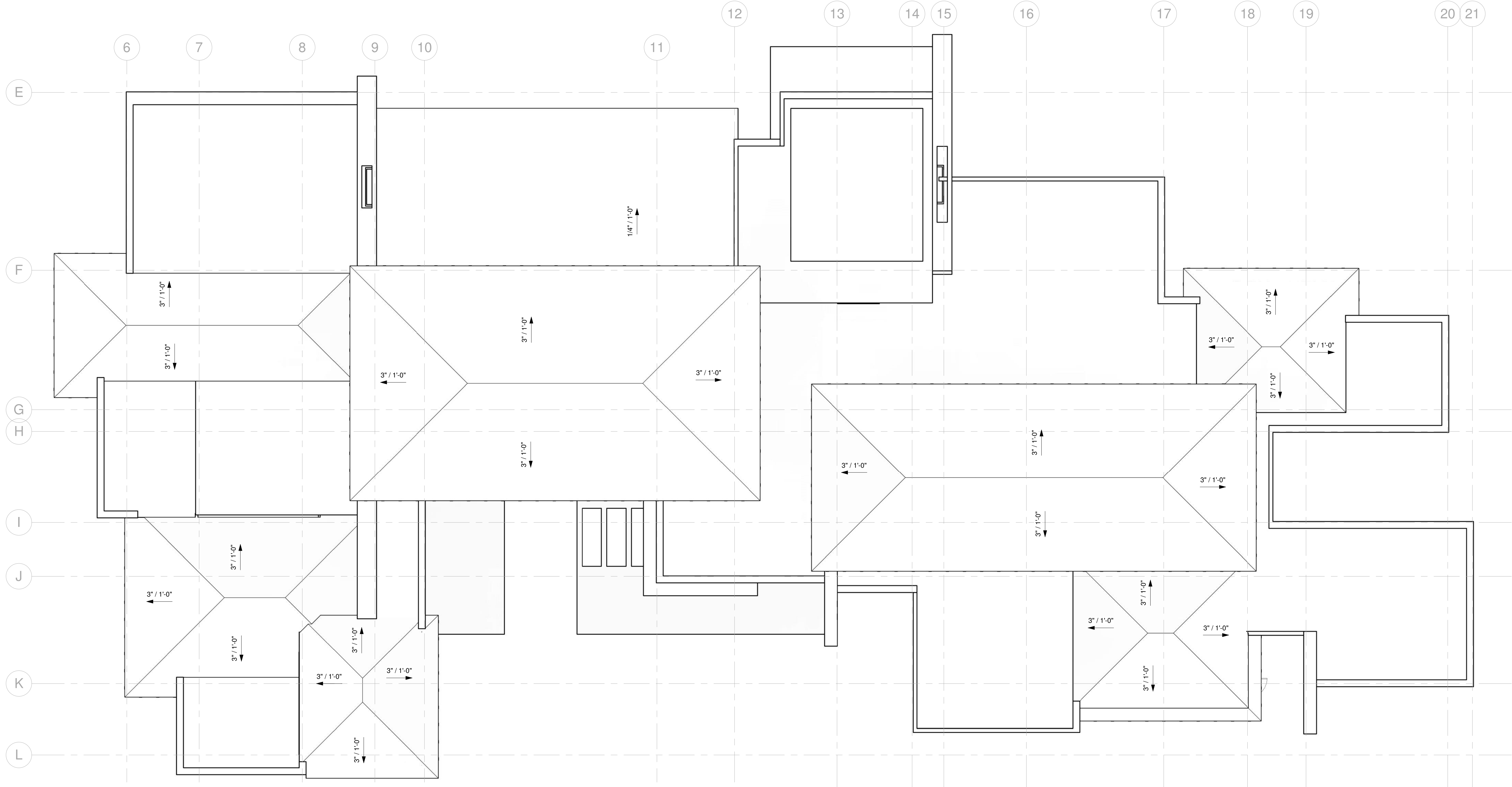
SHEET NUMBER

**A-1.3**

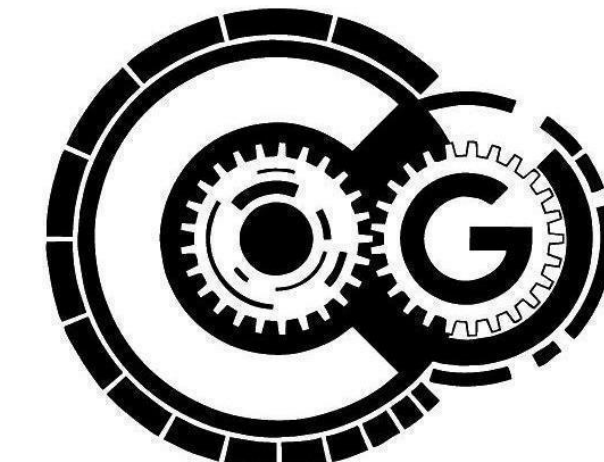
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**1** ROOF PLAN - MAIN HOUSE  
 1/8" = 1'-0"



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PRINTS ISSUED		
DATE	PURPOSE	NO.

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SHEET TITLE:  
**ROOF PLAN - MAIN HOUSE**  
 PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361**

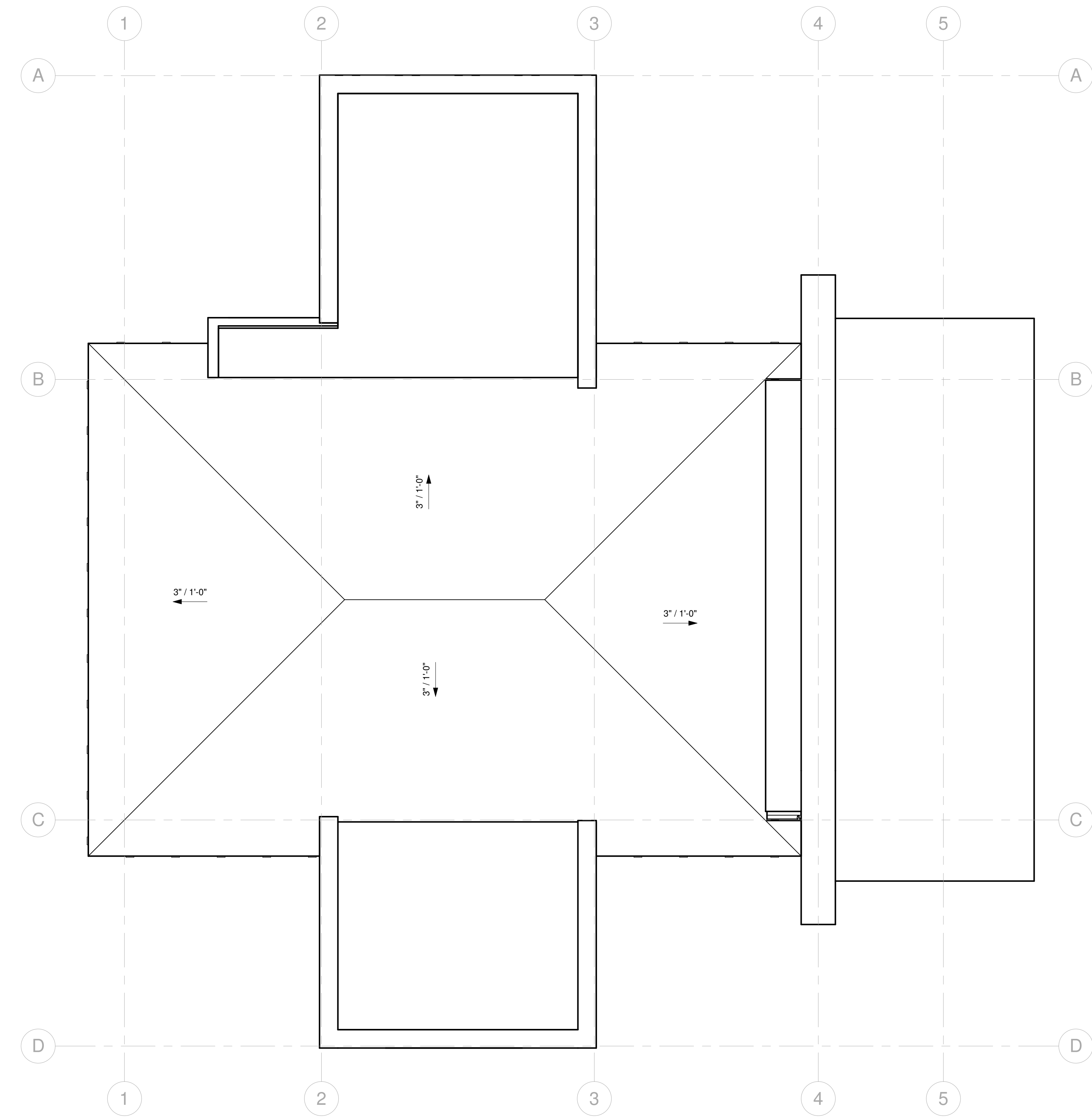
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 SEAL ON EACH  
 SHEET IN INK

Author: 20.1012.179

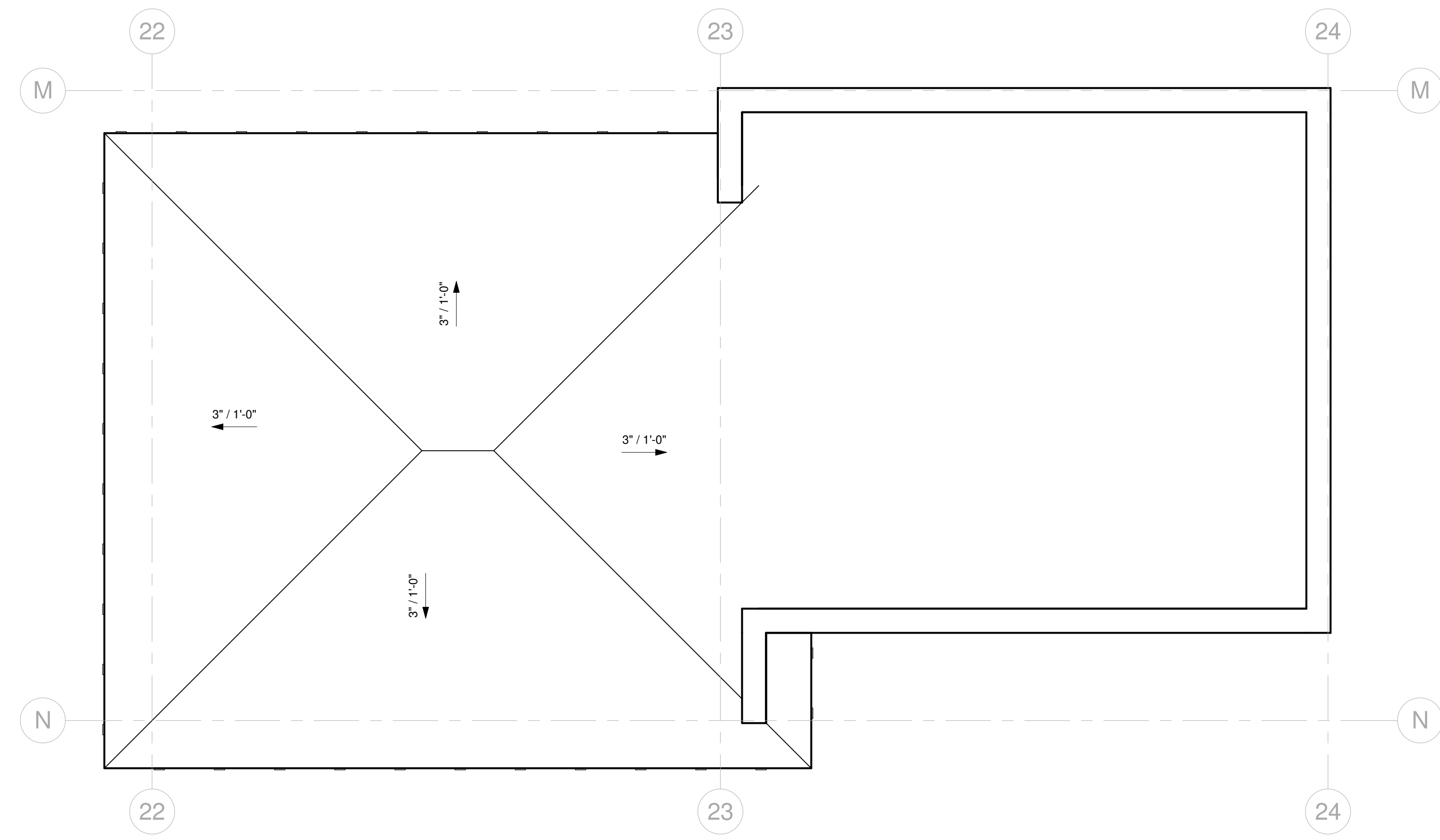
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**A-2.0**

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1 ROOF PLAN - POOL HOUSE  
1/4" = 1'-0"



2 ROOF PLAN - DETACHED GARAGE  
1/4" = 1'-0"



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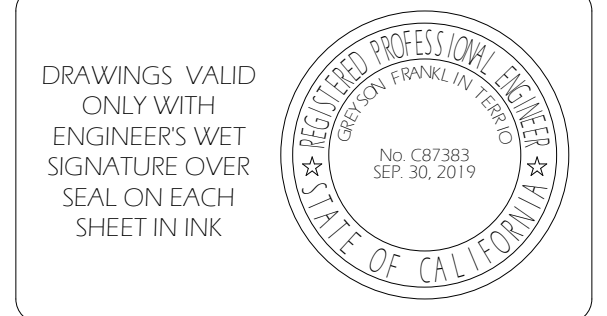
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PRINTS ISSUED		
DATE	PURPOSE	NO.

CLIENTS INFORMATION:  
Owner  
2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361

SHEET TITLE:  
**ROOF PLAN - POOL HOUSE & DETACHED GARAGE**

PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361**

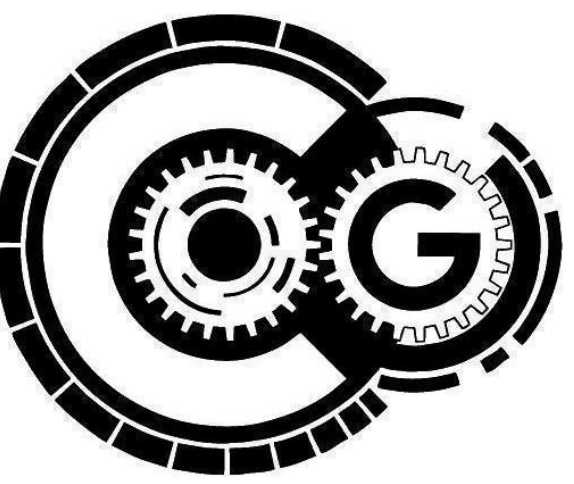
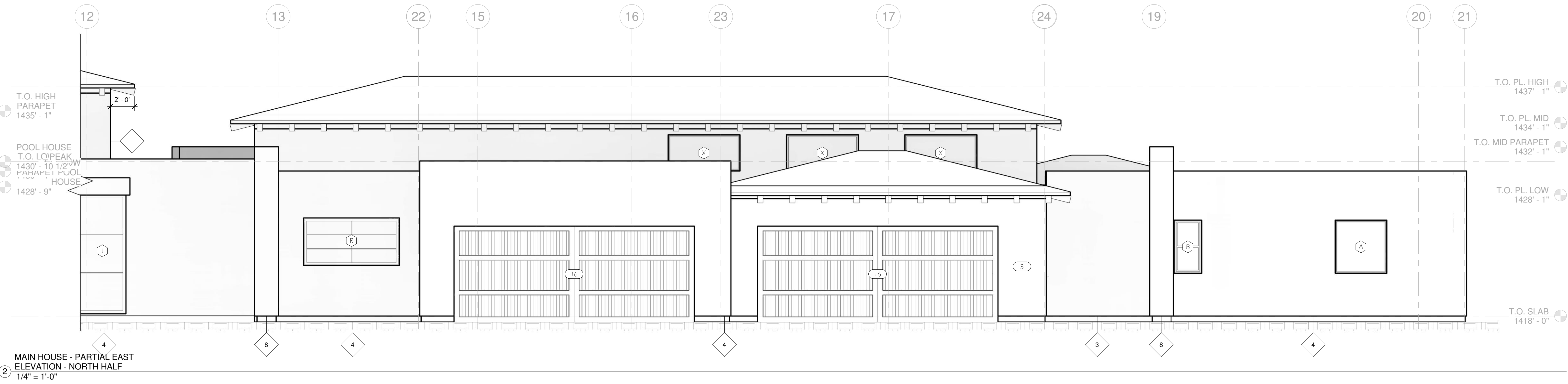
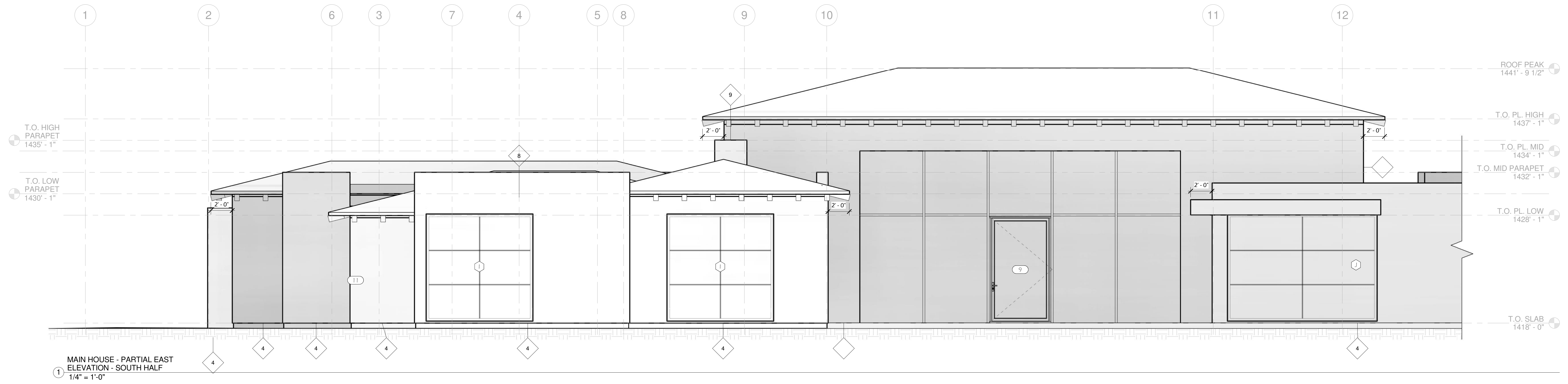


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Author 20.1012.179

SHEET NUMBER  
**A-2.1**

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PRINTS ISSUED

DATE	PURPOSE	NO.

CLIENTS INFORMATION:  
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THOUSAND OAKS, CA 91361

SHEET TITLE:  
**MAIN HOUSE - EAST ELEVATION**

PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361**

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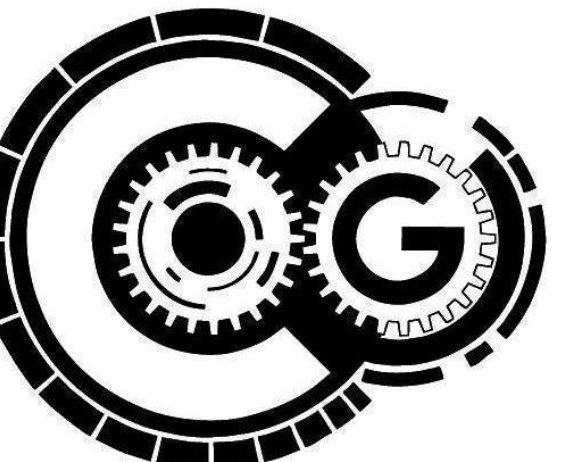
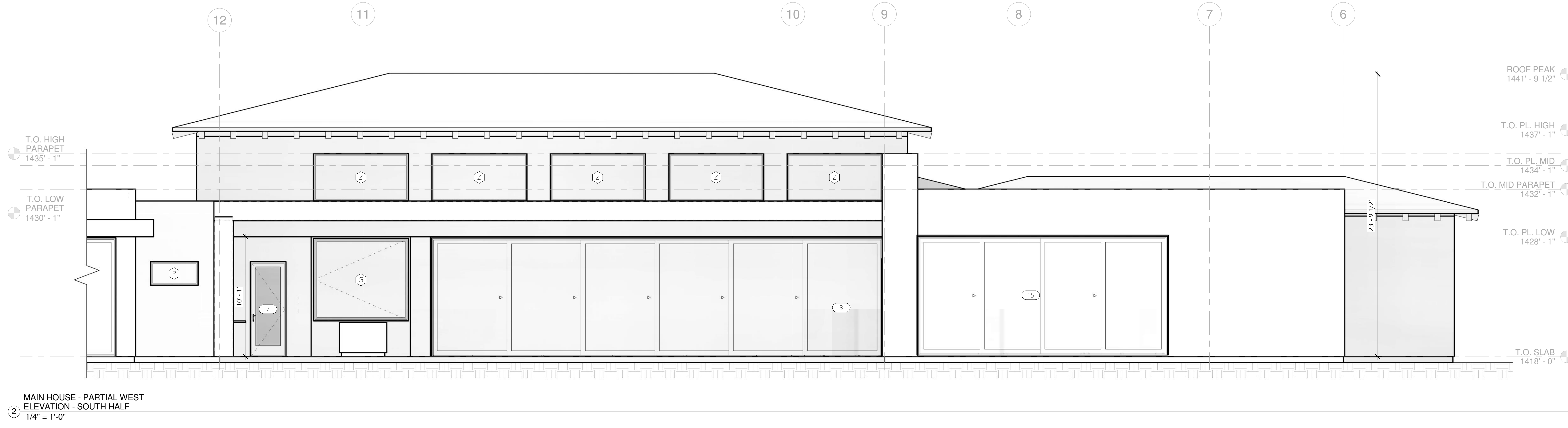
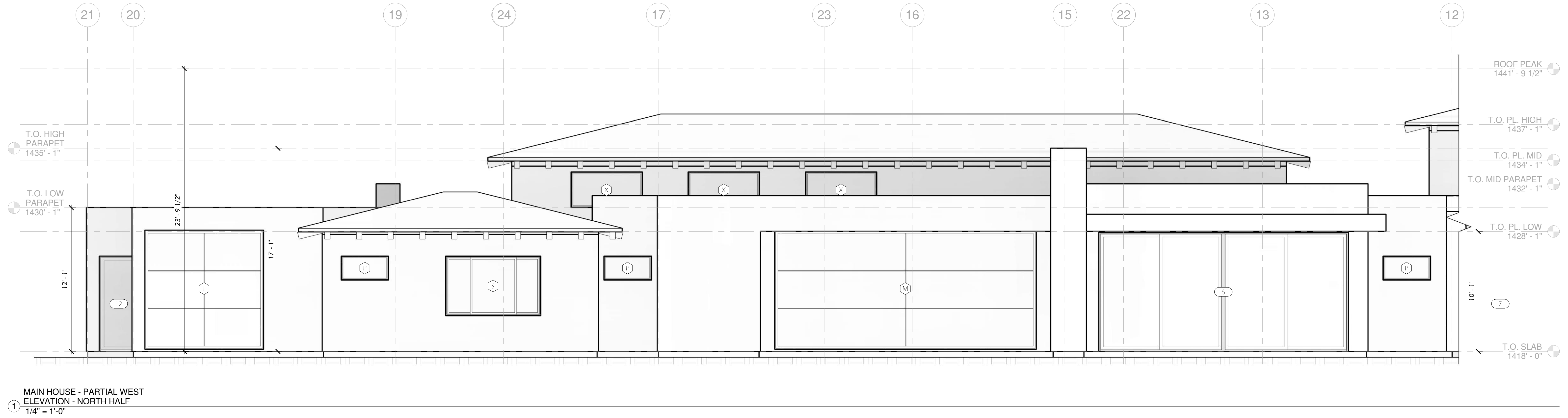
Author 20.1012.179

SHEET NUMBER

**A-3.0**

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NOTES & PRODUCT INFORMATION - A-3



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DATE	PURPOSE	NO.

**CLIENTS INFORMATION:**  
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 THOUSAND OAKS, CA 91361

**SHEET TITLE:**  
**MAIN HOUSE - WEST ELEVATION**  
**PROJECT ADDRESS:**  
**2551 WHITE STALLION ROAD**  
**THOUSAND OAKS, CA 91361**



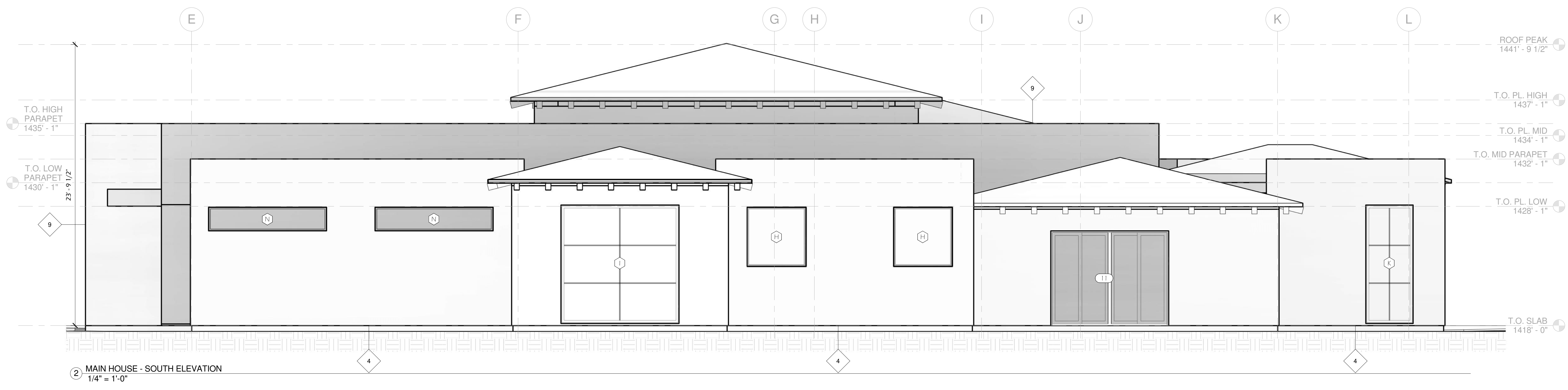
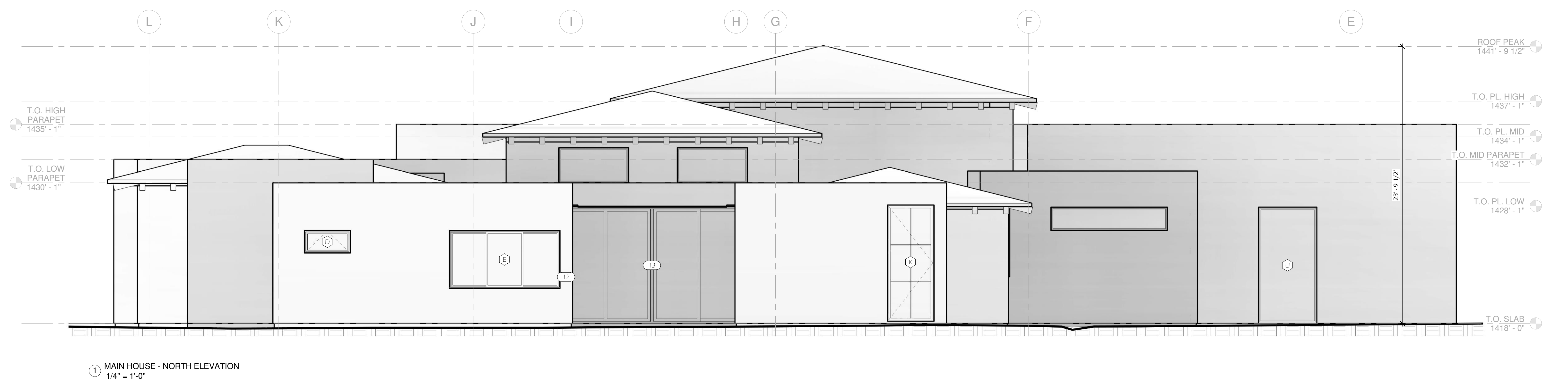
Author: 20.1012.179

**SHEET NUMBER:**  
**A-3.1**  
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NOTES & PRODUCT INFORMATION - A-3

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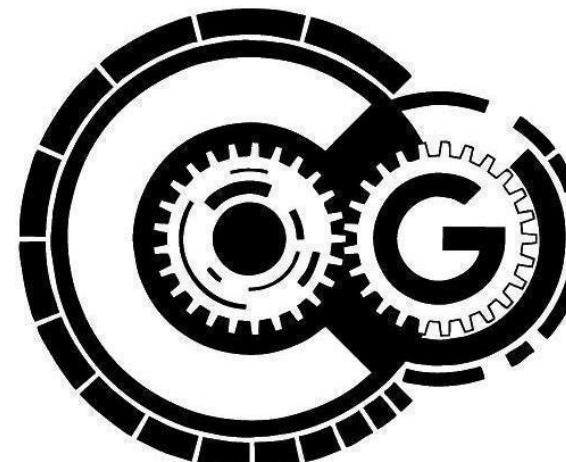
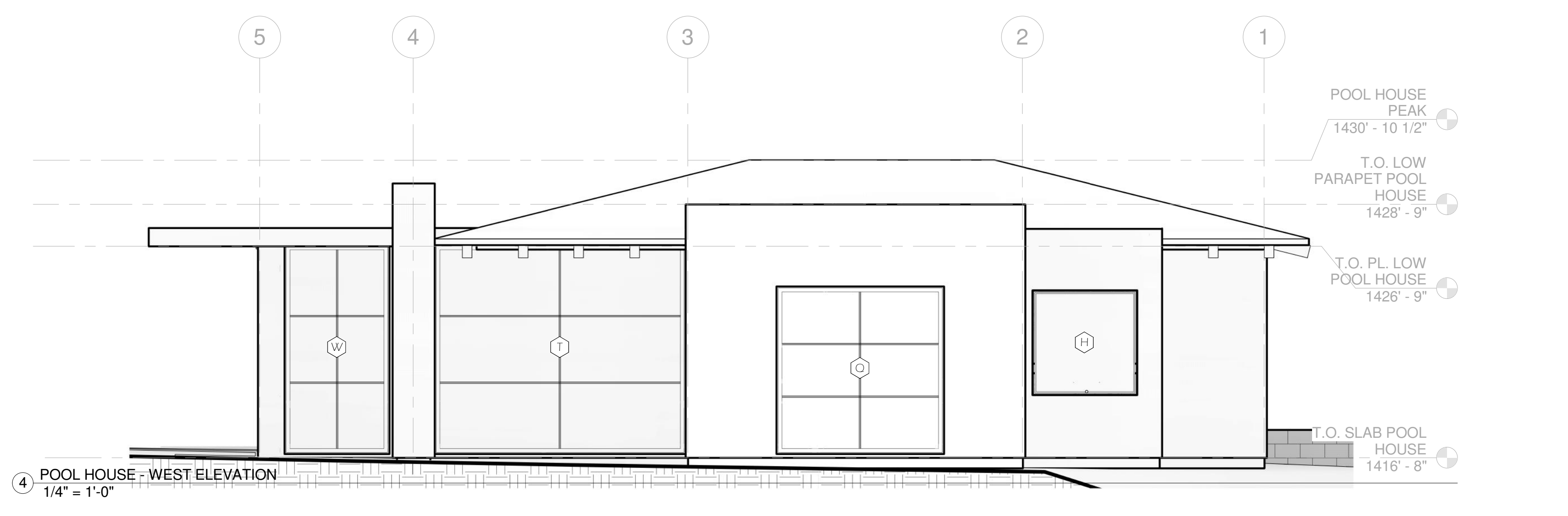
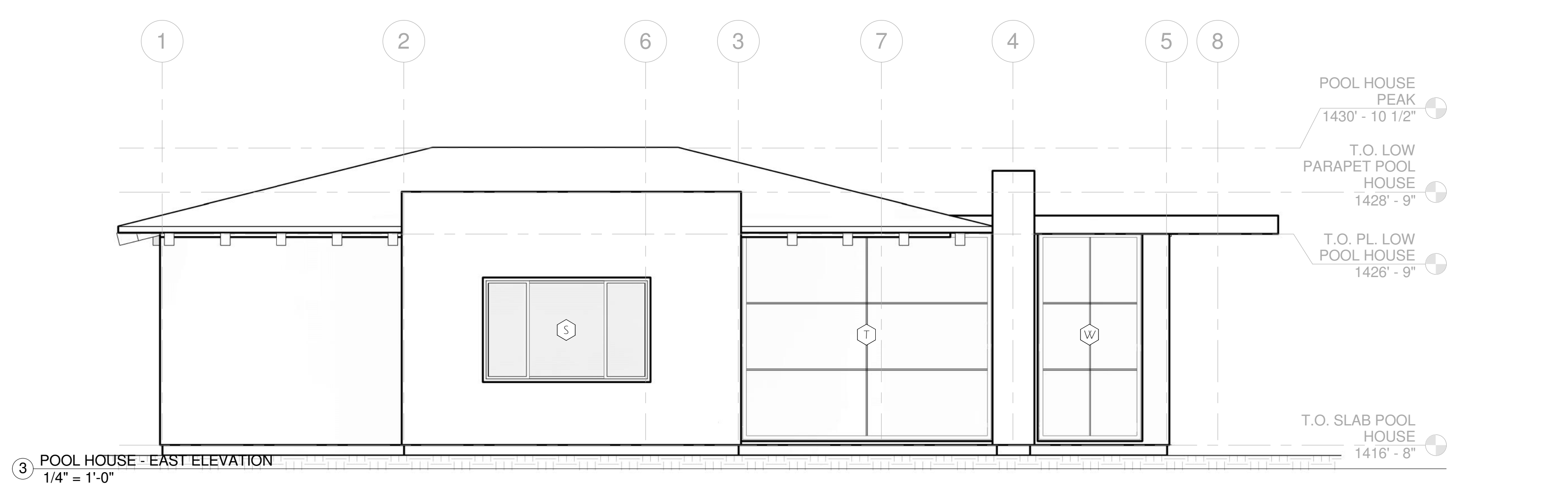
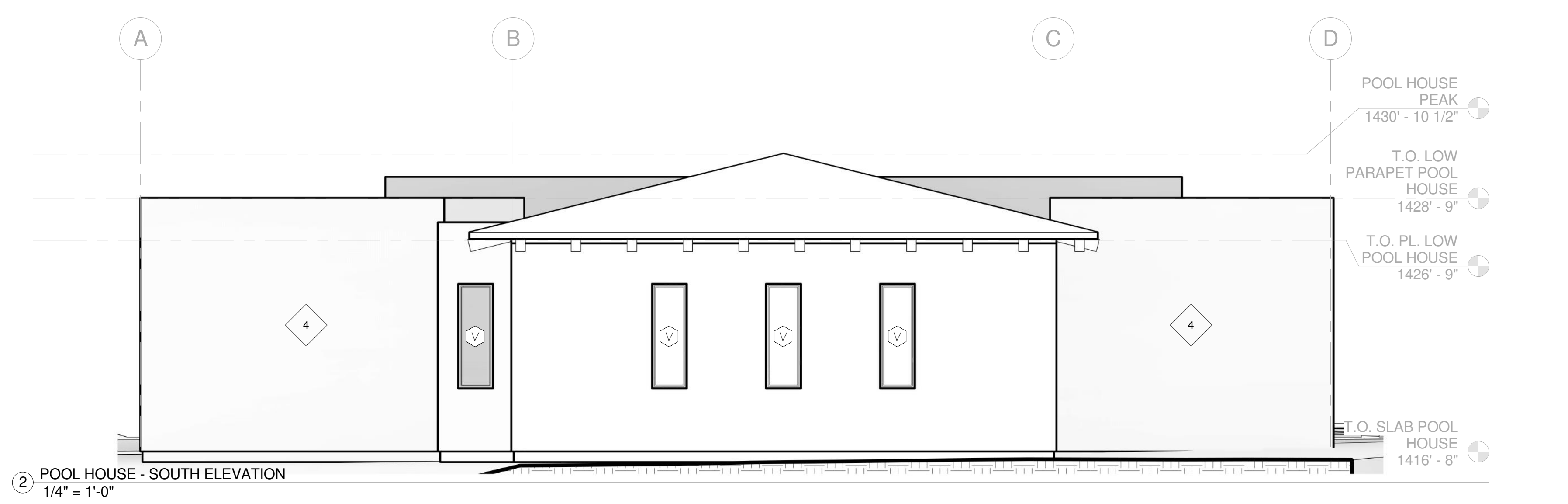
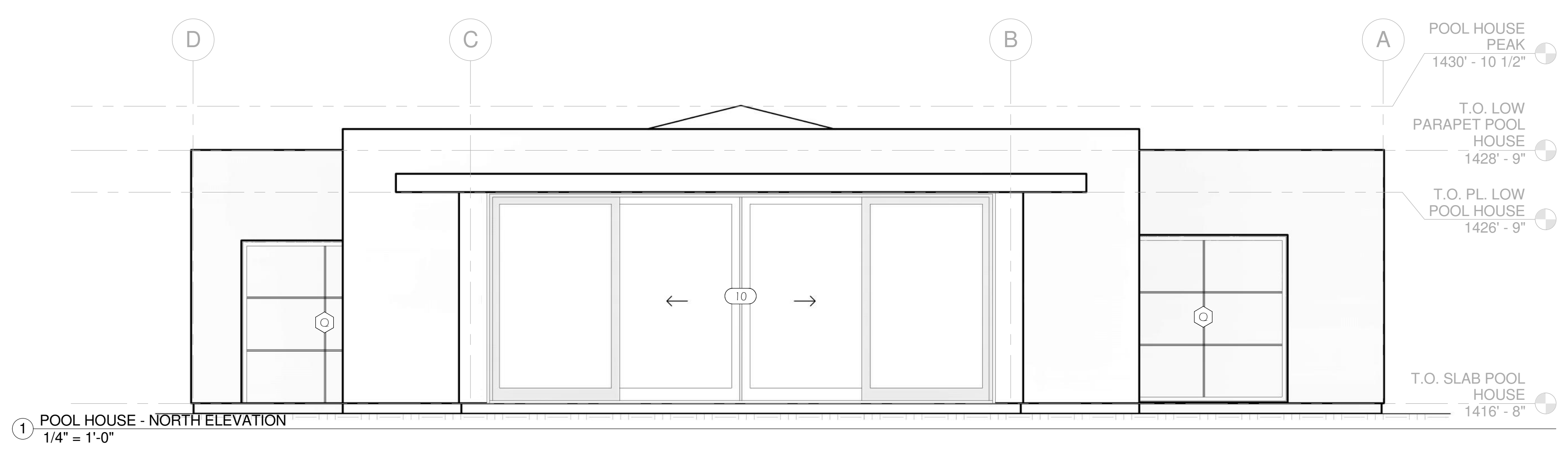
SHEET TITLE:  
**MAIN HOUSE - NORTH & SOUTH ELEVATIONS**  
 PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361**



Author 20.1012.179

SHEET NUMBER:  
**A-3.2**  
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PRINTS ISSUED		
DATE	PURPOSE	NO.

CLIENTS INFORMATION:  
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 2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361

SHEET TITLE:  
**POOL HOUSE - ELEVATIONS**  
 PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361**

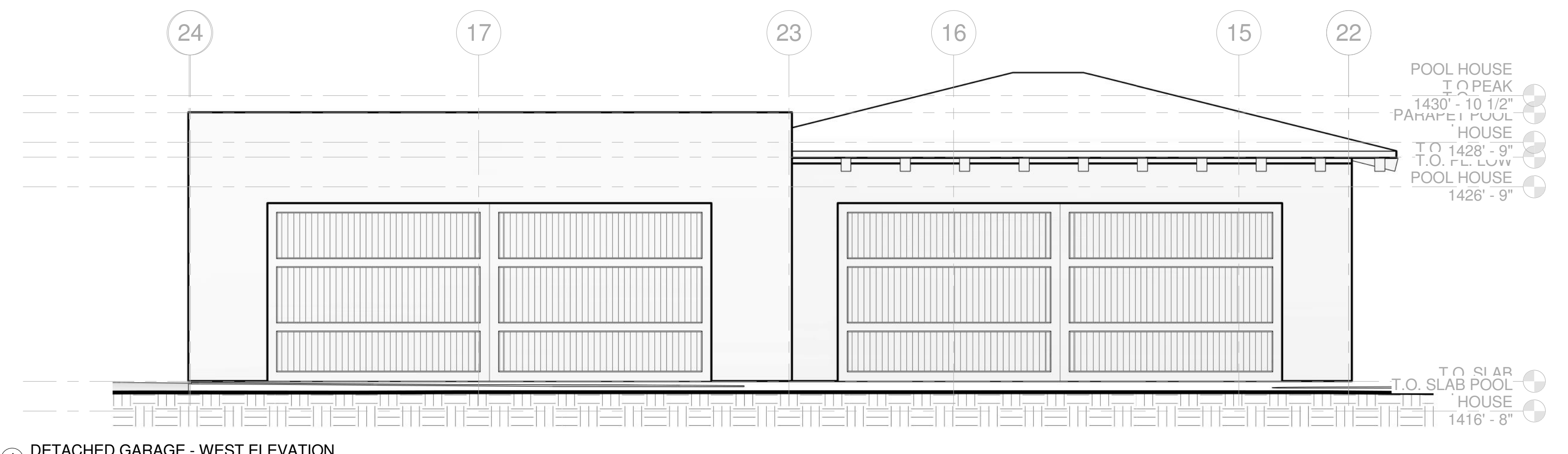
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Author 20.1012.179

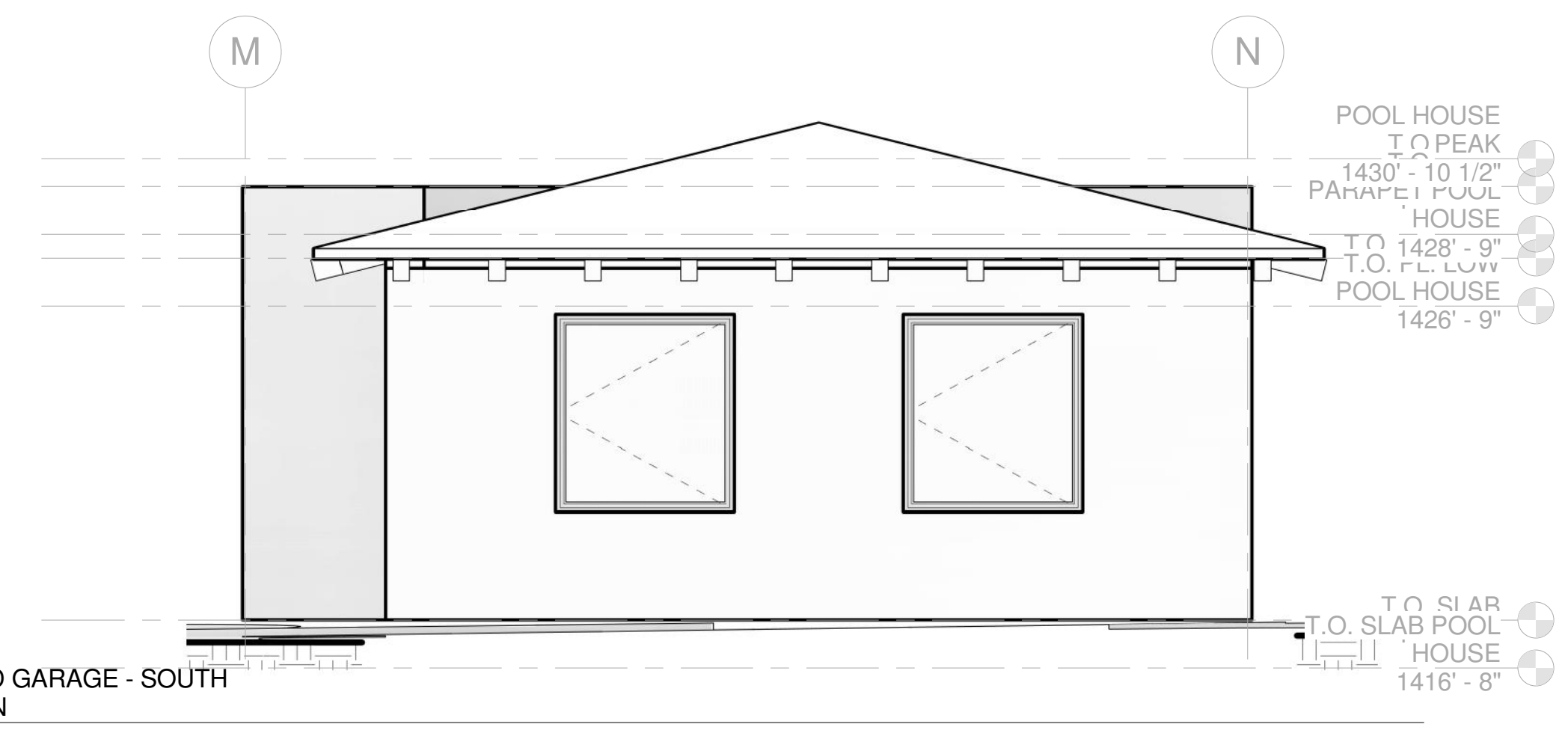
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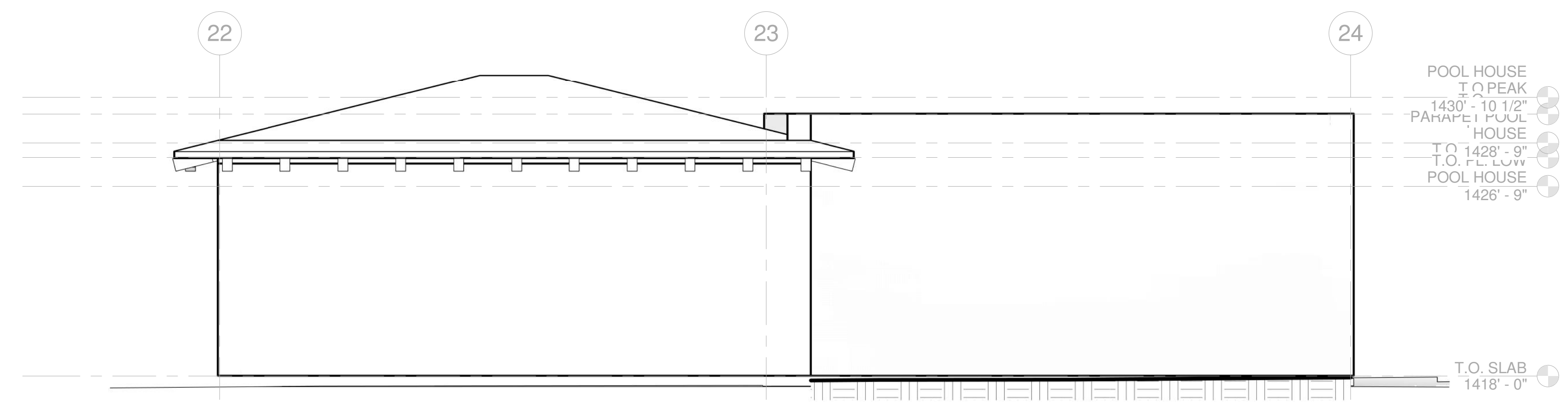
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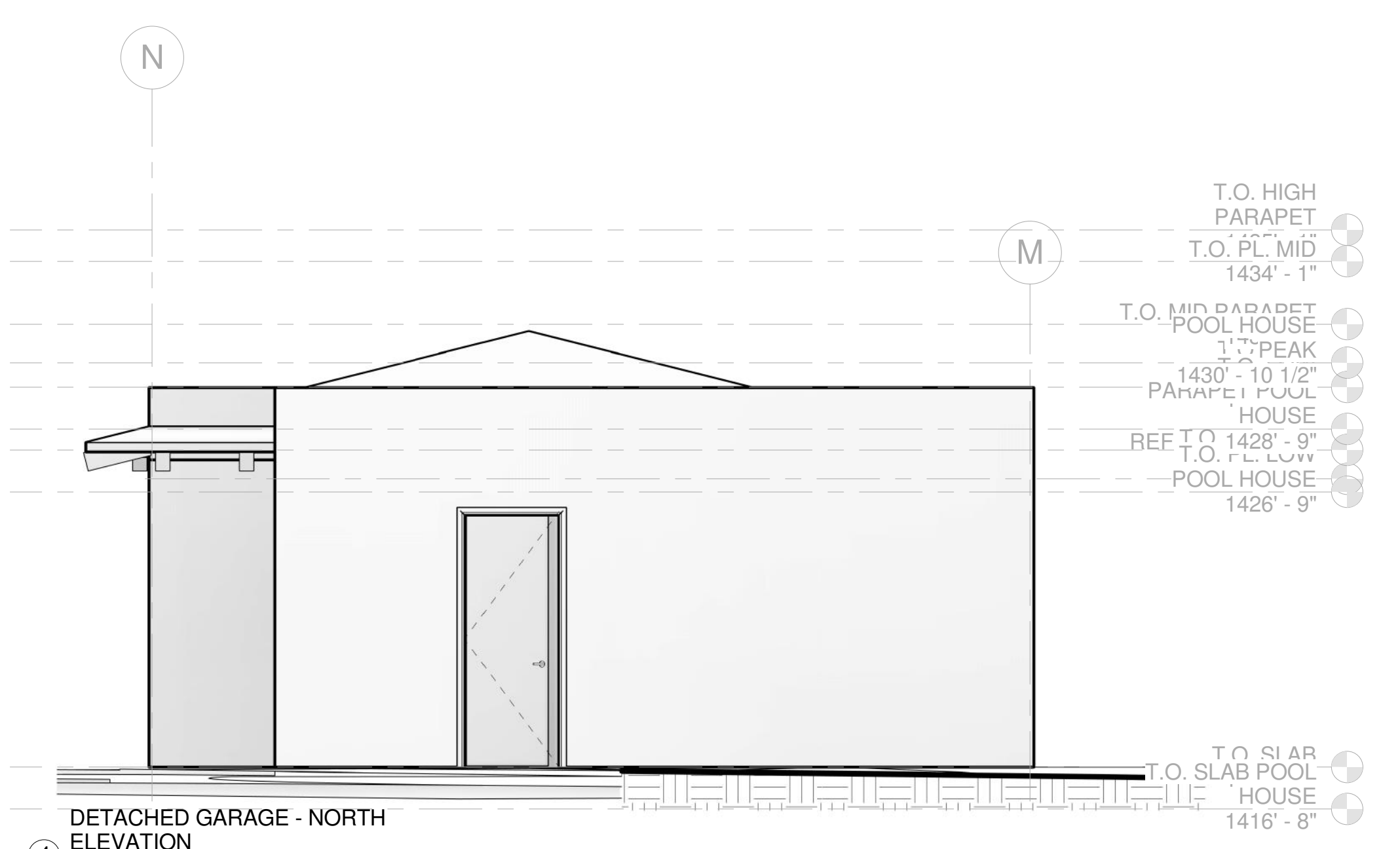
① DETACHED GARAGE - WEST ELEVATION  
1/4" = 1'-0"



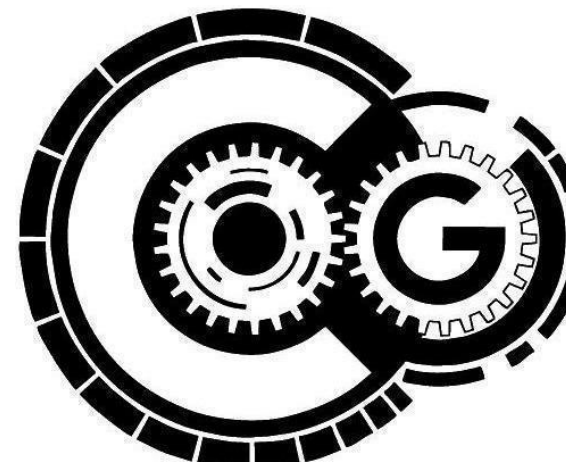
② DETACHED GARAGE - SOUTH ELEVATION  
1/4" = 1'-0"



③ DETACHED GARAGE - EAST ELEVATION  
1/4" = 1'-0"



④ DETACHED GARAGE - NORTH ELEVATION  
1/4" = 1'-0"



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SHEET TITLE:  
**DETACHED GARAGE ELEVATIONS**

PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361**

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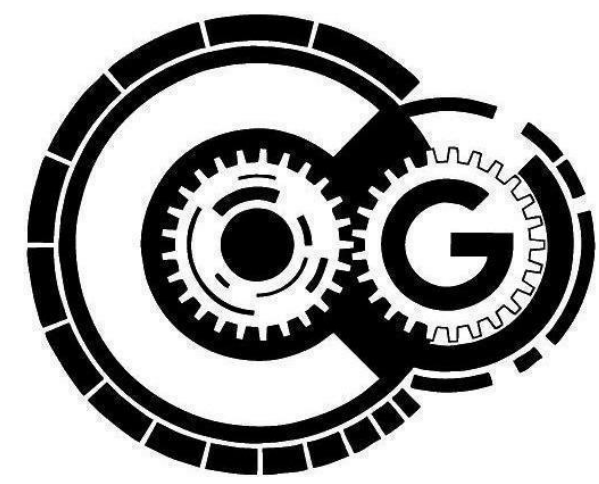
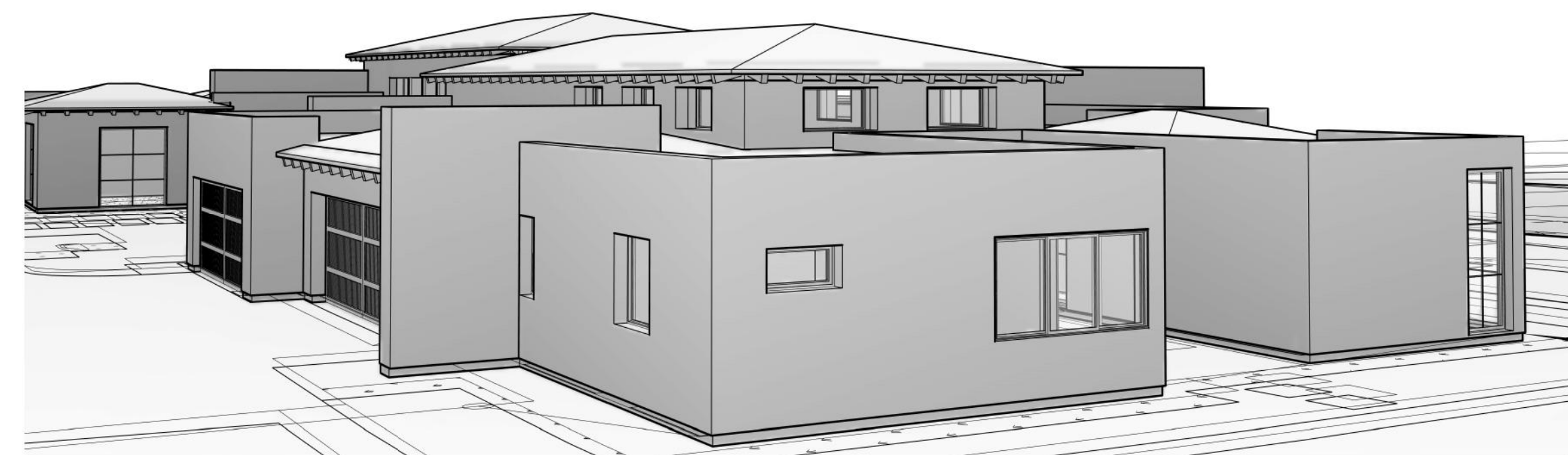
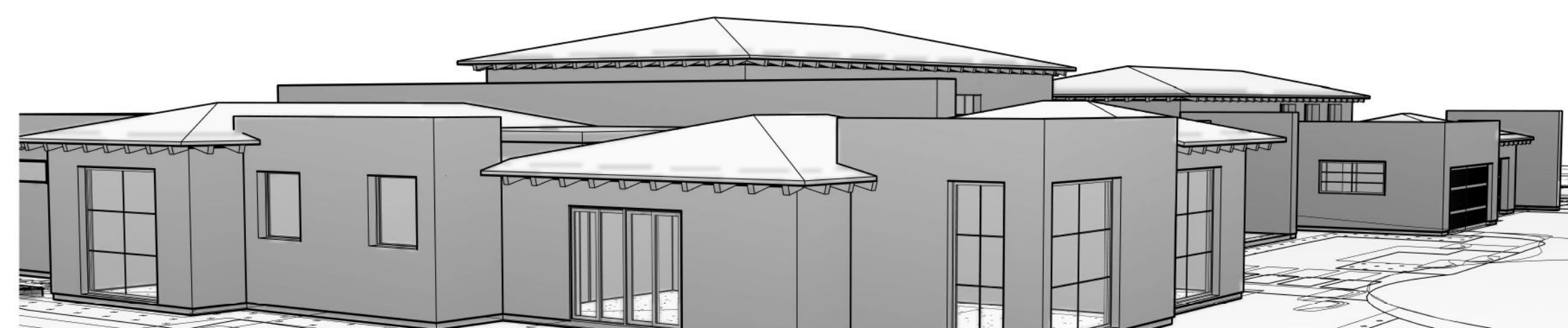
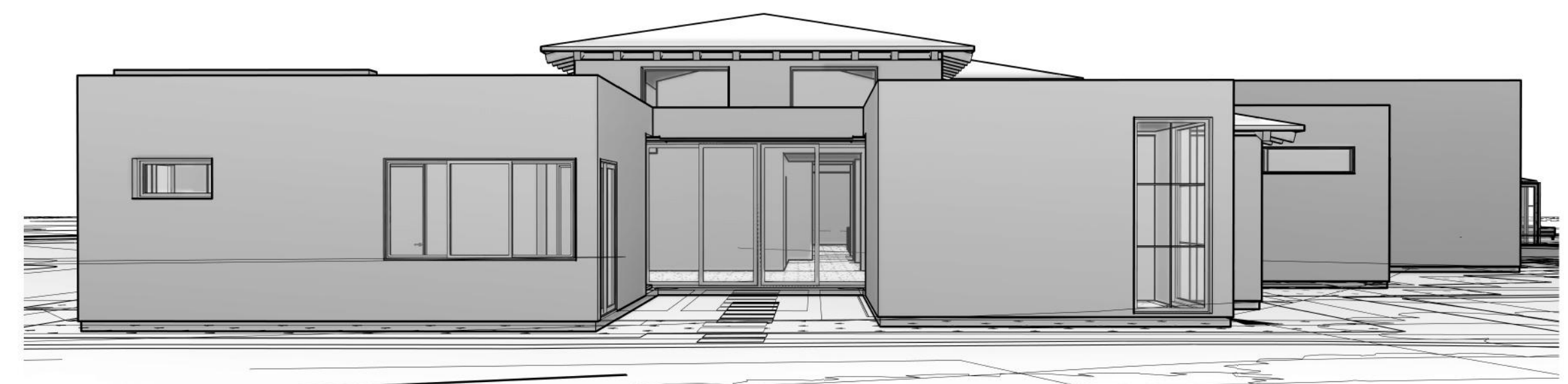
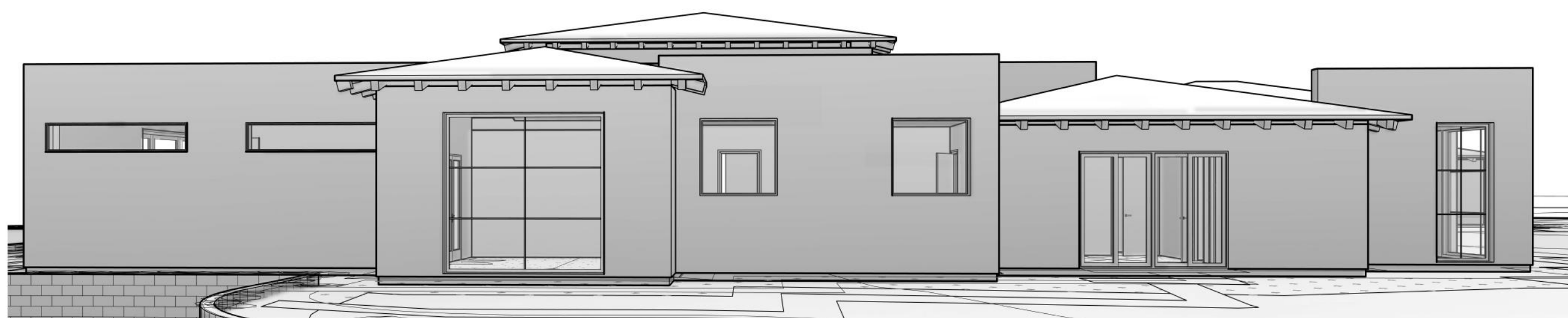


Author 20.1012.179

SHEET NUMBER  
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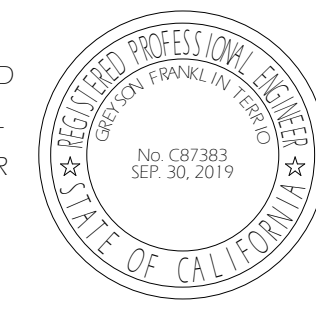
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THOUSAND OAKS, CA 91361

SHEET TITLE:  
**PERSPECTIVE PHOTOS**

PROJECT ADDRESS:  
**2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361**

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Author 20.1012.179

SHEET NUMBER  
**A-5.0**

2/21/2021 11:10:18 PM



**NEW SINGLE FAMILY DWELLING**  
**2551 WHITE STALLION ROAD**  
**THOUSAND OAKS, CA 91361**  
**APN 668-0-080-140**

Date FEBRUARY 9, 2021

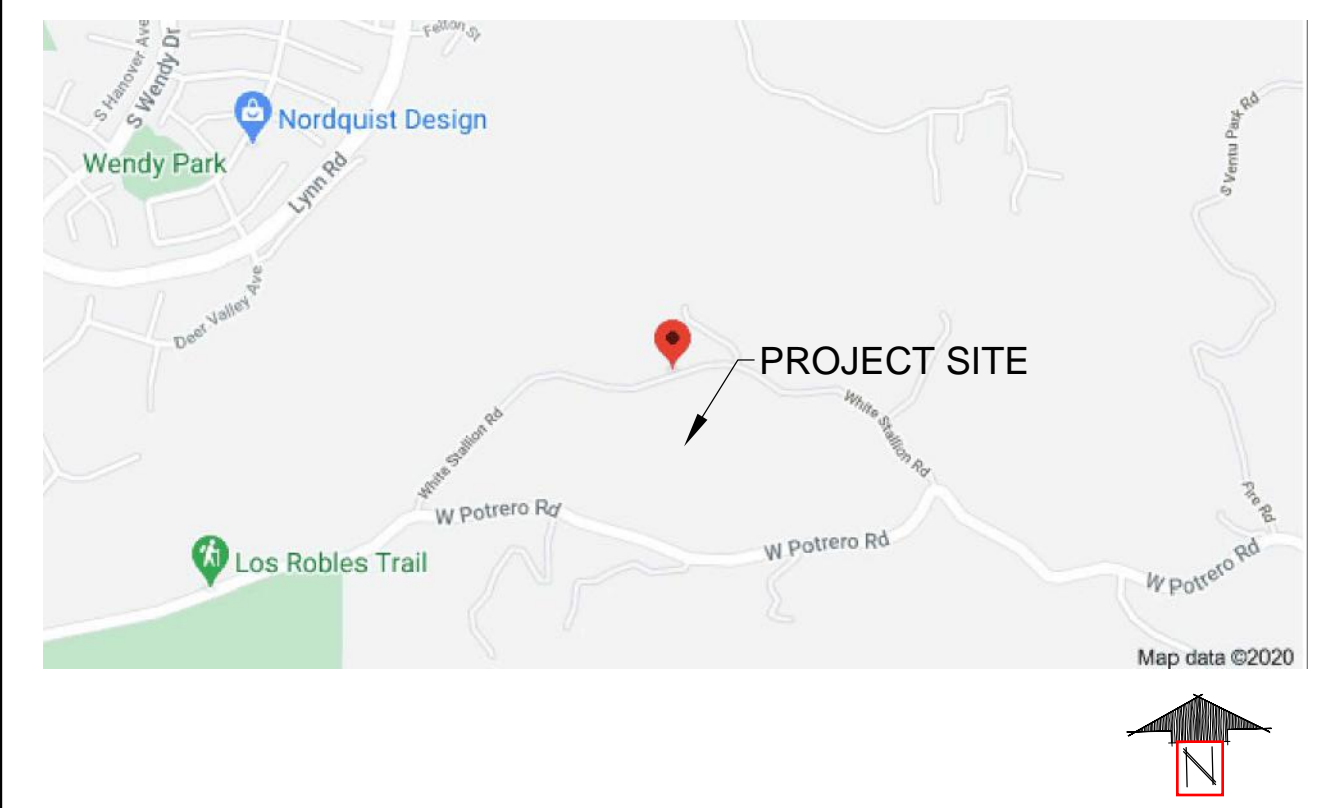
Drawn

Scale

**L-0**

2/9/21 PLOTTED 2/9/21

**VICINITY MAP** SCALE: NTS



**SHEET INDEX**

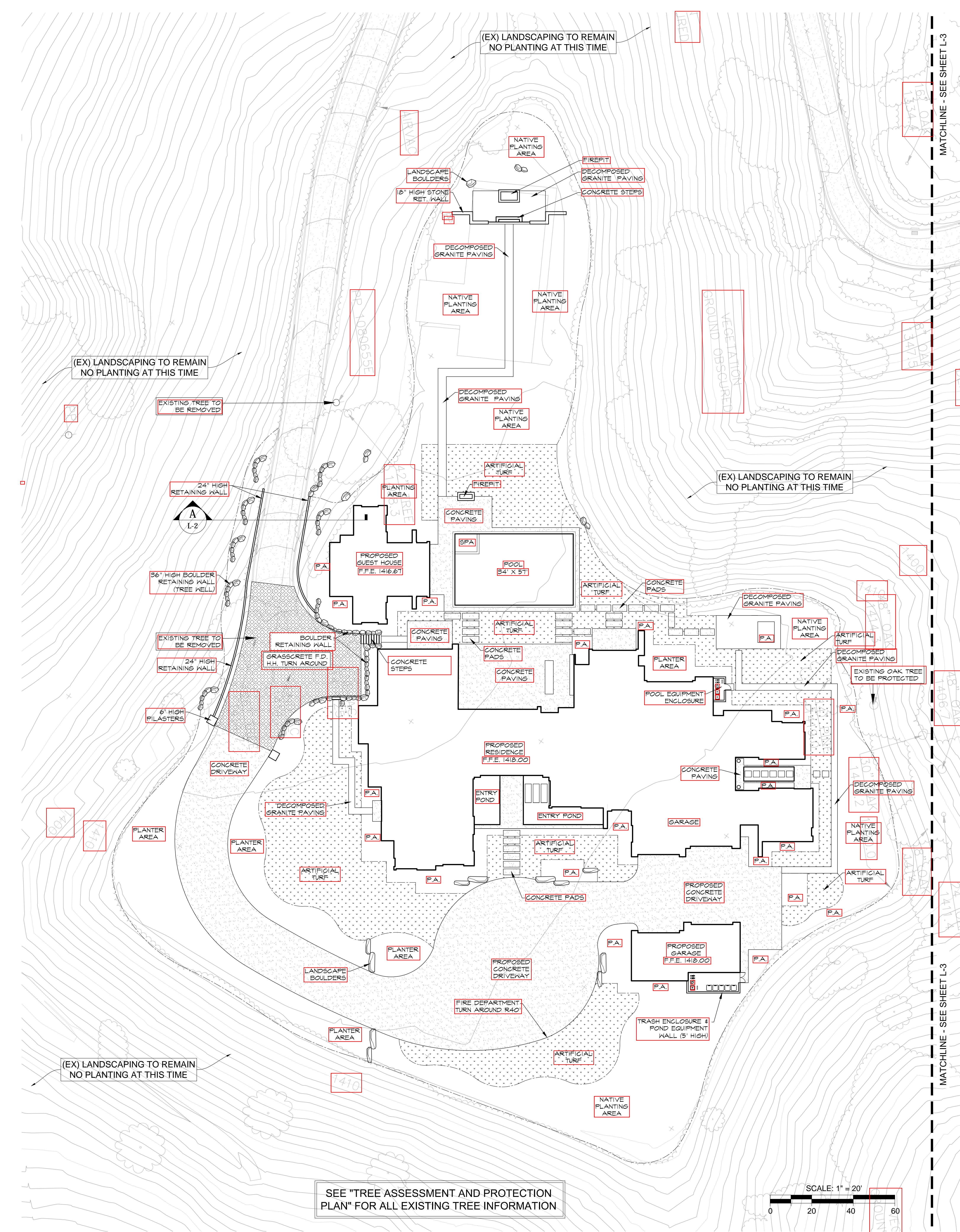
SHEET #	DESCRIPTION
L-0	COVER SHEET
L-1	SITE PLAN
L-2	LANDSCAPE PLAN - (PAD AREA) & SECTION
L-3	LANDSCAPE PLAN - (ENTRY GATE)
L-4	PLANTING PLAN - (PAD AREA)
L-5	PLANTING PLAN - (ENTRY GATE)
L-6	FUEL MODIFICATION PLAN - (PAD AREA)
L-7	FUEL MODIFICATION PLAN - (ENTRY GATE)

**SCOPE OF WORK**

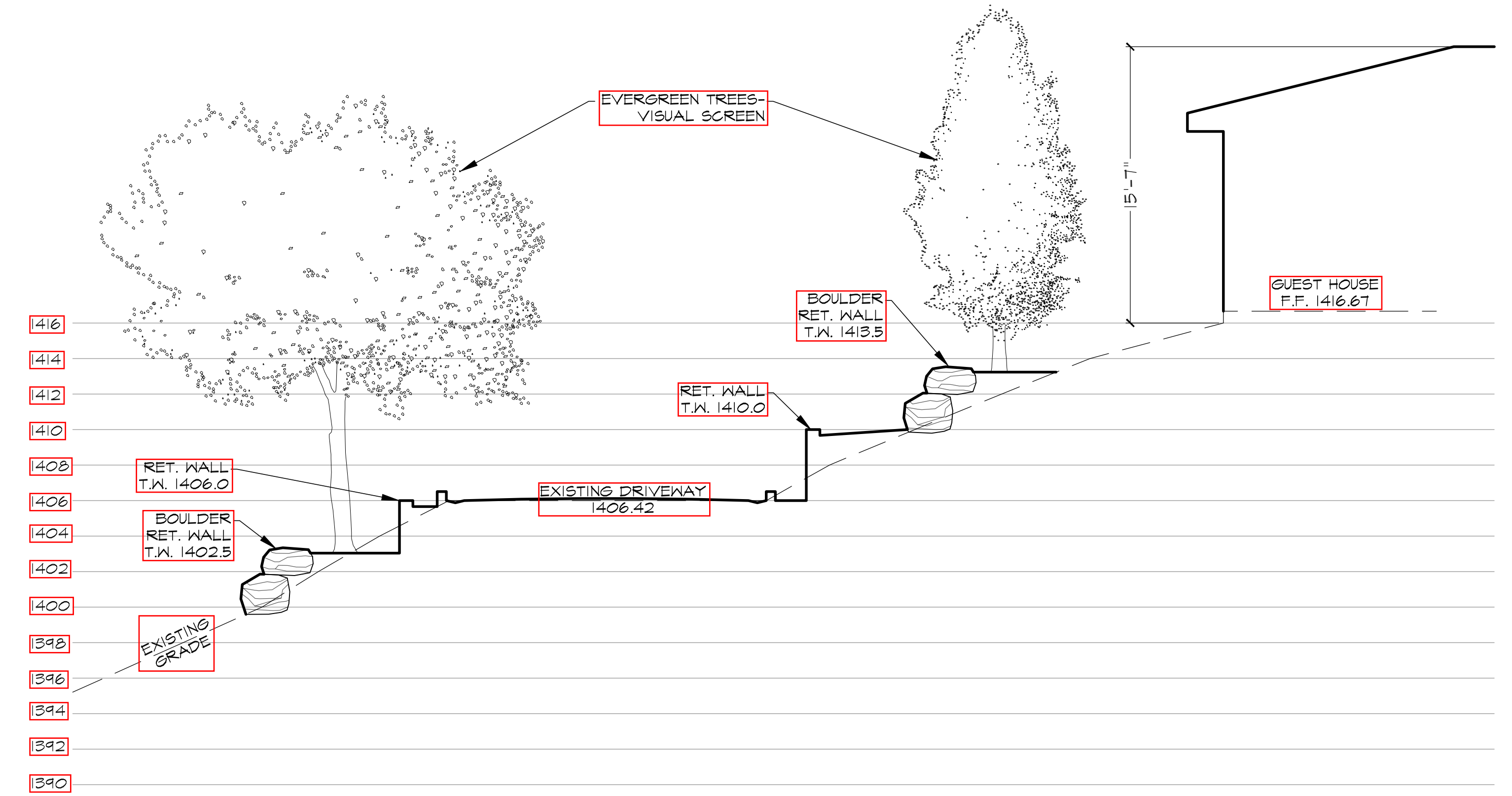
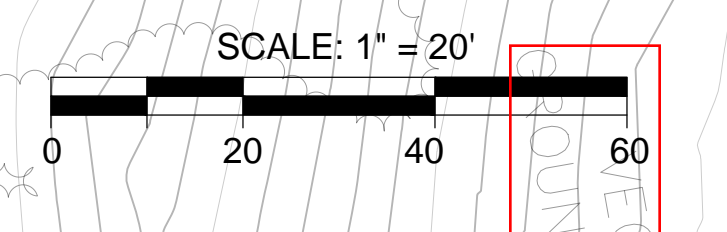
- PROPOSED NEW SINGLE FAMILY HOME AND PROPOSED NEW LANDSCAPE.
- CONCEPTUAL LANDSCAPE PLAN

**PROJECT STATISTICS:**

<b>TOTAL PROJECT SITE (S.F.):</b>	20.79 ACRES (905,720.9 S.F.)
<b>TOTAL LANDSCAPED AREA (S.F.):</b>	52,105 S.F.
NATIVE PLANTER AREAS	26,940 S.F.
LOW WATER ORNAMENTAL	7,050 S.F.
ARTIFICIAL TURF	14,890 S.F.
GRASSCRETE	3,225 S.F.
<b>TOTAL PROPOSED TREES:</b>	57 TOTAL
36" BOX TREES	43
48" BOX TREES	6
60" BOX TREES	4
72" BOX TREES	4
<b>TOTAL HARDSCAPE (S.F.):</b>	21,000 S.F.
NEW CONCRETE DRIVEWAY (NOT INCLUDING EXISTING ASPHALT DRIVEWAY)	14,300 S.F.
CONCRETE PAVING	4,400 S.F.
DECOMPOSED GRANITE PAVING	2,300 S.F.



SEE "TREE ASSESSMENT AND PROTECTION PLAN" FOR ALL EXISTING TREE INFORMATION



**A GUEST HOUSE SECTION**  
SCALE: 3/16"=1'-0"

**PERRIN DESIGN GROUP, INC.**  
LANDSCAPE DESIGN + BUILD  
2753 Lander Ct. • Newbury Park, CA 91320  
805-795-7995 (cell) • jlperrin@perrindesign.net (email)

---

**SINGLE FAMILY RESIDENCE**  
2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361

---

**LANDSCAPE PLAN/  
SECTION & ELEVATIONS**  
CONCEPTUAL PLANS  
FOR PLAN CHECK ONLY

---

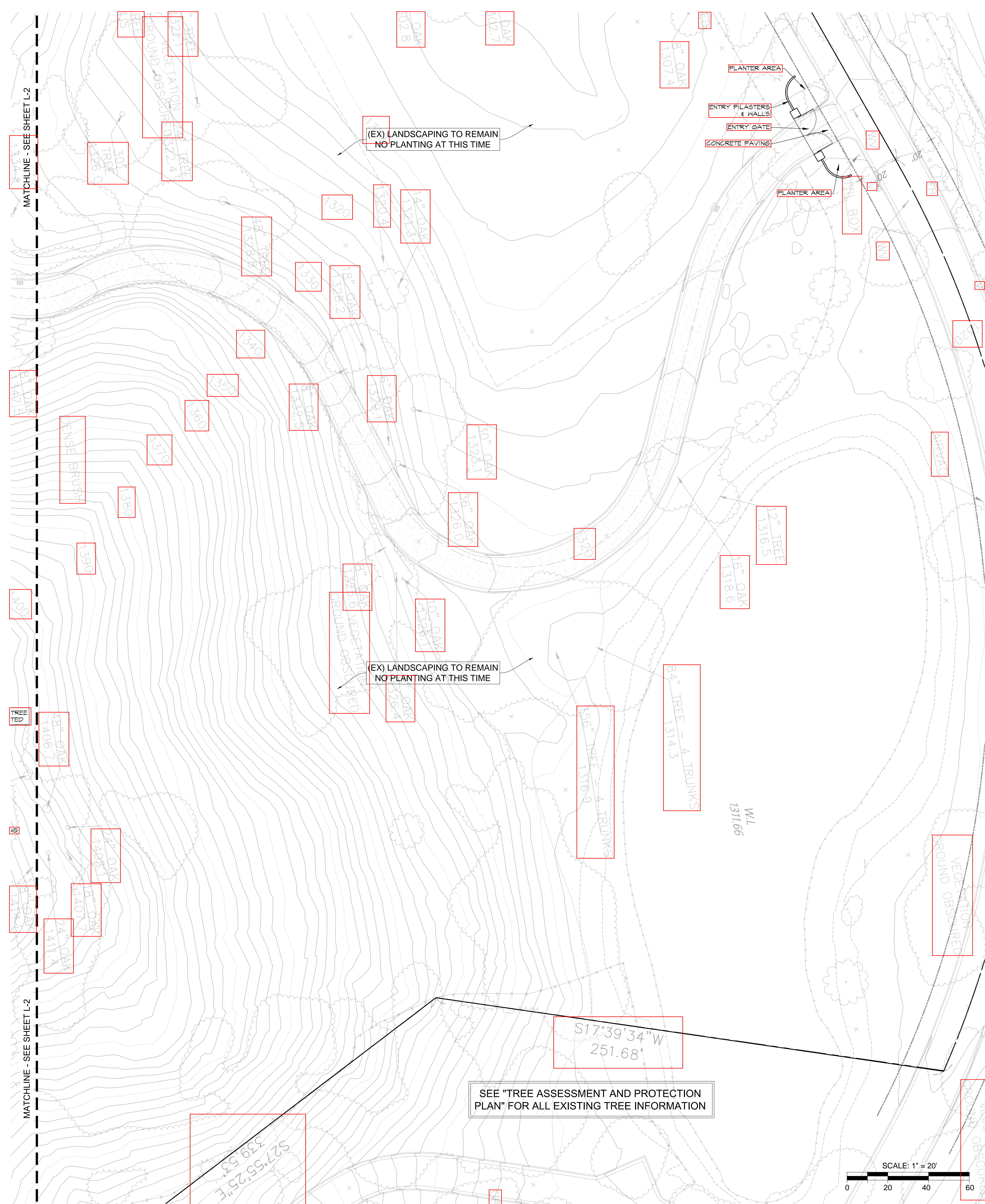
FEBRUARY 9, 2021  
Date

Drawn

Scale 1" = 20'-0"

**L-2**

OF SEVEN  
PLOTTED 2/9/21

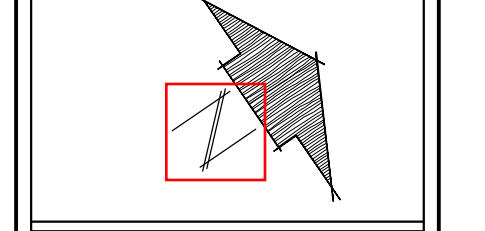
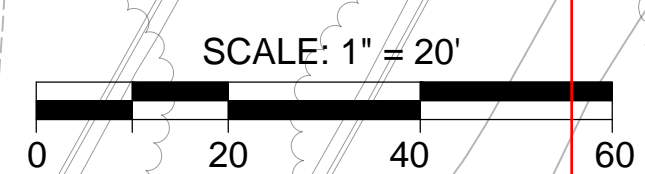


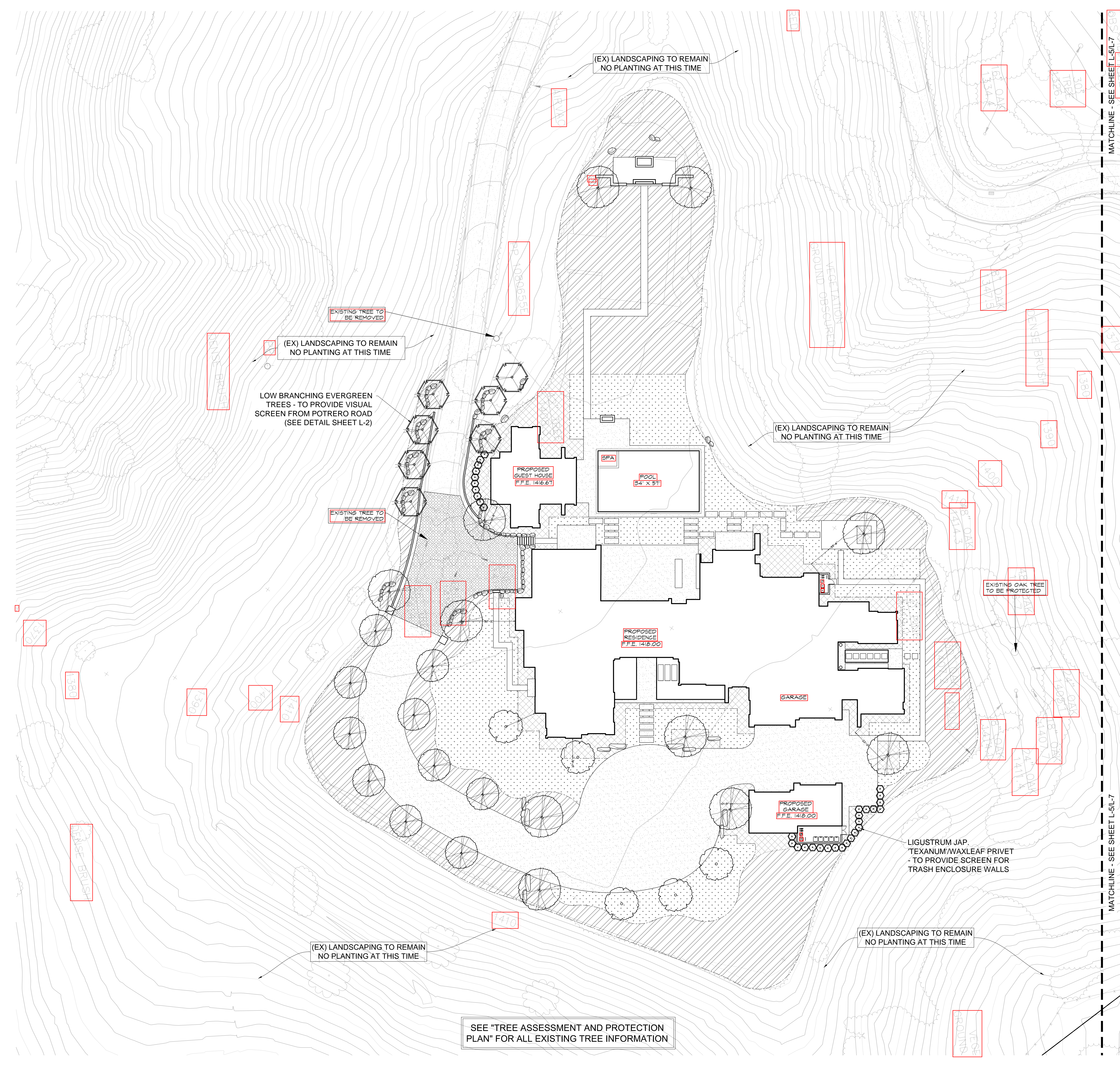
(EX) LANDSCAPING TO REMAIN  
NO PLANTING AT THIS TIME

(EX) LANDSCAPING TO REMAIN  
NO PLANTING AT THIS TIME

SEE "TREE ASSESSMENT AND PROTECTION  
PLAN" FOR ALL EXISTING TREE INFORMATION

PLANTER AREA  
ENTRY PILASTERS & WALLS  
ENTRY GATE  
CONCRETE PAVING





### PROPOSED PLANT LEGEND

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
<b>TREES</b>				
	1	36" BOX	AREBUTUS UNEDO 'MARINA' MARINA STRAWBERRY TREE	EVERGREEN STD TRUNK
	1	36" BOX	LAGERSTROEMIA INDICA 'TUSCARORA' TUSCARORA GRAPE MYRTLE	DECIDUOUS STD TRUNK
	1	36" BOX	ACACIA SALISMA BLUE-LEAF KEEPING WATTLE	EVERGREEN LE
	2	36" BOX	OLEA EUROPAEA 'MAJESTIC BEAUTY' MAJESTIC BEAUTY FRUITLESS OLIVE	EVERGREEN MULTI TRUNK
	2	36" BOX	OLEA EUROPAEA 'MAJESTIC BEAUTY' MAJESTIC BEAUTY FRUITLESS OLIVE	EVERGREEN MULTI TRUNK
	1	36" BOX	PARKINSONIA HYBRID 'AZT' PALO VERDE THORNLESS HYBRID	EVERGREEN STD

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
<b>VINES</b>				
	5	5 GAL	GALLIANDREA HAEMATOCEPHALA PINK POWDER PUFF	EVERGREEN STAKED

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
<b>SHRUBS</b>				
	5	5 GAL	AGAVE ATTENUATA FOXTAIL AGAVE	EVERGREEN
	5	5 GAL	CALLISTEMON VIMINALIS 'SLIM' SLIM BOTTLEBRUSH	EVERGREEN
	5	5 GAL	GIBBUS PULVERULENTUS 'SUNSET' MAGENTA ROCK ROSE	EVERGREEN
	5	5 GAL	HELIOTRICHON SEM. 'SAPPHIRE' SAPPHIRE BLUE OAT GRASS	EVERGREEN
	5	5 GAL	LIGUSTRUM JAP. TEXANUM WAXLEAF PRIVET	EVERGREEN STAKED
	1	5 GAL	NASSELLA TENNISIMA MEXICAN FEATHER GRASS	EVERGREEN
	5	5 GAL	PHORMIUM TEXAS 'PINK STRIPE' PINK STRIPE FLAX	EVERGREEN
	5	5 GAL	PITTOSPORIUM TOB. 'CREME DE MINT' CREME DE MINT DWARF PITTOSPORIUM	EVERGREEN
	5	5 GAL	PITTOSPORIUM TOB. 'WHEELER'S DWARF' WHEELER'S DWARF PITTOSPORIUM	EVERGREEN
	5	5 GAL	ROSMARINUS OFFICINALIS 'PROSTRATE' PROSTRATE ROSEMARY	EVERGREEN
	5	5 GAL	BENECIO MANDRALISCAE BLUE CHALK STICKS	SUCCULENT
	1	5 GAL	TEUCCRIUM X LUCIDRYS WALL GERMANDER	EVERGREEN
	5	5 GAL	NESTRINSEA FRU. 'MADI' DWARF MADI COAST ROSEMARY	EVERGREEN

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
<b>SHRUBS - NATIVE</b>				
	1	5 GAL	AQUILEGIA FORMOSA WESTERN COLUMBINE	EVERGREEN
	1	5 GAL	BACCHARIS PILLULARIS 'TWIN PEAKS' PROSTRATE COYOTE BUSH	EVERGREEN
	5	5 GAL	CEANOETHUS GRIS. HOR. 'YANKEE POINT' YANKEE POINT CALIFORNIA LILAC	EVERGREEN
	5	5 GAL	CEANOETHUS GRIS. HOR. 'CONCHA' CONCHA CALIFORNIA LILAC	EVERGREEN
	5	5 GAL	EPILOBIUM CAL. 'EVERETT'S CHOICE' GHOSTLY RED CALIFORNIA FUCHSIA	EVERGREEN
	5	5 GAL	LAVATERA MARITIMA MEDITERRANEAN TREE MALLOW	EVERGREEN
	1	5 GAL	LUPINUS EXCUBITUS GRAPE SODA LUPINE	EVERGREEN
	1	5 GAL	MIMULUS AURANTIAGUS STICKY MONKEY FLOKER	EVERGREEN
	1	5 GAL	PENSTEMON BACCHARIFOLIUS 'DIABLO' DIABLO ROCK PENSTEMON	EVERGREEN

SYMBOL	QTY	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
	14,890 S.F.	ARTIFICIAL TURF	500'
	1,050 S.F.	ORNAMENTAL PLANTING	NOTE: ALL PLANTINGS WITHIN 5' WALK AROUND TO BE HERBACIOUS PLANTS ADHERING TO L.A. COUNTY FIRE CODE.
	26,450 S.F.	NATIVE PLANTING	
ALL PLANTER AREAS - (SEE NOTE)			
NOTE: A MIN. OF 3" INCH LAYER OF MULCH SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS KEEPING OR TOOTING GROUND COVER, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.			

### LIGHTING LEGEND - LOW VOLTAGE

SYMBOL	DESCRIPTION	MANUF. & MODEL NO.	TYPE	FINISH	QTY
	UP LIGHT	SPJ LIGHTING INC. 800-461-5631 MR-UNIVERSE	2IN LEP 12V-2100K	MBR	X
	PATH LIGHT	SPJ-3124	2IN LEP 12V-2100K	MBR	X
	BELL LIGHT	SPJ-M1000-P-REB	6IN LEP 12V-2100K	MBR	X
	NICHE LIGHT	SPJ-55-1	2IN LEP 12V-2100K	MBR	X
	WALL MOUNT LIGHT	SPJ-LH-2	6IN LEP 12V-2100K	MBR	X
	UNDER WATER LIGHT	SPJ-LH-2	2IN LEP 12V-2100K	MBR	X
	RECESSED UP LIGHT	SPJ-M1000-F	2IN LEP 12V-2100K	MBR	X

### GENERAL NOTES

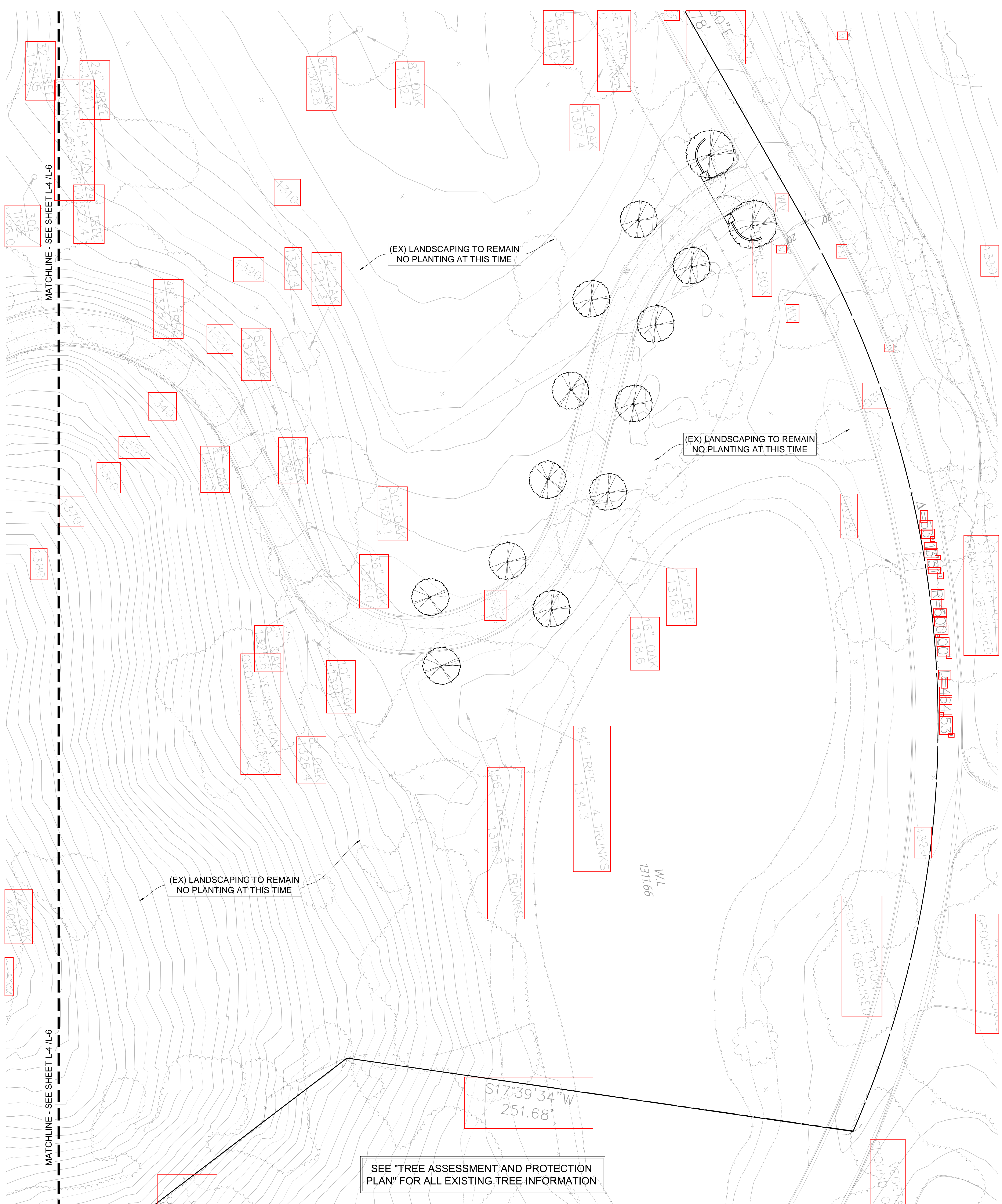
- PROVIDE 100% IRRIGATION TO ALL PLANTING AREAS FROM CURB LINE.
- BURY LINES 18" MAINLINE (P.V.C.) AND 12" LATERAL (SCH. 40).
- PROVIDE SOILS AMENDMENTS PER SOILS REPORT (PROVIDED BY OTHERS).
- SEPARATE SHRUB, LAWN AND SUN EXPOSURE SYSTEMS.
- PROVIDE DEEP ROOT BARRIERS ON ALL TREES.
- PROVIDE 4' X 3' DEEP VENTILATION HOLE FILLED WITH 3/4" GRAVEL IN ALL TREE PITS.
- 12 PER TREE.
- PROVIDE ESPALIER SUPPORTS.
- ALL EXISTING IRRIGATION TO REMAIN AND CONTRACTOR TO VERIFY PROPER COVERAGE AND ALL FUNCTIONING.
- ALL NEW PLANTER AREAS TO RECEIVE NEW DRIP LINES. USE EXISTING VALVES AND INSTALL PRESSURE REGULATORS WHERE NECESSARY.
- PROVIDE 100% IRRIGATION TO ALL PLANTING AREAS FROM CURB LINE.
- BURY LINES 18" MAINLINE (P.V.C.) AND 12" LATERAL (SCH. 40).
- SEPARATE SHRUB, LAWN AND SUN EXPOSURE SYSTEMS.
- EXISTING IRRIGATION CLOCK TO BE USED. IF NONE, PROVIDE NEW IRRIGATION CONTROLLER LOCATED IN GARAGE. POWER TO BE SUPPLIED BY OWNER.
- CONTRACTOR TO VERIFY ALL EXISTING DRAINAGE INLETS AND DRAIN LINES ARE FUNCTIONING AND HAVE POSITIVE UNBLOCKED FLOW TO EXISTING OUTLETS.
- CONTRACTOR TO REPAIR OR REPLACE NON-FUNCTIONING DRAINAGE INLETS AND DRAIN LINES WHERE NEEDED.
- ALL PAVED AREAS WITHOUT DRAINS ARE TO BE SLOPED AT 1/2% AWAY FROM STRUCTURE AND TOWARDS PLANTERS WITH DRAINS.
- CONNECT ALL ROOF DOWNSPOUTS INTO DRAINAGE SYSTEM.
- ANY DRAINS SHOWN ON PLAN ARE DIAGRAMMATIC ONLY AND NOT REPRESENTATIVE OF THE DRAINAGE PLAN. IF A GRADING AND DRAINAGE PLAN IS REQUIRED OR NECESSARY, CLIENT SHALL EMPLOY A CIVIL ENGINEER FOR A GRADING AND DRAINAGE PLAN.

**PERRIN DESIGN GROUP, INC.**  
 LANDSCAPE DESIGN + BUILD  
 2753 Lindero Ct. • Newbury Park, CA 91320  
 805-795-7995 (cell) • jlperrin@verizon.net (Email)

**SINGLE FAMILY RESIDENCE**  
 2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CA 91361

**PLANTING PLAN**  
 CONCEPTUAL PLANS  
 FOR PLAN CHECK ONLY

DATE: FEBRUARY 9, 2021  
 DRAWN: [Signature]  
 SCALE: 1" = 20'-0"  
 SHEET: L-4 OF SEVEN  
 PLOTTED: 2/9/21



**PROPOSED PLANT LEGEND**

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
<b>TREES</b>				
	1	56" BOX	ARECATUS UNEDO MARINA MARINA STRAWBERRY TREE	EVERGREEN STD TRUNK
	1	56" BOX	LAGERSTROEMIA INDICA TUSCARORA TUSCARORA CRAPE MYRTLE	DECIDUOUS STD TRUNK
	1	56" BOX	ACACIA SALIGNA BLUE-LEAF KEEPER HATTLE	EVERGREEN LB
	22	56" BOX	OLEA EUROPAEA MAJESTIC BEAUTY MAJESTIC BEAUTY FRUITLESS OLIVE	EVERGREEN MULTI TRUNK
	12	56" BOX	PARKINSONIA HYBRID 'AZI' PALO VERDE THORNLESS HYBRID	EVERGREEN STD
<b>VINES</b>				
	5	5 GAL	CALLIANDRA HEMATOCEPHALA PINK POWDER PUFF	EVERGREEN STAKED
<b>SHRUBS</b>				
	5	5 GAL	AGAVE ATTENUATA FOXTAIL AGAVE	EVERGREEN
	5	5 GAL	CALLISTEMON VINCINALIS 'SLIM' SLIM BOTTLEBRUSH	EVERGREEN
	5	5 GAL	CISTUS PULVERULENTUS 'SUNSET' MAGENTA ROCK ROSE	EVERGREEN
	5	5 GAL	HELIOTROPION SEN. 'SAPPHIRE' SAPPHIRE BLUE OAT GRASS	EVERGREEN
	15	5 GAL STAKED	LIGUSTRUM JAP. 'TEXANUM' WAXLEAF PRIVET	EVERGREEN STAKED
	1	1 GAL	NASSELLA TENNISSIMA MEXICAN FEATHER GRASS	EVERGREEN
	5	5 GAL	PHORMIUM TEXAS 'PINK STRIPE' PINK STRIPE FLAX	EVERGREEN
	5	5 GAL	PITTOSPORUM TOB. 'CREME DE MINT' CREME DE MINT DWARF PITTOSPORUM	EVERGREEN
	5	5 GAL	PITTOSPORUM TOB. 'WHEELER'S DWARF' WHEELER'S DWARF PITTOSPORUM	EVERGREEN
	1	1 GAL	ROSMARINUS OFFICINALIS 'PROSTRATE' PROSTRATE ROSEMARY	EVERGREEN
	1	1 GAL	SENEGIO MANDRALISCAE BLUE CHALK STICKS	SUCCULENT
	1	1 GAL	TEUCORIUM X LUCIDRYS WALL GERMANDER	EVERGREEN
	5	5 GAL	WESTRINGIA FRU. 'MUNDI' DWARF MUNDI COAST ROSEMARY	EVERGREEN
<b>SHRUBS - NATIVE</b>				
	1	1 GAL	AQUILEGIA FORMOSA WESTERN COLUMBINE	EVERGREEN
	1	1 GAL	BACCHARIS PILLULARIS 'TWIN PEAKS' PROSTRATE GOYOTE BUSH	EVERGREEN
	5	5 GAL	CEANOTHUS GRIS HOR. 'YANKEE POINT' YANKEE POINT CALIFORNIA LILAC	EVERGREEN
	5	5 GAL	CEANOTHUS GRIS HOR. 'CONCHA' CONCHA CALIFORNIA LILAC	EVERGREEN
	5	5 GAL	EPILOBIUM GAL. EVERETT'S CHOICE GHOSTLY RED CALIFORNIA FUCHSIA	EVERGREEN
	5	5 GAL	LAYATERA MARITIMA MEDITERRANEAN TREE MALLOW	EVERGREEN
	1	1 GAL	LUPINES EXCUBITUS GRAPPE SODA LUPINE	EVERGREEN
	1	1 GAL	MIMULUS ALPANTACUS STICKY MOXY FLORES	EVERGREEN
	1	1 GAL	PENSTEMON BACCHARIFOLIUS 'DIABLO' DIABLO ROCK PENSTEMON	EVERGREEN

SYMBOL	QTY	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
	4,840	ARTIFICIAL TURF	500
	1,050	ORNAMENTAL PLANTING	NOTE: ALL PLANTINGS WITHIN 5' WALK AROUND TO BE HERBACIOUS PLANTS ADHERING TO L.A. COUNTY FIRE CODE
	26,450	NATIVE PLANTING	

ALL PLANTER AREAS - (SEE NOTE)

MULCH- AGOROMIN 850

NOTE: A MIN. OF 3" HIGH LAYER OF MULCH SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS KEEPING OR TOTTING GROUND COVERS OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

**LIGHTING LEGEND - LOW VOLTAGE**

SYMBOL	DESCRIPTION	MANUF. & MODEL NO.	TYPE	FINISH	QTY
	UP LIGHT	SPJ LIGHTING INC. 800-462-3631 MVA-1000	2X LED 2V-2700K	MBR	X
	PATH LIGHT	SPJ-S124	2X LED 2V-2700K	MBR	X
	BELL LIGHT	SPJ-M1000-P-RE	2X LED 2V-2700K	MBR	X
	NIGHT LIGHT	SPJ-SC-1	2X LED 2V-2700K	MBR	X
	WALL MOUNT LIGHT	SPJ-L112	2X LED 2V-2700K	MBR	X
	UNDER WATER LIGHT	SPJ-L112	2X LED 2V-2700K	MBR	X
	RECESSED UP LIGHT	SPJ-M1000-P	2X LED 2V-2700K	MBR	X

**GENERAL NOTES**

- PROVIDE 100% IRRIGATION TO ALL PLANTING AREAS FROM CURB LINE.
- BURY LINES, 18" MAINLINE (P.V.C.) AND 12" LATERAL (SCH. 40).
- PROVIDE SOILS AMENDMENTS PER SOILS REPORT (PROVIDED BY OTHERS).
- SEPARATE SHRUB, LAWN AND SUN EXPOSURE SYSTEMS.
- PROVIDE DEEP ROOT BARRIERS ON ALL TREES.
- PROVIDE 4" X 3" DEEP VENTILATION HOLE FILLED WITH 3/4" GRAVEL IN ALL TREE PITS. (2 PER TREE)
- PROVIDE ESPALIER SUPPORTS.
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2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361

**PLANTING PLAN - ENTRY GATE**  
CONCEPTUAL PLANS  
FOR PLAN CHECK ONLY

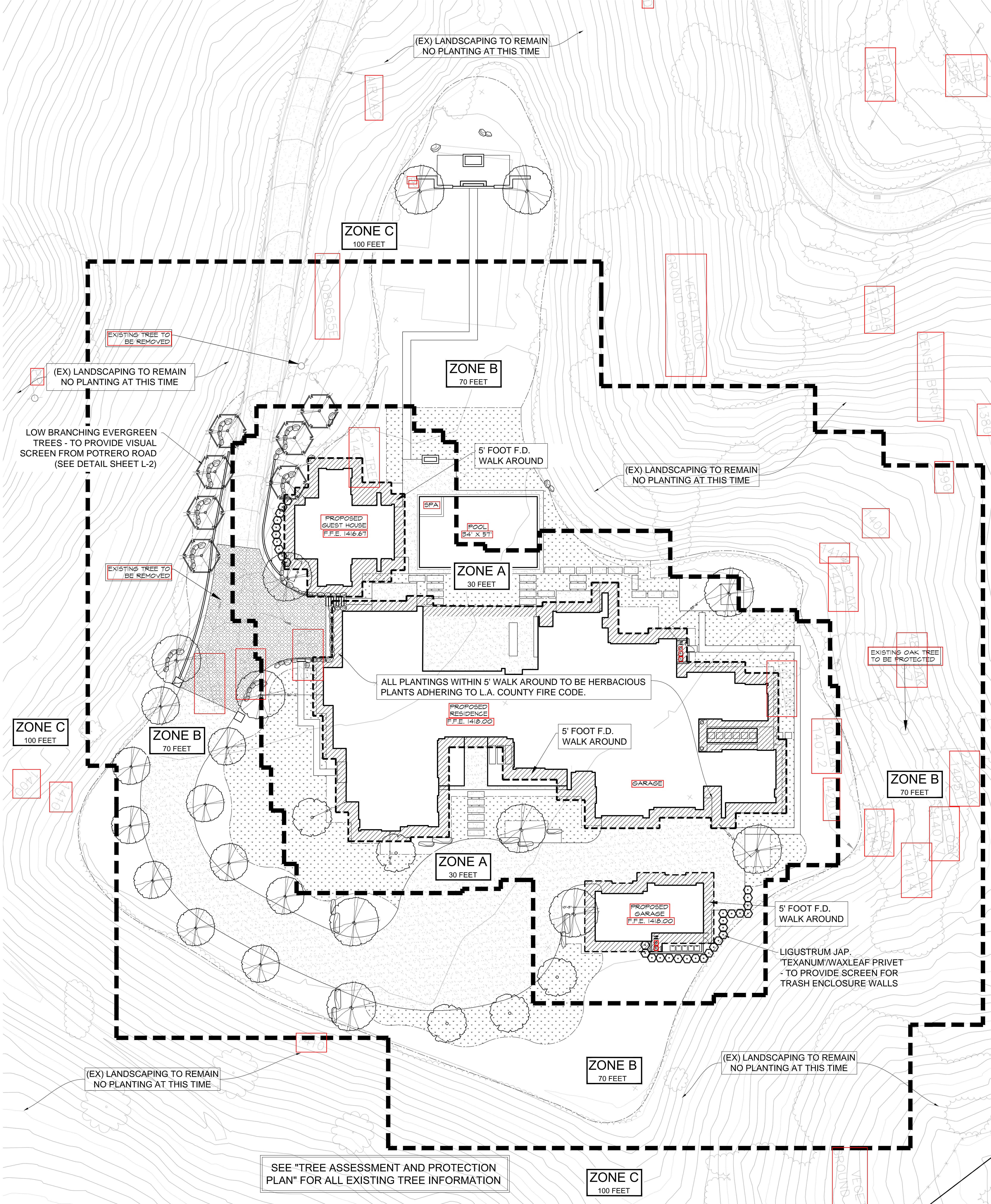
**FEBRUARY 9, 2021**  
Date

Drawn: [Signature]

Scale: 1" = 20'-0"

**L-5**

OF: SEVEN  
PLOTTED: 2/9/21



MATCHLINE - SEE SHEET L-5/L-7

MATCHLINE - SEE SHEET L-5/L-7

### FUEL MODIFICATION GUIDELINES

VEGETATION SHALL BE MAINTAINED AS APPROVED. THE FOLLOWING NOTES SHALL BE ADHERED TO.

- MAINTENANCE OF ZONE A:** 30 FEET (FROM EDGE OF THE STRUCTURE TO A DISTANCE OF 30 FEET)
- PROVIDE FOR 5FT FIRE DEPARTMENT WALK AROUND WITH HERBACEOUS PLANTS RECOMMENDED TO PLACE WALKWAYS, PATIOS, SPORTS COURTS ETC. ABUTTING STRUCTURE
  - AVOID PLANTING WOODY PLANTS WITHIN 10 FEET OF STRUCTURE
  - USE HERBACEOUS PLANTS, SUCCULENTS, LOW GROWING GRASSES AND GRASS LIKE PLANTS
  - USE INORGANIC MULCHES SUCH AS GRAVEL WITHIN 10 FEET OF THE STRUCTURE. DO NOT USE RECYCLED RUBBER.
  - SMALL TREE SPECIES (15'-25' IN HEIGHT) MAY BE PLANTED 10' FROM STRUCTURE IF USED SPARINGLY
  - NO CLIMBING VINES ON STRUCTURES
  - REMOVE DEAD AND DOWN PLANT MATERIAL, WOOD PILES, PATIO FURNITURE, ETC.
- MAINTENANCE OF ZONE B:** 70 FEET
- ARRANGE PLANTS AND LIMIT DENSITIES SO NOT TO CREATE LADDER FUELS OR DENSE THICKETS OF VEGETATION
  - DENSITIES CAN BE INCREASED SLIGHTLY IN THIS ZONE
- MAINTENANCE OF ZONE C:** 100 FEET
- MAINTENANCE EXCEEDING 100 FEET BUT NOT TO EXCEED 200 FROM STRUCTURES MAY BE DEEMED NECESSARY BY THE FIRE OFFICIAL IN ACCORDANCE WITH SECTION 325.2.2 OF THE LOS ANGELES COUNTY FIRE CODE (CLEARANCE OF BRUSH AND VEGETATION GROWTH, EXTRA HAZARD)

**NOTE:** ALL FUEL MODIFICATION ZONES ARE TERMINATED AT THE SUBJECT PARCEL/TRACT BOUNDARY

- MAINTENANCE:** YEAR ROUND
- CLEAR ALL LEAVES, LITTER AND DEBRIS FROM RAIN GUTTERS, ROOFS AND ACCUMULATIONS AGAINST STRUCTURES
  - REGULARLY REMOVE ALL DEAD VEGETATION, FLAMMABLE DEBRIS, FLAMMABLE PATIO FURNITURE FROM LANDSCAPE
  - STORE WOOD PILES, COMPOST BINS, MULCH BINS, ETC. 30' FROM STRUCTURES
  - CUT AND REMOVE ANNUAL GRASSES DOWN TO 4 INCHES
  - IRRIGATION OF ANY FORM SHALL BE APPLIED TO MAINTAIN HIGH FUEL MOISTURE. IRRIGATION TO NATIVE PLANTS IS BENEFICIAL IN SMALL AMOUNTS 1-2 TIMES PER MONTH DURING SUMMER MONTHS

### PROPOSED PLANT LEGEND

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
<b>TREES</b>				
	01	36" BOX	ARBUTUS UNEDO MARINA MARINA STRAWBERRY TREE	EVERGREEN STD TRUNK
	01	36" BOX	LASERSTROEMIA INDICA 'TUSCARORA' TUSCARORA GRAPE MYRTLE	DECIDUOUS STD TRUNK
	01	36" BOX	ACACIA SALICINA BLUE-LEAF WEEPING WATTLE	EVERGREEN LB
	02	36" BOX	OLEA EUROPAEA MALESTIC BEAUTY MALESTIC BEAUTY FRUITLESS OLIVE	EVERGREEN MULTI TRUNK
	01	48" H	PARKINSONIA HYBRID 'AZI' PALM VERDE THORNLESS HYBRID	EVERGREEN STD
<b>VINES</b>				
	05	5 GAL	GALLIANDRA HAEMATOCOPHALA PINK POWDER PUFF	EVERGREEN STAKED
<b>SHRUBS</b>				
	05	5 GAL	AGAVE ATTENUATA FOXTAIL AGAVE	EVERGREEN
	05	5 GAL	CALLISTEMON VIMINALIS SLIM SLIM BOTTLEBRUSH	EVERGREEN
	05	5 GAL	CISTUS PULVERULENTUS 'SUNSET' MAGENTA ROCK ROSE	EVERGREEN
	05	5 GAL	HELIOTROPICUM SEM. 'SAPPHIRE' SAPPHIRE BLUE CAT GRASS	EVERGREEN
	02	15 GAL	LIGUSTRUM JAP. TEXANUM WAXLEAF PRIVET	EVERGREEN STAKED
	01	1 GAL	HAESSELLIA TENNISIANA MEXICAN FEATHER GRASS	EVERGREEN
	05	5 GAL	PHORMIUM TEXAS 'PINK STRIPE' PINK STRIPE FLAX	EVERGREEN
	05	5 GAL	PITIOSPORUM TOB. 'CREME DE MINT' CREME DE MINT DWARF PITIOSPORUM	EVERGREEN
	05	5 GAL	PITIOSPORUM TOB. 'WHEELER'S DWARF' WHEELER'S DWARF PITIOSPORUM	EVERGREEN
	01	1 GAL	ROSMARINUS OFFICINALIS PROSTRATE PROSTRATE ROSEMARY	EVERGREEN
	01	1 GAL	SENEGIO MANDRALSICAE BLUE CHALK STICKS	SUCCULENT
	01	1 GAL	TEUFRUM X LUCIDRYS WALL GERMANDER	EVERGREEN
	05	5 GAL	WESTRINGIA FRU. 'MUNDI' DWARF MUNDI COAST ROSEMARY	EVERGREEN
<b>SHRUBS - NATIVE</b>				
	01	1 GAL	AGUILEGIA FORMOSA WESTERN COLUMBINE	EVERGREEN
	01	1 GAL	BACCHARIS PILLULARIS 'TWIN PEAKS' PROSTRATE COYOTE BUSH	EVERGREEN
	05	5 GAL	CEANOTHUS GRIS HOR. 'YANKEE POINT' YANKEE POINT CALIFORNIA LILAC	EVERGREEN
	05	5 GAL	CEANOTHUS GRIS HOR. 'CONCHA' CONCHA CALIFORNIA LILAC	EVERGREEN
	05	5 GAL	EPILOBIUM CAL. 'EVERETT'S CHOICE' GHOSTLY RED CALIFORNIA FUCHSIA	EVERGREEN
	05	5 GAL	LAVATERA MARITIMA MEDITERRANEAN TREE MALLOW	EVERGREEN
	01	1 GAL	LUPINUS EXALBATUS GRAPE SODA LUPINE	EVERGREEN
	01	1 GAL	MIMULUS AURANTIACUS STICKY MONKEY FLOWER	EVERGREEN
	01	1 GAL	PENSTEMON BACCHARIFOLIUS DIABLO DIABLO ROCK PENSTEMON	EVERGREEN

**GROUND COVER**

SYMBOL	QTY	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE LM
	4,890 S.F.	ARTIFICIAL TURF	000
	1,050 S.F.	ORNAMENTAL PLANTING	
	26,950 S.F.	NATIVE PLANTING	

NOTE: ALL PLANTINGS WITHIN 5' WALK AROUND TO BE HERBACEOUS PLANTS ADHERING TO L.A. COUNTY FIRE CODE

NOTE: A MIN. OF 3" INCH LAYER OF MULCH SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS. 6" DEEP TURF AREAS KEEPING OR TOOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

### FUEL MODIFICATION PLAN NOTES

- ZONE A - SETBACK ZONE**
- EXTENDS 30 FEET BEYOND THE EDGE OF ANY COMBUSTIBLE STRUCTURE, ACCESSORY STRUCTURE, APPENDAGE OR PROJECTION. OVERHANGS OR PARTS OF STRUCTURES NOT ACCURATELY REFLECTED ON THE PLANS MAY NEGATE THE APPROVAL OF PLANT LOCATION ON THE APPROVED PLAN.
  - IRRIGATION BY AUTOMATIC OR MANUAL SYSTEMS SHALL BE PROVIDED TO MAINTAIN HEALTHY VEGETATION AND FIRE RESISTANCE.
  - VEGETATION IN THIS ZONE SHALL CONSIST PRIMARILY OF GREEN LAWNS, GROUND COVERS NOT EXCEEDING 6 INCHES IN HEIGHT, AND ADEQUATELY SPACED SHRUBS, THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
  - PLANTS IN ZONE A SHALL BE INHERENTLY HIGHLY FIRE RESISTANT AND APPROPRIATELY SPACED. SPECIES SELECTION SHOULD REFERENCE THE FUEL MODIFICATION PLANT LIST. OTHER SPECIES MAY BE USED SUBJECT TO APPROVAL. PLANS RE-SUBMITTED 6 MONTHS AFTER THE INITIAL REVIEW WILL BE EVALUATED BASED ON THE CURRENT FUEL MODIFICATION PLANT LIST, AVAILABLE FROM THE FUEL MODIFICATION UNIT.
  - TREES ARE GENERALLY NOT RECOMMENDED, EXCEPT FOR DWARF VARIETIES OR MATURE TREES SMALL IN STATURE.
  - TARGET SPECIES WILL TYPICALLY NOT BE WITHIN 30 FEET OF COMBUSTIBLE STRUCTURES AND MAY REQUIRE REMOVAL IF EXISTING.
  - VINES AND CLIMBING PLANTS SHALL NOT BE ALLOWED ON ANY COMBUSTIBLE STRUCTURE REQUIRING REVIEW.
- ZONE B - IRRIGATED ZONE**
- EXTENDS FROM THE OUTER EDGE OF ZONE A TO 100 FEET FROM STRUCTURES.
  - IRRIGATION BY AUTOMATIC OR MANUAL SYSTEMS SHALL BE PROVIDED TO MAINTAIN HEALTHY VEGETATION AND FIRE RESISTANCE.
  - VEGETATION IN THIS ZONE SHALL PRIMARILY CONSIST OF GREEN LAWNS, GROUND COVERS, AND ADEQUATELY SPACED SHRUBS AND TREES.
  - UNLESS OTHERWISE APPROVED, GROUND COVERS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 6 INCHES. ON SLOPES, 12 INCHES IS ACCEPTABLE WITHIN 50 FEET OF A STRUCTURE, AND 18 INCHES BEYOND 50 FEET. THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT. SPECIMEN NATIVE PLANTS MAY BE APPROVED TO REMAIN IF PROPERLY MAINTAINED FOR ADEQUATE DEFENSIBLE SPACE. ANNUAL GRASSES OR WEEDS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 3 INCHES.
  - PLANTS SHALL BE FIRE RESISTANT AND APPROPRIATELY SPACED. PLANT SELECTION SHOULD REFERENCE THE FUEL MODIFICATION PLANT LIST. OTHER PLANTS MAY BE USED SUBJECT TO APPROVAL.
  - REPLACEMENT PLANTING TO MEET MINIMUM CITY OR COUNTY SLOPE COVERAGE REQUIREMENTS OR ORDINANCES WILL BE CONSIDERED. IN ALL CASES, THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
  - TARGET SPECIES MAY REQUIRE REMOVAL WITHIN 50 FEET OF STRUCTURES, DEPENDING ON SITE CONDITIONS.
  - ALL TREES, UNLESS OTHERWISE APPROVED, SHALL BE PLANTED FAR ENOUGH FROM STRUCTURES AND FIRE ACCESS ROADS, AS TO NOT OVERHANG ANY STRUCTURE OR ACCESS AT MATURITY.
- ZONE C - NATIVE BRUSH THINNING ZONE**
- EXTENDS FROM THE OUTER EDGE OF ZONE B UP TO 200 FEET FROM STRUCTURES OR TO THE PROPERTY LINE.
  - REQUIRED THINNING AND CLEARANCE WILL BE DETERMINED UPON INSPECTION.
  - IRRIGATION SYSTEMS ARE NOT REQUIRED.
  - VEGETATION MAY CONSIST OF MODIFIED EXISTING NATIVE PLANTS, ADEQUATELY SPACED ORNAMENTAL SHRUBS AND TREES, OR BOTH. REPLACEMENT PLANTING TO MEET MINIMUM CITY OR COUNTY SLOPE COVERAGE REQUIREMENTS OR ORDINANCES WILL BE CONSIDERED. IN ALL CASES, THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
  - PLANTS SHALL BE SPACED APPROPRIATELY. EXISTING NATIVE VEGETATION SHALL BE MODIFIED BY THINNING AND REMOVAL OF PLANTS CONSTITUTING A FIRE RISK; THESE INCLUDE, BUT ARE NOT LIMITED TO: CHAMISE, SAGE, SAGE BRUSH, AND BUCKWHEAT.
  - ANNUAL GRASSES AND WEEDS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 3 INCHES.
  - GENERAL SPACING FOR EXISTING NATIVE SHRUBS OR GROUPS OF SHRUBS IS 15 FEET BETWEEN CANOPIES. NATIVE PLANTS MAY BE THINNED BY REDUCED AMOUNTS AS THE DISTANCE FROM DEVELOPMENT INCREASES.
  - GENERAL SPACING FOR EXISTING NATIVE TREES OR GROUPS OF TREES IS 30 FEET BETWEEN CANOPIES. THIS DISTANCE MAY VARY DEPENDING ON THE SLOPE, ARRANGEMENT OF TREES IN RELATION TO SLOPE, AND THE TREE SPECIES.
- FIRE ACCESS ROAD ZONE**
- EXTENDS A MINIMUM OF 10 FEET FROM THE EDGE OF ANY PUBLIC OR PRIVATE ROAD USED BY FIRE-FIGHTING RESOURCES.
  - CLEAR AND REMOVE FLAMMABLE GROWTH FOR A MINIMUM OF 10 FEET ON EACH SIDE OF FIRE ACCESS ROADS. (FIRE CODE 325.10) ADDITIONAL CLEARANCE BEYOND 10 FEET MAY BE REQUIRED UPON INSPECTION.
  - FIRE ACCESS ROADS, DRIVEWAYS AND TURNAROUNDS SHALL BE MAINTAINED IN ACCORDANCE WITH FIRE CODE. FIRE ACCESS ROADS SHALL HAVE UNOBSTRUCTED VERTICAL CLEARANCE CLEAR TO THE SKY FOR A WIDTH OF 20 FEET. (FIRE CODE 503.1)
  - REMAINING PLANTS SHALL BE APPROPRIATELY SPACED AND MAINTAINED TO PROVIDE SAFE EGRESS IN WILDLAND FIRE ENVIRONMENTS.
  - ALL TREES, UNLESS OTHERWISE APPROVED, SHALL BE PLANTED FAR ENOUGH FROM STRUCTURES AND FIRE ACCESS ROADS, AS TO NOT OVERHANG ANY STRUCTURE OR ACCESS AT MATURITY.

- MAINTENANCE**
- ROUTINE MAINTENANCE SHALL BE REGULARLY PERFORMED IN ALL ZONES. REQUIREMENTS INCLUDE ITEMS IN THE FUEL MODIFICATION GUIDELINES AND THOSE OUTLINED BELOW.
- REMOVAL OR THINNING OF UNDESIRABLE COMBUSTIBLE VEGETATION AND REMOVAL OF DEAD OR DYING PLANTS TO MEET MINIMUM BRUSH CLEARANCE REQUIREMENTS.
  - PRUNING AND THINNING TO REDUCE THE OVERALL FUEL LOAD AND CONTINUITY OF FUELS.
  - FUEL LOADS SHALL BE REDUCED BY PRUNING LOWER BRANCHES OF TREES AND TREE-FORM SHRUBS TO 1/2 OF THEIR HEIGHT, OR 6 FEET FROM LOWEST HANGING BRANCHES TO THE GROUND, TO HELP PREVENT FIRE FROM SPREADING AND MAKE MAINTENANCE EASIER. TREES WITH UNDERSTORY PLANTS SHOULD BE LIMBED UP AT LEAST THREE TIMES THE HEIGHT OF THE UNDERLYING VEGETATION OR UP TO ONE THIRD THE HEIGHT OF THE TREE, WHICHEVER IS LESS, TO HELP PREVENT FIRE FROM SPREADING UPWARD INTO THE CROWN.
  - ACCUMULATED PLANT LITTER AND DEAD WOOD SHALL BE REMOVED. DEBRIS AND TRIMMINGS PRODUCED BY MAINTENANCE SHOULD BE REMOVED FROM THE SITE OR CHIPPED AND EVENLY DISPERSED IN THE SAME AREA TO A MAXIMUM DEPTH OF 6 INCHES.
  - ALL INVASIVE SPECIES AND THEIR PARTS SHOULD BE REMOVED FROM THE SITE.
  - MANUAL AND AUTOMATIC IRRIGATION SYSTEMS SHALL BE MAINTAINED FOR OPERATIONAL INTEGRITY AND PROGRAMMING. EFFECTIVENESS SHOULD BE REGULARLY EVALUATED TO AVOID OVER OR UNDER-WATERING.
  - COMPLIANCE WITH THE FIRE CODE IS A YEAR-ROUND RESPONSIBILITY. ENFORCEMENT WILL OCCUR FOLLOWING INSPECTION BY THE FIRE DEPARTMENT. ANNUAL INSPECTIONS FOR BRUSH CLEARANCE CODE REQUIREMENTS ARE CONDUCTED FOLLOWING THE NATURAL DRYING OF GRASSES AND FINE FUELS, BETWEEN THE MONTHS OF APRIL AND JUNE DEPENDING ON THE REGION. INSPECTION FOR COMPLIANCE WITH AN APPROVED FUEL MODIFICATION PLAN MAY OCCUR AT ANY TIME OF YEAR.
  - BRUSH CLEARANCE ENFORCEMENT ISSUES ON ADJACENT PROPERTIES SHOULD BE DIRECTED TO THE COUNTY OF LOS ANGELES FIRE DEPARTMENT'S BRUSH CLEARANCE UNIT AT (626) 969-2375.
  - ALL FUTURE PLANTINGS SHALL BE IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT FUEL MODIFICATION GUIDELINES AND APPROVED PRIOR TO INSTALLATION. CHANGES TO THE APPROVED PLAN WHICH REQUIRE AN ADDITIONAL PLAN REVIEW WILL INCUR A PLAN REVIEW FEE.
  - QUESTIONS REGARDING LANDSCAPE PLANTING AND MAINTENANCE WITH REGARD TO FIRE SAFETY SHOULD BE DIRECTED TO THE FIRE DEPARTMENT'S FUEL MODIFICATION UNIT AT (626) 969-5205.

PERRIN DESIGN GROUP, INC.  
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SINGLE FAMILY RESIDENCE  
2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361

FUEL MODIFICATION PLAN  
FOR PLAN CHECK ONLY

DATE: FEBRUARY 9, 2021

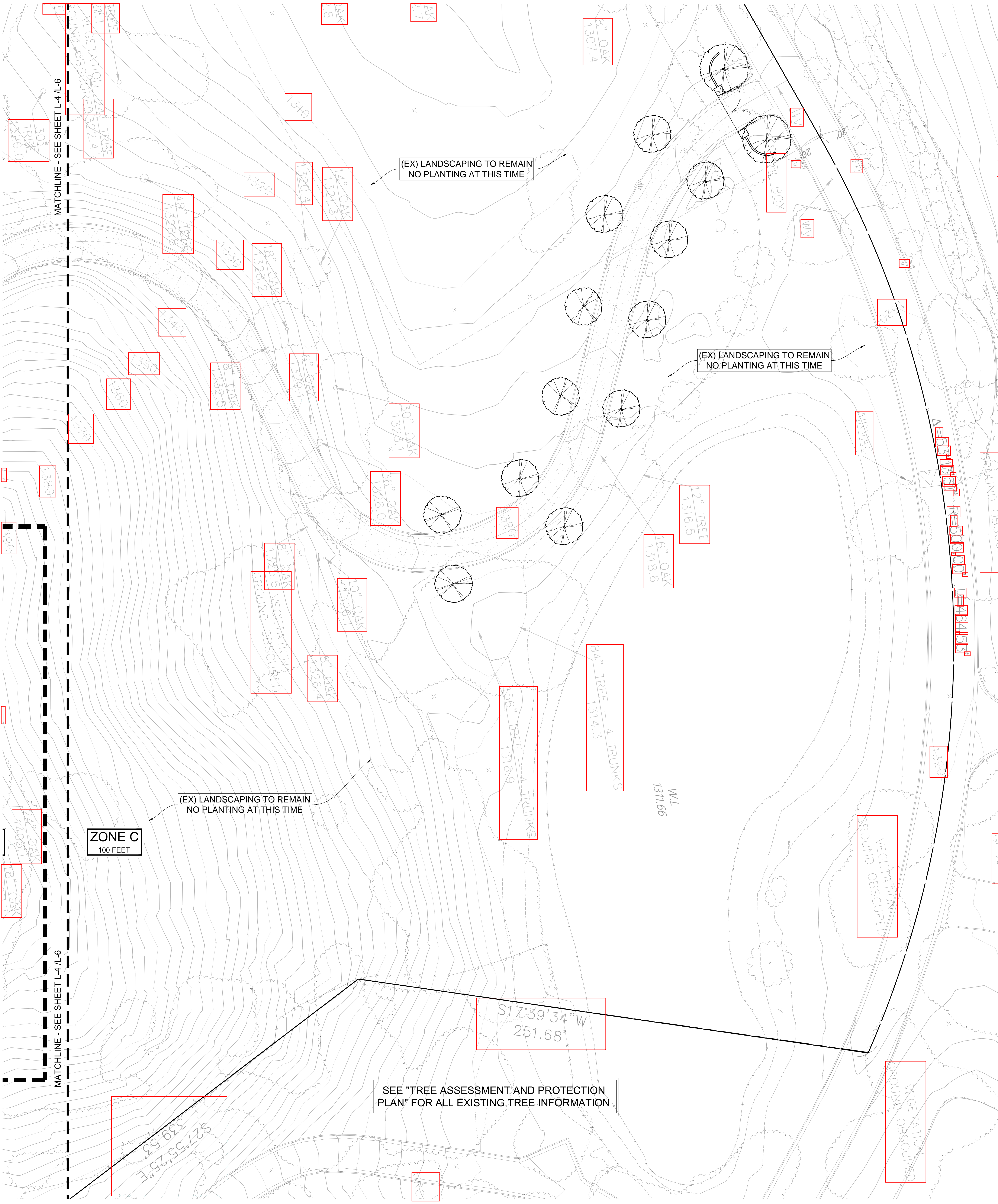
Drawn: JLP

Scale: 1"=20'-0"

Scale:

**L-6**

OF: SEVEN  
PLOTTED: 2/9/21



**FUEL MODIFICATION GUIDELINES**

VEGETATION SHALL BE MAINTAINED AS APPROVED. THE FOLLOWING NOTES SHALL BE ADHERED TO.

**MAINTENANCE OF ZONE A:** 30 FEET FROM EDGE OF THE STRUCTURE TO A DISTANCE OF 30 FEET

- PROVIDE FOR 5FT FIRE DEPARTMENT WALK AROUND WITH HERBACEOUS PLANTS
- RECOMMENDED TO PLACE WALKWAYS, PATIOS, SPORTS COURTS ETC. ABUTTING STRUCTURE
- AVOID PLANTING WOODY PLANTS WITHIN 10 FEET OF STRUCTURE
- USE HERBACEOUS PLANTS, SUCULENTS, LOW GROWING GRASSES AND GRASS LIKE PLANTS
- USE INORGANIC MULCHES SUCH AS GRAVEL WITHIN 10 FEET OF THE STRUCTURE. DO NOT USE RECYCLED RUBBER.
- SMALL TREE SPECIES (15'-25' IN HEIGHT) MAY BE PLANTED 10' FROM STRUCTURE IF USED SPARINGLY
- NO CLIMBING VINES ON STRUCTURES
- REMOVE DEAD AND DOWN PLANT MATERIAL, WOOD PILES, PATIO FURNITURE, ETC.

**MAINTENANCE OF ZONE B:** 70 FEET

- ARRANGE PLANTS AND LIMIT DENSITIES SO NOT TO CREATE LADDER FUELS OR DENSE THICKETS OF VEGETATION
- DENSITIES CAN BE INCREASED SLIGHTLY IN THIS ZONE

**MAINTENANCE OF ZONE C:** 100 FEET

- MAINTENANCE EXCEEDING 100 FEET BUT NOT TO EXCEED 200 FROM STRUCTURES MAY BE DEEMED NECESSARY BY THE FIRE OFFICIAL IN ACCORDANCE WITH SECTION 325.2.2 OF THE LOS ANGELES COUNTY FIRE CODE (CLEARANCE OF BRUSH AND VEGETATION GROWTH, EXTRA HAZARD)

**NOTE:** ALL FUEL MODIFICATION ZONES ARE TERMINATED AT THE SUBJECT PARCEL/TRACT BOUNDARY

**MAINTENANCE:** YEAR ROUND

- CLEAR ALL LEAVES, LITTER AND DEBRIS FROM RAIN GUTTERS, ROOFS AND ACCUMULATIONS AGAINST STRUCTURES
- REGULARLY REMOVE ALL DEAD VEGETATION, FLAMMABLE DEBRIS, FLAMMABLE PATIO FURNITURE FROM LANDSCAPE
- STORE WOOD PILES, COMPOST BINS, MULCH BINS, ETC. 30' FROM STRUCTURES
- CUT AND REMOVE ANNUAL GRASSES DOWN TO 4 INCHES
- IRRIGATION OF ANY FORM SHALL BE APPLIED TO MAINTAIN HIGH FUEL MOISTURE. IRRIGATION TO NATIVE PLANTS IS BENEFICIAL IN SMALL AMOUNTS 1-2 TIMES PER MONTH DURING SUMMER MONTHS

**PROPOSED PLANT LEGEND**

SYMBOL	QTY	SIZE	BOTANICAL NAME/COMMON NAME	REMARKS/WATER USAGE LM
<b>TREES</b>				
[Symbol]	01	36" BOX	ARJUNIA INEQUA 'MARINA' MARINA STRAWEERRY TREE	EVERGREEN STD TRUNK
[Symbol]	01	36" BOX	LAGERSTROEMIA INDICA 'TUSCARORA' TUSCARORA GRAPE MYRTLE	DECIDUOUS STD TRUNK
[Symbol]	01	36" BOX	ACACIA SALIGNA 'BLUE-LEAF' KEEPING WATTLE	EVERGREEN LB
[Symbol]	02	36" BOX	OLEA EUROPAEA 'MAJESTIC BEAUTY' MAJESTIC BEAUTY FRUITLESS OLIVE	EVERGREEN MULTI TRUNK
[Symbol]	01	36" BOX	PARKINSONIA HYBRID 'AZT' PALM VERDE THORNLESS HYBRID	EVERGREEN STD
<b>VINES</b>				
[Symbol]	15	GAL	CALLIANDRA HAEMATOCEPHALA PINK POWDER PUFF	EVERGREEN STAKED
<b>SHRUBS</b>				
[Symbol]	5	GAL	AGAVE ATTENUATA FOXTAIL AGAVE	EVERGREEN
[Symbol]	5	GAL	CALLISTEMON VIMINALIS 'SLIM' SLIM BOTTLEBRUSH	EVERGREEN
[Symbol]	5	GAL	CISTUS PULVERULENTUS 'SUNSET' MAGENTA ROCK ROSE	EVERGREEN
[Symbol]	5	GAL	HELICTOTRICHON SEX 'SAPPHIRE' SAPPHIRE BLUE OAT GRASS	EVERGREEN
[Symbol]	5	GAL	LIGUSTRUM JAP 'TEXANUM' RAZLEAF PRIVET	EVERGREEN STAKED
[Symbol]	1	GAL	NASSELLA TENNESSENSIS MEXICAN FEATHER GRASS	EVERGREEN
[Symbol]	5	GAL	PHORMIUM TEXAS 'PINK STRIPE' PINK STRIPE FLAX	EVERGREEN
[Symbol]	5	GAL	PITTOSPORIUM TOB 'CREME DE MINT' CREME DE MINT DWARF PITTOSPORIUM	EVERGREEN
[Symbol]	5	GAL	PITTOSPORIUM TOB 'WHEELER'S DWARF' WHEELER'S DWARF PITTOSPORIUM	EVERGREEN
[Symbol]	1	GAL	ROSMARINUS OFFICINALIS 'PROSTRATE' PROSTRATE ROSEMARY	EVERGREEN
[Symbol]	1	GAL	SENEGIO MANDRALISCAE BLUE CHALK STICKS	SUCULENT
[Symbol]	1	GAL	TEUCCRIUM X LIGUDRYIS MALL GERMANDER	EVERGREEN
[Symbol]	5	GAL	WESTRINGIA FRU 'MUNDI' DWARF MUNDI COAST ROSEMARY	EVERGREEN
<b>SHRUBS - NATIVE</b>				
[Symbol]	1	GAL	AQUILEGIA FORMOSA WESTERN COLUMBINE	EVERGREEN
[Symbol]	1	GAL	BACCHARIS PILLULARIS 'TWIN PEAKS' PROSTRATE COYOTE BUSH	EVERGREEN
[Symbol]	5	GAL	GEANTHUS GRIS HOR 'YANKEE POINT' YANKEE POINT CALIFORNIA LILAC	EVERGREEN
[Symbol]	5	GAL	GEANTHUS GRIS HOR 'CONCHA' CONCHA CALIFORNIA LILAC	EVERGREEN
[Symbol]	5	GAL	EPILOBUM GAL 'EVERETT'S CHOICE' GHOSTLY RED CALIFORNIA FUCHSIA	EVERGREEN
[Symbol]	5	GAL	LAVATERA MARITIMA MEDITERRANEAN TREE MALLOW	EVERGREEN
[Symbol]	1	GAL	LUPINUS ENGIPIBUS GRAPE SODA LUPINE	EVERGREEN
[Symbol]	1	GAL	MIMULUS AURANTIACUS STICKY MONKEY FLOWER	EVERGREEN
[Symbol]	1	GAL	PENSTEMON BACCHARIFOLIUS 'DIABLO' DIABLO ROCK PENSTEMON	EVERGREEN
<b>GROUND COVER</b>				
[Symbol]	4,890	S.F.	ARTIFICIAL TURF	SDP
[Symbol]	1,050	S.F.	ORNAMENTAL PLANTING	
[Symbol]	26,950	S.F.	NATIVE PLANTING	
[Symbol]	ALL PLANTER AREAS (SEE NOTE)			
NOTE: A MIN. OF 3" INCH LAYER OF MULCH SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR TIGHTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED				

**FUEL MODIFICATION PLAN NOTES**

**ZONE A - SETBACK ZONE**

- EXTENDS 30 FEET BEYOND THE EDGE OF ANY COMBUSTIBLE STRUCTURE, ACCESSORY STRUCTURE, APPENDAGE OR PROJECTION, OVERHANGS OR PARTS OF STRUCTURES NOT ACCURATELY REFLECTED ON THE PLANS MAY NEGATE THE APPROVAL OF PLANT LOCATION ON THE APPROVED PLAN.
- IRRIGATION BY AUTOMATIC OR MANUAL SYSTEMS SHALL BE PROVIDED TO MAINTAIN HEALTHY VEGETATION AND FIRE RESISTANCE
- VEGETATION IN THIS ZONE SHALL CONSIST PRIMARILY OF GREEN LAWNS, GROUND COVERS NOT EXCEEDING 6 INCHES IN HEIGHT, AND ADEQUATELY SPACED SHRUBS. THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
- PLANTS IN ZONE A SHALL BE INHERENTLY HIGHLY FIRE RESISTANT AND APPROPRIATELY SPACED. SPECIES SELECTION SHOULD REFERENCE THE FUEL MODIFICATION PLANT LIST. OTHER SPECIES MAY BE USED SUBJECT TO APPROVAL. PLANS RE-SUBMITTED 6 MONTHS AFTER THE INITIAL REVIEW WILL BE EVALUATED BASED ON THE CURRENT FUEL MODIFICATION PLANT LIST, AVAILABLE FROM THE FUEL MODIFICATION UNIT.
- TREES ARE GENERALLY NOT RECOMMENDED, EXCEPT FOR DWARF VARIETIES OR MATURE TREES SMALL IN STATURE.
- TARGET SPECIES WILL TYPICALLY NOT BE ALLOWED WITHIN 30 FEET OF COMBUSTIBLE STRUCTURES AND MAY REQUIRE REMOVAL IF EXISTING.
- VINES AND CLIMBING PLANTS SHALL NOT BE ALLOWED ON ANY COMBUSTIBLE STRUCTURE REQUIRING REVIEW.

**ZONE B - IRRIGATION ZONE**

- EXTENDS FROM THE OUTER EDGE OF ZONE A TO 100 FEET FROM STRUCTURES.
- IRRIGATION BY AUTOMATIC OR MANUAL SYSTEMS SHALL BE PROVIDED TO MAINTAIN HEALTHY VEGETATION AND FIRE RESISTANCE.
- VEGETATION IN THIS ZONE SHALL PRIMARILY CONSIST OF GREEN LAWNS, GROUND COVERS, AND ADEQUATELY SPACED SHRUBS AND TREES.
- UNLESS OTHERWISE APPROVED, GROUND COVERS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 6 INCHES. ON SLOPES, 12 INCHES IS ACCEPTABLE WITHIN 50 FEET OF A STRUCTURE, AND 18 INCHES BEYOND 50 FEET. THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT. SPECIMEN NATIVE PLANTS MAY BE APPROVED TO REMAIN IF PROPERLY MAINTAINED FOR ADEQUATE DEFENSIBLE SPACE. ANNUAL GRASSES OR WEEDS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 3 INCHES.
- PLANTS SHALL BE FIRE RESISTANT AND APPROPRIATELY SPACED. PLANT SELECTION SHOULD REFERENCE THE FUEL MODIFICATION PLANT LIST. OTHER PLANTS MAY BE USED SUBJECT TO APPROVAL.
- REPLACEMENT PLANTING TO MEET MINIMUM CITY OR COUNTY SLOPE COVERAGE REQUIREMENTS OR ORDINANCES WILL BE CONSIDERED. IN ALL CASES, THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
- TARGET SPECIES MAY REQUIRE REMOVAL WITHIN 50 FEET OF STRUCTURES, DEPENDING ON SITE CONDITIONS.
- ALL TREES, UNLESS OTHERWISE APPROVED, SHALL BE PLANTED FAR ENOUGH FROM STRUCTURES AND FIRE ACCESS ROADS, AS TO NOT OVERHANG ANY STRUCTURE OR ACCESS AT MATURITY.

**ZONE C - NATIVE BRUSH THINNING ZONE**

- EXTENDS FROM THE OUTER EDGE OF ZONE B UP TO 200 FEET FROM STRUCTURES OR TO THE PROPERTY LINE.
- REQUIRED THINNING AND CLEARANCE WILL BE DETERMINED UPON INSPECTION.
- IRRIGATION SYSTEMS ARE NOT REQUIRED.
- VEGETATION MAY CONSIST OF MODIFIED EXISTING NATIVE PLANTS, ADEQUATELY SPACED ORNAMENTAL SHRUBS AND TREES, OR BOTH. REPLACEMENT PLANTING TO MEET MINIMUM CITY OR COUNTY SLOPE COVERAGE REQUIREMENTS OR ORDINANCES WILL BE CONSIDERED. IN ALL CASES, THE OVERALL LANDSCAPE CHARACTERISTICS SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
- PLANTS SHALL BE SPACED APPROPRIATELY. EXISTING NATIVE VEGETATION SHALL BE MODIFIED BY THINNING AND REMOVAL OF PLANTS CONSTITUTING A FIRE RISK. THESE INCLUDE, BUT ARE NOT LIMITED TO: CHAMISE, SAGE, SAGE BRUSH, AND BUCKWHEAT.
- ANNUAL GRASSES AND WEEDS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 3 INCHES.
- GENERAL SPACING FOR EXISTING NATIVE SHRUBS OR GROUPS OF SHRUBS IS 15 FEET BETWEEN CANOPIES. NATIVE PLANTS MAY BE THINNED BY REDUCED AMOUNTS AS THE DISTANCE FROM DEVELOPMENT INCREASES.
- GENERAL SPACING FOR EXISTING NATIVE TREES OR GROUPS OF TREES IS 30 FEET BETWEEN CANOPIES. THIS DISTANCE MAY VARY DEPENDING ON THE SLOPE, ARRANGEMENT OF TREES IN RELATION TO SLOPE, AND THE TREE SPECIES.

**FIRE ACCESS ROAD ZONE**

- EXTENDS A MINIMUM OF 10 FEET FROM THE EDGE OF ANY PUBLIC OR PRIVATE ROAD USED BY FIRE-FIGHTING RESOURCES.
- CLEAR AND REMOVE FLAMMABLE GROWTH FOR A MINIMUM OF 10 FEET ON EACH SIDE OF FIRE ACCESS ROADS (FIRE CODE 325.10) ADDITIONAL CLEARANCE BEYOND 10 FEET MAY BE REQUIRED UPON INSPECTION.
- FIRE ACCESS ROADS, DRIVEWAYS AND TURNAROUNDS SHALL BE MAINTAINED IN ACCORDANCE WITH FIRE CODE. FIRE ACCESS ROADS SHALL HAVE UNOBSTRUCTED VERTICAL CLEARANCE CLEAR TO THE SKY FOR A WIDTH OF 20 FEET. (FIRE CODE 503.2.1)
- REMAINING PLANTS SHALL BE APPROPRIATELY SPACED AND MAINTAINED TO PROVIDE SAFE EGRESS IN WILDLAND FIRE ENVIRONMENTS.
- ALL TREES, UNLESS OTHERWISE APPROVED, SHALL BE PLANTED FAR ENOUGH FROM STRUCTURES AND FIRE ACCESS ROADS, AS TO NOT OVERHANG ANY STRUCTURE OR ACCESS AT MATURITY.

**MAINTENANCE**

ROUTINE MAINTENANCE SHALL BE REGULARLY PERFORMED IN ALL ZONES. REQUIREMENTS INCLUDE ITEMS IN THE FUEL MODIFICATION GUIDELINES AND THOSE OUTLINED BELOW:

- REMOVAL OR THINNING OF UNDESIRABLE COMBUSTIBLE VEGETATION AND REMOVAL OF DEAD OR DYING PLANTS TO MEET MINIMUM BRUSH CLEARANCE REQUIREMENTS.
- PRUNING AND THINNING TO REDUCE THE OVERALL FUEL LOAD AND CONTINUITY OF FUELS.
- FUEL LOADS SHALL BE REDUCED BY PRUNING LOWER BRANCHES OF TREES AND TREE-FORM SHRUBS TO 1/3 OF THEIR HEIGHT, OR 6 FEET FROM LOWEST HANGING BRANCHES TO THE GROUND, TO HELP PREVENT FIRE FROM SPREADING AND MAKE MAINTENANCE EASIER. TREES WITH UNDERSTORY PLANTS SHOULD BE LIMBED UP AT LEAST THREE TIMES THE HEIGHT OF THE UNDERLYING VEGETATION OR UP TO ONE THIRD THE HEIGHT OF THE TREE, WHICHEVER IS LESS, TO HELP PREVENT FIRE FROM SPREADING UPWARD INTO THE CROWN.
- ACCUMULATED PLANT LITTER AND DEAD WOOD SHALL BE REMOVED. DEBRIS AND TRIMMINGS PRODUCED BY MAINTENANCE SHOULD BE REMOVED FROM THE SITE OR CHIPPED AND EVENLY DISPERSED IN THE SAME AREA TO A MAXIMUM DEPTH OF 6 INCHES.
- ALL INVASIVE SPECIES AND THEIR PARTS SHOULD BE REMOVED FROM THE SITE.
- MANUAL AND AUTOMATIC IRRIGATION SYSTEMS SHALL BE MAINTAINED FOR OPERATIONAL INTEGRITY AND PROGRAMMING. EFFECTIVENESS SHOULD BE REGULARLY EVALUATED TO AVOID OVER OR UNDER WATERING.
- COMPLIANCE WITH THE FIRE CODE IS A YEAR-ROUND RESPONSIBILITY. ENFORCEMENT WILL OCCUR FOLLOWING INSPECTION BY THE FIRE DEPARTMENT. ANNUAL INSPECTIONS FOR BRUSH CLEARANCE CODE REQUIREMENTS ARE CONDUCTED FOLLOWING THE NATURAL DRYING OF GRASSES AND FINE FUELS, BETWEEN THE MONTHS OF APRIL AND JUNE DEPENDING ON GEOGRAPHIC REGION. INSPECTION FOR COMPLIANCE WITH AN APPROVED FUEL MODIFICATION PLAN MAY OCCUR AT ANY TIME OF YEAR.
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- QUESTIONS REGARDING LANDSCAPE PLANTING AND MAINTENANCE WITH REGARD TO FIRE SAFETY SHOULD BE DIRECTED TO THE FIRE DEPARTMENT'S FUEL MODIFICATION UNIT AT (626) 969-2375.

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2753 Under Ct. • Newbury Park, CA 91320  
805-795-7995 (Cell) • jlperrin@verizon.net (Email)

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**SINGLE FAMILY RESIDENCE**  
2551 WHITE STALLION ROAD  
THOUSAND OAKS, CA 91361

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**FUEL MODIFICATION PLAN - ENTRY GATE**

DATE: FEBRUARY 9, 2021  
DRAWN: [Signature]  
SCALE: 1"=20'-0"

**L-7**

CONCEPTUAL PLANS FOR PLAN CHECK ONLY

# 2551 White Stallion Road, Thousand Oaks





# 2551 White Stallion Rd Thousand Oaks, CA

## Stone:

Texas Limestone

Style: Cut Course, Staggard, Linear Pattern

## Door & Window Trim:

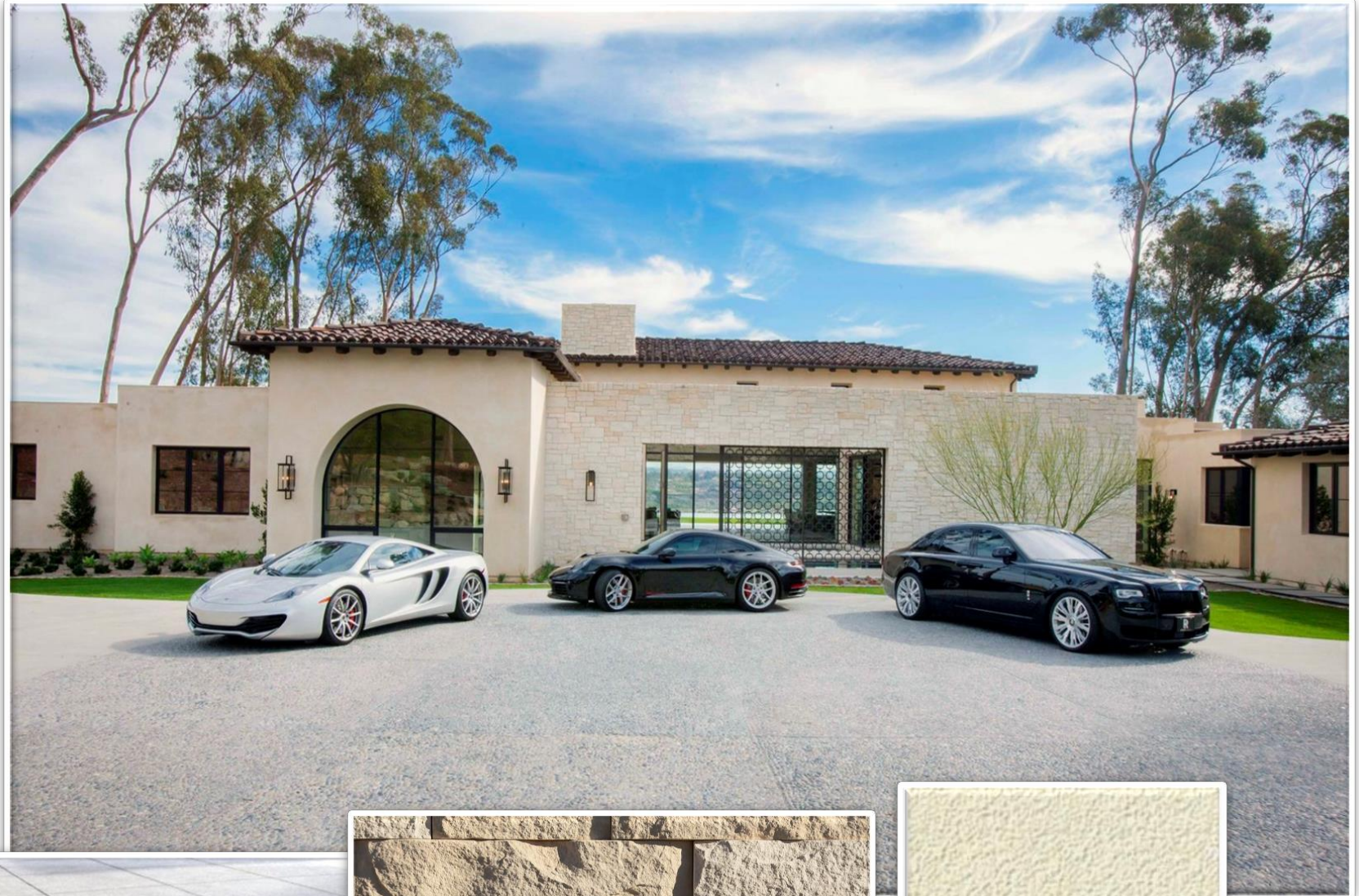
Black Metal

## Concrete:

Top Cast Concrete- Natural Finish

## Stucco:

434 Vanilla Cream- Smooth Finish



434 VANILLA CREAM

2551 White Stallion Rd  
Thousand Oaks, CA

**Stucco:**

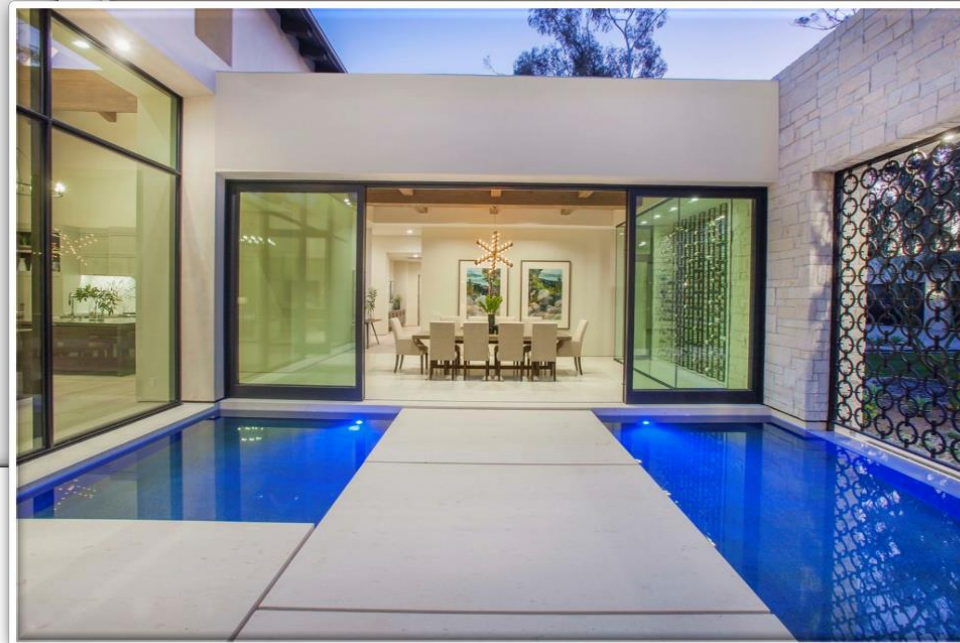
434 Vanilla Cream- Smooth Finish

**Door & Window Trim:**

Black Metal

**Garage Door Stain:**

Full Coverage Espresso Finish



434 VANILLA CREAM



Espresso

# 2551 White Stallion Rd Thousand Oaks, CA

## Exterior Trim:

Black Metal

## Exterior Wood Accent:

IPE Wood

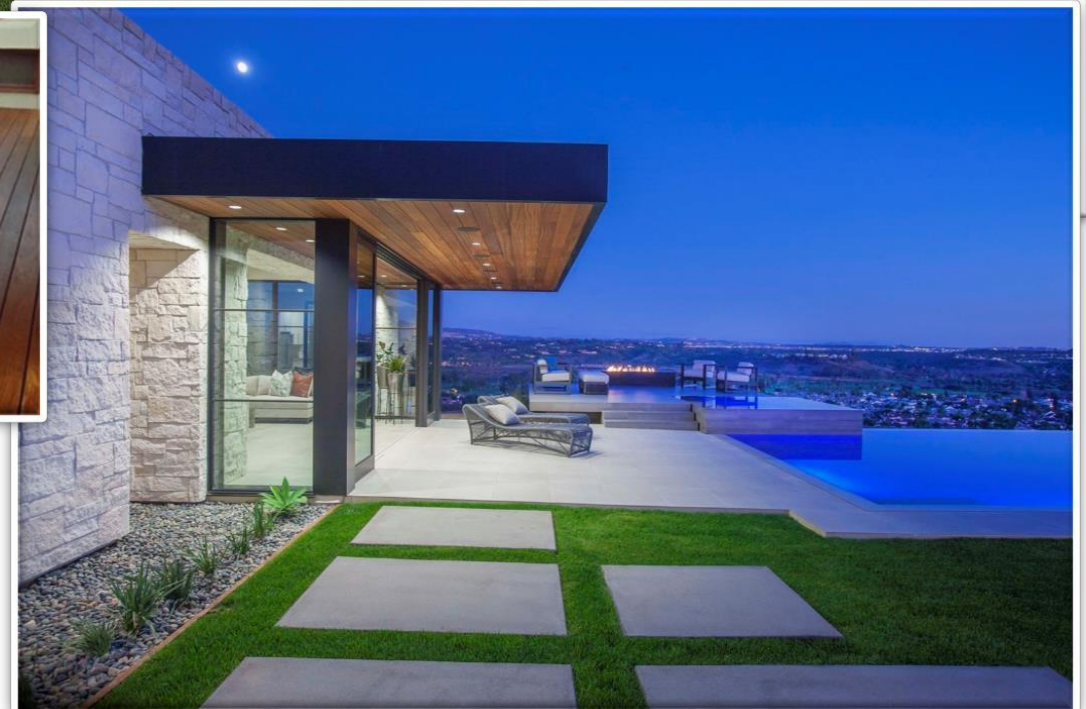
## Stone:

Texas Limestone

Style: Course Cut, Staggard, Linear Pattern

## Concrete:

Top Cast Concrete- Finish: Natural



# 2551 White Stallion Rd Thousand Oaks, CA

## Eaves Trim Finish:

Full Coverage Espresso Finish

## Redlands 2-Piece Baja Clay Roof Tile:

65% Old Sedona

20% Adobe Brown

15% Café Antigua

Install w/ mortar bird stop w/ 100%

field mortar boost and 10% field tile boost



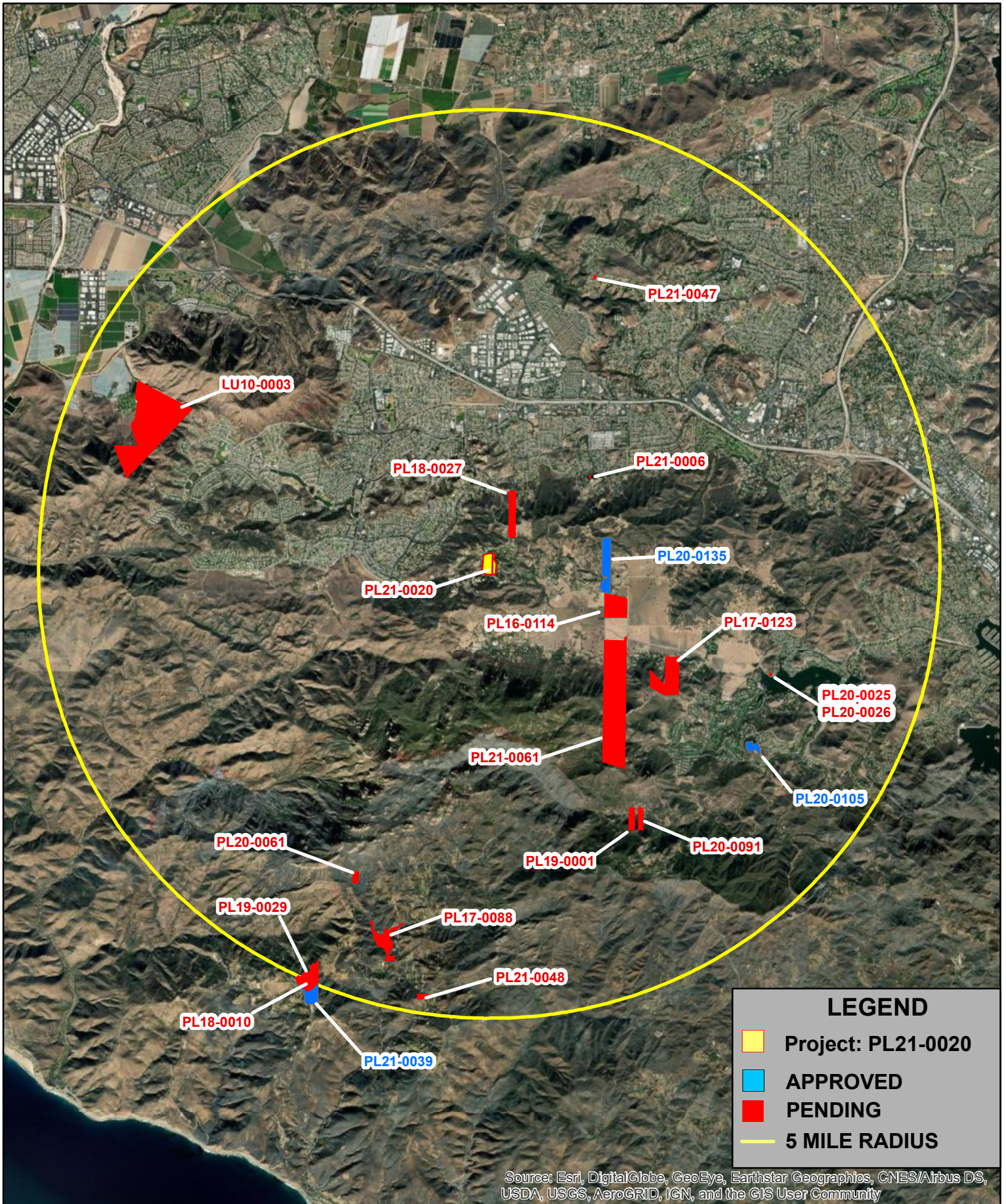
2551 White Stallion Rd  
Thousand Oaks, CA

**Outdoor Sconces:**

Finish: Black metal X-Frame

Size: 36" H – LED (Wet Listed)





Ventura County, California  
Resource Management Agency  
GIS Development & Mapping Services  
Map Created on 11-23-2021  
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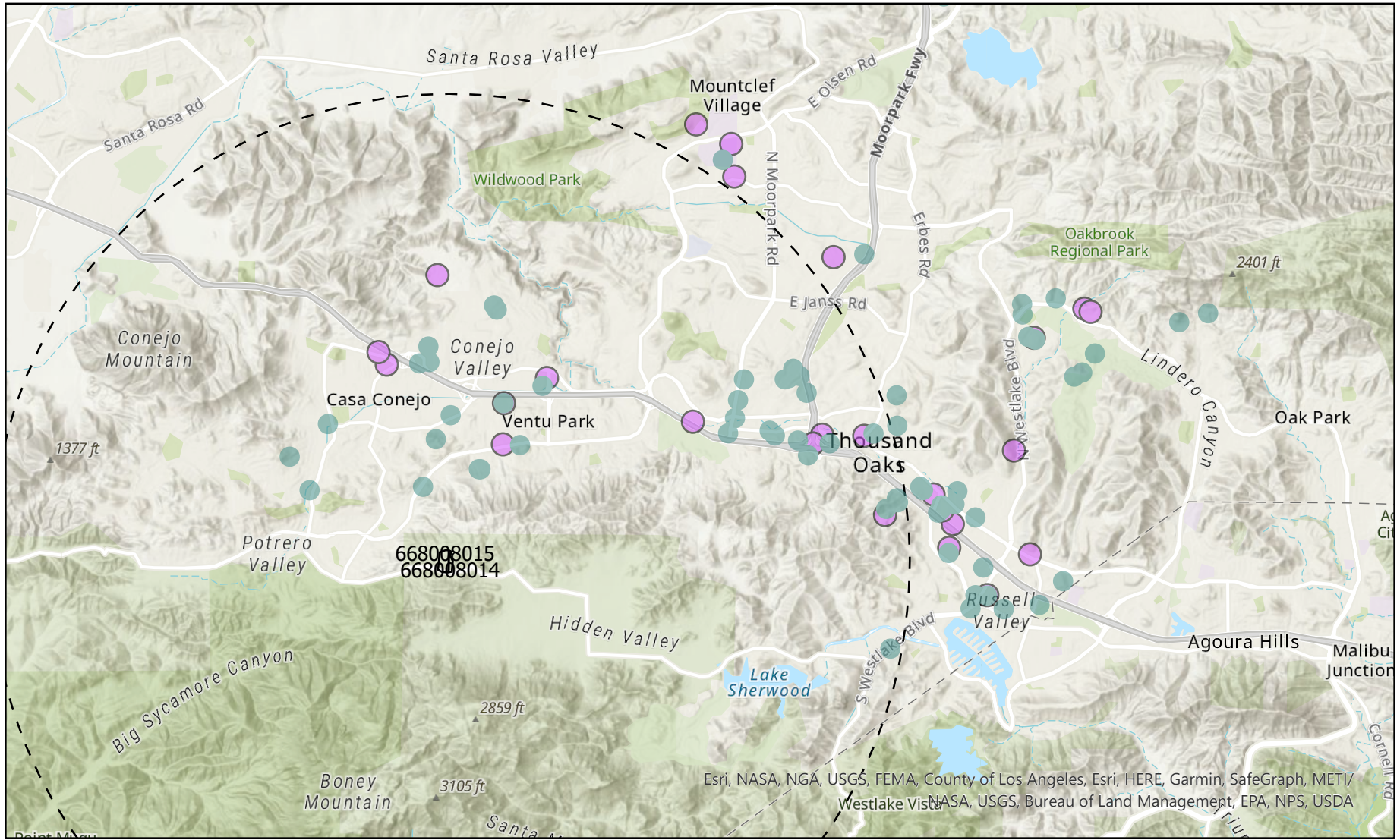


County of Ventura  
Mitigated Negative Declaration  
PL21-0020  
Attachment 3 - Cumulative Projects -  
Unincorporated Ventura County



Disclaimer: This Map was created by the Ventura County Resource Management Agency, Mapping Services - GIS which is designed and operated solely for the convenience of the County and related public agencies. The County does not warrant the accuracy of this map and no decision involving a risk of economic loss or physical injury should be made in reliance thereon.





Esri, NASA, NGA, USGS, FEMA, County of Los Angeles, Esri, HERE, Garmin, SafeGraph, METI/  
 Westlake Visi NASA, USGS, Bureau of Land Management, EPA, NPS, USDA

**DAR**

**Status**

- Approved
- Pending

Pre-Application

Under Construction

Project\_TO\_2

Project\_TO\_2\_Buffer

County of Ventura  
 Mitigated Negative Declaration  
 PL21-0020  
 Attachment 4 - Cumulative Projects -  
 Thousand Oaks

## Initial Study Biological Assessment

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**Original ISBA report date:** 04/22/21

**Case number** (to be entered by Planning Div.):

**Permit type:** Planned Development Permit

**Applicant:** Robert Erdmann

**Case Planner** (to be entered by Planning Div.):

**Total parcel(s) size:** 20 acres

**Assessor Parcel Number(s):** 666-008-014; 668-008-015

**Development proposal description:** Construction of a proposed residence, a secondary residence building and detached garage on an approximately 21-acre parcel.

### Prepared for Ventura County Planning Division by:

As a Qualified Biologist, approved by the Ventura County Planning Division, I hereby certify that this Initial Study Biological Assessment was prepared according to the Planning Division's requirements and that the statements furnished in the report and associated maps are true and correct to the best of my knowledge.

<b>Qualified Biologist (signature):</b> <i>Damini Sindhar</i>		Date: 04/22/21; Revised 06/15/21; 06/29/21;12/09/21, 02/18/22
Name (printed): Saudamini (Damini) Sindhar	Title: Senior Biologist	Company: Envicom Corporation
Phone: 805-415-8988	email: ssindhar@envicomcorporation.com	
<b>Other Biologist (signature):</b> n/a		Date:
Name (printed):	Title:	Company:
Phone:	email:	
Role:		

County of Ventura  
 Mitigated Negative Declaration  
 PL21-0020  
 Attachment 5 - Initial Study  
 Biological Assessment



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This Biological Assessment DID provide adequate information to make recommended CEQA findings regarding potentially significant impacts.

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	Project Impact Degree of Effect				Cumulative Impact Degree of Effect			
	N	LS	PS-M*	PS	N	LS	PS-M*	PS
Biological Resources								
Species			X			X		
Ecological Communities			X			X		
Habitat Connectivity		X				X		

N: No impact

LS: Less than significant impact

PS-M: Potentially significant unless mitigation incorporated.

PS: Potentially significant

\* DO NOT check this box unless the Biological Assessment provided information adequate enough to develop mitigation measures that reduce the level of impact to less than significant.

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## Summary

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The proposed project involves construction of a single-family residence and accessory structures on an existing vacant property located within two (2) parcels in the northern foothills of the Santa Monica Mountains, County of Ventura. The project would be located on the western Parcel (APN #668-008-015). The development area/ limits of grading is 2.08 acres; the 100 -foot fuel modification buffer is 3.86 acres and the construction footprint that includes the limits of grading plus the 100-foot fuel modification buffer totals 5.94 acres. An existing unnamed paved road would be used to access the site.

Project grading would affect cleared land and barren/sparsely vegetated areas, that have little ecological significance. None of these habitats is considered to be a “natural community of special concern.” Project grading would be in close proximity to native upland scrub habitats. Project Fuel modification would lead to impacts to two (2) sensitive plant communities/ natural communities of special concern; 0.33 acre of Bush monkeyflower scrub and 0.05 acre of Blue elderberry scrub. The project would result in significant impacts to these habitats. Implementation of Mitigation Measures MM-3, MM-4 and MM-6 would reduce impacts to natural communities of special concern to less than significant. Additionally, one locally important community- coast live oak Woodland (0.10 acre) is also within the Project Fuel modification zone. Since this community is present within the fuel modification zone, subject to vegetation thinning only, project activities will not result in conversion of oak woodlands. Removal of some branches of Oaks may be necessary to comply with the fuel-modification requirements. However, this does not impact the structure of Oak woodlands. Impacts to one locally important plant community- coast live oak is considered less than significant. Implementation of MM-3, MM-4 and MM-5 would further insure minimization of impacts to Oak woodlands during construction and fuel modification/vegetation thinning.

The canopies and root protection zones of most County ordinance-sized trees located within the fuel modification zone would be avoided to the maximum extent feasible. Removal of some branches/minor limbing of Oaks may be necessary to comply with the fuel-modification requirements. However, this will not have a significant impact on Oak trees. One (1) non-native heritage Italian stone pine tree is scheduled for removal. A tree report drafted by a certified arborist with details of the findings and valuation of trees has been submitted to the County. Three other trees/clusters are present within the 100 foot fuel modification zone outside but in close proximity to the limits of grading. The project would result in significant, but mitigable impacts to these trees. Implementation of MM-3, MM-4 and MM-5 would reduce impacts to native trees to less than significant.

Six (6) special status plant species have the potential to be present onsite, Malibu baccharis, round-leaved filaree, Plummer’s mariposa-lily, Conejo buckwheat, white veined monardella and Ojai navarretia. No special-status plant plants were found onsite during the biological and botanical surveys conducted on the property. No impacts to special status plants are expected as a consequence of project activities.

One (1) special-status bird, the white-tailed kite, may forage at the site with moderate probability, but is not expected to nest onsite and thus would not be impacted by project activities. No other special-status birds known from a five-mile radius of the project have moderate or high potential to occur within the project construction footprint. Several species of non-special-status birds have potential to nest within the grading footprint or within 300 feet of the grading footprint. If present, nesting birds could be directly impacted by the project. Also, the project could potentially disturb birds nesting in the vicinity of the project site, which could cause nesting failure and the loss of eggs or nestlings. Implementation of MM-2 and MM-3 would reduce potentially significant impacts to less than significant.

Most special-status wildlife species that may potentially occur at the site are capable of escaping harm during project development, including grading or fuel modification, while a few are vulnerable to direct impacts, including injury and mortality. In this case, the special-status species that could be directly impacted include potentially occurring land dwelling animals, that include two (2) species of legless lizards. Other species that are capable of escaping harm include California glossy snake, coastal whiptail and the San Diego desert woodrat. Though some bats could forage at the project site, suitable roosting habitat for bats was noted onsite.

Project impacts if any to special-status wildlife species would be less than significant, as the project would not reduce a special-status species' population, only a very small number of individuals would potentially be affected (with low probability), and the habitats at the site are not of particular importance to the survival or life cycle of a special-status species. Implementation of MM-1,MM-2 MM-3 and MM-4 would reduce impacts to special status wildlife to less than significant.

The project area does not serve as a wildlife linkage or corridor and would not impede wildlife movement.

## Section 1: Construction Footprint Description

---

*Construction Footprint Definition (per the Ventura County Planning Division): The construction footprint includes the proposed maximum limits of temporary or permanent direct land or vegetation disturbance for a project including such things as the building pad(s), roads/road improvements, grading, septic systems, wells, drainage improvements, fire hazard brush clearance area(s), tennis courts, pools/spas, landscaping, storage/stockpile areas, construction staging areas, fire department turnarounds, utility trenching and other grading areas. The construction footprint on some types of projects, such as mining, oil and gas exploration or agricultural operations, may be quite different than the above.*

### **Development Proposal Description:**

The purpose of the project is to construct a single-family residence and accessory structures on an existing vacant site. The project would involve construction of a proposed residence, a secondary residence building and detached garage on an approximate two-acre pad located within approximately 21-acre property within two (2) parcels. The Assessor Parcel Number (APN) for the parcels are 668-008014, 668-008015. The project site would be accessed via an existing driveway from White Stallion Road. Any necessary storage of equipment, materials, or soil would be located within cleared land on site. If storage is needed outside of the project site, it will be transported to an offsite location.

### **Construction Footprint Size**

The plan for the house includes the gross building area of the main proposed residence (15,814 square feet), secondary residence building (1,801 square feet) and the detached garage (1,272 square feet) for a total construction area of 18,887 square feet/ 0.43 acre. The development area/ limits of grading is 2.08 acres; the 100-foot fuel modification buffer is 3.86 acres. The construction footprint that includes the limits of grading plus the 100-foot fuel modification buffer totals 5.94 acres. An existing unnamed paved road would be used to access the site. The development area,/limits of grading encompasses the septic system, seepage pits, and utilities.

### **Project Design for Impact Avoidance or Minimization**

The development area/ limits of grading is on a 2.08 acre area that has been previously graded or cleared. The project would avoid County protected trees, including oaks, one heritage Italian Stone Pine tree and elderberry. A temporary fence will be installed during construction, to prevent debris or spoils from being placed on the slope below the building pad within the 30 foot tree protection zone and further into the fuel modification zone.

### **Coastal Zone/Overlay Zones**

The project is not in the Coastal Zone or within an Overlay Zone.

## **Zoning**

The project is zoned OS-20.

## **Elevation**

The elevation ranges from 1,416 feet to 1,441 feet.

## **Other**

No other important features to describe.

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## **Section 2: Survey Information**

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### **2.1 Survey Purpose**

Discretionary actions undertaken by public agencies are required to demonstrate compliance with the California Environmental Quality Act (CEQA). The purpose of this Initial Study Biological Assessment (ISBA) is to gather enough information about the biological resources associated with the proposed project, and their potential to be impacted by the project, to make a CEQA Initial Study significance finding for biological resources. In general, ISBA's are intended to:

- Provide an inventory of the biological resources on a project site and the values of those resources.
- Determine if a proposed project has the potential to impact any significant biological resources.
- Recommend project redesign to avoid, minimize or reduce impacts to significant biological resources.
- Recommend additional studies necessary to adequately assess potential impacts and/or to develop adequate mitigation measures.
- Develop mitigation measures, when necessary, in cases where adequate information is available.

### **2.2 Survey Area Description**

*Survey Area Definition (per the Ventura County Planning Division): The physical area a biologist evaluates as part of a biological assessment. This includes all areas that could potentially be subject to direct or indirect impacts from the project, including, but not limited to: the construction footprint; areas that would be subject to noise, light, dust or runoff generated by the project; any required buffer areas (e.g., buffers surrounding wetland habitat). The construction footprint plus a 100 to 300-foot buffer—beyond the required fire hazard brush clearance boundary—(or 20-foot from the cut/fill boundary or road fire hazard brush clearance boundary – whichever is greater) is generally the size of a survey area. Required off-site improvements—such as roads or fire hazard brush clearance—are included in the survey area. Survey areas can extend off the project's parcel(s) because indirect impacts may cross property lines. The extent of the survey area shall be determined by the biologist in consultation with the lead agency.*

## **Survey Area 1 (SA1)**

### ***Location***

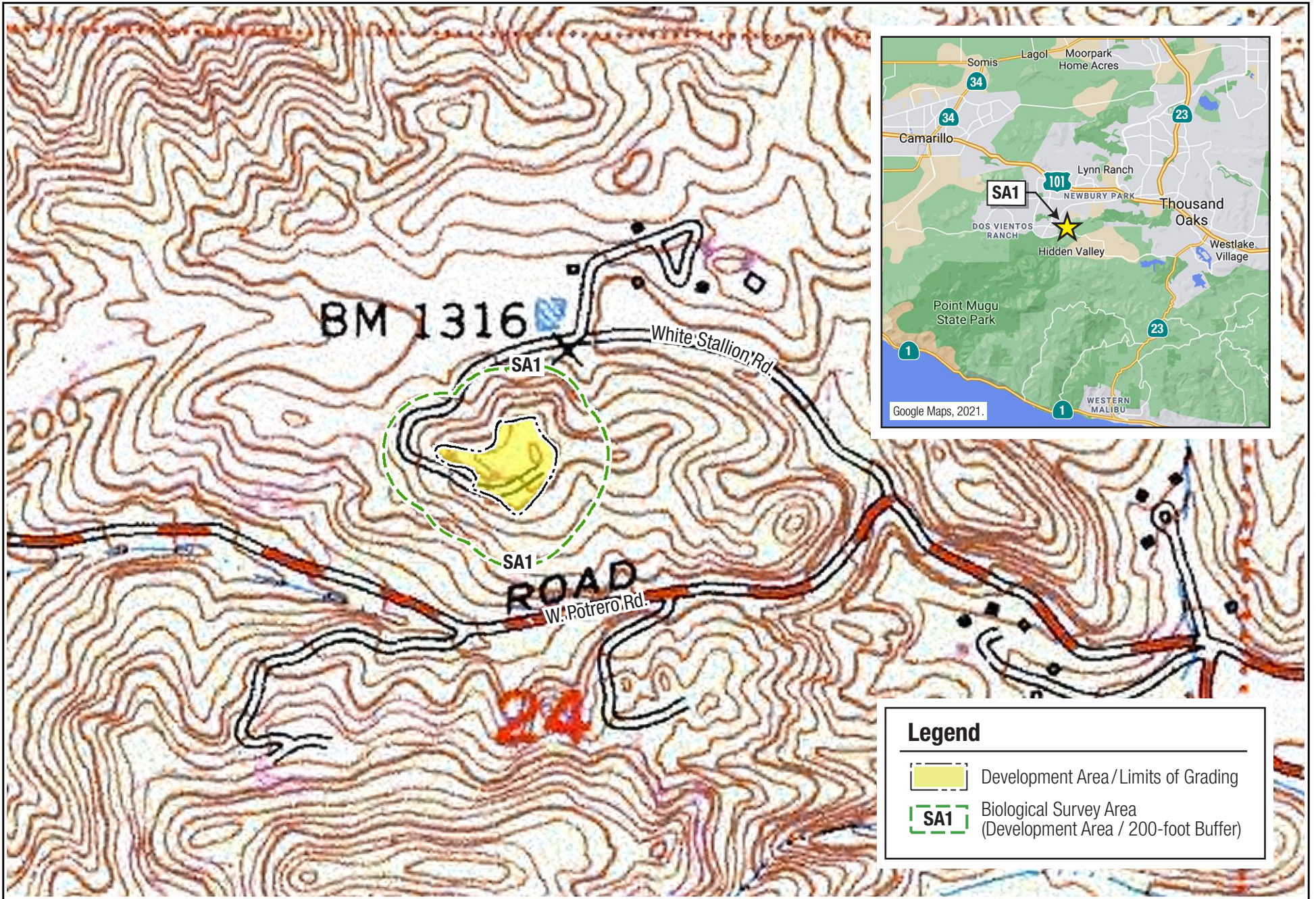
SA1 (Survey Area 1) is located on the northern foothills of the Santa Monica Mountains just north of W Potrero Road and south of White Stallion Road within unincorporated County of Ventura. Regionally, SA1 is located to the south of the City of Thousand Oaks, and southwest of the City of Westlake Village (**Figure 1, Project Location Map**). SA1 includes the development area/limits of grading and a 200-foot buffer. This survey was conducted specifically for this ISBA and therefore focuses on the areas within the two (2) subject parcels, that would be impacted or potentially impacted by the proposed project grading and fuel modification. Project related impacts would be limited to the development area / limits of grading and a surrounding, 100-foot project fuel modification zone.

### ***Survey Area Environmental Setting***

SA1 is located within the two (2) existing parcels, and would be accessed via an existing unnamed driveway from White Stallion Road. (**Figure 2, Site and Survey Map**). The central portion of SA1, is a flat previously disturbed, partially graded pad that is mostly barren to sparsely vegetated. The 200-foot buffer surrounding the development area/limits of grading includes native coastal sage scrub and chaparral vegetation. No drainage features were noted onsite. SA1 is currently undeveloped, with the exception of a small vacant shed in the western portion of SA1 within the limits of grading.

### ***Surrounding Area Environmental Setting***

The Project Parcel is surrounded by open space dominated by coastal sage scrub, chaparral, native and ornamental trees interspersed with a few existing single family residences with associated landscaped areas. White Stallion Road and the existing access road leading to the project site are located north of the project. There is a small, constructed pond located north of the project site, also directly north of White Stallion Road. A single-family residence surrounded by chaparral, and coast live oak (*Quercus agrifolia*) woodland is located to the east of the project site. Existing single-family residences, residential roads including Potrero Road interspersed with native chaparral habitat are located to the south of the site. Regionally, the surrounding area is characterized by open space and natural areas that include chaparral, coastal scrub, oak woodlands and occasional rocky outcrops interspersed with single-family residences.



Source: U.S.G.S. 7.5 Min. Topographic Quadrangle map mosaic.

2551 WHITE STALLION ROAD PROJECT – ISBA

# Project Location Map

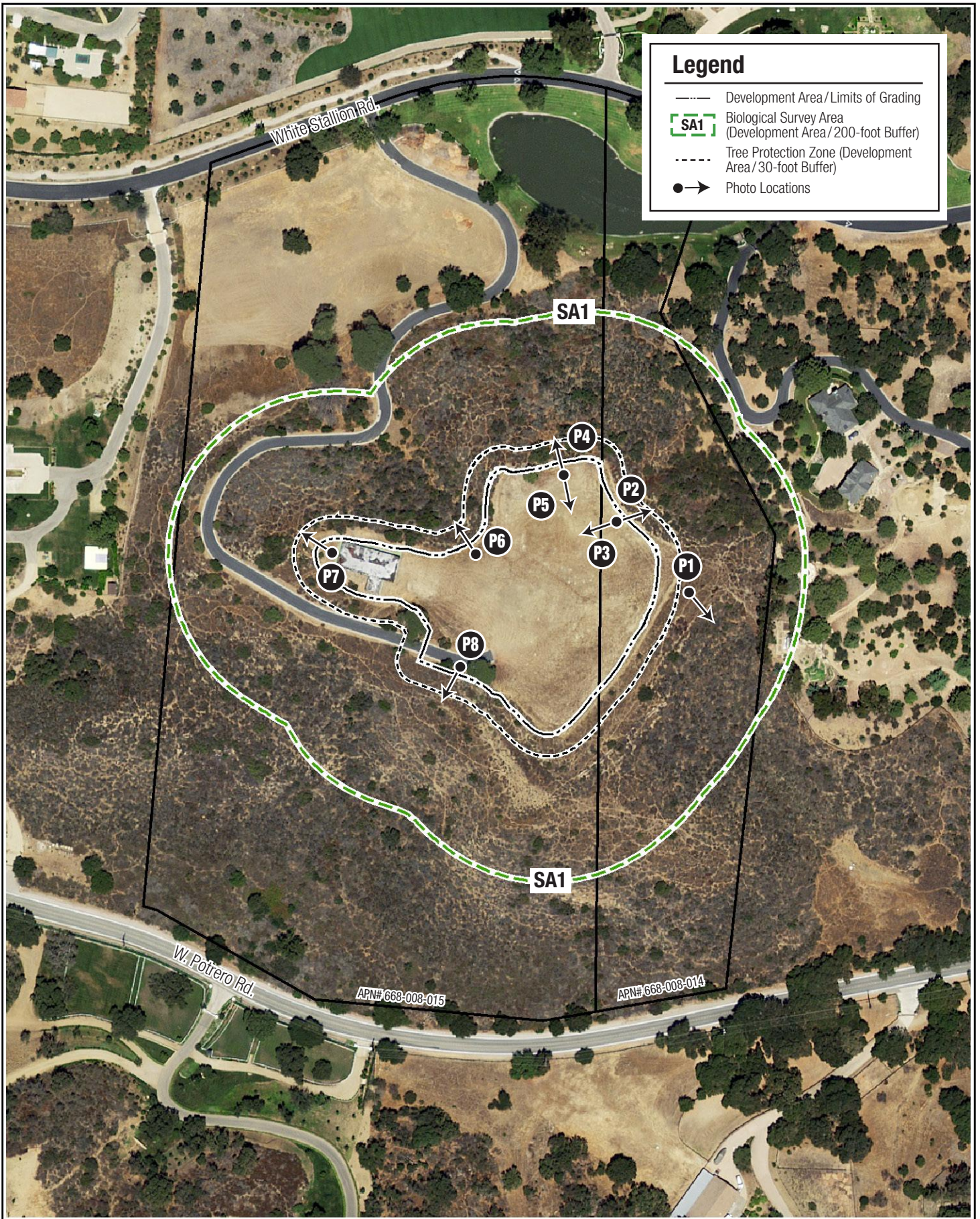
**Legend**

- Development Area/Limits of Grading
- Biological Survey Area (Development Area / 200-foot Buffer)



**envirom**





**Legend**

- Development Area / Limits of Grading
- SA1 Biological Survey Area (Development Area / 200-foot Buffer)
- - - Tree Protection Zone (Development Area / 30-foot Buffer)
- → Photo Locations

Source: U.S.G.S. 7.5 Min. Topographic Quadrangle map mosaic.

2551 WHITE STALLION ROAD PROJECT – ISBA



# Site and Survey Map

FEET 0 87.5 175 FIGURE 2

## Cover

55% native vegetation

20% non-native vegetation

25% bare ground/cleared/graded

## 2.3 Methodology

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Survey Date & Details							
Survey Key	Survey Date	Survey Area Map Key	Survey Type	Time Period	Methods/Constraints	GPS	Surveyor
SD1	2/19/2021	SA1	ISBA	10:00 am–5:30 pm	Walking meandering transects. About 60% of the site was accessible. Survey was conducted in the limits of grading and a 100-foot buffer. The survey was conducted outside of the blooming season for most plants.	Trimble GeoXT, submeter accuracy	Damini Sindhar, Biologist
SD2	2/26/2021	SA1	ISBA	1.00-5.00 pm	Walking meandering transects. About 60% of the site was accessible. Survey was conducted within the 200-foot buffer.	Trimble GeoXT, submeter accuracy	Damini Sindhar, Biologist
SD3	4/16/2021	SA1	Botanical Survey	9.00 am–5:30 pm	Walking meandering transects. About 60% of the site was accessible. Survey was conducted within the development area and a 100-foot fuel-modification buffer. The survey was conducted within the Spring blooming period for plants.	n/a	Damini Sindhar, Biologist
SD4	6/29/2021	SA1	Botanical Survey	6:00 am-11:30 am	Walking meandering transects. About 60% of the site was accessible. Survey was conducted within the development area and a 100-foot fuel-modification buffer. The survey was conducted within the Summer blooming period for plants.	n/a	Damini Sindhar, Biologist
ISBA ..... Initial Study Biological Assessment Botanical ..... Botanical Survey							

## **Section 3: The Biological Inventory**

See Appendix One for an overview of the types of biological resources that are protected in Ventura County.

### **3.1 Ecological Communities: Plant Communities, Physical Features and Wetland Plant Communities**

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Locally important or rare plant communities were found within the survey area(s).

---

#### **Major Plant Communities Summary**

Vegetation within the survey area consists of coastal sage scrub, chaparral, cleared land, and coast live oak woodland. A number of individual scattered native trees were observed within the above listed habitat communities. The development area/limit of grading is comprised of cleared land with a 10-15% cover all comprised predominantly of non-native species. The upland vegetation communities within SA1 are comprised of chaparral and coastal scrub shrub species characterized by low-growing aromatic, and drought-deciduous shrubs adapted to the semi-arid Mediterranean climate of the coastal lowlands.

The plant communities within SA1 were mapped using the State Vegetation Classification System (SVC II). Plant communities were correlated with the *Vegetation Classification of the Santa Monica Mountains Natural Recreation Area and Environs in Ventura and Los Angeles Counties, California* (CDFW/CNPS, January 2006) and the *List of Vegetation Alliances and Associations (Natural Communities List)* (CDFW, September 2020). A map of the plant communities at the site is shown in **Figure 3, Plant Communities Map**.

The Ventura County Planning Division considers those plant communities that receive conservation status rankings of G1-G3 or S1-S3 to be sensitive for the purposes of CEQA impact assessment. The California Department of Fish and Wildlife (CDFW) considers plant communities that receive conservation status rankings of G1-G3 or S1-S3 to be of special concern, and that these plant communities should be addressed during CEQA review. Based on the conservation status rankings from the CDFW California Natural Community List (September 2020), two (2) plant communities identified within SA1 are rare or sensitive; Bush monkeyflower scrub and Blue elderberry scrub. One locally important plant community- Coast live oak woodland is also present within SA1.

The native and non-native plant communities, as well as other land cover classes, present within SA1 are described below.

#### **Shrubland Plant Communities**

PC-1. California sagebrush-deerweed scrub (*Artemisia californica*- *Acmispon glaber*/*Lotus scoparius* shrubland association)

Within the Santa Monica Mountains and valleys, this shrubland association generally occurs on gentle to steep slopes of variable aspect at low elevations less than 600 meters. It is

characterized by a dominance of California sagebrush (*Artemisia californica*) in the shrub layer, and a scattered, mostly non-native herbaceous layer. Many stands have low cover of deerweed (*Acmispon glaber* (old name: *Lotus scoparius*)). Deerweed is generally considered early seral, suggesting this association is reflective of somewhat recent disturbance.

Within SA1 this community was noted just south of the development area. California sagebrush and deerweed were co-dominant with about a 20% relative cover for each. A dominant non-native herbaceous layer was also present comprised mostly of smilo grass (*Stipa miliaceum*).

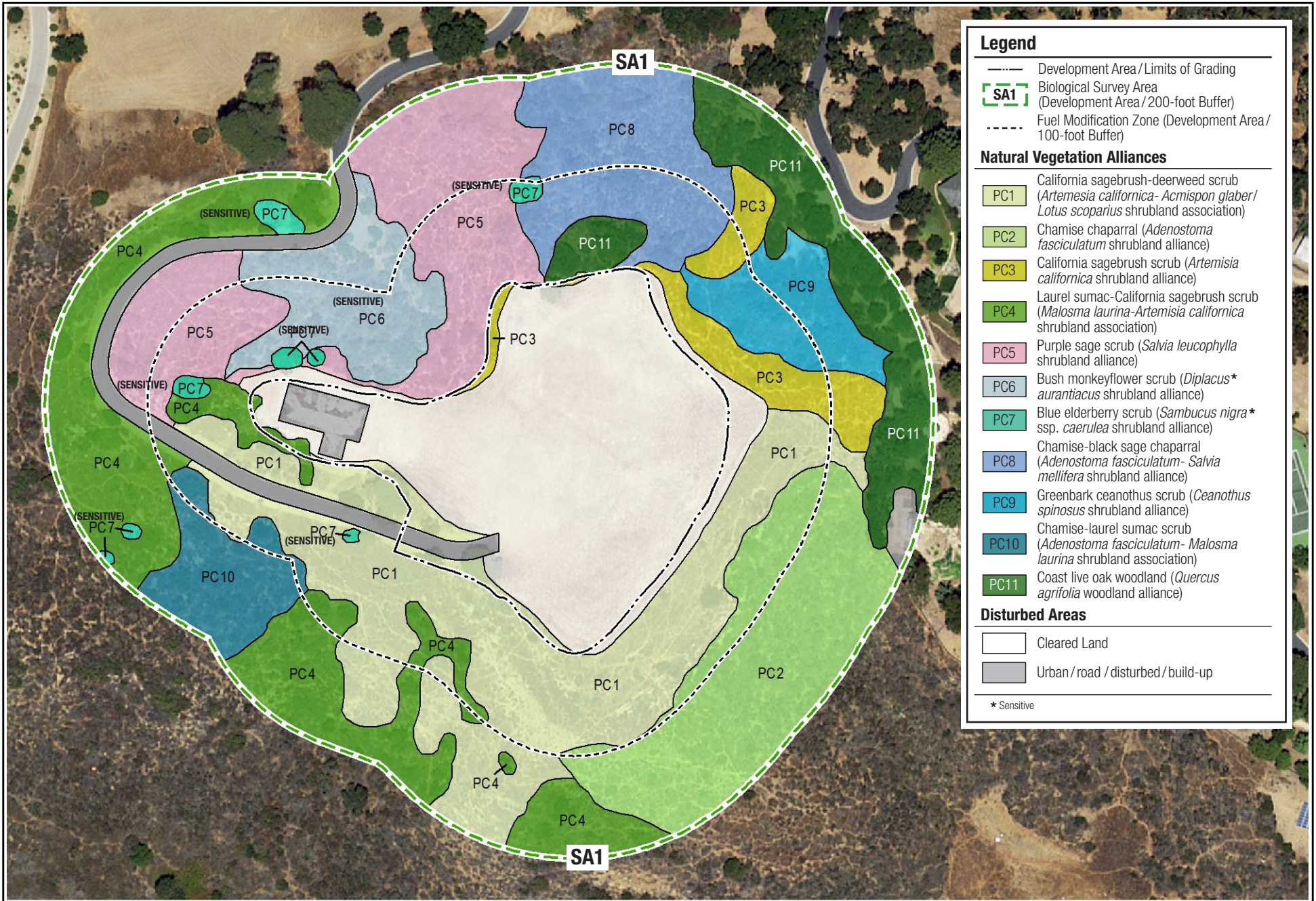
PC-2. Chamise chaparral (*Adenostoma fasciculatum* shrubland alliance)

Within the Santa Monica Mountains and valleys this shrubland alliance occurs on varied topography on commonly shallow soils over colluvium and many kinds of bedrock at elevations between 10 to 1800 meters. This association is characterized by a strong dominance of chamise (*Adenostoma fasciculatum*) in the shrub layer.

This alliance occurs outside limits of grading on the western and southwestern boundary of SA1. The shrub layer is dominated by chamise with more than a 70% relative cover. Other species present within this community include black sage (*Salvia mellifera*), buckbrush (*Ceanothus cuneatus*), California buckwheat (*Eriogonum fasciculatum*) and smilo grass.

PC-3. California sagebrush scrub (*Artemisia californica* shrubland alliance)

This shrubland association occurs on gentle to steep slopes of variable aspect at elevations between 0-1,200 meters. It is characterized by strong dominance of California Sagebrush (*Artemisia californica*) in the shrub layer. The herbaceous layer is not well developed. The emergent tree layer is usually absent.



Aerial Source: Valtus Imagery Services: Hexagon Imagery Program (HxIP), 2017.

2551 WHITE STALLION ROAD PROJECT – ISBA

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# Plant Communities Map





Other species present in small numbers include black sage (*Salvia mellifera*), coyote brush (*Baccharis pilularis*), purple sage (*Salvia leucophylla*), and clustered tarweed (*Deinandra fasciculata*), California buckwheat (*Eriogonum fasciculatum*). This alliance occurs outside limits of grading on the northeastern portion of SA1, adjacent to the eastern limit of grading boundary.

PC-4. Laurel sumac- California sagebrush scrub (*Malosma laurina*-*Artemisia californica* shrubland association)

Within the Santa Monica Mountains and valleys this shrubland association generally occurs on gentle to very steep southeast to northwest facing slopes at low elevations less than 500 meters. This association is characterized by a dominance of laurel sumac (*Malosma laurina*) in the shrub layer. Other species present within the shrub layer in association include California sagebrush California buckwheat, black sage, toyon (*Heteromeles arbutifolia*), and big-pod ceanothus (*Ceanothus metacarpus*). The tree layer is generally emergent and open and may infrequently include coast live oak, southern California black walnut (*Juglans californica*), western sycamore (*Platanus racemosa*), and the non-native pepper tree (*Schinus mole*) at low cover. The herbaceous layer is generally diverse and sometimes includes black mustard (*Brassica nigra*), giant wild rye (*Elymus condensatus*), non-native Brome grasses (*Bromus sp.*), and summer mustard (*Hirschfeldia incana*).

This association occurs outside the limits of grading in the western portion of SA1 adjacent to existing access road. It also occurs in the south-western and southern portion of SA1. Dominant species include laurel sumac and California sage is sub-dominant. Other species present include smilo grass and chaparral yucca (*Hesperoyucca whipplei*).

PC-5. Purple sage scrub (*Salvia leucophylla* shrubland alliance)

Within the Santa Monica Mountains and valleys, this shrubland association generally occurs on gentle to very steep slopes of variable aspects at low elevations between 18 to 613 meters. It is characterized by a strong dominance of Purple sage (*Salvia leucophylla*) in the shrub layer. The herbaceous layer is composed of both native and non-native grasses and herbs. The emergent tree layer is generally absent.

This alliance occurs outside the limits of grading along the northwestern portion of SA1. The shrub layer is dominated by purple sage with about a 50% relative cover. Other species present within this alliance include California sagebrush, giant wildrye (*Elymus condensatus*) and foothill needlegrass (*Stipa lepida*).

PC-6. Bush monkeyflower scrub (*Diplacus aurantiacus* shrubland alliance)

Within the Santa Monica mountains and valleys, this shrubland association occurs on somewhat steep to steep northeast and northwest slopes at low elevations between 43–570 meters. It is characterized by a strong dominance of bush monkeyflower (*Diplacus aurantiacus*) in the shrub layer. Giant wildrye is present in most stands within the herbaceous layer, though this species is not considered characteristic of this alliance. The shrub layer is generally characterized by bush monkeyflower, California sagebrush, laurel sumac, purple sage, poison oak (*Toxicodendron diversilobum*), and Blue elderberry (*Sambucus nigra* ssp. *caerulea*). This alliance is a natural community of special concern.

This alliance occurs outside the limits of grading in the northwestern portion of the SA1. Portion of this alliance is within the Project Fuel Modification Zone. The shrub layer has a codominance of Bush monkeyflower and Laurel sumac. Other species present in small percentages include black sage, California sagebrush, giant wildrye and foothill needlegrass.

PC-7. Blue elderberry scrub (*Sambucus nigra* ssp. *caerulea* shrubland alliance)

This alliance though typically found in stream terraces is also found in localized upland settings within gravelly alluvium and also sometimes in intermittently flooded soils. Within the Santa Monica Mountains and valleys, this shrubland occurs on somewhat steep to moderate usually north-facing slopes at low elevations between 261–420 meters. It is dominated by blue elderberry and secondarily by toyon in the shrub layer. This alliance is a natural community of special concern.

Within SA1, small patches of this alliance dominated by Blue elderberry is scattered within and adjacent to other plant communities/alliances as groups of small individuals or clusters. Portion of this alliance is within the Project Fuel Modification Zone.

PC8. Chamise- black sage chaparral (*Adenostoma fasciculatum*- *Salvia mellifera* shrubland alliance)

Within the Santa Monica Mountains and valleys, this shrubland association occurs on somewhat steep to steep southeast- to northwest-facing slopes at low elevations between 114 to 510 meters. It is dominated by chamise and black sage in the shrub layer with a typically sparse herbaceous layer. The emergent tree layer is typically nonexistent.

This alliance occurs outside limits of grading on the northeastern portion of SA1. The shrub layer is dominated by chamise and black sage with both species accounting for about 65% combined relative cover. Other species located within this alliance include buckbrush (*Ceanothus cuneatus*).

PC-9. Greenbark ceanothus scrub (*Ceanothus spinosus* shrubland alliance)

Within the Santa Monica Mountains and valleys, this shrubland association generally occurs on moderately steep to very steep northeast- and northwest- facing slopes at low elevations between 0 to 692 meters. It is characterized by a strong dominance of greenback ceanothus (*Ceanothus spinosus*) in the shrub layer and may include a wide variety of mesophytic species in the herbaceous layer, none apparently in high constancy. The emergent tree layer includes coast live oak and California black walnut.

This alliance occurs outside the limits of grading on the eastern portion of the survey area. Within SA1, this alliance is dominated by greenbark ceanothus. Some chamise, toyon and laurel sumac were also noted within this alliance.

PC-10. Chamise-laurel sumac scrub (*Adenostoma fasciculatum*- *Malosma laurina* shrubland association)

Within the Santa Monica Mountains and valleys, this shrubland association occurs on moderate to steep slopes of variable aspect at low to mid elevations between 100 to 1000 meters. It is dominated by chamise and co-dominated by laurel sumac in the shrub layer. The herbaceous

layer is sparse and composed primarily of introduced annual species. The emergent tree layer includes coast live oak.

This alliance occurs outside the limits of grading on the south-western portion of the survey area. The shrub layer is strongly dominated by chamise with about a 65% relative cover. Laurel sumac was sub-dominant with an approximate 30% relative cover. Other species located within this alliance include black sage, California sagebrush, and chaparral yucca.

PC-11.Coast live oak woodland (*Quercus agrifolia* woodland alliance)

Within the Santa Monica Mountains and valleys, this woodland/forest association generally occurs on gentle to steep, north-facing slopes at elevations between 0 and 636 meters. It is dominated by coast live oak and toyon in the tree layer and variety of grasses and forbs in the herbaceous layer.

Two (2) areas dominated by coast live oak woodlands were noted in the north and north-eastern portion of the SA1 outside of the development area/limit of grading. One of the areas covered by this alliance is within the Project Fuel Modification Zone. Coast live oak woodlands are a locally important plant community.

Cleared Land

Cleared land area includes a majority of the development area/grading footprint in the central part of SA1. This area appears to have been historically disturbed and still has periodic disturbance including mowing. This area has a 10-15% relative cover of non-native/invasive species such as red-stem filaree (*Erodium cicutarium*), Russian thistle (*Salsola kali*) and Mediterranean grass (*Schismus barbatus*).

Urban/disturbed/build-up

Urban/disturbed/build-up includes paved roads and an existing vacant structure on the property. A vacant shed/dwelling is located on the northwestern portion of SA1 within the limits of grading. This dwelling is currently unused and does not contain any natural species.

Map Key (1)	SVC Alliance-Association	SVC Association	Status (3)	Condition (4)	Acres Total (SA1)	Acres Impacted (Development footprint/Limits of Grading)	Fuel Modification Zone (100-foot buffer)
PC1	California sagebrush-deerweed scrub ( <i>Artemisia californica-Acmispon glaber/Lotus scoparius</i> shrubland association)	<i>Acmispon glaber</i>	G5 S5	Intact with some signs of disturbance/non-native species	1.50	0.10	1.40
PC2	Chamise chaparral ( <i>Adenostoma fasciculatum</i> shrubland alliance)		G5 S5	Intact	0.21		0.21

Map Key (1)	SVC Alliance-Association	SVC Association	Status (3)	Condition (4)	Acres Total (SA1)	Acres Impacted (Development footprint/Limits of Grading)	Fuel Modification Zone (100-foot buffer)
PC3	California sagebrush scrub ( <i>Artemisia californica</i> shrubland alliance)		G4 S4	Intact	0.25	0.03	0.22
PC4	Laurel sumac scrub ( <i>Malosma laurina</i> - <i>Artemisia californica</i> shrubland association)	<i>Artemisia californica</i>	G5 S5	Intact	0.21	0.02	0.19
PC5	Purple sage scrub ( <i>Salvia leucophylla</i> shrubland alliance)		G4 S4	Intact	0.57		0.57
PC6	Bush monkeyflower scrub ( <i>Diplacus aurantiacus</i> shrubland alliance)		G3 S3 (Sensitive)	Intact	0.33		0.33
PC7	Blue elderberry scrub ( <i>Sambucus nigra</i> ssp. <i>caerulea</i> shrubland alliance)		G3 S3 (Sensitive)	Intact	0.05		0.05
PC8	Chamise- black sage chaparral ( <i>Adenostoma fasciculatum</i> - <i>Salvia mellifera</i> shrubland alliance)		G4 S4	Intact	0.29		0.29
PC9	Greenbark ceanothus scrub ( <i>Ceanothus spinosus</i> shrubland alliance)		G4 S4	Intact	0.16		0.16
PC 10	Chamise laurel sumac scrub ( <i>Adenostoma fasciculatum</i> - <i>Malosma laurina</i> shrubland association)	<i>Malosma laurina</i>	G4 S4	Intact	0.06		0.06
PC 11	Coast live oak woodland ( <i>Quercus agrifolia</i> woodland alliance)		G5 S4; locally important plant community	Intact	0.10		0.10
PC 12	Cleared Land			Cleared Land/ Introduced	1.98	1.81	0.19
PC 13	Urban/disturbed/build-up			Urban/Disturbed Built-up	0.22	0.12	0.10
<b>Total</b>					<b>5.94 acres</b>	<b>2.08 acres</b>	<b>3.87 acres</b>

### Environmentally Sensitive Habitat Areas (ESHA)

ESHA is “any area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and developments” (Public Resources Code § 30107.5). ESHA includes coastal dunes, beaches, tidepools, wetlands, creek corridors, and certain upland habitats in the Santa Monica Mountains (Ventura County Coastal Area Plan).

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Habitats that meet the definition of ESHA were not found within the survey area(s).

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### Physical Features

A small area within PC4 in SA1 contains a few rocky outcrops. These are outside the development area/limits of grading.

Physical Features		
Map Key (1)	Physical Feature (2)	Comments (3)
N/A	Rocky Outcrop	A small area of rocky outcrop was noted within PC4 directly west of the shed/dwelling

### Waters and Wetlands

*See Appendix One for an overview of the local, state and federal regulations protecting waters, wetlands and riparian habitats. Wetlands are complex systems; delineating their specific boundaries, functions and values generally takes a level of effort beyond the scope of an Initial Study Biological Assessment (ISBA). The goal of the ISBA with regard to waters and wetlands is simply to identify whether they may exist or not and to determine the potential for impacts to them from the proposed project. This much information can be adequate for designing projects to avoid impacts to waters and wetlands. Additional studies are generally warranted to delineate specific wetland boundaries and to develop recommendations for impact minimization or impact mitigation measures.*

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Waters and/or wetlands were not found within the survey area(s).

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### Areas/Observations

No other notable areas/observations to describe.

Other Observations		
Map Key (1)	Describe Features (Violations, other observations, etc.)	Comments
N/A	Rocky granitic substrate noted in the development area and PC4.	

## 3.2 Species

### Observed Species

During the surveys conducted within SA1 on February 19 and 26, 2021 respectively common chapparal and sage scrub species were observed. **During the botanical surveys conducted on April 16, and June 29, 2021,** within the Development Area and the 100-foot fuel modification buffer, many Spring blooming annual plants were detected. A complete list of observed plant species is provided in Appendix 2. Plant diversity is moderate, and a small percentage of the species observed were non-native (20%).

During the surveys conducted within SA1 many common birds and one (1) common reptile, western fence lizard, expected from that area was observed. The mammals observed by sign/scat included coyote, jackrabbit, bobcat, mule deer and California ground squirrel.

Observed species were primarily species common or relatively common to the region and represent only a sample of the species that can be expected to utilize habitats at or in the vicinity of the site for cover, foraging, and reproduction. Furthermore, in general, this list includes species that are more easily detected during daytime surveys. Wildlife observed were mainly birds associated with the upland chaparral, scrub and wooded habitats. Upland birds heard or observed onsite included California towhee, western scrub-jay, red-tailed hawk, California quail, turkey vulture, northern flicker, house finch, house sparrow, bushtit, lesser goldfinch, western kingbird, Cassin's kingbird, mourning dove and white-crowned sparrow. A complete list of observed wildlife species is provided in Appendix 2.

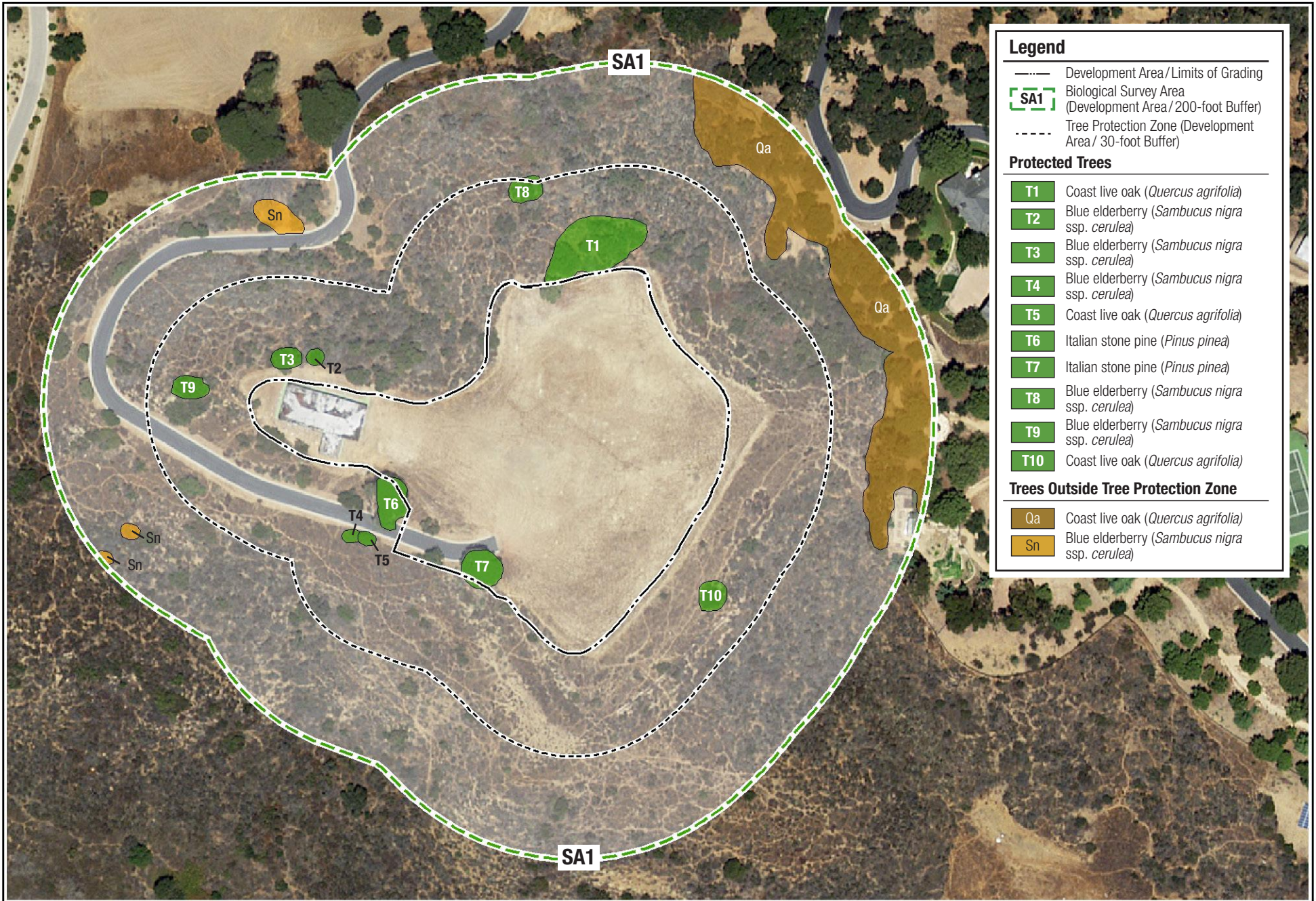
## Protected Trees

Select trees are protected by the Ventura County Tree Protection Ordinance, found in Section 8107-25 of the Ventura County Non-Coastal Zoning Ordinance. This ordinance, which applies in the unincorporated areas of the County outside the coastal zone, regulates—through a tree permit program—the removal, trimming of branches or roots, or grading or excavating within the root zone of a "protected tree." Individual trees are the focus of the ordinance, while oak woodlands are additionally protected as "locally important communities." A list of protected trees is provided in Section 8107-25 of the ordinance. The species of trees protected is dependent on zoning classification, with more species protected in Scenic Highway and Scenic Resource Protection Overlay Zones. The subject parcel is within a Scenic Resource Overlay Zone. **Figure 4, Protected Tree Map**, depicts all the areas where protected trees may be present within the construction footprint. Though all areas of potentially protected trees are depicted in Figure 4, only the trees that are Protected by Ventura County Tree Protection Ordinance are assessed in this report. Details of all tree/ tree clusters and their impacts are included in the protected trees Table below.

Two (2) Italian Stone Pine (*Pinus pinea*) trees that are more than 100" in DBH (T6 and T7) are present within the limits of Grading. One (T7) will be removed as a consequence of the project.

One cluster of approximately seven (7) coast live oaks (T1) and one cluster of about 4-5 blue elderberry trees (T3) are present just outside the limits of grading, but within a 100 foot buffer of the limits of grading. Another county ordinance-sized coast live oak (T5) tree was noted, just adjacent to the grading footprint.

Minimal impacts during project construction are expected since an exclusion fence will be installed on-site before construction to prevent debris or spoils from being placed on the slope below the building pad in the tree protection zone. All measures to protect native ordinance sized trees are addressed in MM-5.



Aerial Source: Valtus Imagery Services: Hexagon Imagery Program (HxIP), 2017.

2551 WHITE STALLION ROAD PROJECT – ISBA



# Protected Tree Map



Protected Trees				
Map Key (1)	Species (2)	Common Name	Girth (3) (circumference)	Impact (4)
T1	<i>Quercus agrifolia</i>	coast live oak	Cluster of approximately 7 Trees > 9.5 inches in combined circumference.	Potential minor encroachment to root protection zone because of Fuel-Modification. Removal of a few limbs for fire code compliance. Less than significant impact.
T2	<i>Sambucus nigra caerulea</i>	blue elderberry	Cluster of 2-3 trees <9.5 inches circumference.	Not protected.
T3	<i>Sambucus nigra caerulea</i>	blue elderberry	Cluster of approximately 4-5 trees, > 9.5 inches circumference.	Potential minor encroachment to root protection zone because of Fuel-Modification. Removal of a few limbs for fire code compliance. Less than significant impact.
T4	<i>Sambucus nigra caerulea</i>	blue elderberry	Cluster of 2-3 trees <9.5 inches circumference.	Not protected.
T5	<i>Quercus agrifolia</i>	coast live oak	1 tree >6.5 inches in circumference.	Potential minor encroachment to root protection zone because of Fuel-Modification. Removal of a few limbs for fire code compliance. Less than significant impact.
T6	<i>Pinus pinea</i>	Italian Stone Pine	1 tree > 90 inches in circumference.	This heritage Pine tree will not be removed.
T7	<i>Pinus pinea</i>	Italian Stone Pine	1 tree > 90 inches in circumference.	This heritage Pine tree will be removed. Biological impact is less than significant since this is a non-native tree. Three native coast live oaks will be planted to mitigate for removal of this tree.
T8	<i>Sambucus nigra caerulea</i>	blue elderberry	Cluster of 2-3 trees <9.5 inches in circumference.	Not protected.
T9	<i>Sambucus nigra caerulea</i>	blue elderberry	Cluster of 2-3 trees <9.5 inches in circumference.	Not protected.
T10	<i>Quercus agrifolia</i>	coast live oak	1 tree < 9.5 inches in circumference.	Not protected.

### Special Status Species and Nests

Special status species were not observed during general and botanical surveys, though some were assessed to have a moderate potential to occur within the survey area(s).

Habitat suitable for nests of birds protected under the Migratory Bird Treaty Act does exist within the survey area(s).

### Special Status Species Summary

#### Special-Status Plants

The development area/limits of grading does not have habitat suitability to support any special status plants. Based on habitat suitability, six (6) special status plant species, Malibu baccharis (*Baccharis malibuensis*), round-leaved filaree (*California macrophylla*), Plummer's mariposa-lily (*Calochortus plummerae*), Conejo buckwheat (*Eriogonum crocatum*), white-veined monardella (*Monardella hypoleuca* ssp. *hypoleuca*) and Ojai Navarretia (*Navarretia ojaiensis*) have some potential for occurrence in the project's fuel modification zone. **No special-status plant species**



that are considered to be rare, threatened, or endangered have been reported from the site nor were found within SA1 during the general biological surveys conducted in February 2021 nor the Spring and Summer season botanical surveys conducted in April and June 2021 . The above listed species were not detected during the botanical surveys conducted during the appropriate bloom period for the two species.

Special-Status Wildlife

No special-status species were found during the biological surveys conducted within SA1. One (1) special-status bird, the white-tailed kite (*Elanus leucurus*), may forage at the site with moderate probability, but is not expected to nest and thus would not be impacted by the project. No other special-status birds known from a five-mile radius of the project have moderate or high potential to occur within the project construction footprint. Several species of non-special-status birds have potential to nest within the grading footprint or within 300 feet of the grading footprint.

Special-status species that could be directly have a moderate or higher potential to occur onsite include potentially two (2) species of legless lizards, California legless lizard (*Anniella* Spp.) and Southern California legless lizard (*Anniella stebbinsi*), California glossy snake (*Arizona elegans occidentalis*), coastal whiptail (*Aspidoscelis tigris stejnegeri*) and the San Diego desert woodrat (*Neotoma lepida intermedia*). Though some bats could forage at the project site, suitable roosting habitat for bats was not observed onsite.

Observed or Potentially Occurring Special Status Species						
Map Key (1)	Survey/ Source (2)	Scientific Name (3)	Common Name	Species' Status (4)	Potential to Occur (5)	Habitat Requirements (6)
<b>PLANTS POTENTIAL FOR OCCURRENCE</b>						
SSP1	CNDDDB	<i>Astragalus brauntonii</i>	Braunton's milkvetch	FE, 1B.1	Low (suitable substrate not present)	Recent burns or disturbed areas, usually sandstone with carbonate layers in closed-cone coniferous forest, chaparral, coastal scrub, and valley and foothill grassland at elevations between 4 and 640 meters. A soil specialist in saline, somewhat alkaline soils high in calcium, manganese, with some potassium. Perennial rhizomatous herb. Blooms February-June.
SSP2	CNPS	<i>Atriplex coulteri</i>	Coulter's saltbush	1B.2	None	Generally found in coastal bluff scrub, coastal dunes, coastal scrub, valley and foothill grassland. Ocean bluffs, ridgetops, as well as alkaline low places, 10-440 meters. Perennial herb. Blooms March – October.
SSP3	CNDDDB	<i>Baccharis malibuensis</i>	Malibu baccharis	1B.1	Moderate	Chaparral, cismontane woodland, coastal scrub, and riparian woodland at elevations between 150 and 305 meters. Perennial deciduous shrub. Blooms in late summer. Not observed during general and seasonal botanical surveys.

Observed or Potentially Occurring Special Status Species						
SSP4	CNPS	<i>California macrophylla</i>	round-leaved filaree	1B.1	Moderate	An annual herb found in cismontane woodland and valley and foothill grassland on clay soils at elevations between 15 and 1200 meters. Blooms March to May. Not observed during general and seasonal botanical surveys.
SSP5	CNDDB	<i>Calochortus clavatus</i> var. <i>gracilis</i>	slender mariposa lily	1B.2	None	A perennial bulbiferous herb found in shaded foothill canyons in chaparral, coastal scrub, and valley and foothill grassland at elevations between 320 and 1000 meters. Blooms March to June.
SSP6	CNDDB	<i>Calochortus fimbriatus</i>	late-flowered mariposa-lily	1B.2	None	A perennial bulbiferous herb found in dry, open coastal woodland and chaparral on serpentine at elevations between 270 and 1910 meters.
SSP7	CNDDB	<i>Calochortus plummerae</i>	Plummer's mariposa-lily	1B.2	Moderate	A perennial bulbiferous herb found in granitic, rocky habitats in chaparral, cismontane woodland, coastal scrub, lower montane coniferous forests, and valley and foothill grassland at elevations between 90 and 1600 meters. Blooms between May and July. Not observed during general and seasonal botanical surveys.
SSP8	CNDDB	<i>Centromadia parryi</i> ssp. <i>australis</i>	southern tarplant	1B.1	None	Annual herb found on the margins of marshes and swamps, and in vernal mesic valley and foothill grassland and vernal pools at elevations between 0 and 425 meters. Blooms from May to November.
SSP9	CNPS	<i>Chaenactis glabriuscula</i> var. <i>orcuttiana</i>	Orcutt's pincushion	1B.1	None	Annual herb found in sandy coastal bluff scrub and coastal dune habitats. Blooms from January to August.
SSP10	CNPS	<i>Chorizanthe parryi</i> var. <i>fernandina</i>	San Fernando Valley spineflower	FC, SE	None	Annual herb found on sandy soils in coastal scrub and valley and foothill grassland at elevations between 3 and 1035 meters. Blooms from April to July.
SSP11	CNPS	<i>Chorizanthe parryi</i> var. <i>parryi</i>	Parry's spineflower	1B.1	None	Annual herb found in sandy or rocky openings in chaparral, cismontane woodland, coastal scrub, and valley and foothill grassland at elevations between 40 and 1705 meters. Blooms from April to June.
SSP12	CNDDB	<i>Deinandra minthornii</i>	Santa Susana tarplant	SR, 1B.2	Low (suitable substrate not present)	Perennial deciduous shrub found in rocky sandstone habitats in chaparral and coastal scrub at elevations between 280 and 760 meters. Blooms from July to November.
SSP13	CNDDB	<i>Delphinium parryi</i> ssp. <i>blochmaniae</i>	dune larkspur	1B.2	None	Perennial herb found in maritime chaparral and coastal dunes at elevations between 0 and 200 meters. Blooms from April to May.
SSP14	CNDDB	<i>Didymodon norrisii</i>	Norris' beard moss	2.2	None	Moss found on rocks in intermittently mesic habitats in cismontane woodland and lower montane coniferous forest at elevations between 600 and 1973 meters.

Observed or Potentially Occurring Special Status Species						
SSP15	CNDDDB	<i>Dodecahema leptoceras</i>	slender-horned spineflower	FE, CE	None	Annual herb found on flood deposited terraces and washes in chaparral, cismontane woodland, and coastal scrub (alluvial fan sage scrub) at elevations between 200 and 760 meters. Blooms from April to June.
SSP16	CNDDDB	<i>Dudleya blochmaniae</i> ssp. <i>blochmaniae</i>	Blochman's dudleya	1B.1	None	Perennial herb found on open, rocky slopes; often in shallow clays over serpentine or in rocky areas with little soil; coastal bluff scrub, chaparral, coastal scrub, and valley and foothill grassland at elevations between 5 and 450 meters. Blooms from April to June.
SSP17	CNDDDB	<i>Dudleya cymosa</i> ssp. <i>agourensis</i>	Agoura Hills dudleya	FT, 1B.2	None	Perennial herb found in rocky, volcanic breccia in chaparral and cismontane woodland at elevations between 200 to 500 meters. Blooms from May to June.
SSP18	CNDDDB	<i>Dudleya cymosa</i> ssp. <i>marcescens</i>	marcescent dudleya	FT, SR, 1B.2	None	Perennial herb found on sheer rock surfaces and rocky volcanic cliffs in chaparral at elevations between 150 and 520 meters. Blooms from April to July.
SSP19	CNDDDB	<i>Dudleya cymosa</i> ssp. <i>ovatifolia</i>	Santa Monica dudleya	FT, 1B.2	None	Perennial herb found on volcanic or sedimentary, rocky substrates in chaparral and coastal scrub at elevations between 150 and 1675 meters. Blooms from March to June.
SSP21	CNDDDB	<i>Dudleya parva</i>	Conejo dudleya	FT, 1B.2	None	Found in rocky or gravelly areas on clay or volcanic substrates in coastal scrub and valley and foothill grassland habitats at elevations between 60 and 450 meters. Blooms from May to June.
SSP22	CNDDDB	<i>Dudleya verityi</i>	Verity's dudleya	FT, 1B.2	None	Perennial herb found on volcanic, rocky substrates in chaparral, cismontane woodland, and coastal scrub at elevations between 60 and 120 meters. Blooms from May to June.
SSP23	CNDDDB	<i>Eriogonum crocatum</i>	Conejo buckwheat	SR, 1B.2	Moderate	Perennial subshrub found in rocky or gravelly areas on clay or volcanic substrates in coastal scrub and valley and foothill grassland habitats at elevations between 60 and 450 meters. Blooms from April to July. Not observed during general and seasonal botanical surveys.
SSP24	CNDDDB	<i>Horkelia cuneata</i> var. <i>puberula</i>	mesa horkelia	1B.1	Low (suitable substrate not present)	Perennial herb found in sandy or gravelly areas in chaparral, cismontane woodland, coastal scrub at elevations between 70 and 810 meters. Blooms from February to July.
SSP25	CNDDDB	<i>Lupinus paynei</i>	Payne's bush lupine	1B.1	None	Perennial shrub found in sandy areas in coastal scrub, riparian scrub and valley and foothill grassland habitats at elevations between 220 and 450 meters. Blooms from April to July.
SSP26	CNDDDB	<i>Lasthenia glabrata</i> ssp. <i>coulteri</i>	Coulter's goldfields	1B.1	None	Annual herb found in coastal salt marshes and swamps, playas, and vernal pools at elevations between 1 and 1220 meters. Blooms from February to June.

Observed or Potentially Occurring Special Status Species						
SSP27	CNDDB	<i>Monardella hypoleuca</i> ssp. <i>hypoleuca</i>	white-veined monardella	1B.3	Moderate	Annual herb found in chaparral and shady oak woodland habitats at elevations between 0 and 1500 meters. Local in a variety of habitats. Blooms from June to August. Not observed during general and seasonal botanical surveys.
SSP28	CNDDB	<i>Monardella sinuata</i> ssp. <i>gerryi</i>	Gerry's curly-leaved monardella	1B.1	None	Annual herb found on sandy soils in chaparral, cismontane woodland, coastal dunes, and openings in coastal scrub at elevations between 50 and 245 meters. Blooms from April to June.
SSP29	CNDDB	<i>Navarretia ojaiensis</i>	Ojai navarretia	1B.1	Moderate	Annual herb found in valley and foothill grassland and openings in chaparral and coastal scrub at elevations between 275 and 620 meters. Blooms from May to July. Not observed during general and seasonal botanical surveys.
SSP30	CNDDB	<i>Nolina cismontana</i>	chaparral nolina	1B.2	None	Perennial evergreen shrub found on sandstone or gabbro substrates in chaparral and coastal scrub at elevations between 140 and 1275 meters. Blooms between May and July.
SSP31	CNDDB	<i>Orcuttia californica</i>	California Orcutt grass	FE, SE	None	Annual herb found in vernal pool at elevations between 15 and 660 meters. Blooms from April to August.
SSP32	CNDDB	<i>Pentachaeta lyonii</i>	Lyon's pentachaeta	FE, SE	Low (suitable substrate not present)	Annual herb found on rocky, clay substrates in coastal scrub, valley and foothill grassland, and openings in chaparral at elevations between 30 and 630 meters. Blooms between March and August.
SSP33	CNDDB	<i>Pseudognaphalium leucocephalum</i>	white rabbit-tobacco	2B.2	Low (suitable substrate not present)	Perennial herb found on sandy, gravelly substrate within chaparral, riparian woodland, cismontane woodland and coastal scrub at elevations between 0 and 2100 meters. Blooms between July and December.
SSP34	CNDDB	<i>Quercus dumosa</i>	Nuttall's scrub oak	1B.1	Low/Not Observed	Perennial shrub found on in sandy, clay loam associated with closed-cone coniferous forest, chaparral, and coastal scrub. Taxonomy in question because previously called <i>Q. dumosa</i> , but is now <i>Q. berberidifolia</i> .
SSP35	CNDDB	<i>Senecio aphanactis</i>	chaparral ragwort	2.2	None	Annual herb found on chaparral, cismontane woodland, and coastal scrub habitats at elevations between 15 and 800 meters, sometimes on alkaline soils. Blooms between January and April.
SSP36	CNDDB	<i>Thelypteris puberula</i> var. <i>sonorensis</i>	Sonoran maiden fern	2.2	None	Perennial rhizomatous herb found in meadows and seeps along streams and seepage areas at elevations between 50 and 610 meters.

Observed or Potentially Occurring Special Status Species						
SSP37	CNDDDB	<i>Tortula californica</i>	California screw moss	1B.1	Low (suitable substrate and habitat not present)	Moss found on sandy soil in chenopod scrub and valley and foothill grassland.
<b>WILDLIFE POTENTIAL FOR OCCURRENCE</b>						
<b>Invertebrates</b>						
SSP38	CNDDDB	<i>Danaus plexippus</i> pop. 1	Monarch-California overwintering population	SA	None	Winter roost sites extend along the coast from northern Mendocino to Baja California, Mexico. Roosts located in wind-protected tree groves ( <i>Eucalyptus</i> , Monterey Pine, Cypress), with nectar and water sources nearby.
<b>Fishes</b>						
SSP39	CNDDDB	<i>Catostomus santaanae</i>	Santa Ana sucker	FT, SSC	None	Endemic to Los Angeles Basin south coastal streams. Habitat generalists, but prefer sand-rubble-boulder bottoms, cool, clear water and algae.
SSP40	CNDDDB	<i>Gasterosteus aculeatus williamsoni</i>	unarmored three (3) spine stickleback	FE, SE	None	Weedy pools, backwaters, and among emergent vegetation at the stream edge in small southern California streams. Cools (<24C), clear water with abundant vegetation.
SSP41	CNDDDB	<i>Gila orcuttii</i>	arroyo chub	SSC	None	Native to streams from Malibu Creek to San Luis Rey River basin. Introduced into streams in Santa Clara, Ventura, Santa Ynez. Slow water stream sections with mud or sand bottoms. Feeds heavily on aquatic vegetation and associated invertebrates.
SSP42	CNDDDB	<i>Oncorhynchus mykiss irideus</i>	southern steelhead – southern California DPS	FE, SSC	None	Federal listing refers to populations from Santa Maria River south to southern extent of range (San Mateo Creek in San Diego Co.). Southern steelhead likely have greater physiological tolerances to warmer water and more variable conditions.
<b>Amphibians</b>						
SSP43	CNDDDB	<i>Rana draytonii</i>	California red-legged frog	FT, SSC	None	Lowlands and foothills in or near permanent source of deep water with dense, shrubby or emergent vegetation. Requires 11-20 weeks of permanent water for larval development. Must have access to aestivation habitat. Known historically from Lake Sherwood, but not seen in the Santa Monica Mountains (proper) since 1975 (De Lisle et al. 1986).
SSP44	CNDDDB	<i>Spea hammondi</i>	western spadefoot	SSC	None	Occurs primarily in grassland habitats but can be found in valley-foothill hardwood woodlands. Vernal pools are essential for breeding and egg-laying.

**Observed or Potentially Occurring Special Status Species**

<b>Reptiles</b>						
SSP45	CNDDDB	<i>Phrynosoma blainvillii</i>	coast horned lizard	SSC	Low (suitable habitat and prey not present)	Frequents a wide variety of habitats, most common in lowlands along sandy washes with scattered low bushes. Open areas for sunning, bushes for cover, patches of loose/sandy soil for burial, and abundant supply of ants and other insects.
SSP46	CNDDDB	<i>Anniella Spp.</i>	California legless lizard	SSC	Moderate	Sandy or loose loamy soils under sparse vegetation. Soil moisture is essential. Leaf litter under trees and bushes in sunny areas often indicate suitable habitat. Often can be found under surface objects such as rocks, boards, driftwood, and logs.
SSP47	CNDDDB	<i>Anniella stebbinsi</i>	Southern California legless lizard	SSC	Moderate	Sandy or loose loamy soils under sparse vegetation. Soil moisture is essential. Leaf litter under trees and bushes in sunny areas often indicate suitable habitat. Often can be found under surface objects such as rocks, boards, driftwood, and logs.
SSP48	CNDDDB	<i>Arizona elegans occidentalis</i>	California glossy snake	SSC	Low (suitable habitat and soil not present)	Patchily distributed from the eastern portion of San Francisco Bay, southern San Joaquin Valley, and the Coast, Transverse, and Peninsular ranges, south to Baja California. Generalist reported from a range of arid scrub, rocky washes, grasslands and chaparral generally, with loose or sandy soils. Appears to prefer microhabitats of open areas and areas with soil loose enough for easy burrowing.
SSP49	CNDDDB	<i>Aspidoscelis tigris stejnegeri</i>	coastal whiptail	SSC	Moderate	Found in deserts and semi-arid areas with sparse vegetation and open areas. Also found in woodland & riparian areas. Ground may be firm soil, sandy, or rocky. Presence of leaf litter important.
SSP50	CNDDDB	<i>Diadophis punctatus modestus</i>	San Bernardino ringneck snake	SSC	None	Most common in open, relatively rocky areas. Often in somewhat moist microhabitats near intermittent streams. Avoids moving through open or barren areas by restricting movements to areas of surface litter or herbaceous vegetation.
SSP51	CNDDDB	<i>Emys marmorata</i>	western pond turtle	SSC	None	A thoroughly aquatic turtle of ponds, marshes, rivers, streams and irrigation ditches, usually with aquatic vegetation. Need basking sites and suitable (sandy banks or grassy open fields) upland habitat up to 0.5 km from water for egg-laying.

Observed or Potentially Occurring Special Status Species						
SSP52	CNDDB	<i>Lampropeltis zonata (pulchra)</i>	California mountain kingsnake (San Diego population)	SSC, VC LIS	Low (preferred habitat not present)	Prefers canyon bottoms, but wanders to adjacent coastal sage, valley oak savanna, or southern oak woodland. Reported from Lower Malibu Canyon, Triunfo Canyon, etc. (De Lisle et al. 1986) and other locations in the Santa Monica Mountains (Jennings and Hayes 1994).
SSP53	CNDDB	<i>Thamnophis hammondi</i>	two-striped garter snake	SSC	None	Coastal California from vicinity of Salinas to northwest Baja California. From sea to about 7,000 feet elevation. Highly aquatic, found in or near permanent fresh water. Often along streams with rocky beds and riparian growth.
<b>Birds</b>						
SSP54	CNDDB	<i>Agelaius tricolor</i>	tricolored blackbird	SSC	None	Local resident in coastal district, common where it occurs (Garrett and Dunn 1981). Reported from Lake Sherwood (CDFW 2012).
SSP55	CNDDB	<i>Aquila chrysaetos</i>	golden eagle	SFP	None	Rolling foothills, mountain areas, sage-juniper flats, and desert. Cliff-walled canyons provide nesting habitat in most parts of range; also, large trees in open areas.
SSP56	CNDDB	<i>Athene cunicularia</i>	burrowing owl	SSC	None	Open, dry annual or perennial grasslands, deserts, and scrublands characterized by low-growing vegetation. Subterranean nester, dependent upon burrowing mammals, most notably, the California ground squirrel. Now extirpated from most of the coastal slope of the Los Angeles region (Garrett et al 2006). Now occurs mainly as a transient and winter visitor to coastal southern California.
SSP57	CNDDB	<i>Chaetura vauxi</i>	Vaux's swift	SSC	None	Common migrant from mid-April to mid-May, and again from late August to early October; small flocks sometimes winter in coastal lowlands, but absent from the Los Angeles region from early June to early August (Garrett et al 2006).
SSP58	CNDDB	<i>Coccyzus americanus occidentalis</i>	Western yellow-billed cuckoo	FT/SE	None	Riparian forest nester along the broad, lower flood-bottoms of larger river systems. Nests in riparian jungles of willow, often mixed with cottonwoods, w/ lower story of blackberry, nettles, or wild grape
SSP59	CNDDB	<i>Elanus leucurus</i>	white-tailed kite	SFP	Moderate	Uncommon resident in open grasslands, valley oak savannas, marshes, and agricultural areas throughout the lowlands of the Los Angeles region (Garrett et al. 2006).
SSP60	CNDDB	<i>Empidonax traillii extimus</i>	southwestern willow flycatcher	FE/SE	None	Riparian woodlands in southern California.

Observed or Potentially Occurring Special Status Species						
SSP61	CNDDB	<i>Lanius ludovicianus</i>	loggerhead shrike	SSC	Low (preferred habitat not present)	Very rare in open areas on the coastal slope of southern California; rare to uncommon in migration and winter. Only a few pairs of this once-abundant predator are still found in our coastal lowlands; small numbers of migrants augment this population from July to March in the Los Angeles region (Garrett et al. 2006). Prefers open habitats with scattered shrubs, trees, posts, fences, utility lines, or other perches.
SSP62	CNDDB	<i>Polioptila californica californica</i>	coastal California gnatcatcher	FT, SSC	Low (preferred high quality habitat not present)	Obligate, permanent resident of low, Coastal Sage Scrub (CSS) in arid washes, on mesa and slopes, with California Sagebrush ( <i>Artemisia californica</i> ) as a dominant, below 2500 feet in southern California. Not all areas classified as CSS are occupied.
SSP61	CNDDB	<i>Riparia riparia</i>	bank swallow	ST	None	Very uncommon spring transient and rare fall transient, and casual winter transient along the coast, formerly a fairly common summer resident, now virtually extirpated as a breeder in the region (Garrett and Dunn 1981).
SSP63	CNDDB	<i>Vireo bellii pusillus</i>	least Bell's vireo	FE, SE	None	Summer resident of southern California in low riparian in vicinity of water or in dry river bottoms; below 2000 ft. Nests placed along margins of bushes or on twigs projecting into pathways, usually willow or mulefat.
SSP64	CNDDB	<i>Asio otus</i>	long-eared owl	SSC	Low (preferred habitat not present)	Very rare transient and winter visitant along the coast (Garrett and Dunn 1981). Riparian habitat required; also uses live oak thickets and other dense stands of trees (Zeiner et al. 1990b)
SSP65	CNDDB	<i>Dendroica petechia brewsteri</i>	yellow warbler	SSC	None	Common transient throughout region, and uncommon to locally common summer resident in lowland and foothill riparian woodlands, remaining rarely but regularly in lowlands in winter. Breed in tall riparian growth of cottonwoods, alders, willows, etc. (Garrett and Dunn 1981).
SSP66	CNDDB	<i>Icteria virens</i>	yellow-breasted chat	SSC	None	Uncommon and local summer resident in riparian thickets and brushy tangles of the lowlands and lower portions of foothill canyons (Garrett and Dunn 1981).
<b>Mammals</b>						
SSP67	CNDDB	<i>Neotoma lepida intermedia</i>	San Diego desert woodrat	SSC	Moderate	Lives in high desert areas, chaparral, sagebrush flats, and Pinyon-Juniper Woodland.
SSP68	CNDDB	<i>Taxidea taxus</i>	American badger	SSC	None	Most abundant in drier open stages of most shrub, forest, and herbaceous habitats, with friable soils. Needs sufficient food, friable soils and open, uncultivated ground. Preys on burrowing rodents. Digs burrows.



Observed or Potentially Occurring Special Status Species						
SSP69	CNDDDB	<i>Antrozous pallidus</i>	pallid bat	SSC	Low (roosting habitat not present)	Deserts, grasslands, shrublands, woodlands and forests. Most common in open, dry habitats with rocky areas for roosting. Roosts must protect bats from high temperatures. Very sensitive to disturbance of roosting sites.
SSP70	CNDDDB	<i>Euderma maculatum</i>	spotted bat	SSC	None	Mostly in foothills and mountains and desert regions of southern California, in a range of habitats from desert and grasslands through mixed conifer forest. Range in California includes Santa Monica Mountains (Zeiner et al. 1990a). Occupies a wide variety of habitats from arid deserts and grasslands through mixed conifer forests. Feeds over water and along washes. feeds almost entirely on moths. Needs rock crevices in cliffs or caves for roosting.
SSP71	CNDDDB	<i>Eumops perotis californicus</i>	western mastiff bat	SSC	None	Many open, semi-arid to arid habitats, including conifer and deciduous woodlands, coastal scrub, grasslands, chaparral etc. Roosts in crevices in cliff faces, high buildings, trees and tunnels.
SSP72	CNDDDB	<i>Lasiurus cinereus</i>	hoary bat	VC LIS	None	Prefers open habitats or habitat mosaics, with access to trees for cover and open areas or habitat edges for feeding. Roosts in dense foliage of medium to large trees. Feeds primarily on moths. Requires water.
SSP73	CNDDDB	<i>Macrotus californicus</i>	California leaf-nosed bat	SSC	None	Found in desert riparian, desert wash, desert scrub, desert succulent scrub, alkali scrub and palm oasis habitats. Needs rocky, rugged terrain with mines or caves for roosting. Reported range does not include the Santa Monica Mountains (Zeiner et al. 1990a).
SSP74	CNDDDB	<i>Myotis cilolabrum</i>	Western small-footed myotis	SSC	None	Occurs in a wide variety of habitats, especially woodland and brush lands near water from sea level to 8900 feet. Range in California includes Santa Monica Mountains (Zeiner et al. 1990a).

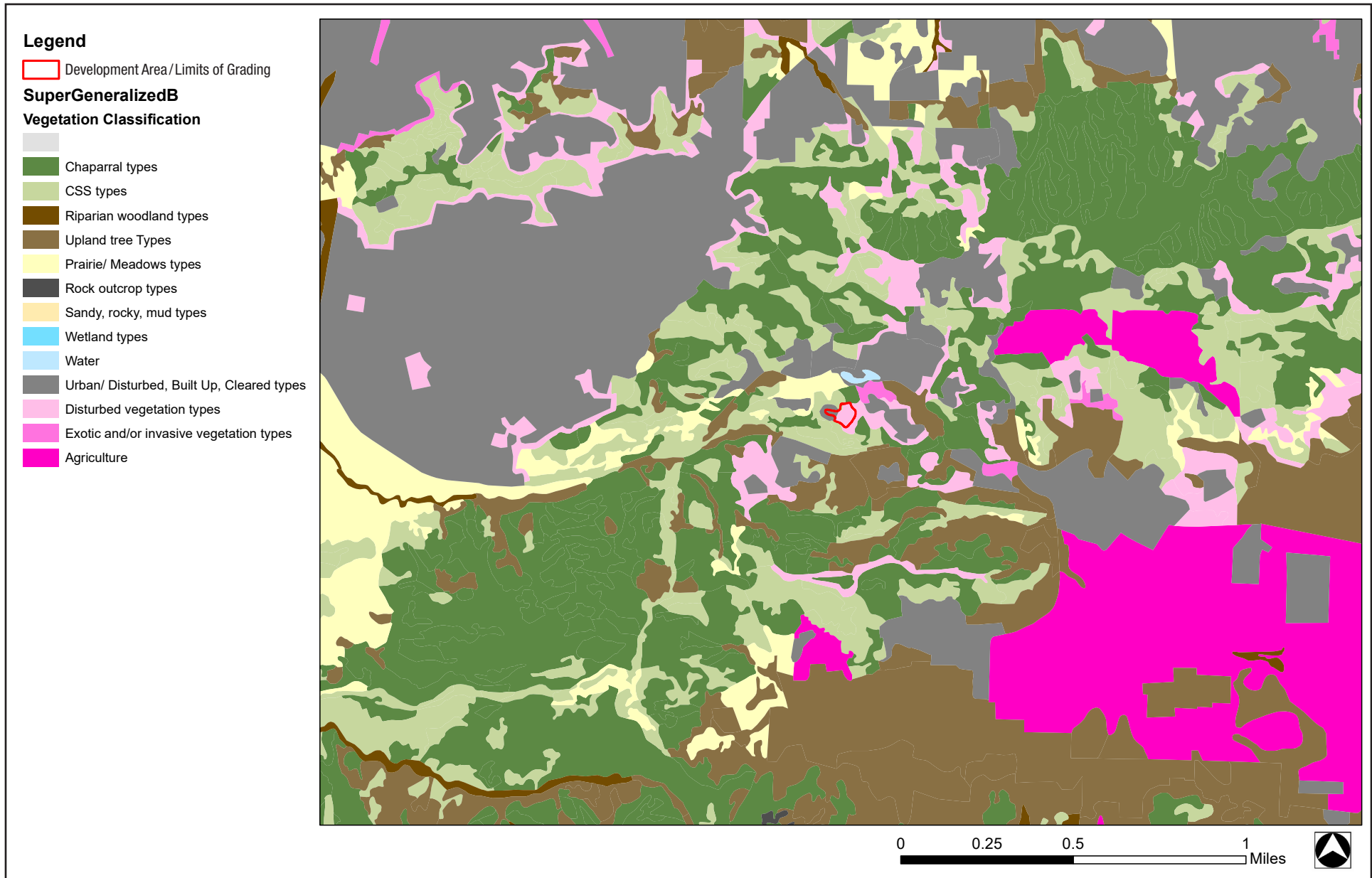
Special Status Species				
Map Key	Adequate Habitat Onsite	Adequate Habitat Size (7)	Acreage Impacted	Comments (8)
SSP1	No	No	0	
SSP2	No	No	0	
SSP3	No	No	0	Suitable habitat present onsite; Not observed during general and seasonal botanical surveys.
SSP4	Yes	Yes	N/A	Suitable habitat present onsite; Not observed during general and seasonal botanical surveys.
SSP5	No	No	0	
SSP6	No	No	0	

Special Status Species				
SSP7	Yes	Yes	N/A	Suitable habitat present onsite; Not observed during general and seasonal botanical surveys.
SSP8	No	No	0	
SSP9	No	No	0	
SSP10	No	No	0	
SSP11	No	No	0	
SSP12	No	No	0	
SSP13	No	No	0	
SSP14	No	No	0	
SSP15	No	No	0	
SSP16	No	No	0	
SSP17	No	No	0	
SSP18	No	No	0	
SSP19	No	No	0	
SSP20	No	No	0	
SSP21	No	No	0	
SSP22	No	No	0	
SSP23	Yes	Yes	N/A	Suitable habitat present onsite; Not observed during general and seasonal botanical surveys.
SSP24	No	No	0	
SSP25	No	No	0	
SSP26	No	No	0	
SSP27	Yes	Yes	N/A	Suitable habitat present onsite; Not observed during general and seasonal botanical surveys.
SSP28	No	No	0	
SSP29	Yes	Yes	N/A	Suitable habitat present onsite; Not observed during general and seasonal botanical surveys.
SSP30	No	No	0	
SSP31	No	No	0	
SSP32	No	No	0	
SSP33	No	No	0	
SSP34	No	No	0	
SSP35	No	No	0	
SSP36	No	No	0	
SSP37	No	No	0	
SSP38	No	No	0	
SSP39	No	No	0	
SSP40	No	No	0	
SSP41	No	No	0	
SSP42	No	No	0	
SSP43	No	No	0	
SSP44	No	No	0	
SSP45	No	No	0	
SSP46	Yes	No	0	
SSP47	Yes	No	0	
SSP48	Yes	No	0	
SSP49	Yes	No	0	
SSP50	No	No	0	
SSP51	No	No	0	
SSP52	No	No	0	
SSP53	No	No	0	
SSP54	No	No	0	
SSP55	No	No	0	
SSP56	No	No	0	
SSP57	No	No	0	
SSP58	No	No	0	

Special Status Species				
SSP59	No	No	0	Moderate potential to forage over the survey areas, but not nesting.
SSP60	No	No	0	
SSP61	No	No	0	
SSP62	Yes	No	0	<p><b>Coastal California Gnatcatchers (CAGN)</b> are closely tied to Coastal Sage Scrub (CSS) for reproduction, though they may also occur in other nearby plant communities, during the non-breeding season (Atwood, 1993). CAGN are nonmigratory, territorial birds that generally disperse very short distances through contiguous, undisturbed semi-open sage scrub with California sagebrush (<i>Artemisia californica</i>) as a dominant or co-dominant species (Atwood and Bontrager 2001).</p> <p>CAGN were historically known from Ventura county and were thought to have been extirpated from most of the County. Through the 1990s, CAGN's were repeatedly referred to as extirpated in Ventura County (Attwood and Bontrager 2001), and later thought to persist only at the point of their rediscovery in Moorpark (USFWS 2003, 2007). Subsequently, additional pairs were located in the surrounding hills that form the border between Moorpark and Simi Valley. All recent records appear to be centered in three roughly contiguous areas: Simi Valley west to Moorpark, the Montclef ridge area northwest of Thousand oaks, and the extreme western base of the Santa Monica Mountains near the Oxnard plain (Cooper et. al. 2017).</p> <p>The proposed project is not within the three known CAGN breeding areas in Ventura County listed above. SA1 is comprised of chaparral habitat interspersed with some CSS where California sagebrush is dominant or co-dominant (0.13 acre within Development Area/Limits of Grading and 1.81 acres within the 100 foot fuel-modification zone). Vegetation within areas adjacent to the project area were assessed by analyzing vegetation community data (NPS, 2017) within a one mile radius of SA1 and doing a drive through to confirm the general presence/absence of these communities. <b>Figure 5A</b> depicts the areas with CSS within a one mile radius of the project. Figure 5B depicts areas within this CSS dominated by California sagebrush that could be potentially suitable for CAGN breeding. As depicted in <b>Figure 5B</b> very few small scattered patches of CSS dominated or co-dominated by California Sagebrush are present within a one mile radius of SA1. Additionally, CAGN are not known from Thousand Oaks, south of the 101 freeway. The closest documented CNDDDB occurrence is about 6 miles north- east of the project site. Hence the occurrence potential for the species within SA1 is assessed as low.</p>
SSP63	No	No	0	
SSP64	No	No	0	
SSP65	No	No	0	
SSP66	No	No	0	
SSP67	Yes	No	0	
SSP68	No	No	0	
SSP69	No	No	0	
SSP70	No	No	0	
SSP71	No	No	0	
SSP72	No	No	0	

### Special Status Species

- FE ..... Federal Endangered
  - FT ..... Federal Threatened
  - FC ..... Federal Candidate Species
  - FSC ..... Federal Species of Concern
  - SFP ..... California Fully Protected Species
  - SE ..... California Endangered
  - ST ..... California Threatened
  - SR ..... California Rare
  - SSC ..... California Species of Special Concern
  - SA ..... California Special Animal
- CDFW/NatureServe Rank
- G1 or S1 - Critically Imperiled Globally or Subnationally (state)
  - G2 or S2 - Imperiled Globally or Subnationally (state)
  - G3 or S3 - Vulnerable to extirpation or extinction Globally or Subnationally (state)
- California Rare Plant Rank (RPR)
- RPR 1A - California Native Plant Society/CDFW listed as presumed to be extinct
  - RPR 1B - California Native Plant Society/CDFW listed as rare or endangered in California and elsewhere
  - RPR 2 - California Native Plant Society/CDFW listed as rare or endangered in California but more common elsewhere
  - RPR 3 - California Native Plant Society/CDFW listed as in need of more information.
  - RPR 4 - California Native Plant Society/CDFW listed as of limited distribution or infrequent throughout a broader area in California.
- LIS ..... Locally Important Species



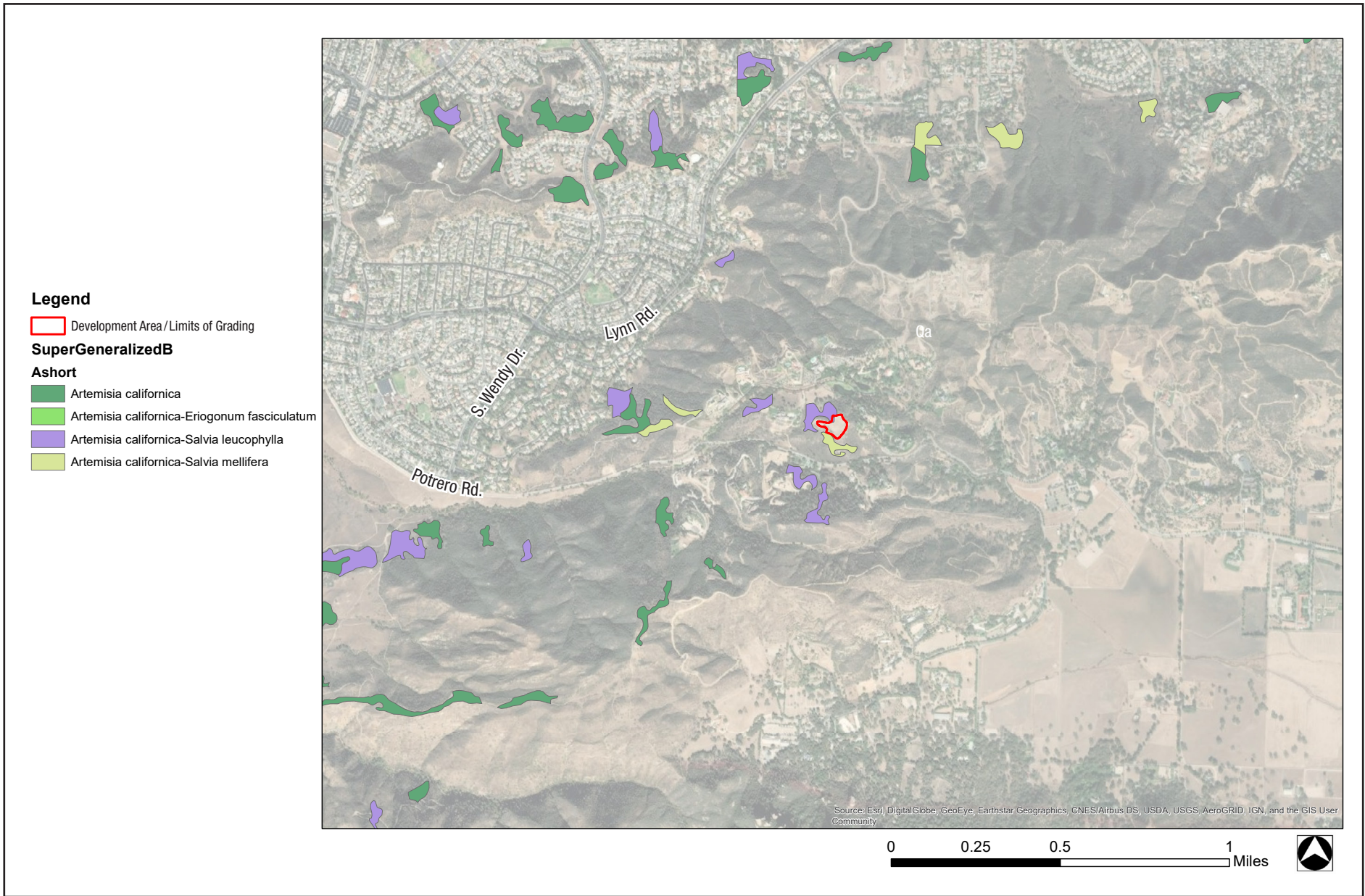
Source: SMMNRA Generalized Vegetation Data (NPS), 2007.

2551 WHITE STALLION ROAD PROJECT – ISBA

## Coastal California Gnatcatcher General Habitat Suitability (Coastal Sage Scrub / CSS) within Project Vicinity

envicom

FIGURE 5A



Source: SMMNRA Generalized Vegetation Data (NPS), 2007.

### Nesting Bird Summary

There is potential for nesting birds protected under the federal Migratory Bird Treaty Act to nest in trees, shrubs, and dense herbaceous vegetation within SA1. The potential for nesting varies with the many species involved. It is expected that some birds would nest in the project fuel modification areas adjacent to the grading footprint. Nesting is generally not expected within the grading footprint, due to the absence of dense shrubby vegetation.

### 3.3 Wildlife Movement and Connectivity

*(Initial Study Checklist D)*

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Wildlife movement or connectivity features, or evidence thereof, were not found within the survey area(s).

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#### Connectivity Features

The survey area and vicinity are not of any particular importance to terrestrial wildlife for movement, and there are no documented corridors and landscape linkages within the survey area or immediate vicinity. Also, there are no road crossing structures and no barriers or impediments to movement at or in the vicinity of the project site. Residential development and residential roads in the surrounding area are an impediment to movement between the scattered natural chaparral and coastal scrub natural habitats.

Connectivity Features							
Map Key (1)	Type of Connectivity Feature (2)	Description (3)	Species Observed (4)	Evidence (5)	Functional Group/Species Expected (6)	Habitats Connected (7)	Comments
N/A							

Roadway Crossing Structures						
Map Key (1)	Type of Crossing Structure (2)	Passable? (3)	Functional Group/Species Expected (4)	Species Observed (5)	Evidence	Comments
N/A						

Barriers			
Map Key (1)	Barrier Type (2)	Species/Functional Groups Affected (3)	Comments (4)
N/A			

## Section 4: Recommended Impact Assessment & Mitigation

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### 4.1 Sufficiency of Biological Data

**Additional biology-related surveys or permits needed prior to issuance of land use permit:**

None.

## 4.2 Impacts and Mitigation

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### A. Species

Project: PS-M; Cumulative: LS

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#### Special-Status Species

*Significance Finding – Project Impacts: Less than Significant with mitigation*

*Significance Finding – Cumulative Impacts: Less than Significant*

#### *Plants*

Many of the special-status plant species that occur in the region can be confirmed absent from the site due to lack of suitable habitats or because the site is clearly outside of the species' known range. Other species for which the site contains or may contain suitable habitat are unlikely to occur due to various factors.

Six (6) special status plant species, Malibu baccharis, round-leaved filaree, Plummer's mariposa-lily Conejo buckwheat, white-veined monardella, and Ojai Navarretia have a moderate potential for occurrence in the project's fuel modification zone. *No special-status plant species considered to be rare, threatened, or endangered have been reported from the site nor were found within SA1 during the general biological surveys conducted in February 2021 nor during the Spring and Summer season botanical surveys conducted in April and June 2021.*

#### *Wildlife*

One special-status bird, the white-tailed kite, may forage at the site with moderate probability, but is not expected to nest would not be impacted by the project. No other special-status birds known from a five-mile radius of the project have moderate or high potential to occur within the project construction footprint.

Most of the special-status wildlife species that may potentially occur at the site are capable of escaping harm during project development, including grading or fuel modification, while a few are vulnerable to direct impacts, including injury and mortality. In this case, the special-status species that could be directly impacted include potentially occurring land dwelling animals, that include two (2) species of legless lizards. Other species that are capable of escaping harm include California glossy snake, coastal whiptail and the San Diego desert woodrat. Though some bats could forage at the project site, no habitat suitable for roosting for bats was noted onsite.

Project impacts if any, to special-status wildlife species would be less than significant, as the project would not reduce a special-status species' population. Only a very small number of individuals would potentially be affected (with low probability), and the habitats at the site are not of particular importance to the survival or life cycle of a special-status species.



## **MM-1: Pre-Construction Sensitive Wildlife Survey and Impact Avoidance.**

Not more than two (2) weeks prior to ground disturbance and fuel modification activities, a preconstruction survey for sensitive wildlife species shall be conducted by a qualified biologist satisfactory to the County of Ventura and submitted to prior to beginning construction and/or commencement of any disturbance. If a sensitive species is found, avoidance is the preferred mitigation option. If avoidance is not feasible, the species, shall be captured, when possible, and transferred to adjacent appropriate habitat within the open space on-site or directly adjacent to the project site, at least 300 feet from the disturbance area, or an adequate distance to account for indirect impacts as determined by the approved biologist. This shall be performed only by a biologist approved by the County. The CDFW and the County shall be formally notified and consulted regarding the presence of this species on-site. If a federally listed species is found prior to grading of the site, the USFWS shall also be notified and appropriate “take” permits acquired prior to any relocation activity and commencement of any ground disturbing activities.

### Nesting Birds

*Significance Finding – Project Impacts: Potentially Significant, but Mitigable*

*Significance Finding – Cumulative Impacts: Less than Significant*

Nesting birds may potentially occur within native habitats outside of the grading footprint within the project fuel modification zone and adjacent to the impact area in trees, shrubs, and relatively dense herbaceous vegetation. If construction of the proposed project occurs within the nesting bird season (February 1 through August 31), the project could potentially impact nesting birds protected under the Migratory Bird Treaty Act (MBTA) and California Department of Fish and Game Code. Nesting birds present within the grading footprint during grading activities would be directly impacted by the project. No special status bird species have potential to nest within 300 feet of the grading footprint, though many non-special-status species that may nest in the vicinity of the project site, may potentially be disturbed by noise, human presence, or construction activities associated with the project, which could result in nesting failure and the loss of eggs or nestlings.

The Federal Migratory Bird Treaty Act (MBTA) and the California Department of Fish and Game (CDFG) Code (3503, 3503.5, 3511, 3513 and 3800) protect most native birds. In addition, the federal and state endangered species acts protect some bird species listed as threatened or endangered. Project-related impacts to birds protected by these regulations would occur during the breeding season, because unlike adult birds, eggs and chicks are unable to escape impacts.

CDFW Code 3513 upholds the MBTA by prohibiting any take or possession of birds that are designated by the MBTA as migratory nongame birds except as allowed by federal rules and regulations promulgated pursuant to the MBTA. In addition, there are CDFG Codes (3503, 3503.5, 3511, and 3800), which further protect nesting birds and their parts, including passerine birds, raptors, and state “fully protected” birds.

Through implementation of mitigation measure MM-1, potential impacts to birds nesting within or adjacent to the proposed impact area would be reduced to a less than significant level. As

project-level impacts to nesting birds would be mitigated by MM-1 and MM-2, cumulative impacts to nesting birds are also less than significant.

### **MM-2: Nesting Bird Surveys.**

No earlier than 14 days prior to ground or vegetation disturbing activities that would occur during the nesting/breeding season of native bird species potentially nesting on the site (typically February 1 through August 31), a qualified biologist shall perform two (2) field surveys to determine if active nests of any bird species protected by the state or federal Endangered Species Acts, Migratory Bird Treaty Act, and/or the California Fish and Game Code Sections 3503, 3503.5, or 3511 are present in the disturbance zone or within 300 feet of the disturbance zone for songbirds or within 500 feet of the disturbance zone for raptors and special-status bird species. The second nesting bird survey shall be conducted within three (3) days of the start of ground or vegetation disturbing activities. A letter report summarizing the methods and results of the surveys shall be submitted to the County of Ventura Planning Department prior to commencement of project activities. In the event that an active nest is found within the Study Area, site preparation, construction, and fuel modification activities shall stop until consultation with the County of Ventura Planning Department, and when applicable CDFW and USFWS, is conducted and an appropriate setback buffer can be established. The buffer shall be demarcated and project activities within the buffer shall be postponed or halted, at the discretion of the biologist, until the nest is vacated, and juveniles have fledged, as determined by the biologist, and there is no evidence of a second attempt at nesting.

### **MM-3: Qualified Biologist for Construction Monitoring**

**Purpose.** To minimize and avoid impacts to sensitive habitats (coast live oak woodland, Bush monkeyflower scrub and Blue elderberry scrub) within the project fuel modification zone, as well as impacts to potentially present sensitive wildlife (California legless lizard, Southern California legless lizard, California glossy snake, coastal whiptail and the San Diego desert woodrat) during construction.

**Requirement:** The Permittee shall retain the services of a County-approved qualified biologist to monitor the clearing and grubbing phase of ground-disturbance activities, and vegetation thinning fuel modification activities that may impact sensitive habitats and potentially present sensitive wildlife (California legless lizard, Southern California legless lizard, California glossy snake, coastal whiptail and the San Diego desert woodrat). Additionally, a wildlife exclusion fence will be placed outside the project area to avoid any impacts to special status species during grading and grubbing.

**Documentation:** The Permittee shall provide to the Planning Division name of a designated County-approved biologist who will be present on-site during the grading, grubbing, fence installation and fuel modification phase, that may impact the sensitive and locally important habitats present within SA1, special status plants if found and potentially present and special status wildlife (California legless lizard, Southern California legless lizard, California glossy snake, coastal whiptail and the San Diego desert woodrat). The Applicant shall specify (1) when the County-approved biologist must monitor the Project Site; and (2) the disturbance areas that the County-approved biologist will monitor. The Permittee shall submit a written

document to the Planning Division within 14 days of the completion of ground-disturbance activities, notifying the Planning Division of the results of the monitoring.

**Timing:** The Permittee shall submit the name of a County-approved biologist to the Planning Division for review and approval, prior to any ground disturbance. The Permittee shall submit the written document that sets forth the results of the monitoring to the Planning Division, within 14 days of the completion of ground-disturbance activities.

**Monitoring and Reporting:** The Permittee submit weekly monitoring reports during the grading, grubbing, fence installation and fuel modification phase and a post construction monitoring report after completion of all ground disturbing and fuel-modification activities.

#### **MM-4 Protection Measures During Construction Activities.**

**Purpose:** The following measure shall be implemented prior to ground disturbing activities to avoid impacts to native habitats adjacent to or in the vicinity of the limits of disturbance, as well as special-status flora and fauna that could potentially be associated with these habitats.

#### **Requirements:**

- a) Prior to all ground disturbing activities, the Applicant shall demarcate the project limits of disturbance with temporary construction fencing to prevent encroachment of project activities into adjacent native habitats and to dissuade wildlife from entering the construction area. The fencing shall be marked with highly visible flagging. The Planning Division shall verify the fencing has been correctly installed prior to the start of ground disturbance or construction activities. Additional fencing may also be required around oak trees whose tree protection zones are within 20 feet of construction activities. The temporary fencing shall be routinely inspected and maintained in functional condition for the duration of project construction.
- b) To reduce impacts to wildlife, the applicant will submit a construction plan that includes the following:
  - 1) All construction and maintenance activities shall operate in accordance with the Construction Noise Condition which limits construction activities, except in an emergency, to the hours of 7:00 a.m. to 7:00 p.m.
  - 2) No nighttime construction activities or lighting is permitted.
  - 3) No pets shall be allowed on the Project Site during construction.
  - 4) All temporary and permanent food-related trash shall be disposed of in closed animal-proof containers.
  - 5) During construction, trenches shall be filled within the same day or covered.
  - 6) Construction equipment shall be cleaned and decontaminated of weeds and soils prior to entering the Project Site to reduce the potential for the spread and introduction of invasive and noxious weeds.

**Documentation:** Weekly monitoring reports shall be submitted to the Planning Division that includes a discussion of compliance with the measures listed above during clearing, grubbing, fence installation and vegetation thinning for fuel modification phase. If inconsistencies with

measures are observed the property owner shall cease operations and assure the preservation of the area in which the biological resources are found; notify the County Planner in writing, within three days of the discovery; obtain the County Planner's written concurrence with the recommended disposition of the site before resuming construction; and implement the agreed upon recommendations. The Planning Division has the authority to inspect the property during the monitoring phase of the Project to ensure that the measures are implemented as required.

**Timing:** These measures shall be implemented prior to and during all ground disturbing activities throughout all construction phases of the project. Construction fencing shall be installed prior to the issuance of grading permit.

**Monitoring and Reporting:** The Planning Division reviews the weekly monitoring reports for adequacy of implementing measures listed above. The Planning Division has the authority to inspect the Project Site to ensure that the permittee implements these measures as required.

### Protected Trees

*Significance Finding – Project Impacts: Potentially Significant but less than significant after mitigation*

*Significance Finding – Cumulative Impacts: Less than Significant*

Project grading would not encroach into the canopies or root protection zones of County protected trees, present outside of the limits of grading but within a the 100-foot fuel-modification zone.

One (1) Italian Stone Pine tree more than 100" DBH. will be removed as a consequence of the project. A tree report drafted by a certified arborist with details of the findings and valuation of these trees has been submitted to the County. The Ventura County Tree Protection Ordinance allows removal of five (5) protected trees (only three (3) of which can be oaks or sycamores; none of which can be heritage or historical trees) through a ministerial permit process. Removal of more/other than this may trigger a discretionary tree permit. Impacts to protected trees are generally mitigated by planting and nurturing replacement trees.

One cluster of approximately seven (7) coast live oaks (T1) and one cluster of about 4-5 blue elderberry trees (T3) are present just outside the limits of grading, but within a 100 foot buffer/project fuel modification zone. Another county ordinance-sized coast live oak (T5) tree was noted, just adjacent to the grading footprint. Direct impacts to these trees will be avoided to the maximum extent feasible while maintaining compliance with the County Fire Code. Impacts include potential minor encroachment to root protection zone and removal of a few limbs for fire code fuel- modification compliance.

### **MM-5: Mitigation for Impacts to Protected Trees.**

Three (3) coast live Oak trees are scheduled to be planted and nurtured to mitigate for the removal of one (1) non-native Italian Stone Pine Heritage tree. Planting of three Oak trees to mitigate for one non-native tree will lead to improvement in habitat quality. Though this

mitigation is not an exact replacement of the same species of tree, Section 8107-25.10 of the Ventura County Zoning Ordinance Code (Tree Protection Regulations) requires that tree replacement to be on a “ cross-sectional” basis. These guidelines require that the aggregate areas of the cross sections of the replacement trees must be equal to or greater than the cross sectional areas of the altered elements of a tree (e.g., trunks, limbs, or roots). Mitigation planting for trees shall comply with County of Ventura guidelines for mitigation for removal of Protected Trees.

Based on the grading plan provided by the Applicant, grading would not encroach into the canopies, or the root protection zones of the (T1)-coast live Oak cluster, (T3)-blue elderberry cluster and T-5- coast live Oak tree all present just outside the limits of grading. Construction vehicles shall avoid impacts to these trees. Protective fencing will be placed to avoid impacts to all protected trees located adjacent to the grading footprint. If encroachment within the protected zone is required by construction equipment, an arborist will be present onsite to monitor the tree in question.

Minimal impacts during project construction are expected since an exclusion fence will be installed on-site before construction to prevent debris or spoils from being placed on the slope below the building pad in the tree protection zone.

Project impacts to protected trees would significant and reduced to less than significant after mitigation. Cumulative impacts to protected trees would be less than significant.

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## **B. Ecological Communities**

Project: PS-M; Cumulative: LS

### Sensitive Plant Communities

*Significance Finding – Project Impacts: Potentially Significant but less than significant after mitigation*

*Significance Finding – Cumulative Impacts: Less than Significant*

Based on the conservation status rankings from the CDFW List of Vegetation Alliances and Associations (September 2020), two (2) of the plant communities identified within the survey areas is rare or sensitive. Project Fuel modification would lead to impacts to two (2) natural communities of special concern; 0.33 acre of Bush monkeyflower scrub and 0.05 acre of Blue elderberry scrub. These communities are scattered and are comprised of a very small acreage. Project fuel modification will not lead to complete removal of the shrubs within these communities though their habitat structure will change as the shrubs are pruned. The project would result in significant impacts to these Sensitive Plant communities. Implementation of Mitigation Measures MM-3 and MM-6 would reduce impacts to natural communities of special concern to less than significant. Cumulative impacts to sensitive plant communities are less than significant.

### **MM-6 Sensitive Plant Community Restoration – Scrub Habitats**

**Purpose:** To compensate for the loss of 0.33 acre of Bush monkeyflower scrub and 0.05 acre of Blue elderberry scrub, both sensitive plant communities/ natural communities of special concern.

**Requirement:** Project fuel modification impacts to Bush monkeyflower scrub and Blue elderberry scrub, shall be mitigated at a 2:1 ratio in an area to be preserved as permanent open space. Compensatory mitigation shall be accomplished by one or a combination of the following methods and shall be based on the following preference hierarchy:

- 1) On-site restoration of in-kind habitat
- 2) Off-site restoration of in-kind habitat

**Documentation:** The applicant shall prepare a Habitat Mitigation Plan if compensatory mitigation is to be accomplished by on-site or off-site restoration. The Habitat Mitigation Plan shall be developed by a qualified biologist, restoration ecologist, or resource specialist, and approved by the Planning Division prior to issuance of the Zoning Clearance for Project grading. The plan shall at a minimum include:

- Description of the project/impact and mitigation sites
- Specific objectives
- Performance standards
- Plant palettes
- Implementation plan
- Maintenance activities
- Monitoring plan
- Contingency measures

Restoration should be implemented only where suitable conditions exist to support viable in-kind habitats. Disturbed habitats within a proposed Open Space Preservation Area may provide a suitable opportunity for on-site restoration. Off-site restoration shall be in the vicinity of the Project Site or if off-site restoration in the vicinity of the Project Site is infeasible, off-site restoration shall be conducted within the same watershed.

The plant palettes shall include dominant species (Bush monkeyflower, Blue elderberry) as well as a diversity of appropriate native species that occur within these plant communities at the site.

Performance standards of the restoration project shall at a minimum be evaluated based on percent cover of planted native species as well as control of invasive plant species within the restoration area. Success criteria is generally considered if met for five (5) years before the restoration is considered complete. However, this timeline may be adapted if success criteria is met earlier, anytime past the three (3) year mark after initiation of mitigation planting. This will be based on the discretion of the project restoration biologist and the County Planning department.

The performance standards for the Habitat Mitigation Plan shall at a minimum include the following:

- Within five (5) years after introducing the native plants to the mitigation site, the acreage of restored Bush monkeyflower scrub and Blue elderberry scrub, shall be no less than

two times the acreage lost to project construction. Adaptive Management strategies would be applied in case of two consecutive drought years.

- Within three years after introducing the native plants to the mitigation site, the absolute cover of native species shall be no less than 60% within the restoration area.
- Non-native species in the treated area shall be less than 15% relative cover by the end of the third year of treatment and less than 10% relative cover by the end of the fifth year of treatment; and,
- Restoration will be considered successful after the performance standards have been met for a period of at least one (1) year without any maintenance or remediation activities other than invasive species control.

**Timing:** Prior to issuance of the grading permit, the applicant must prepare and submit a Habitat Mitigation and Monitoring Plan to the Planning Division that addresses impacts to the Bush monkeyflower scrub and Blue elderberry scrub, at the Project Site.

If the on-site or off-site restoration method is used as mitigation, the restoration project shall be initiated prior to vegetation clearance for project grading and shall be implemented over a 5-year period.

**Monitoring and Reporting:** The restoration project shall incorporate an iterative process of annual monitoring and evaluation of progress, and allow for adjustments to the restoration plan, as necessary, to achieve desired outcomes and meet the performance standards. Annual reports discussing the implementation, monitoring, and management of the restoration project shall be submitted to the Planning Division by December 31<sup>st</sup> for five years or three years (if the success criteria is met earlier). Five years after Project start a final report shall be submitted to the Planning Division, which shall at a minimum discuss the implementation, monitoring, and management of the restoration project over the five-year period and indicate whether the restoration project has been successful based on established success criteria. The annual reports and the final report shall include as-built plans submitted as an appendix to the report. The project may be extended if the performance standards have not been met at the end of the five-year period to the satisfaction of the Planning Division. The timeline may be reduced if the success criteria is met at the end of a three year period.

### Waters and Wetlands

*Significance Finding – Project Impacts: No Impacts*

*Significance Finding – Cumulative Impacts: No Impacts*

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### **C. Habitat Connectivity (migration corridors)**



Project: LS; Cumulative: LS

There are no linkages or corridors for terrestrial wildlife movement within or in the vicinity of the survey areas. Also, there are no roadway crossing structures or other similar habitat connectivity features that are important to wildlife movement. The project would not remove habitat within a wildlife movement corridor, isolate habitat, construct or create barriers that impede fish or wildlife movement, migration, or long term connectivity, or significantly intimidate fish and wildlife via the introduction of noise, light, development, or increased human presence. Project impacts

to wildlife movement and habitat connectivity would be less than significant. Also, as the project would have less than significant impacts to habitat connectivity or wildlife movement, cumulative impacts to habitat connectivity and wildlife movement are also less than significant.




## Section 5: Photos

Photos									
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<b>Map Key</b>									
P1									
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<b>Location</b>									
<b>Map Key</b>									
P2									
<b>View Direction</b>									
Northeast									
<b>Description</b>									
View showing dense PC3 and PC9 vegetation communities in the northeastern portion of SA1									

**Photos**

<b>Location</b>	
<b>Map Key</b>	
P3	
<b>View Direction</b>	
West	
<b>Description</b>	View of the cleared land within the Development Area

<b>Location</b>	
<b>Map Key</b>	
P4	
<b>View Direction</b>	
North	
<b>Description</b>	View of dense PC11 and PC8 vegetation communities with the Project Fuel Mod. Zone

**Photos**

<b>Location</b>	
<b>Map Key</b>	
P5	
<b>View Direction</b>	
South	
<b>Description</b>	
View of the cleared land within the Development Area	

<b>Location</b>	
<b>Map Key</b>	
P6	
<b>View Direction</b>	
Northwest	
<b>Description</b>	
View of the PC5 and PC6 within the Project Fuel Mod. Zone	

Photos

<b>Location</b>
<b>Map Key</b> P7
<b>View Direction</b> Northwest
<b>Description</b> View of PC6 and PC5 within the Project Fuel Mod. Zone in the north-western portion of SA1



<b>Location</b>
<b>Map Key</b> P8
<b>View Direction</b> South
<b>Description</b> View of PC1 and PC4 within the southern portion of SA1



## Appendix One

# Summary of Biological Resource Regulations

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The Ventura County Planning Division, as “lead agency” under CEQA for issuing discretionary land use permits, uses the relationship of a potential environmental effect from a proposed project to an established regulatory standard to determine the significance of the potential environmental effect. This Appendix summarizes important biological resource regulations which are used by the Division’s biologists (consultants and staff) in making CEQA findings of significance:

- Sensitive Status Species Regulations
- Nesting Bird Regulations
- Plant Community Regulations
- Tree Regulations
- Waters and Wetlands Regulations
- Coastal Habitat Regulations
- Wildlife Migration Regulations
- Locally Important Species/Communities Regulations

### **Sensitive Status Species Regulations**

#### ***Federally Protected Species***

Ventura County is home to 29 federally listed endangered and threatened plant and wildlife species. The U.S. Fish and Wildlife Service (USFWS) regulates the protection of federally listed endangered and threatened plant and wildlife species.

**FE (Federally Endangered):** A species that is in danger of extinction throughout all or a significant portion of its range.

**FT (Federally Threatened):** A species that is likely to become endangered in the foreseeable future.

**FC (Federal Candidate):** A species for which USFWS has sufficient information on its biological status and threats to propose it as endangered or threatened under the Endangered Species Act (ESA), but for which development of a proposed listing regulation is precluded by other higher priority listing activities.

**FSC (Federal Species of Concern):** A species under consideration for listing, for which there is insufficient information to support listing at this time. These species may or may not be listed in the future, and many of these species were formerly recognized as “Category-2 Candidate” species.

The USFWS requires permits for the “take” of any federally listed endangered or threatened species. “Take” is defined by the USFWS as “to harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect, or to attempt to engage in any such conduct; may include significant habitat modification or degradation if it kills or injures wildlife by significantly impairing essential behavioral patterns including breeding, feeding, or sheltering.”

The Endangered Species Act (ESA) does not provide statutory protection for candidate species or species of concern, but USFWS encourages conservation efforts to protect these species. USFWS can set up voluntary Candidate Conservation Agreements and Assurances, which provide non-Federal landowners (public and private) with the assurance that if they implement various conservation activities to protect a given candidate species, they will not be subject to additional restrictions if the species becomes listed under the ESA.

### ***State Protected Species***

The California Department of Fish and Wildlife (CDFW) regulates the protection of endangered, threatened, and fully protected species listed under the California Endangered Species Act. Some species may be jointly listed under the State and Federal Endangered Species Acts.

**SE (California Endangered):** A native species or subspecies which is in serious danger of becoming extinct throughout all, or a significant portion, of its range due to one (1) or more causes, including loss of habitat, change in habitat, overexploitation, predation, competition, or disease.

**ST (California Threatened):** A native species or subspecies that, although not presently threatened with extinction, is likely to become an endangered species in the foreseeable future in the absence of the special protection and management efforts required by this chapter. Any animal determined by the commission as "rare" on or before January 1, 1985, is a "threatened species."

**SFP (California Fully Protected Species):** This designation originated from the State's initial effort in the 1960's to identify and provide additional protection to those animals that were rare or faced possible extinction. Lists were created for fish, mammals, amphibians, reptiles, and birds. Most fully protected species have also been listed as threatened or endangered species under the more recent endangered species laws and regulations.

**SR (California Rare):** A species, subspecies, or variety of plant is rare under the Native Plant Protection Act when, although not presently threatened with extinction, it is in such small numbers throughout its range that it may become endangered if its present environment worsens. Animals are no longer listed as rare; all animals listed as rare before 1985 have been listed as threatened.

**SSC (California Species of Special Concern):** Animals that are not listed under the California Endangered Species Act, but which nonetheless 1) are declining at a rate that could result in listing, or 2) historically occurred in low numbers and known threats to their persistence currently exist.

The CDFW requires permits for the "take" of any State-listed endangered or threatened species. Section 2080 of the Fish and Game Code prohibits "take" of any species that the California Fish and Game Commission determines to be endangered or threatened. "Take" is defined in Section 86 of the Fish and Game Code as "hunt, pursue, catch, capture, or kill, or attempt to hunt, pursue, catch, capture, or kill."

The California Native Plant Protection Act protects endangered and rare plants of California. Section 1908, which regulates plants listed under this act, states: "no person shall import into

this state, or take, possess, or sell within this state, except as incident to the possession or sale of the real property on which the plant is growing, any native plant, or any part or product thereof, that the commission determines to be an endangered native plant or rare native plant, except as otherwise provided in this chapter.”

Unlike endangered, threatened, and rare species, for which a take permit may be issued, California Fully Protected species may not be taken or possessed at any time and no licenses or permits may be issued for their take except for collecting these species for necessary scientific research and relocation of the bird species for the protection of livestock.

The California Endangered Species Act does not provide statutory protection for California species of special concern, but they should be considered during the environmental review process.

### ***California Rare Plant Ranks (RPR)***

Plants with 1A, 1B, 2 or 4 should always be addressed in CEQA documents. Plants with a RPR 3 do not need to be addressed in CEQA documents unless there is sufficient information to demonstrate that a RPR 3 plant meets the criteria to be listed as a RPR 1, 2, or 4.

**RPR 1A:** Plants presumed to be extinct because they have not been seen or collected in the wild in California for many years. This list includes plants that are both presumed extinct in California, as well as those plants which are presumed extirpated in California. A plant is extinct in California if it no longer occurs in or outside of California. A plant that is extirpated from California has been eliminated from California but may still occur elsewhere in its range.

**RPR 1B:** Plants that are rare throughout their range with the majority of them endemic to California. Most of the plants of List 1B have declined significantly over the last century.

**RPR 2:** Plants that are rare throughout their range in California but are more common beyond the boundaries of California. List 2 recognizes the importance of protecting the geographic range of widespread species.

Plants identified as RPR 1A, 1B, and 2 meet the definitions of Sec. 1901, Chapter 10 (Native Plant Protection Act) or Secs. 2062 and 2067 (California Endangered Species Act) of the California Department of Fish and Game Code and are eligible for state listing.

**RPR 3:** A review list for plants for which there is inadequate information to assign them to one of the other lists or to reject them.

**RPR 4:** A watch list for plants that are of limited distribution in California.

### ***Global and Subnational Rankings***

Though not associated directly with legal protections, species have been given a conservation status rank by NatureServe, an international non-profit conservation organization that is the leading source for information about rare and endangered species and threatened ecosystems. The Ventura County Planning Division considers the following ranks as sensitive for the purposes of CEQA impact assessment (G = Global, S = Subnational or State):

- G1 or S1 - Critically Imperiled
- G2 or S2 – Imperiled
- G3 or S3 - Vulnerable to extirpation or extinction

### ***Locally Important Species***

Locally important species' protections are addressed below under "Locally Important Species/Communities Regulations."

For lists of some of the species in Ventura County that are protected by the above regulations, go to [http://www.ventura.org/rma/planning/ceqa/bio\\_resource\\_review.html](http://www.ventura.org/rma/planning/ceqa/bio_resource_review.html).

### **Nesting Bird Regulations**

The Federal Migratory Bird Treaty Act (MBTA) and the California Department of Fish and (CDFG) Code (3503, 3503.5, 3511, 3513 and 3800) protect most native birds. In addition, the federal and state endangered species acts protect some bird species listed as threatened or endangered. Project-related impacts to birds protected by these regulations would normally occur during the breeding season, because unlike adult birds, eggs and chicks are unable to escape impacts.

The MBTA implements various treaties and conventions between the U.S. and Canada, Japan, Mexico, and Russia for the protection of migratory birds, which occur in two (2) of these countries over the course of one (1) year. The Act maintains that it is unlawful to pursue, hunt, take, capture or kill; attempt to take, capture or kill; possess, offer to or sell, barter, purchase, deliver or cause to be shipped, exported, imported, transported, carried or received any migratory bird, part, nest, egg or product, manufactured or not. Bird species protected under the provisions of the MBTA are identified by the List of Migratory Birds (Title 50 of the Code of Federal Regulations, Section 10.13 as updated by the 1983 American Ornithologists' Union (AOU) Checklist and published supplements through 1995 by the USFWS).

CDFG Code 3513 upholds the MBTA by prohibiting any take or possession of birds that are designated by the MBTA as migratory nongame birds except as allowed by federal rules and regulations promulgated pursuant to the MBTA. In addition, there are CDFG Codes (3503, 3503.5, 3511, and 3800) which further protect nesting birds and their parts, including passerine birds, raptors, and state "fully protected" birds.

NOTE: These regulations protect almost all *native nesting birds*, not just sensitive status birds.

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### **Plant Community Regulations**

Plant communities are provided legal protection when they provide habitat for protected species or when the community is in the coastal zone and qualifies as environmentally sensitive habitat area (ESHA).

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## ***Global and Subnational Rankings***

Though not associated directly with legal protections, plant communities have been given a conservation status rank by NatureServe, an international non-profit conservation organization that is the leading source for information about rare and endangered species and threatened ecosystems. The Ventura County Planning Division considers the following ranks as sensitive for the purposes of CEQA impact assessment (G = Global, S = Subnational or State):

G1 or S1 – Critically Imperiled

G2 or S2 – Imperiled

G3 or S3 – Vulnerable to extirpation or extinction

## ***CDFW Rare***

Rare natural communities are those communities that are of highly limited distribution. These communities may or may not contain rare, threatened, or endangered species. Though the Native Plant Protection Act and the California Endangered Species Act provide no legal protection to plant communities, CDFW considers plant communities that are ranked G1-G3 or S1-S3 (as defined above) to be rare or sensitive, and therefore these plant communities should be addressed during CEQA review.

## ***Environmentally Sensitive Habitat Areas***

The Coastal Act specifically calls for protection of “environmentally sensitive habitat areas” or ESHA, which it defines as: “Any area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and developments” (Section 30107.5).

ESHA has been specifically defined in the Santa Monica Mountains. For ESHA identification in this location, the Coastal Commission, the agency charged with administering the Coastal Act, has described the habitats that are considered ESHA. A memo from a Coastal Commission biologist that describes ESHA in the Santa Monica Mountains can be found at: [http://www.ventura.org/rma/planning/ceqa/bio\\_resource\\_review.html](http://www.ventura.org/rma/planning/ceqa/bio_resource_review.html).

## ***Locally Important Communities***

The Ventura County Initial Study Assessment Guidelines defines a locally important community as one that is considered by qualified biologists to be a quality example characteristic of or unique to the County or region, with this determination being made on a case-by-case basis. The County has not developed a list of locally important communities but has deemed oak woodlands to be a locally important community through the County’s *Oak Woodland Management Plan*.

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## **Tree Regulations**

Selected trees are protected by the Ventura County Tree Protection Ordinance, found in Section 8107-25 of the Ventura County Non-Coastal Zoning Ordinance. This ordinance, which applies in the unincorporated areas of the County outside the coastal zone, regulates—through a tree permit program—the removal, trimming of branches or roots, or grading or excavating within the

root zone of a "protected tree." Individual trees are the focus of the ordinance, while oak woodlands are additionally protected as "locally important communities."

The ordinance allows removal of five (5) protected trees (only three (3) of which can be oaks or sycamores; none of which can be heritage or historical trees) through a ministerial permit process. Removal of more/other than this may trigger a discretionary tree permit.

If a proposed project cannot avoid impacts to protected trees, mitigation of these impacts (such as replacement of lost trees) is addressed through the tree permit process—**unless the impacts may affect biological resources beyond the tree itself**, such as to sensitive status species that may be using the tree, nesting birds, the tree's role as part of a larger habitat, etc. These secondary impacts have not been addressed through the tree permit program and must be addressed by the biologist in the biological assessment in accordance with the California Environmental Quality Act (CEQA).

A tree permit does not, however, substitute as mitigation for impacts to oak woodlands. The Public Resources Code requires that when a county is determining the applicability of CEQA to a project, it must determine whether that project "may result in a conversion of oak woodlands that will have a significant effect on the environment." If such effects (either individual impacts or cumulative) are identified, the law requires that they be mitigated. Acceptable mitigation measures include, but are not limited to, conservation of other oak woodlands through the use of conservation easements and planting replacement trees, which must be maintained for seven (7) years. In addition, only 50% of the mitigation required for significant impacts to oak woodlands may be fulfilled by replanting oak trees.

The following trees are protected in the specified zones. Girth is measured at 4.5 feet from the midpoint between the uphill and downhill side of the root crown.

PROTECTED TREES			
Common Name/Botanical Name (Genus species)	Girth Standard (Circumference)	Applicable Zones	
		All Base Zones	SRP <sup>1</sup>
Alder ( <i>Alnus</i> all species)	9.5 in.		X
Ash ( <i>Fraxinus</i> all species)	9.5 in.		X
Bay ( <i>Umbellularia californica</i> )	9.5 in.		X
Cottonwood ( <i>Populus</i> all species)	9.5 in.		X
Elderberry ( <i>Sambucus</i> all species)	9.5 in.		X
Big Cone Douglas Fir ( <i>Pseudotsuga macrocarpa</i> )	9.5 in.		X
White Fir ( <i>Abies concolor</i> )	9.5 in.		X
Juniper ( <i>Juniperus californica</i> )	9.5 in.		X
Maple ( <i>Acer macrophyllum</i> )	9.5 in.		X
Oak (Single) ( <i>Quercus</i> all species)	9.5 in.	X	X
Oak (Multi) ( <i>Quercus</i> all species)	6.25 in.	X	X
Pine ( <i>Pinus</i> all species)	9.5 in.		X
Sycamore ( <i>Platanus</i> all species)	9.5 in.	X	X
Walnut ( <i>Juglans</i> all species)	9.5 in.		X
Historical Tree <sup>3</sup> (any species)	(any size)	X	X
Heritage Tree <sup>4</sup> (any species)	90.0 in.	X	X

X Indicates the zones in which the subject trees are considered protected trees.

1. SRP - Scenic Resource Protection Overlay Zone
  2. SHP - Scenic Highway Protection Overlay Zone
  3. Any tree or group of trees identified by the County or a city as a landmark, or identified on the Federal or California Historic Resources Inventory to be of historical or cultural significance, or identified as contributing to a site or structure of historical or cultural significance.
  4. Any species of tree with a single trunk of 90 or more inches in girth or with multiple trunks, two (2) of which collectively measure 72 inches in girth or more. Species with naturally thin trunks when full grown or naturally large trunks at an early age, or trees with unnaturally enlarged trunks due to injury or disease must be at least 60 feet tall or 75 years old.
- 

## **Waters and Wetlands Regulations**

Numerous agencies control what can and cannot be done in or around streams and wetlands. If a project affects an area where water flows, ponds or is present even part of the year, it is likely to be regulated by one (1) or more agencies. Many wetland or stream projects will require three (3) main permits or approvals (in addition to CEQA compliance). These are:

- 404 Permit (U.S. Army Corps of Engineers)
- 401 Certification (California Regional Water Quality Control Board)
- Streambed Alteration Agreement (California Department of Fish and Game)

For a more thorough explanation of wetland permitting, see the Ventura County's "Wetland Project Permitting Guide" at

[http://www.ventura.org/rma/planning/ceqa/bio\\_resource\\_review.html](http://www.ventura.org/rma/planning/ceqa/bio_resource_review.html).

### **404 Permit (U.S. Army Corps of Engineers)**

Most projects that involve streams or wetlands will require a 404 Permit from the U.S. Army Corps of Engineers (USACE). Section 404 of the federal Clean Water Act is the primary federal program regulating activities in wetlands. The Act regulates areas defined as "waters of the United States." This includes streams, wetlands in or next to streams, areas influenced by tides, navigable waters, lakes, reservoirs and other impoundments. For nontidal waters, USACE jurisdiction extends up to what is referred to as the "ordinary high water mark" as well as to the landward limits of adjacent Corps-defined wetlands, if present. The ordinary high water mark is an identifiable natural line visible on the bank of a stream or water body that shows the upper limit of typical stream flow or water level. The mark is made from the action of water on the streambank over the course of years.

**Permit Triggers:** A USACE 404 Permit is triggered by moving (discharging) or placing materials—such as dirt, rock, geotextiles, concrete or culverts—into or within USACE jurisdictional areas. This type of activity is also referred to as a "discharge of dredged or fill material."

### **401 Certification (Regional Water Quality Control Board)**

If your project requires a USACE 404 Permit, then you will also need a Regional Water Quality Control Board (RWQCB) 401 Certification. The federal Clean Water Act, in Section 401, specifies that states must certify that any activity subject to a permit issued by a federal agency, such as the USACE, meets all state water quality standards. In California, the state and regional

water boards are responsible for certification of activities subject to USACE Section 404 Permits.

**Permit Trigger:** A RWQCB 401 Certification is triggered whenever a USACE 404 Permit is required, or whenever an activity could cause a discharge of dredged or fill material into waters of the U.S. or wetlands.

### ***Streambed Alteration Agreement (California Department of Fish and Game)***

If your project includes alteration of the bed, banks or channel of a stream, or the adjacent riparian vegetation, then you may need a Streambed Alteration Agreement from the California Department of Fish and Wildlife (CDFW). The California Fish and Game Code, Sections 1600-1616, regulates activities that would alter the flow, bed, banks, channel or associated riparian areas of a river, stream or lake. The law requires any person, state or local governmental agency or public utility to notify CDFW before beginning an activity that will substantially modify a river, stream or lake.

**Permit Triggers:** A Streambed Alteration Agreement (SAA) is triggered when a project involves altering a stream or disturbing riparian vegetation, including any of the following activities:

- Substantially obstructing or diverting the natural flow of a river, stream or lake
- Using any material from these areas
- Disposing of waste where it can move into these areas

Some projects that involve routine maintenance may qualify for long-term maintenance agreements from CDFW. Discuss this option with CDFW staff.

### ***Ventura County General Plan***

The Ventura County General Plan contains policies which also strongly protect wetland habitats. Biological Resources Policy 1.5.2-3 states:

Discretionary development that is proposed to be located within 300 feet of a marsh, small wash, intermittent lake, intermittent stream, spring, or perennial stream (as identified on the latest USGS 7½ minute quad map), shall be evaluated by a County approved biologist for potential impacts on wetland habitats. Discretionary development that would have a significant impact on significant wetland habitats shall be prohibited, unless mitigation measures are adopted that would reduce the impact to a less than significant level; or for lands designated "Urban" or "Existing Community", a statement of overriding considerations is adopted by the decision-making body.

Biological Resources Policy 1.5.2-4 states:

Discretionary development shall be sited a minimum of 100 feet from significant wetland habitats to mitigate the potential impacts on said habitats. Buffer areas may be increased or decreased upon evaluation and recommendation by a qualified biologist and approval by the decision-making body. Factors to be used in determining adjustment of the 100 foot buffer include soil type, slope stability, drainage patterns, presence or absence of endangered, threatened or rare plants or animals, and compatibility of the proposed development with the

wildlife use of the wetland habitat area. The requirement of a buffer (setback) shall not preclude the use of replacement as a mitigation when there is no other feasible alternative to allowing a permitted use, and if the replacement results in no net loss of wetland habitat. Such replacement shall be "in kind" (i.e., same type and acreage), and provide wetland habitat of comparable biological value. On-site replacement shall be preferred wherever possible. The replacement plan shall be developed in consultation with California Department of Fish and Game.

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## **Coastal Habitat Regulations**

Ventura County's Coastal Area Plan and the Coastal Zoning Ordinance, which constitute the "Local Coastal Program" (LCP) for the unincorporated portions of Ventura County's coastal zone, ensure that the County's land use plans, zoning ordinances, zoning maps, and implemented actions meet the requirements of, and implement the provisions and polices of California's 1976 Coastal Act at the local level.

### ***Environmentally Sensitive Habitats***

The Coastal Act specifically calls for protection of "environmentally sensitive habitat areas" or ESHA, which it defines as: "Any area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and developments" (Section 30107.5). Section 30240 of the Coastal Act states:

- (a) "Environmentally sensitive habitat areas shall be protected against any significant disruption of habitat values, and only uses dependent on such resources shall be allowed within such areas."**
- (b) "Development in areas adjacent to environmentally sensitive habitat areas and parks and recreation areas shall be sited and designed to prevent impacts which would significantly degrade such areas, and shall be compatible with the continuance of such habitat areas."**

There are three (3) important elements to the definition of ESHA. First, a geographic area can be designated ESHA either because of the presence of individual species of plants or animals or because of the presence of a particular habitat. Second, in order for an area to be designated as ESHA, the species or habitat must be either rare or it must be especially valuable. Finally, the area must be easily disturbed or degraded by human activities.

Protection of ESHA is of particular concern in the southeastern part of Ventura County, where the coastal zone extends inland (~5 miles) to include an extensive area of the Santa Monica Mountains. For ESHA identification in this location, the Coastal Commission, the agency charged with administering the Coastal Act, has described the habitats that are considered ESHA. A memo from a Coastal Commission biologist that describes ESHA in the Santa Monica Mountains can be found at:

[http://www.ventura.org/rma/planning/ceqa/bio\\_resource\\_review.html](http://www.ventura.org/rma/planning/ceqa/bio_resource_review.html).

The County's Local Coastal Program outlines other specific protections to environmentally sensitive habitats in the Coastal Zone, such as to wetlands, riparian habitats, dunes, and upland habitats within the Santa Monica Mountains (M Overlay Zone). Protections in some cases are different for different segments of the coastal zone.

Copies of the Coastal Area Plan and the Coastal Zoning Ordinance can be found at: <http://www.ventura.org/rma/planning/Programs/local.html>.

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### **Wildlife Migration Regulations**

The Ventura County General Plan specifically includes wildlife migration corridors as an element of the region's significant biological resources. In addition, protecting habitat connectivity is critical to the success of special status species and other biological resource protections. Potential project impacts to wildlife migration are analyzed by biologists on a case-by-case basis. The issue involves both a macro-scale analysis—where routes used by large carnivores connecting very large core habitat areas may be impacted—as well as a micro-scale analysis—where a road or stream crossing may impact localized movement by many different animals.

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### **Locally Important Species/Communities Regulations**

Locally important species/communities are considered to be significant biological resources in the Ventura County General Plan.

#### ***Locally Important Species***

The Ventura County General Plan defines a Locally Important Species as a plant or animal species that is not an endangered, threatened, or rare species, but is considered by qualified biologists to be a quality example or unique species within the County and region. The following criteria further define what local qualified biologists have determined to be Locally Important Species:

#### **Locally Important Animal Species Criteria**

Taxa for which habitat in Ventura County is crucial for their existence either globally or in Ventura County. This includes:

- Taxa for which the population(s) in Ventura County represents 10 percent or more of the known extant global distribution; or
- Taxa for which there are five (5) or fewer *element occurrences*, or less than 1,000 individuals, or less than 2,000 acres of habitat that sustains populations in Ventura County; or,
- Native taxa that are generally declining throughout their range or are in danger of extirpation in Ventura County.

### **Locally Important Plant Species Criteria**

- Taxa that are declining throughout the extent of their range AND have five (5) or fewer element occurrences in Ventura County.

The County maintains a list of locally important species, which can be found on the Planning Division website at: [http://www.ventura.org/rma/planning/ceqa/bio\\_resource\\_review.html](http://www.ventura.org/rma/planning/ceqa/bio_resource_review.html). *This list should not be considered comprehensive.* Any species that meets the criteria qualifies as locally important, whether or not it is included on this list.

### **Locally Important Communities**

The Ventura County Initial Study Assessment Guidelines defines a locally important community as one that is considered by qualified biologists to be a quality example characteristic of or unique to the County or region, with this determination being made on a case-by-case basis. The County has not developed a list of locally important communities. Oak woodlands have however been deemed by the Ventura County Board of Supervisors to be a locally important community.

The state passed legislation in 2001, the Oak Woodland Conservation Act, to emphasize that oak woodlands are a vital and threatened statewide resource. In response, the County of Ventura prepared and adopted an Oak Woodland Management Plan that recommended, among other things, amending the County's Initial Study Assessment Guidelines to include an explicit reference to oak woodlands as part of its definition of locally important communities. The Board of Supervisors approved this management plan and its recommendations.

## Appendix Two

### Observed Species Tables

List in the table below the species observed during the survey(s). The most current taxonomy should be used for the scientific names. All taxa should be identified to the fullest extent for those with subspecies/varieties. If the species of an observed plant or animal is not known, indicate the genus and include any comments on the potential species. Include native and non-native species. Organize the list by the following categories: Plants, including nonvascular and vascular; Fungi; and Animals, including invertebrates, fish, amphibians, reptiles, birds, and mammals. You may provide separate tables for plants and animals or add columns for information you determine is important. Use Bold for special-status species.

Species Observed			
Scientific Name (Species or Genus)	Common Name	Native (1)	Notes (2)
<b>PLANTS</b>			
<b>Dicots</b>			
<i>Acmispon strigosus</i>	strigose lotus	1	
<i>Adenostoma fasciculatum</i>	Chamise	1	
<i>Amsinckia menziesii</i>	small flowered fiddleneck	1	
<i>Artemisia californica</i>	California sagebrush	1	
<i>Acmispon glaber</i> g. ( <i>Lotus scoparius</i> )	deerweed	1	
<i>Asclepias fascicularis</i>	narrowleaf milkweed	1	
<i>Baccharis pilularis</i>	coyote brush	1	
<i>Calystegia macrostegia</i>	Island morning glory	1	
<i>Castilleja affinis</i> ssp. <i>affinis</i>	Coast Indian paintbrush	1	
<i>Ceanothus megacarpus</i> var. <i>megacarpus</i>	Big pod ceanothus	1	
<i>Ceanothus spinosus</i>	greenbark ceanothus	1	
<i>Ceanothus cuneatus</i>	buckbrush	1	
<i>Cryptantha muricata</i>	prickly popcorn flower	1	
<i>Chlorogalum pomeridianum</i>	Amole	1	
<i>Corethrogyne filaginifolia</i>	wooly aster	1	
<i>Deinandra fasciculata</i>	fascicled tarweed	1	
<i>Delphinium cardinale</i>	Scarlet larkspur	1	
<i>Diplacus aurantiacus</i>	bush monkeyflower	1	
<i>Dipterostemon capitatus</i>	blue dicks	1	
<i>Elymus condensatus</i>	giant wildrye	1	
<i>Eucrypta chrysanthemifolia</i>	common eucrypta	1	
<i>Encelia californica</i>	bush Sunflower	1	
<i>Erigeron canadensis</i>	Horseweed	1	
<i>Erodium botrys</i>	long-beaked filaree		
<i>Erodium cicutarium</i>	red-stem filaree		
<i>Eriogonum fasciculatum</i> ssp. <i>foliolosum</i>	California buckwheat	1	
<i>Epilobium brachycarpum</i>	Annual willowherb	1	
<i>Hesperoyucca whipplei</i>	Our Lord's candle	1	
<i>Heteromeles arbutifolia</i>	Toyon	1	
<i>Heterotheca grandiflora</i>	telegraph weed	1	
<i>Hirschfeldia incana</i>	summer mustard		
<i>Hordeum murinum</i>	Foxtail barley		



Species Observed			
Scientific Name (Species or Genus)	Common Name	Native (1)	Notes (2)
<i>Isocoma menziesii</i>	Coast goldenbush	1	
<i>Malacothrix saxatilis</i> var. <i>tenuifolia</i>	cliff aster	1	
<i>Malosama laurina</i>	laurel sumac	1	
<i>Malacothamnus fasciculatus</i>	bush mallow	1	
<i>Marah fabacea</i>	California manroot	1	
<i>Marah macrocarpa</i>	Wild cucumber	1	
<i>Marrubium vulgare</i>	Horehound		
<i>Melica imperfecta</i>	coast melic grass	1	
<i>Mirabilis laevis</i> var. <i>crassifolia</i>	California four o'clock	1	
<i>Paeonia californica</i>	California peony	1	
<i>Primula clevelandii</i>	Padre's shooting star	1	
<i>Quercus agrifolia</i>	coast live oak	1	
<i>Quercus berberidifolia</i>	California scrub oak	1	
<i>Ribes speciosum</i>	fuchsia flowering gooseberry	1	
<i>Pectocarya linearis</i> ssp. <i>ferocula</i>	Slender comb seed	1	
<i>Plantago ovata</i>	Desert plantain	1	
<i>Phacelia cicutaria</i> var. <i>hispida</i>	Caterpillar phacelia	1	
<i>Phacelia ramosissima</i>	Branching phacelia	1	
<i>Rhamnus crocea</i>	Redberry Buckthorn	1	
<i>Rhamnus ilicifolia</i>	hollyleaf redberry	1	
<i>Ribes malvaceum</i> var. <i>malvaceum</i>	Chaparral currant	1	
<i>Ribes speciosum</i>	Fuchsia flowered gooseberry	1	
<i>Pseudognaphalium californicum</i> ( <i>Gnaphalium californicum</i> )	California everlasting	1	
<i>Pseudognaphalium microcephalum</i> ( <i>Gnaphalium canescens</i> <i>microcephalum</i> )	white everlasting	1	
<i>Salsola kali</i>	Russian thistle		
<i>Salvia leucophylla</i>	purple sage	1	
<i>Sambucus nigra</i> ssp. <i>caerulea</i> ( <i>Sambucus mexicana</i> )	blue elderberry	1	
<i>Salvia mellifera</i>	black sage	1	
<i>Sanicula pacifica</i>	Pacific sanicle	1	
<i>Silene gallica</i>	Common catchfly		
<i>Scrophularia californica</i>	California figwort	1	
<i>Solanum xanti</i>	Purple nightshade	1	
<i>Toxicodendron diversilobum</i>	Poison oak	1	

<b>Species Observed</b>			
<b>Scientific Name (Species or Genus)</b>	<b>Common Name</b>	<b>Native (1)</b>	<b>Notes (2)</b>
<b>Monocots</b>			
<i>Bromus diandrus</i>	ripgut brome		
<i>Bromus hordeaceus</i>	soft chess		
<i>Bromus madritensis</i> ssp. <i>rubens</i>	red brome		
<i>Elymus condensatus</i>	giant wildrye	1	
<i>Festuca</i> sp.	Fescue	1	
<i>Hesperoyucca whipplei</i> ( <i>Yucca whipplei intermedia</i> )	Whipple's yucca	1	
<i>Melica imperfecta</i>	coast melic grass	1	
<i>Schismus barbatus</i>	Mediterranean grass		
<i>Stipa miliacea</i>	Smilo grass		
<i>Stipa lepidia</i>	Foothill needlegrass	1	
<b>ANIMALS</b>			
<b>Reptiles</b>			
<i>Sceloporus occidentalis</i>	Western fence lizard		
<b>Birds</b>			
<i>Accipiter cooperi</i>	Cooper's hawk		
<i>Aphelocoma californica</i>	western scrub-jay		
<i>Ardea Herodias</i>	Great blue heron		
<i>Buteo jamaicensis</i>	red-tailed hawk		
<i>Callipepla californica</i>	California quail		
<i>Cathartes aura</i>	turkey vulture		
<i>Colaptes auratus</i>	northern flicker		
<i>Haemorhous mexicanus</i> ( <i>Carpodacus mexicanus</i> )	house finch		
<i>Melospiza crissalis</i>	California towhee		
<i>Passer domesticus</i>	House sparrow		
<i>Psaltriparus minimus</i>	bushtit		
<i>Spinus psaltria</i> ( <i>Carduelis tristis</i> )	lesser goldfinch		
<i>Tyrannus verticalis</i>	western kingbird		
<i>Tyrannus vociferans</i>	Cassin's kingbird		
<i>Zenaidura macroura</i>	Mourning dove		
<i>Zonotrichia leucophrys</i>	White-crowned sparrow		
<b>Mammals</b>			
<i>Canis latrans</i>	coyote		
<i>Lepus</i> sp.	jackrabbit		
<i>Lynx rufus</i>	bobcat		*identified by scat
<i>Odocoileus hemionus</i>	mule deer		
<i>Spermophilus beecheyi</i>	California ground squirrel		

#### Explanation of Table Fields:

1) Native:

Indicate if species is native or not.

2) Notes:

Any unusual or unique occurrences should be noted. If vouchers were taken, provide the collection number here. Provide any other comments deemed appropriate, for instance, whether the species was heard or seen, or other evidence of the species was observed.

3) Bold:

Species in Bold letters are special-status species. See the Special Status Species summary in Section 3.2 for details.

## **ATTACHMENT A**

**List of California Natural Diversity Database (CNDDDB)-tracked species for  
7.5' USGS Thousand Oaks quadrangle and surrounding quadrangles.**



# Summary Table Report

## California Department of Fish and Wildlife

### California Natural Diversity Database



**Query Criteria:** Quad< IS > (Newbury Park (3411828)< OR > Thousand Oaks (3411827)< OR > Triunfo Pass (3411818)< OR > Moorpark (3411838)< OR > Camarillo (3411921))

Name (Scientific/Common)	CNDDB Ranks	Listing Status (Fed/State)	Other Lists	Elev. Range (ft.)	Total EO's	Element Occ. Ranks						Population Status		Presence		
						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Agelaius tricolor</i> tricolored blackbird	G1G2 S1S2	None Threatened	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_EN-Endangered NABCI_RWL-Red Watch List USFWS_BCC-Birds of Conservation Concern	965 965	955 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Aimophila ruficeps canescens</i> southern California rufous-crowned sparrow	G5T3 S3	None None	CDFW_WL-Watch List	920 1,400	235 S:2	0	0	2	0	0	0	1	1	2	0	0
<i>Anniella spp.</i> California legless lizard	G3G4 S3S4	None None	CDFW_SSC-Species of Special Concern	133 1,115	119 S:8	1	2	2	3	0	0	2	6	8	0	0
<i>Anniella stebbinsi</i> Southern California legless lizard	G3 S3	None None	CDFW_SSC-Species of Special Concern USFS_S-Sensitive	67 2,305	417 S:4	0	1	1	0	0	2	2	2	4	0	0
<i>Antrozous pallidus</i> pallid bat	G4 S3	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern USFS_S-Sensitive WBWG_H-High Priority	2,050 2,050	420 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Aquila chrysaetos</i> golden eagle	G5 S3	None None	BLM_S-Sensitive CDF_S-Sensitive CDFW_FP-Fully Protected CDFW_WL-Watch List IUCN_LC-Least Concern USFWS_BCC-Birds of Conservation Concern	1,300 2,700	323 S:3	0	0	0	0	0	3	3	0	3	0	0
<i>Arizona elegans occidentalis</i> California glossy snake	G5T2 S2	None None	CDFW_SSC-Species of Special Concern	901 901	260 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Aspidoscelis tigris stejnegeri</i> coastal whiptail	G5T5 S3	None None	CDFW_SSC-Species of Special Concern	1,100 1,369	148 S:3	0	2	1	0	0	0	2	1	3	0	0



# Summary Table Report

## California Department of Fish and Wildlife

### California Natural Diversity Database



Name (Scientific/Common)	CNDDB Ranks	Listing Status (Fed/State)	Other Lists	Elev. Range (ft.)	Total EO's	Element Occ. Ranks						Population Status		Presence		
						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Astragalus brauntonii</i> Braunton's milk-vetch	G2 S2	Endangered None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_SBBG-Santa Barbara Botanic Garden	266 2,100	57 S:21	0	2	6	3	0	10	2	19	21	0	0
<i>Athene cunicularia</i> burrowing owl	G4 S3	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern USFWS_BCC-Birds of Conservation Concern	12 83	2011 S:7	0	1	3	1	0	2	0	7	7	0	0
<i>Baccharis malibuensis</i> Malibu baccharis	G1 S1	None None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	1,617 1,617	13 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Bombus crotchii</i> Crotch bumble bee	G3G4 S1S2	None Candidate Endangered		11 2,198	437 S:8	0	0	0	0	0	8	1	7	8	0	0
<i>Calochortus clavatus var. gracilis</i> slender mariposa-lily	G4T2T3 S2S3	None None	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden USFS_S-Sensitive	325 1,210	143 S:2	0	0	0	0	0	2	0	2	2	0	0
<i>Calochortus plummerae</i> Plummer's mariposa-lily	G4 S4	None None	Rare Plant Rank - 4.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	300 2,080	230 S:9	0	1	2	0	0	6	5	4	9	0	0
<i>Catostomus santaanae</i> Santa Ana sucker	G1 S1	Threatened None	AFS_TH-Threatened IUCN_VU-Vulnerable	650 650	28 S:1	0	1	0	0	0	0	0	1	1	0	0



# Summary Table Report

## California Department of Fish and Wildlife

### California Natural Diversity Database



Name (Scientific/Common)	CNDDB Ranks	Listing Status (Fed/State)	Other Lists	Elev. Range (ft.)	Total EO's	Element Occ. Ranks						Population Status		Presence		
						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Centromadia parryi ssp. australis</i> southern tarplant	G3T2 S2	None None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_CRES-San Diego Zoo CRES Native Gene Seed Bank SB_SBBG-Santa Barbara Botanic Garden	638 638	94 S:1	0	0	1	0	0	0	0	1	1	0	0
<i>Chaenactis glabriuscula var. orcuttiana</i> Orcutt's pincushion	G5T1T2 S1	None None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_CRES-San Diego Zoo CRES Native Gene Seed Bank		36 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Coccyzus americanus occidentalis</i> western yellow-billed cuckoo	G5T2T3 S1	Threatened Endangered	BLM_S-Sensitive NABCI_RWL-Red Watch List USFS_S-Sensitive USFWS_BCC-Birds of Conservation Concern	306 306	165 S:1	0	1	0	0	0	0	0	1	1	0	0
<i>Coelus globosus</i> globose dune beetle	G1G2 S1S2	None None	IUCN_VU-Vulnerable	53 53	50 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Danaus plexippus pop. 1</i> monarch - California overwintering population	G4T2T3 S2S3	None None	USFS_S-Sensitive	25 100	383 S:3	0	1	1	0	1	0	1	2	2	1	0
<i>Deinandra minthornii</i> Santa Susana tarplant	G2 S2	None Rare	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	1,100 2,000	35 S:11	4	2	0	0	0	5	5	6	11	0	0
<i>Delphinium parryi ssp. blochmaniae</i> dune larkspur	G4T2 S2	None None	Rare Plant Rank - 1B.2	1,000 1,000	27 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Diadophis punctatus modestus</i> San Bernardino ringneck snake	G5T2T3 S2?	None None	USFS_S-Sensitive	711 711	14 S:1	0	1	0	0	0	0	0	1	1	0	0



# Summary Table Report

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### California Natural Diversity Database



Name (Scientific/Common)	CNDDB Ranks	Listing Status (Fed/State)	Other Lists	Elev. Range (ft.)	Total EO's	Element Occ. Ranks						Population Status		Presence		
						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Dudleya blochmaniae ssp. blochmaniae</i> Blochman's dudleya	G3T2 S2	None None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	82 950	81 S:9	0	2	0	0	0	7	2	7	9	0	0
<i>Dudleya cymosa ssp. agourensis</i> Agoura Hills dudleya	G5T1 S1	Threatened None	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	860 1,500	8 S:8	2	3	0	0	0	3	3	5	8	0	0
<i>Dudleya cymosa ssp. marcescens</i> marcescent dudleya	G5T2 S2	Threatened Rare	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	825 2,200	14 S:7	1	5	0	0	0	1	2	5	7	0	0
<i>Dudleya cymosa ssp. ovatifolia</i> Santa Monica dudleya	G5T1 S1	Threatened None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	1,100 1,100	3 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Dudleya parva</i> Conejo dudleya	G1 S1	Threatened None	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	300 1,000	13 S:11	2	5	3	0	0	1	2	9	11	0	0
<i>Dudleya verityi</i> Verity's dudleya	G1 S1	Threatened None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	200 1,100	8 S:8	0	0	0	0	0	8	1	7	8	0	0
<i>Elanus leucurus</i> white-tailed kite	G5 S3S4	None None	BLM_S-Sensitive CDFW_FP-Fully Protected IUCN_LC-Least Concern	42 42	180 S:1	0	0	1	0	0	0	0	1	1	0	0
<i>Empidonax traillii extimus</i> southwestern willow flycatcher	G5T2 S1	Endangered Endangered	NABCI_RWL-Red Watch List	305 305	70 S:1	1	0	0	0	0	0	0	1	1	0	0
<i>Emys marmorata</i> western pond turtle	G3G4 S3	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_VU-Vulnerable USFS_S-Sensitive	55 955	1398 S:8	0	4	1	1	2	0	5	3	6	2	0



# Summary Table Report

## California Department of Fish and Wildlife

### California Natural Diversity Database



Name (Scientific/Common)	CNDDB Ranks	Listing Status (Fed/State)	Other Lists	Elev. Range (ft.)	Total EO's	Element Occ. Ranks						Population Status		Presence		
						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Eremophila alpestris actia</i> California horned lark	G5T4Q S4	None None	CDFW_WL-Watch List IUCN_LC-Least Concern	55 55	94 S:1	0	0	0	1	0	0	0	1	1	0	0
<i>Eriogonum crocatum</i> conejo buckwheat	G1 S1	None Rare	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	300 1,900	13 S:13	1	7	1	0	0	4	6	7	13	0	0
<i>Eumops perotis californicus</i> western mastiff bat	G4G5T4 S3S4	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern WBWG_H-High Priority	2,050 2,050	296 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Gasterosteus aculeatus williamsoni</i> unarmored threespine stickleback	G5T1 S1	Endangered Endangered	AFS_EN-Endangered CDFW_FP-Fully Protected	950 950	16 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Gila orcuttii</i> arroyo chub	G2 S2	None None	AFS_VU-Vulnerable CDFW_SSC-Species of Special Concern USFS_S-Sensitive	15 300	49 S:4	0	4	0	0	0	0	4	0	4	0	0
<i>Horkelia cuneata var. puberula</i> mesa horkelia	G4T1 S1	None None	Rare Plant Rank - 1B.1 USFS_S-Sensitive	1,165 1,165	103 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Lupinus paynei</i> Payne's bush lupine	G1Q S1	None None	Rare Plant Rank - 1B.1	1,100 1,100	7 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Monardella hypoleuca ssp. hypoleuca</i> white-veined monardella	G4T3 S3	None None	Rare Plant Rank - 1B.3		29 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Monardella sinuata ssp. gerryi</i> Gerry's curly-leaved monardella	G3T1 S1	None None	Rare Plant Rank - 1B.1	600 700	3 S:3	0	0	0	0	2	1	2	1	1	2	0
<i>Myotis ciliolabrum</i> western small-footed myotis	G5 S3	None None	BLM_S-Sensitive IUCN_LC-Least Concern WBWG_M-Medium Priority	2,050 2,050	82 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Navarretia ojaiensis</i> Ojai navarretia	G2 S2	None None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden USFS_S-Sensitive	700 1,590	22 S:5	0	0	1	0	1	3	1	4	4	0	1





## Summary Table Report

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						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Neotoma lepida intermedia</i> San Diego desert woodrat	G5T3T4 S3S4	None None	CDFW_SSC-Species of Special Concern	450 1,443	132 S:2	0	1	1	0	0	0	1	1	2	0	0
<i>Nolina cismontana</i> chaparral nolina	G3 S3	None None	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_SBBG-Santa Barbara Botanic Garden USFS_S-Sensitive	1,200 1,600	68 S:6	0	3	1	0	0	2	1	5	6	0	0
<i>Oncorhynchus mykiss irideus pop. 10</i> steelhead - southern California DPS	G5T1Q S1	Endangered None	AFS_EN-Endangered	112 400	20 S:2	0	0	0	1	0	1	1	1	2	0	0
<i>Orcuttia californica</i> California Orcutt grass	G1 S1	Endangered Endangered	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_CRES-San Diego Zoo CRES Native Gene Seed Bank		37 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Pentachaeta lyonii</i> Lyon's pentachaeta	G1 S1	Endangered Endangered	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	280 1,312	45 S:22	2	14	3	0	1	2	13	9	21	1	0
<i>Phrynosoma blainvillii</i> coast horned lizard	G3G4 S3S4	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern	400 500	784 S:2	0	1	1	0	0	0	0	2	2	0	0
<i>Polioptila californica californica</i> coastal California gnatcatcher	G4G5T3Q S2	Threatened None	CDFW_SSC-Species of Special Concern NABCI_YWL-Yellow Watch List	40 1,556	915 S:16	1	7	7	0	0	1	0	16	16	0	0
<i>Pseudognaphalium leucocephalum</i> white rabbit-tobacco	G4 S2	None None	Rare Plant Rank - 2B.2	60 60	62 S:1	0	0	0	0	0	1	1	0	1	0	0



# Summary Table Report

## California Department of Fish and Wildlife

### California Natural Diversity Database



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						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Quercus dumosa</i> Nuttall's scrub oak	G3 S3	None None	Rare Plant Rank - 1B.1 BLM_S-Sensitive SB_CRES-San Diego Zoo CRES Native Gene Seed Bank USFS_S-Sensitive	865 1,550	180 S:2	0	0	1	0	0	1	1	1	2	0	0
<i>Riparia riparia</i> bank swallow	G5 S2	None Threatened	BLM_S-Sensitive IUCN_LC-Least Concern	380 1,000	298 S:2	0	0	0	0	2	0	2	0	0	0	2
<i>Senecio aphanactis</i> chaparral ragwort	G3 S2	None None	Rare Plant Rank - 2B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_CRES-San Diego Zoo CRES Native Gene Seed Bank	700 1,200	98 S:7	0	0	0	0	0	7	5	2	7	0	0
<i>Southern Coast Live Oak Riparian Forest</i> Southern Coast Live Oak Riparian Forest	G4 S4	None None		300 1,200	246 S:11	0	0	0	0	0	11	11	0	11	0	0
<i>Southern Riparian Forest</i> Southern Riparian Forest	G4 S4	None None		280 280	20 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Southern Riparian Scrub</i> Southern Riparian Scrub	G3 S3.2	None None		300 1,300	56 S:4	0	0	0	0	0	4	4	0	4	0	0
<i>Southern Sycamore Alder Riparian Woodland</i> Southern Sycamore Alder Riparian Woodland	G4 S4	None None		200 1,100	230 S:10	0	0	0	0	1	9	10	0	9	1	0
<i>Southern Willow Scrub</i> Southern Willow Scrub	G3 S2.1	None None		425 425	45 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Spea hammondi</i> western spadefoot	G3 S3	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_NT-Near Threatened	1,500 1,500	1409 S:1	1	0	0	0	0	0	0	1	1	0	0
<i>Taxidea taxus</i> American badger	G5 S3	None None	CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern	123 646	594 S:2	0	0	1	1	0	0	0	2	2	0	0



## Summary Table Report

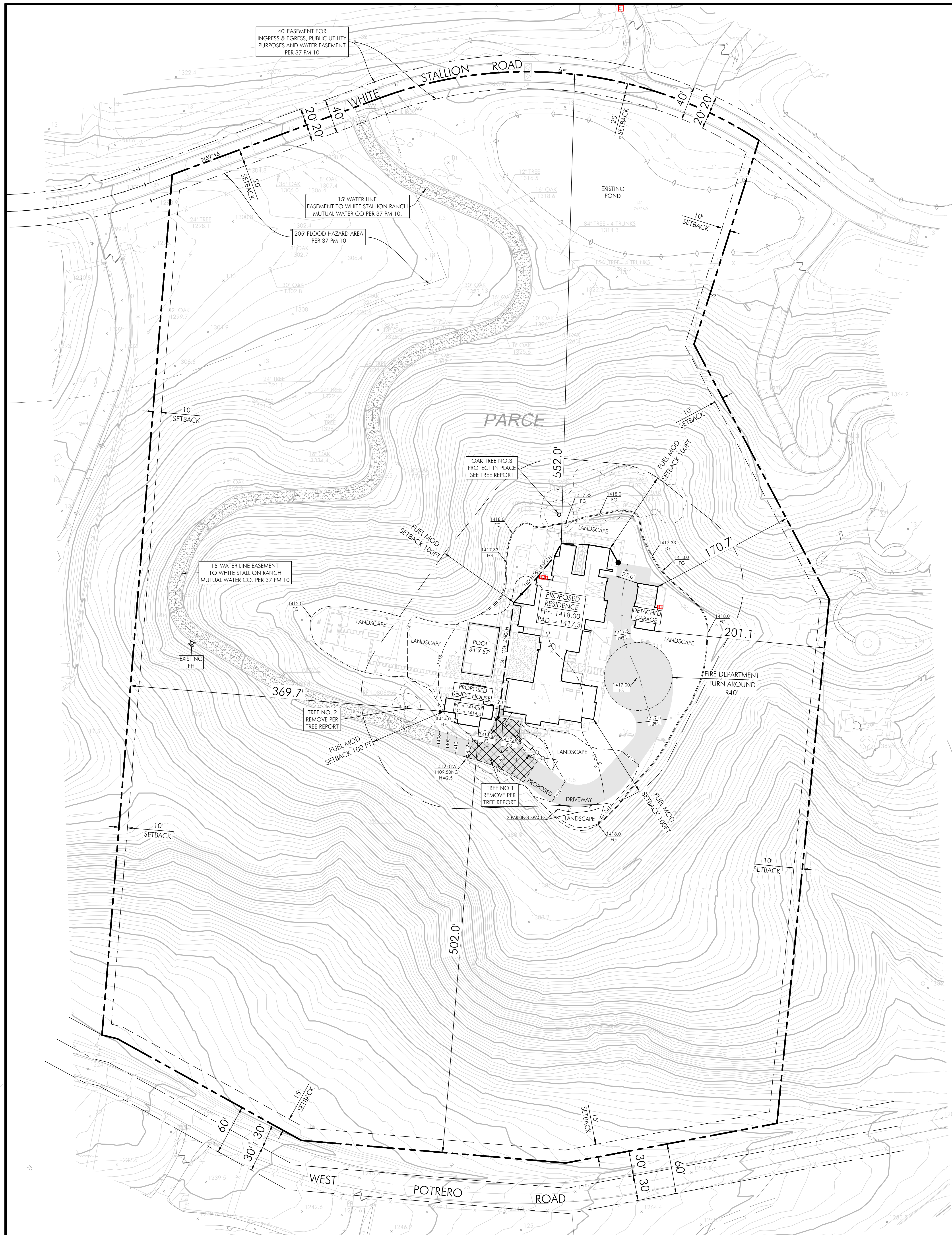
### California Department of Fish and Wildlife California Natural Diversity Database



Name (Scientific/Common)	CNDDB Ranks	Listing Status (Fed/State)	Other Lists	Elev. Range (ft.)	Total EO's	Element Occ. Ranks						Population Status		Presence		
						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Texosporium sancti-jacobi</i> woven-spored lichen	G3 S2	None None	Rare Plant Rank - 3	347 347	19 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Thamnophis hammondi</i> two-striped gartersnake	G4 S3S4	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern USFS_S-Sensitive	17 1,032	184 S:5	1	1	3	0	0	0	2	3	5	0	0
<i>Thelypteris puberula var. sonorensis</i> Sonoran maiden fern	G5T3 S2	None None	Rare Plant Rank - 2B.2 USFS_S-Sensitive	450 1,200	27 S:2	0	0	0	0	0	2	2	0	2	0	0
<i>Tortula californica</i> California screw moss	G2G3 S2?	None None	Rare Plant Rank - 1B.2 BLM_S-Sensitive	2,200 2,200	15 S:2	0	0	0	0	0	2	0	2	2	0	0
<i>Trimerotropis occidentiloides</i> Santa Monica grasshopper	G1G2 S1S2	None None	IUCN_EN-Endangered	360 1,640	4 S:3	0	0	0	0	0	3	3	0	3	0	0
<i>Valley Needlegrass Grassland</i> Valley Needlegrass Grassland	G3 S3.1	None None		940 940	45 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Valley Oak Woodland</i> Valley Oak Woodland	G3 S2.1	None None		220 1,240	91 S:9	0	0	0	0	3	6	9	0	6	0	3
<i>Vireo bellii pusillus</i> least Bell's vireo	G5T2 S2	Endangered Endangered	IUCN_NT-Near Threatened NABCI_YWL-Yellow Watch List	25 788	503 S:9	1	4	3	0	0	1	0	9	9	0	0

# **ATTACHMENT B**

## **Site Plan**



**LEGEND:**

- PROPERTY LINE
- CENTER LINE
- FLOW LINE
- FUEL MOD LINE
- SETBACKS
- C/F CUT/FILL LINE
- DL DAYLIGHT
- F.F. FINISHED FLOOR
- F.G. FINISHED GROUND

**PROJECT STATISTICS:**

PARCEL SIZE: 20.79 ACRES (905,720.9 SQ.FT.)  
 ZONING: OS-20  
 GROSS AREA: 20.79 ACRES (905,725 SQ.FT.)  
 NET AREA: 19.15 ACRES (835,673.8 SQ.FT.)

**PROPERTY SETBACKS:**

FRONT YARD: 20'  
 SIDE YARD: 10'  
 REAR YARD: 15'

**BENCH MARK:**

VCIPD 1343  
 22-274 RM 1  
 EL = 376.313 METERS (NAVD 88)  
 1234.62 FEET  
 0.3 MILE WESTERLY ALONG POTRERO ROAD FROM ITS INTERSECTION WITH HIDDEN VALLEY ROAD, 50.0 FEET NORTHERLY FROM THE CENTER OF POTRERO ROAD, 6.0 FEET NORTHERLY FROM A CONCRETE DROP INLET AND IN THE EASTERLY CURB OF THE ENTRANCE TO WHITE STALLION RANCH.



VICINITY MAP  
N.T.S.

**20-1701 - 2551 WHITE STALLION STRUCTURE AND PROPERTY STATISTICS**

STRUCTURE TYPE	EXISTING/ PROPOSED	DESCRIPTION (§18-05-04)	GROSS AREA (SQ.FT.)	BUILDING COVERAGE (SQ.FT.)	TOTAL GROSS FLOOR AREA (SQ.FT.)	TOTAL NET BUILDING COVERAGE (%)	REQUIRED PARKING	PROPOSED PARKING
MAIN HOUSE	PROPOSED	DWELLING	15,784	17,726	21,334	2.4	4	8
POOL HOUSE	PROPOSED	DWELLING/ ACCESSORY STRUCTURE	1,799	2,161	21,334	2.4	1	8
DETACHED GARAGE	PROPOSED	GARAGE	1,272	1,446	21,334	2.4	N/A	N/A

**20-1701 - 2551 WHITE STALLION IMPERVIOUS SURFACES**

PROPOSED IMPERVIOUS SURFACE TYPE	IMPERVIOUS AREA (SQ.FT.)
STRUCTURES-ROOF TOPS	21,334
HARDSCAPE: DRIVEWAYS, SIDEWALKS, & STEPPING STONES	6,413

**20-1701 - 2551 WHITE STALLION PERVIOUS SURFACES**

PROPOSED PERVIOUS SURFACE TYPE	IMPERVIOUS AREA (SQ.FT.)
LANDSCAPE	44,729

# DISCRETIONARY LAND USE ENTITLEMENT PLAN SINGLE FAMILY RESIDENCE

2551 WHITE STALLION ROAD  
THOUSAND OAKS, CALIFORNIA

A.P.N.: 668-0-080-140 & 668-0-080-150

PARCEL 9, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON THE MAP FILED FEBRUARY 18, 1983, IN BOOK 37, PAGES 10, 11, 12 AND 13, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

February 12, 2021

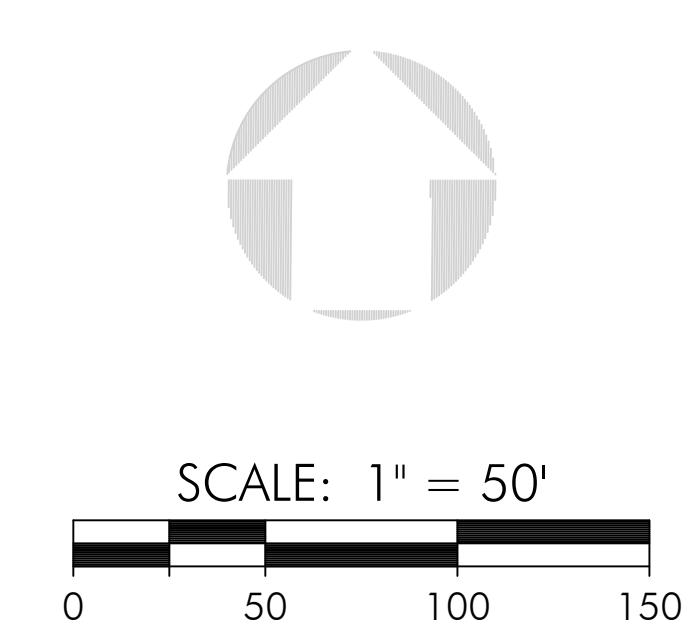
**DEVELOPER:**  
ALLIED PROPERTY GROUP LLC  
1411 WINDSOR DRIVE  
THOUSAND OAKS, CA 91360  
(805) 760-4522

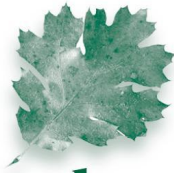
**ARCHITECT:**  
GREYSON TERRIO, PE  
22647 VENTURA BLVD. #362  
WOODLANDS HILLS, CA  
(805) 469-4883  
GREYSON@CREATIONINC.COM

**PREPARED BY:**

**PACIFIC COAST CIVIL, INC.**  
30141 AGOURA ROAD, SUITE 200  
AGOURA HILLS, CA 91301  
PH: (818) 865-4168  
FAX: (818) 865-4198

**LANDSCAPE DESIGN:**  
JOANNE PERRIN  
2393 TELLER ROAD  
NEWBURY PARK, CA  
(805) 795-7995  
JJPERRIN@VERIZON.NET.COM





**Bill Spiewak**

CONSULTING ARBORIST

Registered Consulting Arborist #381 • American Society of Consulting Arborists

## **TREE ASSESSMENT AND PROTECTION PLAN**

**Job Location: 2551 White Stallion Rd., Thousand Oaks, CA**

*Prepared for:*

Nick Jones

2551 White Stallion Rd.

Thousand Oaks, CA 91361

nickjonesconstruction@yahoo.com

February 7, 2021,

### **SUMMARY**

The owner of the subject property is proposing to build a residence on an approximate two acre pad at the top of his parcel. There are three trees that may qualify for protection as per the County of Ventura Tree Protection Ordinance. These include an oak and two Italian Stone Pines. However, it is not completely clear if the pines qualify for protection due to their less than 60' height and their high susceptibility to flammability in a high fire zone in the foothills of the Santa Monica Mountains.

The two pines will be removed for the project, one of which is in poor condition from previous pruning adjacent high voltage lines. The oak is actually down-slope from construction but close enough to require assessment and protection.

As per the County of Ventura, I appraised the value of the three trees based on guidelines and formulas in the Tenth Addition of the *Guide For Plant Appraisal* authored by the Council of Tree and Landscape Appraisers. However, it is not certain the pines warrant appraisal due to their less than 60 foot height and their high flammability.

In order to avoid impacts to the oak and adjacent downslope trees, a fence will need to be erected at the top edge off the building pad as depicted on the site plan.

The Table of Contents on the next page illustrates the organization of this report.

County of Ventura  
Mitigated Negative Declaration  
PL21-0020  
Attachment 6 - Arborist Report

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<b>PHOTOS</b>	<b>8</b>

## BACKGROUND AND ASSIGNMENT

The owner of the subject property is proposing to build a house at the top of his lot. I was retained to inspect the lot and any trees that may be in conflict with the development as per the County of Ventura. I was also asked to prepare a report with my findings and recommendations. I was on the site during February 3, 2021 to perform my field work.

## SCOPE OF PROJECT

In order to complete my assignment, the following tasks were required:

- Visit the property and identify native and heritage trees as per the County of Ventura's Tree Protection Ordinance.
- Update the site plan with pertinent information.
- Appraise the value of trees to be removed and those with critical root zones within 20 feet of the proposed construction.
- Prepare this report.

My assessment, appraisal, and report follows protocol in the most recent publications:

- *The International Society of Arboriculture's Best Management Practices-Managing Trees During Construction.*
- *American National Standards Institute (ANSI) A300 Part 5-Management of Trees and Shrubs During Site Planning, Development, and Construction*
- Tenth Addition of the *Guide For Plant Appraisal* authored by the Council of Tree and Landscape Appraisers, published by the International Society of Arboriculture, 2018.

## OBSERVATIONS

1. The entire property is approximately twenty acres and is in the northern foothills of the Santa Monica Mountains.
2. There is an improved winding driveway (new asphalt with concrete curbs) that leads up to the flat building pad at the top of the parcel.
3. The pad is approximately two acres.
4. Upon entrance at the west end of the building pad, top of the driveway, there are two Italian Stone Pines (*Pinus pinea*). Due to their trunk diameters, these pines are considered to be heritage trees and will be identified as #1 and #2 on the spreadsheet and corresponding site plan.
5. Pine #2 is adjacent high voltage utility wires and has been severely pruned on its northwestern side to direct growth away from the wires. This has resulted in an unbalanced canopy that will never recover due to its anatomy and physiology.
6. Also note that both pines are highly flammable and are growing in a high fire zone (as per Cal Fire).
7. At the north end of the building pad where the terrain descends down-slope, is a group of California Live Oak trees (*Quercus agrifolia*). The trunk of the closest oak to the building pad is approximately 21' downslope from the edge of the pad and will be identified as #3. The other oaks are further away.
8. One Aleppo pine (*Pinus halepensis*), is close to the proposed building but the tree is 14" in diameter and does not qualify for protection. However, as a fire susceptible tree species, it does pose potential fire risks.
9. The proposed project will warrant the removal of the two Stone Pines and will not encroach into the critical root zone of the oak.



**Tree Inventory**

#	Type	DBH	Girth	Height	Condition	Comment	Potential Project Impact
1	Stone pine	32"	100"	25'	3-fair	Codominant limbs at 4' but typical of species, interior deadwood, high fire prone tree	Remove
2	Stone pine	45"	141"	40'	2-poor	One sided from high voltage side pruning, interior deadwood, codominant trunks with severe included bark	Remove
3	Ca Live Oak	11/8/8 /7/9	135"	15'	3-fair	Infested with twig girdler, typical of unmanaged tree on slope, trunk is 21' from top of slope, out of work zone	Protect

**DISCUSSION**

In order to comply with the Ventura County Tree Protection Ordinance, the value of the trees was appraised. Due to the flammability of the pines, and confusing policies about heritage tree girth versus height over 60', it is unlikely that removal of pines will trigger the requirement for mitigation. However, in order to be proactive, values were established for the two pines and the oak.

## TREE APPRAISAL

My appraisal is based on guidelines and formulas in the Tenth Addition of the *Guide For Plant Appraisal* authored by the Council of Tree and Landscape Appraisers, published by the International Society of Arboriculture, 2018. The *Trunk Formula Technique* was utilized to value these trees.

The *Trunk Formula Technique* employs formulas based on tree species and size, rate of growth, health, structure, and form, its functional limitations and interactions in the specific site in which it was growing, and possible external limitations such as laws or CC&Rs regarding the species, water restrictions, etcetera.

Trunk area x cost/sq" = basic cost x condition x functional limitations x external limitations = appraised cost, which is then rounded to the nearest \$100.  
(note that basic cost is depreciated by the previous plant condition, functional &

### Tree Appraisal Worksheet

#	Type	DBH	Girth	Height	Condition	Comment	Potential Project Impact	DBH Equivalent for Multi-trunks	Trunk area sq"	Group #	Cost per sq"	TFT-Basic Cost	AVERAGE Condition Rating-%	Functional Limitation Rating %	External factors	Appraised Value	Rounded to nearest \$100
1	Stone pine	32"	100"	25'	3-fair	Codominant limbs at 4' but typical of species, interior deadwood, high fire prone tree	Remove	32	804	3	62	\$49,838	70%	30%	10%	\$1,047	\$ 1,000
2	Stone pine	45"	141"	40'	2-poor	One sided from high voltage side pruning, interior deadwood, codominant trunks with severe included bark	Remove	45	1590	1	45	\$71,533	20%	10%	none	\$1,431	\$ 1,400
3	Ca Live Oak	11/8/8 /7/9	135"	15'	3-fair	Infested with twig girdler, typical of unmanaged tree on slope, trunk is 21' from top of slope, out of work zone	Protect	19	283	1	45	\$12,752	70%	90%	none	\$8,034	\$ 8,000

## CONCLUSIONS & TREE PROTECTION MEASURE

- No oak trees or native trees will be effected by this project provided a fence is installed as depicted in the site plan to prevent debris or spoils from being placed on the slope below the building pad in the tree protection zone.**
- The two pines, that may qualify as heritage trees, will be removed for the project.
- However, due to ambiguous statements in the Ventura County Tree Protection Ordinance, the pines may not qualify to be protected due to their less than 60' height. The pines are also considered to be highly flammable and may be recommended for removal by CAL FIRE.
- Tree values provide a basis for tree replacement if trees are removed or significantly compacted. If the oak tree is removed or damaged, a quantity of new oak trees must be replanted with trunk diameters that equal the total diameters of the removed or damaged trees. Replacement trees must be at least in 24" box sizes are larger.
- If pines need to be replaced, new non-natives (or other) must be planted that equal the total appraised value of removed trees and not be smaller than 24"box size.
- The appraised value of the oak tree is \$8,000.
- The appraised value of the two pines is \$2,400.

## ARBORIST'S DISCLOSURE AND CERTIFICATION OF PERFORMANCE

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

Treatment, pruning and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees.

I Bill Spiewak, certify:

That I have personally inspected the trees on the property referred to in this report and have stated my findings accurately.

The analysis, opinions and conclusions stated herein are my own and are based on current scientific procedures and commonly accepted arboricultural practices.

Signed:

Bill Spiewak

Bill Spiewak  
Registered Consulting Arborist #381  
American Society of Consulting Arborists  
Qualified Tree and Plant Appraiser

Board Certified Master Arborist #310B  
International Society of Arboriculture  
Qualified Tree Risk Assessor



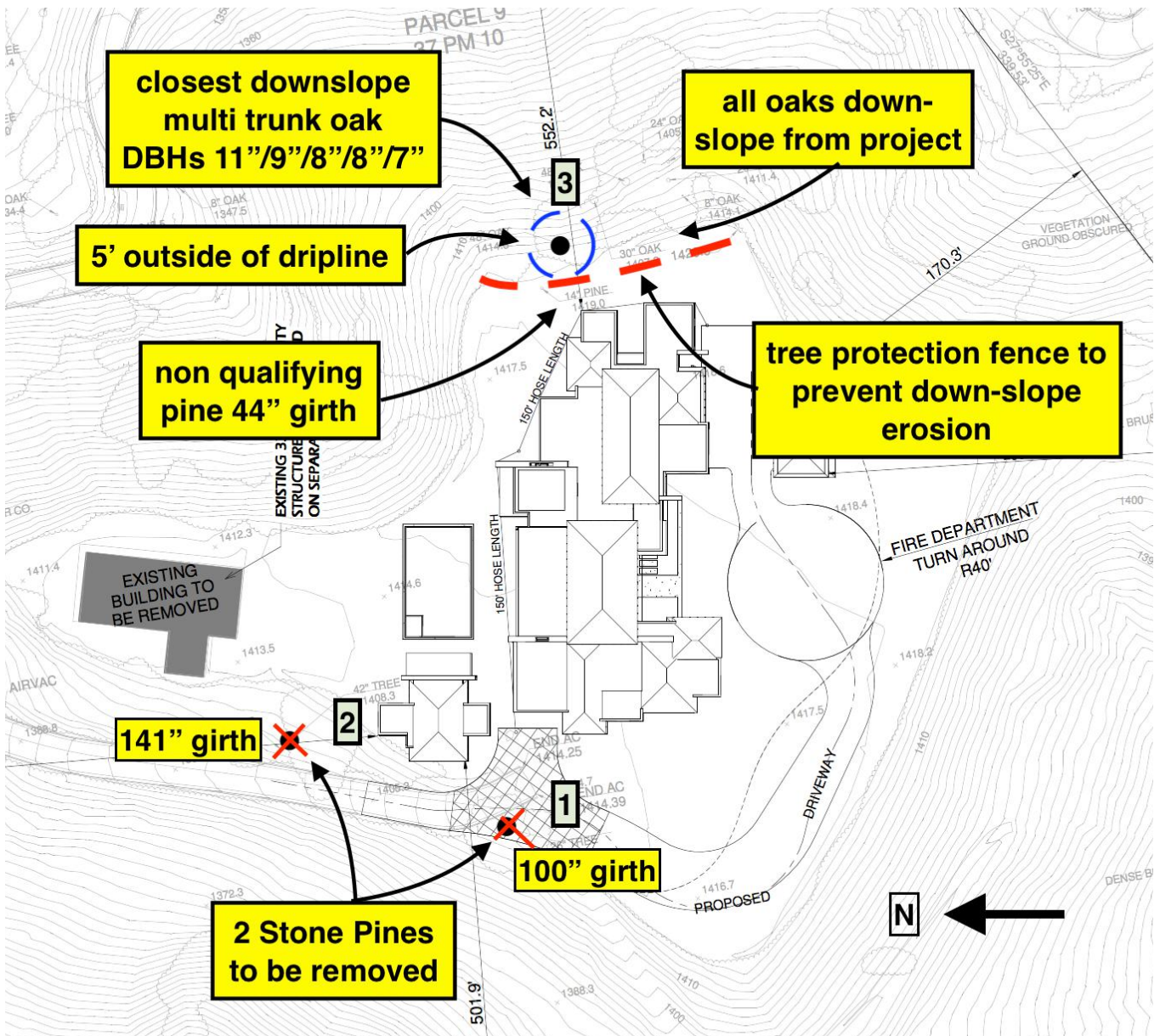
### REFERENCES

- ANSI (American National Standards Institute) A300: Part 5 - Management of Tree and Shrubs During Site Planning, Site development, and Construction, 2012
- Best Management Practices: Managing Trees During Construction, Second Edition, International Society of Arboriculture, Champaign, Illinois, 2016.
- Harris, R. W., and Matheny, N. P., and Clark, J. R., 2004. *Arboriculture: Integrated Management of Landscape Trees, Shrubs, and Vines*, Fourth Edition. Prentice Hall.
- Matheny and Clark, *Trees and Development; A Technical guide To Preservation of Trees During Land Development*, ISA, 1998.

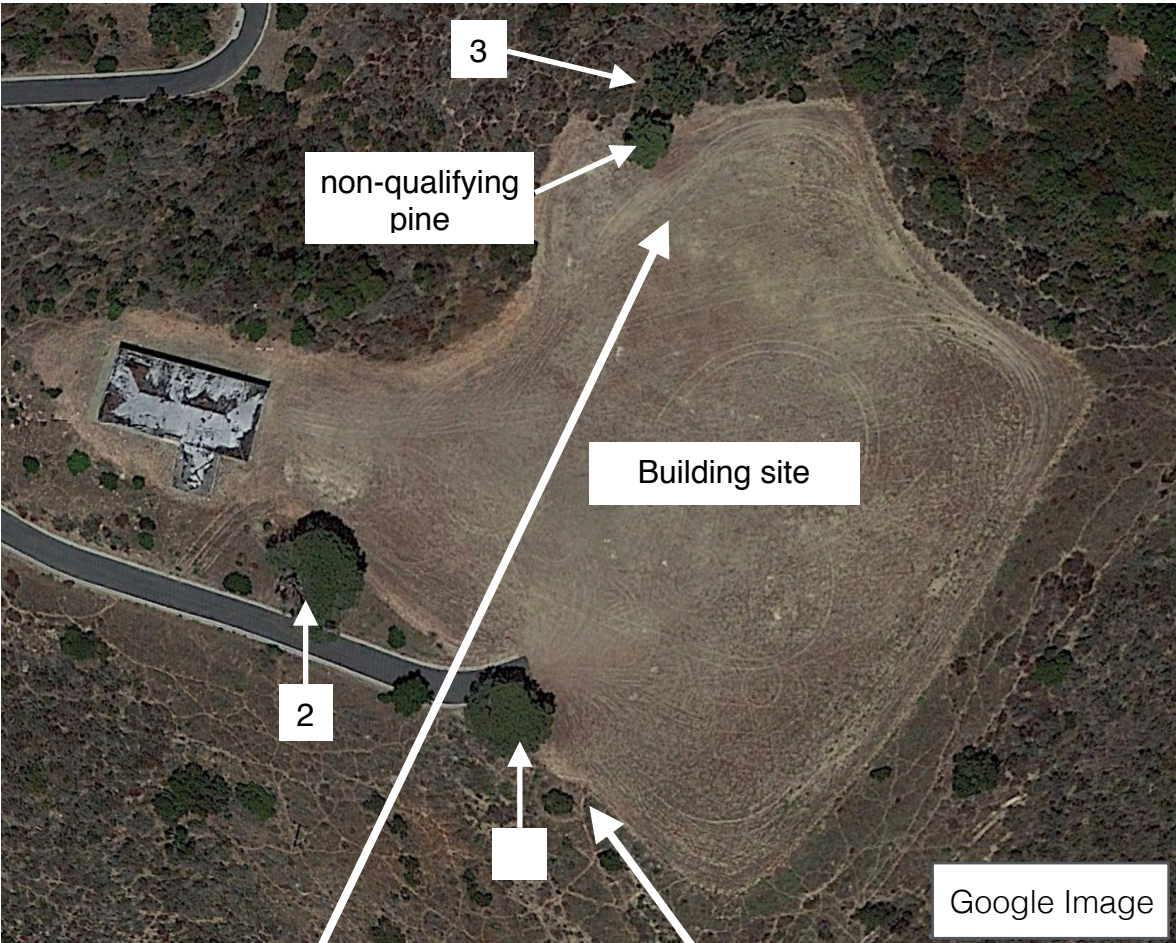
### Publications on Appraisal

- Council of Tree and Landscape Appraisers, *Guide for Plant Appraisal, Tenth Edition*, Campaign, Illinois, International Society of Arboriculture, 2018.
- Western Chapter International Society of Arboriculture, *Species Classification and Group Assignment Manual*. WCISA, Sacramento, California, 2004.

### SITE PLAN



PHOTOS



#1 Pine looking north



#1 Pine looking southeast



#1 Pine looking east at trunk with codominant stems



#1 Pine looking south



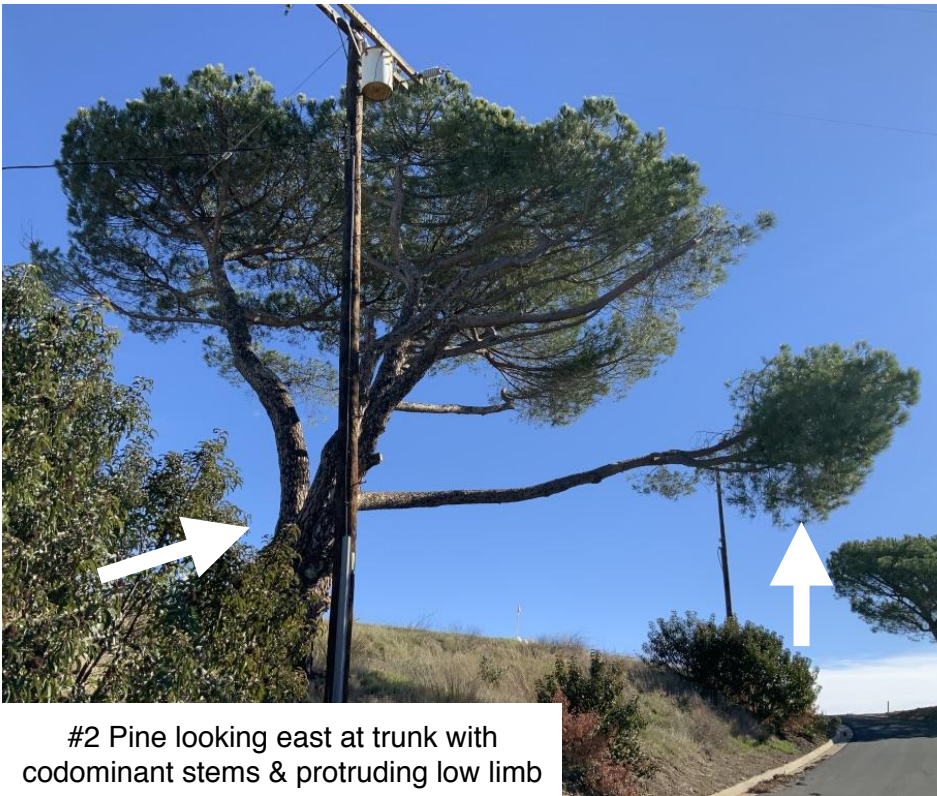
#1 Pine looking north at trunk with codominant stems



#2 Pine looking north at side trimmed & unbalanced tree



#2 Pine looking south at side trimmed tree & unbalanced tree



#2 Pine looking east at trunk with codominant stems & protruding low limb



#2 Pine looking west



oak cluster to north, downslope from top of pad



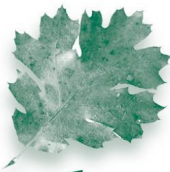
#3 oak-looking north and downslope from top of pad







oak cluster downslope-looking east at unmanaged trees, arrow points to #3



**Bill Spiewak**

CONSULTING ARBORIST

Registered Consulting Arborist #381 • American Society of Consulting Arborists

## **ADDENDUM TO: TREE ASSESSMENT AND PROTECTION PLAN**

**Job Location: 2551 White Stallion Rd., Thousand Oaks, CA**

*Prepared for:*

Nick Jones and Robert Erdmann  
2551 White Stallion Rd.  
Thousand Oaks, CA 91361  
nickjonesconstruction@yahoo.com

May 8, 2021,

In February of 2021, I prepared a Tree Assessment and Protection Plan for the proposed project. I recommended removing two Stone Pines, one in poor condition adjacent to high voltage wires, and the second within the proposed driveway hammerhead.

According to the applicant, the County of Ventura was concerned about removing these pines in this high fire region. However, a recent email from the Fire Inspector Ruben Luna of the Ventura County Fire Department, confirmed that the two trees need to be removed or relocated to comply with conditions of the fire department.

Due to the zero chance of these trees surviving relocation, their removal is mitigated with new landscape. The planting plan on this project shows that 58 trees will be installed on the site. These include trees that vary from 36" box size to 72" box size. The total cost of the new landscape trees far exceeds the appraised value of the two pines (\$2,400) and more than adequately mitigates their removal.

Attached is a copy of the email and the proposed tree list.

Please contact me with any questions.

Signed: *Bill Spiewak*  
Bill Spiewak  
Registered Consulting Arborist #381  
American Society of Consulting Arborists  
Qualified Tree and Plant Appraiser

Board Certified Master Arborist #310B  
International Society of Arboriculture  
Qualified Tree Risk Assessor



**RL** Luna, Ruben  
 RE: 2551 White Stallion  
 To: ROBERT ERDMANN



Siri found updated contact info Ruben Luna ruben.luna@ventura.org

Hi Robert,

The trees on both the required access and the one adjacent to the proposed guest house would need to be removed and or relocated.




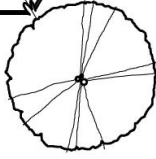

Thank you,

**Ruben Luna**  
*Fire Inspector II*  
 Ventura County Fire Department  
 Direct/Cell: 805-914-8801  
 Fire Prevention General Information: 805-389-9738  
 Email: [ruben.luna@ventura.org](mailto:ruben.luna@ventura.org)  
 Website: [VCFD.org](http://VCFD.org)  
 Facebook: [@VenturaCountyFire](https://www.facebook.com/VenturaCountyFire)  
 Twitter: [@VCFD](https://twitter.com/VCFD)



**From:** Robert Erdmann <[rob.erdmann@gmail.com](mailto:rob.erdmann@gmail.com)>  
**Sent:** Thursday, May 6, 2021 4:11 PM

# PROPOSED PLANT LEGEND

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE L/M
<b>TREES</b>				
	7	36" BOX	ARBUTUS UNEDO 'MARINA' MARINA STRAWBERRY TREE	EVERGREEN STD TRUNK
	7	36" BOX	LAGERSTROEMIA INDICA 'TUSCARORA' TUSCARORA GRAPE MYRTLE	DECIDUOUS STD TRUNK
	7	36" BOX	ACACIA SALIGNA BLUE-LEAF WEEPING WATTLE	EVERGREEN LB
	22	36" BOX	OLEA EUROPAEA 'MAJESTIC BEAUTY' MAJESTIC BEAUTY FRUITLESS OLIVE	EVERGREEN MULTI TRUNK
	6	48" BOX		
	4	60" BOX		
	4	72" BOX		
		36" BOX	PARKINSONIA HYBRID 'AZT' PALO VERDE THORNLESS HYBRID	EVERGREEN STD

See the full landscape plan for location of proposed trees.

**Attachment 7 – Works Cited**  
**Planned Development Permit Case No. PL21-0020**

**Ancient Enterprises, Inc. (July 1, 1980).** Archaeological Resource Assessment of Tentative Tract 3559, City of Thousand Oaks, Ventura County, California.

**California American Water Co. (April 16, 2021).** Will Serve Notice.

**City of Thousand Oaks (December 6, 2021).** Development Activity Report Viewer. Accessed from <http://map.toaks.org/Html5Viewer/Index.html?Viewer=dar>.

**Envicom Corporation (February 18, 2022).** Initial Study Biological Assessment. Originally prepared April 22, 2021 and revised June 15, 2021; June 29, 2021; December 9, 2021; and February 18, 2022.

**Gold Coast Geoservices, Inc. (February 4, 2021).** Geotechnical Report, 2551 White Stallion Road, Thousand Oaks, County of Ventura.

**Gold Coast Geoservices, Inc. (February 4, 2021).** Onsite Wastewater Treatment System Design Report for Proposed Single Family Residence and Guest House, 2551 White Stallion Road, Thousand Oaks, County of Ventura.

**Pacific Coast Civil, Inc.; Greyson Terrio, PE; and Perrin Design Group, Inc. (February 2021).** Project Plans dated February 18, 2021 and February 21, 2021.

**Terrio, Greyson, PE (February 22, 2021).** Visibility Study – Potrero Scenic Corridor.

**Ventura County Agricultural Commissioner (March 24, 2021).** Agricultural resource review by Alec Thille.

**Ventura County Air Pollution Control District (April 2, 2021).** Air quality review by Nicole Collazo.

**Ventura County Fire Protection District (April 27, 2021).** Fire protection review by Ruben Luna.

**Ventura County Public Works Agency, Development and Inspection Services Division (April 20, 2021).** Geology review by Jim O'Tousa.

**Ventura County Public Works Agency, Development and Inspection Services Division (May 11, 2021).** Grading review by Ben Fischetti.

**Ventura County Public Works Agency, Integrated Waste Management Division (March 25, 2021).** Waste management review by Tobie Mitchell

**Ventura County Public Works Agency, Roads and Transportation Department (March 15, 2021).** Roads and transportation review.

**Ventura County Public Works Agency, Watershed Protection District (December 13, 2021).** Jurisdictional drainage and floodplain drainage review by Dawn Stidham-Husted.

**Ventura County Public Works Agency, Watershed Protection District, Groundwater Section (December 6, 2021).** Groundwater review by James Maxwell.

**Ventura County Public Works Agency, Watershed Protection District, Surface Water Quality Section (April 12, 2021).** Surface water quality review by Ewelina Mutkowska.

**Ventura County Resource Management Agency (2022).** Geographic Information System Viewer.

**Ventura County Resource Management Agency, Environmental Health Division (April 27, 2021).** Environmental health review by Paolo Quinto.

**Ventura County Resource Management Agency, Planning Division (April 26, 2011).** Initial Study Assessment Guidelines.

**Ventura County Resource Management Agency, Planning Division (October 15, 2020).** Ventura County 2040 General Plan.

**Ventura County Resource Management Agency, Planning Division (December 2, 2021).** Geographic Information System. Pending and Approved Projects in Unincorporated Ventura County.

**Ventura County Resource Management Agency, Planning Division (December 2, 2021 and December 16, 2021).** Formal Notification of Determination that a Project Application is Complete and Notification of Native American Consultation Opportunity for Planned Development Permit Case No. PL21-0020.

**Ventura County Resource Management Agency, Planning Division (February 8, 2022).** Ventura County Non-Coastal Zoning Ordinance.

**DEPARTMENT OF TRANSPORTATION**

DISTRICT 7  
100 S. MAIN STREET, MS 16  
LOS ANGELES, CA 90012  
PHONE (213) 505-5003  
FAX (213) 897-1337  
TTY 711  
www.dot.ca.gov



*Making Conservation  
a California Way of Life*

April 22, 2022

Michael Conger  
County of Ventura  
800 S. Victoria Ave., L#1740  
Ventura, CA 93009

RE: White Stallion Planned Development  
Mitigated Negative Declaration (MND)  
SCH # 2022030691  
Vic. VEN-101/PM: 7.012  
GTS # 07-VEN-2022-00479

Dear Michael Conger:

Thank you for including the California Department of Transportation (Caltrans) in the environmental review process for the above referenced MND. This request for a Planned Development (PD) Permit for the construction of a new single-family dwelling and accessory structures on a 20.75-acre parcel in the Scenic Resource Protection Overlay Zone. The proposal includes construction of a 15,784 sq. ft. one-story single-family dwelling with attached garage, 1,799 sq. ft. accessory dwelling unit, 1,272 sq. ft. detached garage, and swimming pool. In addition to the structural improvements, this PD Permit will also authorize grading, landscaping, installation of drainage improvements, and fuel modification. Access to the proposed dwelling will be by way of an existing paved driveway that extends one-quarter (0.25) mile from White Stallion Road to the building pad. White Stallion Road, a paved private loop road, intersects with Potrero Road, a County-maintained arterial road, 0.36 miles west and 0.38 miles east of the project site. The County of Ventura is the Lead Agency under the California Environmental Quality Act (CEQA).

The nearest State facility to the proposed project is the U.S. 101 and State Route 23 (SR-23). After reviewing the MND, the project was determined to have a less-than-significant impact on transportation based on the Office of Planning and Research (OPR) Screening Criteria under Senate Bill 743 for residential land uses. The proposed dwellings home-based trips will likely average one per day, given the distance to employment centers and public services. Therefore, the vehicle trips generated by the residence are not expected to result in a Vehicle Miles Traveled (VMT) impact, consistent with the VMT reduction goals, and would not conflict or be inconsistent with CEQA Guidelines Section 15064.3, subdivision (b).

County of Ventura  
Mitigated Negative Declaration  
PL21-0020  
Attachment 8 - Correspondence

*"Provide*

*es all people*

The following information is included for your consideration.

As a reminder, any transportation of heavy construction equipment and/or materials which requires use of oversized-transport vehicles on State highways will need a Caltrans transportation permit. Caltrans recommends that the Project limit construction traffic to off-peak periods to minimize the potential impact on State facilities. If construction traffic is expected to cause issues on any State facilities, please submit a construction traffic control plan detailing these issues for Caltrans' review.

Finally, any work completed on or near Caltrans' right of way may require an encroachment permit. However, the final determination on this will be made by Caltrans' Office of Permits. This work would require additional review and may be subject to additional requirements to ensure current design standards and access management elements are being addressed. For more information on encroachment permits, see: <https://dot.ca.gov/programs/traffic-operations/ep>.

If you have any questions, please feel free to contact Karen Herrera, the project coordinator, at [Karen.Herrera@dot.ca.gov](mailto:Karen.Herrera@dot.ca.gov) and refer to GTS # 07-VEN-2022-00479.

Sincerely,



MIYA EDMONSON  
LDR/CEQA Branch Chief

cc: State Clearinghouse





State of California – Natural Resources Agency

DEPARTMENT OF FISH AND WILDLIFE

South Coast Region  
3883 Ruffin Road  
San Diego, CA 92123  
(858) 467-4201

[www.wildlife.ca.gov](http://www.wildlife.ca.gov)

**GAVIN NEWSOM, Governor**  
**CHARLTON H. BONHAM, Director**



April 28, 2022

Mr. Michael Conger  
County of Ventura  
800 S. Victoria Avenue L#1740  
Ventura, CA 93009  
[Michael.Conger@ventura.org](mailto:Michael.Conger@ventura.org)

**Subject: White Stallion Planned Development, Mitigated Negative Declaration,  
SCH No. 2022030691; City of Thousand Oaks, Ventura County**

Dear Mr. Conger:

The California Department of Fish and Wildlife (CDFW) has reviewed the Ventura County's (County) Mitigative Negative Declaration (MND) for the White Stallion Planned Development Plan (Project). The County, as Lead Agency, prepared a MND pursuant to the California Environmental Quality Act (CEQA; Pub. Resources Code, § 21000 et. seq.) with the purpose of informing decision-makers and the public regarding potential environmental effects related to the Project. Thank you for the opportunity to provide comments and recommendations regarding those activities involved in the Project that may affect California fish and wildlife or be subject to Fish and Game Code.

### **CDFW's Role**

CDFW is California's Trustee Agency for fish and wildlife resources and holds those resources in trust for the people of the state [Fish & Game Code, §§ 711.7, subdivision (a) & 1802; Pub. Resources Code, § 21070; California Environmental Quality Act (CEQA) Guidelines, [§ 15386, subdivision (a)]. CDFW, in its trustee capacity, has jurisdiction over the conservation, protection, and management of fish, wildlife, native plants, and habitat necessary for biologically sustainable populations of those species (Id., § 1802). CDFW is also directed to provide biological expertise during public agency environmental review efforts, focusing specifically on projects and related activities that have the potential to adversely affect state fish and wildlife resources.

CDFW is also submitting comments as a Responsible Agency under CEQA (Public Resources Code, § 21069; CEQA Guidelines, § 15381). CDFW expects that it may need to exercise regulatory authority as provided by the Fish and Game Code, including lake and streambed alteration regulatory authority (Fish & Game Code, § 1600 et seq.). To the extent implementation of the Project as proposed may result in "take" of any species protected under the California Endangered Species Act (CESA; Fish & Game Code, § 2050 et seq.), or CESA-listed rare plant pursuant to the Native Plant Protection Act (NPPA; Fish & Game Code, §1900 et seq.), CDFW recommends the Project proponent obtain appropriate authorization under the Fish and Game Code.

Mr. Michael Conger  
Ventura County  
April 28, 2022  
Page 2 of 27

## **Project Description and Summary**

**Objective:** The project as proposed involves the construction of a single-family residence within a 21-acre property. A secondary residence building, an attached and detached garage, pool, landscaping, and accessory structures will also be erected along the two parcels that make up the property. The total square development area totals 18,887 square feet or 0.43 acres. The project will also include the demolition of a dilapidated shed structure that is on the site. The project will include road improvements, grading (2.08 acres), and fuel modification (3.87 acres).

**Location:** The Project site is located in an unincorporated area of Thousand Oaks within the Hidden Valley community. The property spans two land parcels: parcels 668-0-080-140 and -150. The site is surrounded by scattered single-family residentials and open space areas.

## **Comments and Recommendations**

CDFW offers the comments and recommendations below to assist the County in adequately identifying, avoiding, and/or mitigating significant, or potentially significant, direct and indirect impacts on fish and wildlife biological resources based on the planned activities of this proposed Project. CDFW recommends the measures below be included in a science-based monitoring program with adaptive management strategies as part of the Project's CEQA mitigation, monitoring and reporting program (Public Resources Code, § 21081.6 and CEQA Guidelines, § 15097). Additional comments or other suggestions may also be included to improve the document.

### **Specific Comments**

#### **Comment #1: Mitigation for Sensitive Vegetation Communities**

**Issue:** Mitigation ratios for S3 ranked sensitive vegetation communities provided in the MND are too low for the proposed Project impacts. Mitigation ratios should also be provided for sensitive communities ranked S4 and S5.

**Specific Impacts:** CDFW commends the County/Applicant in its efforts to accurately characterize vegetation. However, mitigation ratios of 2:1 are too low for S3 ranked vegetation communities. Additionally, vegetation communities ranked S4 and S5 should also be appropriately mitigated. The vegetation communities found within the surrounding area of the Project footprint provide important foraging and nesting areas for a variety of special status species. Development of the area and thinning of vegetation for fuel modification will result in the loss of resources. Sensitive plant communities within 1,000 meters from these activities are considered impacted.

**Why impacts would occur:** Project implementation includes grading, vegetation clearing, trail construction, soil compaction, utilities construction, and other activities that may result in direct mortality, population declines, or local extirpation of vegetation communities. These communities offer habitat and resources to a multitude of species, including specially listed species.

Mr. Michael Conger  
 Ventura County  
 April 28, 2022  
 Page 3 of 27

The following ranked vegetation alliances and associations were found within the project area: *Diplacus aurantiacus* shrubland alliance (S3); *Sambucus nigra ssp. caerulea* shrubland alliance (S3); *Ceanothus spinosus* shrubland alliance (S4); *Adenostoma fasciculatum-Salvia mellifera* shrubland alliance (S4); *Artemisia californica* shrubland alliance (S4); *Adenostoma fasciculatum- Malosma laurina* shrubland association (S4); *Salvia leucophylla* shrubland alliance (S4); *Quercus agrifolia* woodland alliance (S4); *Artemisia californica-Acmispon glaber/Lotus scoparius* shrubland association (S5); *Malosma laurina-Artemisia californica* shrubland association (S5); and, *Adenostoma fasciculatum* shrubland alliance (S5). The MND states a combined 3.73 acres of these sensitive vegetation communities would be impacted due to fuel modification and grading.

CDFW considers plant communities, alliances, and associations with a statewide ranking of S1, S2, S3, and S4 as sensitive and declining at the local and regional level (Sawyer et al. 2008). An S3 ranking indicates there are 21-80 occurrences of this community in existence in California, S2 has 6-20 occurrences, and S1 has less than 6 occurrences. The Projects may have direct or indirect effects to these sensitive species.

**Evidence impacts would be significant:** Impacts to special-status plant species should be considered significant under CEQA unless they are clearly mitigated below a level of significance. Inadequate avoidance, minimization, and mitigation measures for impacts to these sensitive plant species will result in a Project(s) continuing to have a substantial adverse direct, indirect, and cumulative effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by CDFW or U.S. Fish and Wildlife Service (USFWS).

Pursuant under CEQA Guidelines, section 15125(c), CDFW considers southern California coastal sage scrub habitats as locally significant. The absence of mitigation for many of the habitats listed above will result in significant loss of viable and valuable habitat. As a result, the Project may continue to have a significant change on the environment absent appropriate mitigation for the unavoidable direct and indirect, permanent or temporal losses, of native and undisturbed vegetation and habitat (CEQA Guidelines, § 15382). Collectively, Upland Scrub and Grassland habitats currently support or provide suitable habitat for plants and wildlife, including rare plants and wildlife, including California Species of Special Concern (SSC).

**Mitigation Measure #1:** CDFW recommends avoiding any sensitive natural communities found on the Project. If avoidance is not feasible, CDFW recommends a Project Plan (Plan) be conditioned to provide mitigation ratios depending on the sensitivity of the species. The Project proponent should mitigate at a ratio sufficient to achieve a no-net loss for impacts to special status plant species and their associated habitat. This should be for the number of plants replaced to number impacted, including acres of habitat created to acres of habitat impacted.

CDFW recommends all impacts to S3 sensitive vegetation communities (*Diplacus aurantiacus* shrubland alliance and *Sambucus nigra ssp. caerulea* shrubland alliance) (0.38-acres) be mitigated at a 4:1 ratio. Impacts to S4 and S5 communities (*Artemisia californica* shrubland alliance; *Malosma laurina-Artemisia californica* shrubland association; *Ceanothus spinosus* shrubland alliance; *Adenostoma fasciculatum- Malosma laurina* shrubland association; *Quercus agrifolia* woodland alliance; *Artemisia californica-Acmispon glaber/Lotus scoparius* shrubland

Mr. Michael Conger  
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association; *Adenostoma fasciculatum* shrubland alliance; and *Salvia leucophylla* shrubland alliance) (3.35-acres) should be mitigated at a 2:1 ratio.

Rare plants are habitat specialists that require specific conditions to persist such as vegetation composition (species abundance, diversity, cover), soils, substrate, slope, hydrology, and pollinators. All revegetation/restoration areas that will serve as mitigation should include preparation of a restoration plan, to be approved by CDFW prior to any ground disturbance. The restoration plan should include restoration and monitoring methods; annual success criteria; contingency actions should success criteria not be met; long-term management and maintenance goals; and a funding mechanism for long-term management. Areas proposed as mitigation should have a recorded conservation easement and be dedicated to an entity which has been approved to hold/manage lands (AB 1094; Government Code, §§ 65965-65968).

**Mitigation Measure #2:** Success criteria should be based on the specific composition of the vegetation communities being impacted. Success should not be determined until the site has been irrigation-free for at least 5 years and the metrics for success have remained stable (no negative trend for richness/diversity/abundance/cover and no positive trend for invasive/non-native cover for each vegetation layer) for at least 5 years. In the revegetation plan, the success criteria should be compared against an appropriate reference site, with the same vegetation alliance, with as good or better-quality habitat. The success criteria should include percent cover (both basal and vegetative), species diversity, density, abundance, and any other measures of success deemed appropriate by CDFW. Success criteria should be separated into vegetative layers (tree, shrub, grass, and forb) for each alliance being mitigated, and each layer should be compared to the success criteria of the reference site, as well as the alliance criteria in MCV ensuring one species or layer does not disproportionately dominate a site but conditions mimic the reference site and meets the alliance membership requirements.

CDFW does not recommend topsoil salvage or transplantation as viable mitigation options. Several studies have documented topsoil salvage had no effect on the recolonization of the target plant species (Hinshaw 1998). Based on the scientific literature available, relying on topsoil salvage alone to mitigate impacts to CEQA-rare plant species does not appear to provide any value to mitigate impacts to the plant.

**Recommendation #1:** CDFW recommends taking an inter-disciplinary approach, inclusive of wildlife biologists and restoration professionals, to restore scrub and grassland habitats. The County should replace acreage of Mediterranean Scrub and Grassland, Warm Semi-Desert Scrub and Grassland, and Coastal Bluff Scrub at no less than the total acres impacted and use only native grasses or forbs indigenous to grasslands in region/watershed. Restoration should consider habitat requirements (e.g., refugia, structure, variation in plant density and cover) of wildlife that could occur in these two vegetation communities. CDFW recommends that the location of the mitigation site avoid the conversion of other habitats (e.g., scrubland to grassland). Scrub and grassland restoration should occur in areas appropriate abiotic and biotic conditions to support each habitat type.

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## **Comment #2: Impacts to Special-Status Plants**

**Issue:** CDFW is concerned with the lack of mitigation measures proposed for rare plants.

**Specific impact:** A nine-quad review of the California Natural Diversity Database (CNDDDB) revealed several special status plants that have potential to occur in the geographical area(s). CDFW considers plant communities, alliances, and associations with a statewide ranking of S1, S2, S3, and S4 as sensitive and declining at the local and regional level (Sawyer et al. 2008). An S3 ranking indicates there are 21-80 occurrences of this community in existence in California, S2 has 6-20 occurrences, and S1 has less than 6 occurrences. The Project may have direct or indirect effects to these sensitive species.

**Why impact would occur:** Disclosure, avoidance, and mitigation measures should all be provided within the MND. Take of CESA-listed rare plants may only be permitted through an incidental take permit (ITP) or other authorization issued by CDFW pursuant to California Code of Regulations, Title 14, section, 786.9 subdivision (b). CDFW is concerned the loss of CESA-listed rare plants may occur if appropriate avoidance, minimization, and/or mitigation for these species is not adopted.

**Evidence impact would be significant:** Impacts to special-status plant species should be considered significant under CEQA unless they are clearly mitigated below a level of significance. Inadequate avoidance, minimization, and mitigation measures for impacts to these sensitive plant species will result in a Project(s) continuing to have a substantial adverse direct, indirect, and cumulative effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by CDFW or USFWS. Additionally, plants that have a California Native Plant Society (CNPS) California Rare Plant Rank (CRPR) of 1A, 1B, 2A, and 2B are rare throughout their range, endemic to California, and are seriously or moderately threatened in California. All plants constituting CRPR 1A, 1B, 2A, and 2B meet the definitions of CESA and are eligible for State listing. Impacts to these species or their habitat must be analyzed during preparation of environmental documents relating to CEQA, as they meet the definition of rare or endangered (CEQA Guidelines, § 15380). Please see CNPS Rare Plant Ranks website (<https://www.cnps.org/rare-plants/cnps-rare-plant-ranks>) for additional rank definitions (CNPS 2020).

### **Recommended Potentially Feasible Mitigation Measure(s):**

**Mitigation Measure #1:** CDFW recommends including avoidance, minimization, and/or mitigation measure language articulating the need to perform focused surveys for sensitive/rare plants on-site and disclosing the results prior to the implementation of Projects. Based on the *Protocols for Surveying and Evaluating Impacts to Special Status Native Plant Populations and Natural Communities* (CDFWa 2018) (<https://nrm.dfg.ca.gov/FileHandler.ashx?DocumentID=18959>), a qualified biologist should “conduct surveys in the field at the time of year when species are both evident and identifiable. Usually this is during flowering or fruiting.” Final CEQA documentation, for a specified Project(s), should provide a thorough discussion on the presence/absence of sensitive plants on-site and identify measures to protect sensitive plant communities from Project-related direct and indirect impacts.

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**Mitigation Measure #2:** If rare or sensitive plants are found on or near the footprint of the Project, CDFW recommends:

1. The MND should provide species-specific measures to fully avoid impacts to all ESA- and CESA-listed plants. This may include flagging all plants and/or perimeter of populations; no-work buffers around plants and/or populations (e.g., flagged perimeter plus 50 feet); restrictions on ground disturbing activities within protected areas; relocation of staging and other material piling areas away from protected areas; restrictions on herbicide use and/or type of herbicide and/or application method within 100 feet of sensitive plants; and worker education and training.
2. The MND provide measures to fully mitigate the loss of individual ESA- (Endangered Species Act) and CESA-listed plants and habitat. The MND should provide a map showing which plants or populations will be impacted and provide a table that clearly documents the number of plants and acres of supporting habitat impacted, and plant composition (e.g., density, cover, abundance) within impacted habitat (e.g., species list separated by vegetation class; density, cover, abundance of each species).

**Mitigation Measure #3:** CDFW recommends the County/Applicant create a mitigation plan (Plan). The Plan should provide species-specific measures for on-site mitigation. Each species-specific mitigation plan should adopt an ecosystem-based approach and be of sufficient detail and resolution to describe the following at a minimum: 1) identify the impact and level of impact (e.g., acres or individual plants/habitat impacted); 2) location of on-site mitigation and adequacy of the location(s) to serve as mitigation; 3) assessment of appropriate reference sites; 4) scientific [Genus and species (subspecies/variety if applicable)] of plants being used for restoration; 5) location(s) of propagule source; 6) species-specific planting methods (i.e., container or seed); 7) measurable goals and success criteria for establishing self-sustaining populations (e.g. percent survival rate, absolute cover); 8) long-term monitoring, and; 9) adaptive management techniques.

### **Comment #3: Survey Protocols for Special-Status Reptiles**

**Issue:** The MND does not offer adequate survey protocols or mitigation measures for special-status reptiles.

**Specific impacts:** Within the MND the County/Applicant acknowledges the potential presence of several special status species including: California legless lizard (*Anniella spp.*); Southern California legless lizard (*Anniella stebbinsi*); coastal whiptail (*Aspidoscelis tigris stejnegeri*); and California glossy snake (*Arizona elegans occidentalis*). However, no meaningful mitigation measures were put forth for these species. The MND states “Most special-status wildlife species that may potentially occur at the site are capable of escaping harm during project development, including grading or fuel modification, while a few are vulnerable to direct impacts, including injury and mortality.” This rationale is insufficient and further mitigation measures should be provided by the Applicant.

CDFW recommends focus surveys for the above species. To allow CDFW to determine the extent of impacts to the species associated with the Project and provide meaningful avoidance, minimization, and mitigation measures. CDFW recommends the MND be recirculated after

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these surveys are completed to fully disclose the potential impacts to special-status species. Additionally, any proposed mitigation area should include a discussion on the territory size and breeding locations and how all life cycle functions will be mitigated.

**Why impacts would occur:** Disclosure, avoidance, and mitigation measures should all be provided within the MND. Take of CESA-listed species or Species of Special Concern (SSC) may only be permitted through an ITP or a scientific collections permit. CDFW is concerned the loss of special-listed species may occur if appropriate avoidance, minimization, and/or mitigation for these species is not adopted.

Further, Project(s) activities have the potential to impact special status wildlife species, which have been documented to occur in the region. A lack of protocol surveys will likely result in avoidable impacts to a variety of sensitive species. Protocol surveys are necessary to identify listed species and supporting habitat necessary for their survival. Ground clearing and construction activities could lead to the direct mortality of a listed species or SSC. The loss of occupied habitat could yield a loss of foraging potential, nesting sites, basking sites, or refugia and would constitute a significant impact absent appropriate mitigation.

**Evidence impact would be significant:** CDFW considers impacts to CESA-listed and SSC a significant direct and cumulative adverse effect without implementing appropriate avoidance and/or mitigation measures.

#### **Recommended Potentially Feasible Mitigation Measure(s):**

**Mitigation Measure #1:** To disclose impacts to special-status reptiles within the MND, CDFW recommends focused surveys for species likely to occur within a Project(s) area. Additional surveys will more reliably determine what species are present so CDFW can make informed recommendations as to avoidance, minimization, and mitigation measures. Surveys should typically be scheduled during the summer months (June and July) when these animals are most likely to be encountered. To achieve 100 percent visual coverage, CDFW recommends surveys be conducted with parallel transects at approximately 20 feet apart and walked on-site in appropriate habitat suitable for each species. Suitable habitat consists of areas of sandy, loose, and moist soils, typically under the sparse vegetation of scrub, chaparral, and within the duff of oak woodlands.

**Mitigation Measure #2:** Prior to any Project activities, a relocation plan (Plan) should be developed by a qualified biologist familiar with the respective reptile in consultation with CDFW. The Plan should include, but not be limited to, the timing and location of the surveys that will be conducted for the species, identify the locations where more intensive survey efforts will be conducted (based on high habitat suitability); identify the habitat and conditions in any proposed relocation site(s); the methods that will be utilized for trapping and relocating the individuals; and the County coordinate with CDFW and/or USFWS prior to any ground disturbing activities within potentially occupied habitat.

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#### **Comment #4: Crotch's Bumble Bee (*Bombus crotchii*)**

**Issue:** The Project may impact Crotch's bumble bee (*Bombus crotchii*) (an invertebrate of conservation and an SSC) through the removal of California sage brush communities. No mention of surveys or mitigation measures were included within the MND.

**Specific impacts:** Crotch's bumble bees are generalist foragers and have been reported visiting a wide variety of flowering plants (Biesmeijer et al. 2006; Xerces 2018). They are known to occur in laurel sumac scrub, grassland, meadows, and coastal sage scrub, among other vegetation communities. The Project as proposed would be along 21 acres, of which 2.02 acres of ranked California native vegetation communities will be disturbed by grading and fuel modification.

**Why impacts would occur:** Project as proposed would grade, develop, and/or modify habitat that could support Crotch's bumble bee. The Project may result in temporal or permanent loss of suitable nesting and foraging habitat for Crotch's bumble bee. Crotch's bumble bees are generalist foragers and have been reported visiting a wide variety of flowering plants (Biesmeijer et al. 2006; Xerces 2018). They are known to occur in laurel sumac scrub, grassland, meadows, and coastal sage scrub, among other vegetation communities. The Project ground-disturbing activities and vegetation removal may cause death or injury of adults, eggs, and larva, burrow collapse, nest abandonment, and reduced nest success. Suitable Crotch's bumble bee habitat includes areas of grasslands and scrub that contain requisite habitat elements, such as small mammal burrows. Crotch's bumble bee primarily nest in late February through late October underground in abandoned small mammal burrows but may also nest under perennial bunch grasses or thatched annual grasses, under-brush piles, in old bird nests, and in dead trees or hollow logs (Williams et al. 2014; Hatfield et al. 2018). Overwintering sites utilized by Crotch's bumble bee mated queens include soft, disturbed soil (Goulson 2010), or under leaf litter or other debris (Williams et al. 2014). Despite the presence of suitable Crotch's bumble bee habitat on site, the MND does not provide information as to what criteria would be used to conclude that the species is not present. Without adequate presence/absence surveys, ground disturbance and vegetation removal associated with Project implementation during the breeding season could result in the incidental loss of breeding success or otherwise lead to nest abandonment in areas adjacent to the Project site. Project activities may result in temporal or permanent loss of colonies, and suitable nesting and foraging habitat.

**Evidence impact would be significant:** Crotch's bumble bee is listed as an invertebrate of conservation priority under the [California Terrestrial and Vernal Pool Invertebrates of Conservation Priority](#) (CDFWb 2017). Crotch's bumble bee has a State ranking of S1/S2. This means that the Crotch's bumble bee is considered critically imperiled or imperiled and is extremely rare (often 5 or fewer populations). Also, Crotch's bumble bee has a very restricted range and steep population declines make the species vulnerable to extirpation from the State (CDFWb 2017). Accordingly, Crotch's bumble bee meets the CEQA definition of rare, threatened, or endangered species (CEQA Guidelines, § 15380). Therefore, take of Crotch's bumble bee could require a mandatory finding of significance by the County (CEQA Guidelines, § 15065).



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### **Recommended Potentially Feasible Mitigation Measure(s):**

**Mitigation Measure #1:** CDFW recommends measures be taken, primarily, to avoid Project impacts to Crotch's bumble bee. Surveys should be performed by a qualified entomologist familiar with the species behavior and life history to determine the presence/absence of Crotch's bumble bee and within one year prior to vegetation removal and/or grading. Surveys should be conducted during flying season when the species is most likely to be detected above ground, between March 1 to September 1 (Thorp et al. 1983). Survey results, including negative findings, should be submitted to CDFW prior to implementing Project-related ground-disturbing activities. At minimum, a survey report should provide the following:

1. A description and map of the survey area, focusing on areas that could provide suitable habitat for Crotch's bumble bee. CDFW recommends the map show surveyor(s) track lines to document that the entire site was covered during field surveys.
2. Field survey conditions that should include name(s) of qualified entomologist(s) and brief qualifications; date and time of survey; survey duration; general weather conditions; survey goals, and species searched.
3. Map(s) showing the location of nests/colonies.
4. A description of physical (e.g., soil, moisture, slope) and biological (e.g., plant composition) conditions where each nest/colony is found. A sufficient description of biological conditions, primarily impacted habitat, should include native plant composition (e.g., density, cover, and abundance) within impacted habitat (e.g., species list separated by vegetation class; density, cover, and abundance of each species).

**Mitigation Measure #2:** If "take" or adverse impacts to Crotch's bumble bee cannot be avoided either during Project activities or over the life of the Project, the County should consult CDFW to determine appropriate avoidance and/or minimization measures for the species.

**Recommendation #1:** CDFW recommends the County update their CEQA document to reflect the possibility of Crotch's bumble bee within the Project site and discuss the local and regional significance of impacts to the species. Focus surveys should be conducted in order to determine presence/absence, identify potential nest sites, and to further evaluate the quality of habitat present for Crotch's bumble bee. The updated analysis should include appropriate avoidance, minimization, and compensatory mitigation measures to offset any impacts to below a level of significance.

### **Comment #5: Impacts to Bats**

**Issue:** The Project may impact the western mastiff bat (*Eumops perotis californicus*), pallid bat (*Antrozous pallidus*), western red bat (*Lasiurus blossevillii*), and the hoary bat (*Lasiurus cinereus*).

**Specific impacts:** The Project is adjacent to natural habitats where bats may forage and roost. The project as proposed includes direct impacts to bats such as removal of trees, vegetation, and/or structures that may provide roosting habitat and therefore has the potential for the direct

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loss of bats. Indirect impacts to bats and roosts could result from increased noise disturbances, human activity, dust, vegetation clearing, ground disturbing activities (e.g., staging, access, excavation, grading), and vibrations caused by heavy equipment. Demolition, grading, and excavating activities may impact bats potentially using man-made structures or surrounding trees as roost sites.

**Why impacts would occur:** Within the MND it states "...bats could forage at the project site, suitable roosting habitat for bats was noted onsite." Although there is potential for bats to occur, the MND does not include any measures to avoid, minimize, or protect the species. Without any avoidance and minimization measures, the Project may impact the species. In urbanized areas, bats use trees and man-made structures for daytime and nighttime roosts, and forage in sources of open water such as ponds and lakes (Avila-Flores and Fenton 2005; Oprea et al. 2009; Remington and Cooper 2014). Forested patches on parks and/or golf courses provide good habitat for foraging and commuting bats and may provide important refuge for bats in highly urbanized landscapes (Sewell 2019). Mature riparian trees and crevices in buildings and facilities in the Project site could provide roosting habitat for bats. Modifications to roost sites can have significant impacts on the bats' usability of the roost and can impact the bats' fitness and survivability (Johnston et al. 2004). Extra noise, vibration, or the reconfiguration of large objects can lead to the disturbance of roosting bats which may have a negative impact on the animals. Human disturbance can also lead to a change in humidity, temperatures, or the approach to a roost that could force the animals to change their mode of egress and/or ingress to a roost. Although temporary, such disturbance can lead to the abandonment of a maternity roost (Johnston et al. 2004).

**Evidence impact would be significant:** Bats are considered non-game mammals and are afforded protection by state law from take and/or harassment (Fish & Game Code, § 4150; Cal. Code of Regs, § 251.1). Several bat species are considered SSC and meet the CEQA definition of rare, threatened, or endangered species (CEQA Guidelines, § 15065). Take of SSC could require a mandatory finding of significance by the County (CEQA Guidelines, § 15065).

#### **Recommended Potentially Feasible Mitigation Measure(s):**

**Mitigation Measure #1:** CDFW recommends a qualified bat specialist conduct bat habitat assessment surveys within the Project site and a 500-foot buffer to locate potential bat roosting sites. These assessments will determine baseline conditions of potential roosting areas present throughout the study area to identify trees and/or structures (i.e., tunnels, maintenance buildings, food concession stands, comfort stations) that could provide daytime and/or nighttime roost sites.

**Mitigation Measure #2:** CDFW also recommends nighttime emergence surveys of day roosts during seasons when bats are most mobile (April 1 to September 30). Emergence surveys should be performed shortly after dusk to identify any bats that emerge from a potential roost site. CDFW recommends using acoustic recognition technology to maximize detection of bats. In most parts of California, night roost use will only occur from spring through fall while day roosts are typically utilized during the spring, summer, and fall in California (Johnston et al. 2004).

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Survey methodology and results, including negative findings, should be included in final environmental documents. Depending on survey results, please discuss potentially significant effects of the proposed Project on the bats and include species specific mitigation measures to reduce impacts to below a level of significance (CEQA Guidelines, § 15125).

**Mitigation Measure #3:** If maternity roosts are found, CDFW recommends, the following mitigation measures:

1. If maternity roosts are found, to the extent feasible, work should be scheduled between October 1 and February 28, outside of the maternity roosting season when young bats are present but are not yet ready to fly out of the roost (March 1 to September 30).
2. If maternity roosts are found and if trees and/or structures must be removed/demolished during the maternity season, a qualified bat specialist should conduct a pre-construction survey to identify those trees and/or structures proposed for disturbance that could provide hibernacula or nursery colony roosting habitat. Acoustic recognition technology will be used to maximize detection of bats. Each tree and/or structure identified as potentially supporting an active maternity roost should be closely inspected by the bat specialist no more than 7 days prior to tree and/or structure disturbance to determine the presence or absence of roosting bats more precisely. If maternity roosts are detected, trees and/or structures determined to be maternity roosts should be left in place until the end of the maternity season. Work should not occur within 100 feet of or directly under or adjacent to an active roost and work should not occur between 30 minutes before sunset and 30 minutes after sunrise.
3. If bats are not detected, but the bat specialist determines that roosting bats may be present at any time of year, trees will be removed using the two-step removal method. Segments of the tree which do not offer any roosting habitat will be removed using a chainsaw. To ensure the optimum warning for any roosting bats that may still be present, trees should be pushed lightly with heavy machinery two to three times, with a pause of approximately 30 seconds between each nudge to allow bats to become active. The tree should then be left in place for at least a 24-hour period and inspected by a bat specialist. Trees that are known to be bat roosts should not be bucked or mulched immediately. A period of at least 24 hours, but preferably 48 hours, should elapse prior to such operations to allow bats to escape. Bats should be allowed to escape prior to demolition of buildings. This may be accomplished by using lights, fans, and placing one-way exclusionary devices into areas where bats are entering a building that allow bats to exit but not enter the building.

**Mitigation Measure #4:** If night-time or day-time roosting habitat is available and presence is confirmed within trees CDFW recommends the two-step removal method:

1. During daytime hours between October 1-October 15 portions of trees which do not provide habitat will be removed with a chainsaw by a qualified arborist. Tree cutting will occur under the supervision of a qualified bat biologist who will guide the trimming in a way to minimize any potential harm to bats. Removal of non-roosting areas will influence movement of bats from the structure through noise and vibration disturbance. A period of

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at least 24 hours, but preferably 48 hours, should elapse prior to complete removal to allow bats to escape.

2. Following the appropriate waiting period and an inspection by a qualified biologist the tree or structure can be fully removed.

These methods should be done when young are not dependent on their mothers for food, are able to fly, and are not tied to the roosting site due to seasonal timing. Generally, these methods should not be done past the third week of October. In the absence of presence/absence data a conservative approach to tree removal is recommended to lessen the likelihood of “take.”

**Mitigation Measure #5:** If roosting habitat is available but absence is confirmed following appropriate focus-surveys CDFW recommends removing potential roosting habitat during winter months (November 1-January 31). Removal of habitat where bats have been determined to be absent will prevent future occupation in the area. Bats move roosting locations frequently based on need or seasonal changes. Habitat that is not occupied may become so in a matter of days, to weeks, to months, to years.

**Recommendation 1:** CDFW also recommends the proper inspection of the shed present on-site to avoid take of bat species. Pallid bats are especially vulnerable to take in man-made structures as they have been documented to utilize unnatural structures as roosting sites.

#### **Comment #6: Impacts to Non-Game Mammals and Wildlife**

**Issue:** Wildlife may still move through the Project site during the daytime or nighttime. CDFW is concerned that any wildlife potentially moving through or seeking temporary refuge on the Project site may be directly impacted during Project activities and construction. Any final fence, or other design features, design should allow for wildlife movement.

**Specific impacts:** Project activities and construction equipment may directly impact wildlife and birds moving through or seeking temporary refuge on site. This could result in wildlife and bird mortality. Furthermore, depending on the final fencing design, the Project may cumulatively restrict wildlife movement opportunity.

**Why impacts would occur:** Direct impacts to wildlife may occur from: ground disturbing activities (e.g., staging, access, excavation, grading); wildlife being trapped or entangled in construction materials and erection of restrictive fencing; and wildlife could be trampled by heavy equipment operating in the Project site.

**Evidence impact would be significant:** Mammals occurring naturally in California are considered non-game mammals and are afforded protection by State law from take and/or harassment (Fish & Game Code, § 4150; Cal. Code of Regs, § 251.1).

**Recommended Potentially Feasible Mitigation Measure(s):** CDFW recommends the following four mitigation measures to avoid and minimize direct impacts to wildlife during Project construction and activities.

**Mitigation Measure #1:** If fencing is proposed for use during construction or during the life of the Project, fences should be constructed with materials that are not harmful to wildlife.

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Prohibited materials include, but are not limited to, spikes, glass, razor, or barbed wire. Fencing should also be minimized so as not to restrict free wildlife movement through habitat areas.

**Mitigation Measure #2:** To avoid direct mortality, a qualified biological monitor should be on site prior to and during ground and habitat disturbing activities to move out of harm's way special status species or other wildlife of low mobility that would be injured or killed by grubbing or Project-related construction activities. Salvaged wildlife of low mobility should be removed and placed onto adjacent and suitable (i.e., species appropriate) habitat out of harm's way.

It should be noted that the temporary relocation of on-site wildlife does not constitute effective mitigation for the purposes of offsetting Program impacts associated with habitat loss.

**Mitigation Measure #3:** Grubbing and grading should be done to avoid islands of habitat where wildlife may take refuge and later be killed by heavy equipment. Grubbing and grading should be done from the center of the Project site, working outward towards adjacent habitat off site where wildlife may safely escape.

### **Additional Recommendations**

Alternatives. CDFW recommends the County consider an alternative that would fully avoid or minimize impacts to streams, sensitive plants and wildlife. CDFW recommends the County recirculate the environmental document after including alternative locations in order to foster meaningful public participation and informed decision making [CEQA Guidelines, §§ 15088.5, 15126.6(f)]. If the County concludes that no feasible alternative locations exist, or the use of alternative locations as a mitigation measure is infeasible, the County must disclose the reasons in the final environmental document and recirculate [CEQA Guidelines, §§ 15088.5(a)(3), 15126.6(f)(2)].

Fuel Modification. If the Project includes fuel modification, CDFW recommends that the final environmental include avoidance and mitigation measures for any fuel modification activities conducted within and adjacent to the Project area. A weed management plan should be developed for all areas adjacent to open space that will be subject to fuel modification disturbance. CDFW also recommends that any irrigation proposed in fuel modification zones drain back into the development and not onto natural habitat land as perennial sources of water allow for the introduction of invasive Argentine ants.

Mitigation and Monitoring Reporting Plan. Per Public Resources Code section 21081.6(a)(1), CDFW has provided the County with a summary of our suggested mitigation measures and recommendations in the form of an attached Draft Mitigation and Monitoring Reporting Plan (MMRP; Attachment A). A final MMRP should reflect results following additional plant and wildlife surveys and the Project's final on and/or off-site mitigation plans.

### **Filing Fees**

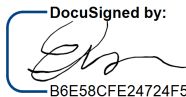
The Project, as proposed, would have an impact on fish and/or wildlife, and assessment of filing fees is necessary. Fees are payable upon filing of the Notice of Determination by the County and serve to help defray the cost of environmental review by CDFW. Payment of the fee is required for the underlying Project approval to be operative, vested, and final (Cal. Code Regs., tit. 14, § 753.5; Fish & G. Code, § 711.4; Pub. Resources Code, § 21089).

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## Conclusion

We appreciate the opportunity to comment on the Project to assist the County in adequately analyzing and minimizing/mitigating impacts to biological resources. CDFW requests an opportunity to review and comment on any response that the County has to our comments and to receive notification of any forthcoming hearing date(s) for the Project [CEQA Guidelines, § 15073(e)]. If you have any questions or comments regarding this letter, please contact Angela Castanon, Environmental Scientist, at [Angela.Castanon@wildlife.ca.gov](mailto:Angela.Castanon@wildlife.ca.gov)

Sincerely,

DocuSigned by:  
  
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Erinn Wilson-Olgin  
Environmental Program Manager I  
South Coast Region

cc: CDFW

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State Clearinghouse, Office of Planning and Research – [State.Clearinghouse@opr.ca.gov](mailto:State.Clearinghouse@opr.ca.gov)

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**GAVIN NEWSOM, Governor**  
**CHARLTON H. BONHAM, Director**



**Attachment A: Draft Mitigation and Monitoring Reporting Plan**

CDFW recommends the following language to be incorporated into a future environmental document for the Project. A final MMRP should reflect results following additional plant and wildlife surveys and the Project’s final on and/or off-site mitigation plans.

<b>Biological Resources (BIO)</b>			
<b>Mitigation Measure (MM) or Recommendation (REC)</b>		<b>Timing</b>	<b>Responsible Party</b>
<b>MM-BIO-1- Impacts to Sensitive Plant Communities</b>	<p>CDFW recommends avoiding any sensitive natural communities found on the Project. If avoidance is not feasible, the Project proponent should mitigate at a ratio sufficient to achieve a no-net loss for impacts to special status plant species and their associated habitat. CDFW recommends all impacts to the S3 sensitive vegetation communities (<i>Diplacus aurantiacus</i> shrubland alliance and <i>Sambucus nigra ssp. caerulea</i> shrubland alliance) (0.38-acres) should be mitigated at a 4:1 ratio and impacts to the S4 and S5 communities (<i>Artemisia californica</i> shrubland alliance; <i>Malosma laurina-Artemisia californica</i> shrubland association; <i>Ceanothus spinosus</i> shrubland alliance; <i>Adenostoma fasciculatum- Malosma laurina</i> shrubland association; <i>Quercus agrifolia</i> woodland alliance; <i>Artemesia californica-Acmispon glaber/Lotus scoparius</i> shrubland association; <i>Adenostoma fasciculatum</i> shrubland alliance; and <i>Salvia leucophylla</i> shrubland alliance) (3.35-acres) be mitigated at a 2:1 ratio.</p> <p>Rare plants are habitat specialists that require specific conditions to persist such as vegetation composition (species abundance, diversity, cover), soils, substrate, slope, hydrology, and</p>	Prior to Project construction and activities	County of Ventura/ Applicant



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	<p>pollinators. All revegetation/restoration areas that will serve as mitigation should include preparation of a restoration plan, to be approved by CDFW prior to any ground disturbance. The restoration plan should include restoration and monitoring methods; annual success criteria; contingency actions should success criteria not be met; long-term management and maintenance goals; and a funding mechanism for long-term management. Areas proposed as mitigation should have a recorded conservation easement and be dedicated to an entity which has been approved to hold/manage lands (AB 1094; Government Code, §§ 65965-65968).</p>		
<p><b>MM-BIO-2-                  Impacts to                  Sensitive Plant                  Communities</b></p>	<p>Success criteria should be based on the specific composition of the vegetation communities being impacted. Success should not be determined until the site has been irrigation-free for at least 5 years and the metrics for success have remained stable (no negative trend for richness/diversity/abundance/cover and no positive trend for invasive/non-native cover for each vegetation layer) for at least 5 years. In the revegetation plan, the success criteria should be compared against an appropriate reference site, with the same vegetation alliance, with as good or better-quality habitat. The success criteria should include percent cover (both basal and vegetative), species diversity, density, abundance, and any other measures of success deemed appropriate by CDFW. Success criteria should be separated into vegetative layers (tree, shrub, grass, and forb) for each alliance being mitigated, and each layer should be compared to the success criteria of the reference site, as well as the alliance criteria in MCV ensuring one species or layer does not disproportionately dominate a site but conditions mimic the reference site and meets the alliance membership requirements.</p> <p>CDFW does not recommend topsoil salvage or transplantation as viable mitigation options. Several studies have documented topsoil salvage had no effect on the recolonization of the target plant</p>	<p>Prior to                  /During/ After                  Project                  construction                  and activities</p>	<p>County of Ventura/                  Applicant</p>

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	species (Hinshaw 1998). Based on the scientific literature available, relying on topsoil salvage alone to mitigate impacts to CEQA-rare plant species does not appear to provide any value to mitigate impacts to the plant.		
<b>MM-BIO-3- Impacts to Rare Plants</b>	CDFW recommends including avoidance, minimization, and/or mitigation measure language articulating the need to perform focused surveys for sensitive/rare plants on-site and disclosing the results prior to the implementation of Projects. Based on the <i>Protocols for Surveying and Evaluating Impacts to Special Status Native Plant Populations and Natural Communities</i> (CDFWa 2018) ( <a href="https://nrm.dfg.ca.gov/FileHandler.ashx?DocumentID=18959">https://nrm.dfg.ca.gov/FileHandler.ashx?DocumentID=18959</a> ), a qualified biologist should “conduct surveys in the field at the time of year when species are both evident and identifiable. Usually this is during flowering or fruiting.” Final CEQA documentation, for a specified Project(s), should provide a thorough discussion on the presence/absence of sensitive plants on-site and identify measures to protect sensitive plant communities from Project-related direct and indirect impacts.	Prior to Project construction and activities	County of Ventura/ Applicant
<b>MM-BIO-4- Impacts to Rare Plants</b>	<p>If rare or sensitive plants are found on or near the footprint of the Project, CDFW recommends:</p> <ol style="list-style-type: none"> <li>1. The MND should provide species-specific measures to fully avoid impacts to all ESA- and CESA-listed plants. This may include flagging all plants and/or perimeter of populations; no-work buffers around plants and/or populations (e.g., flagged perimeter plus 50 feet); restrictions on ground disturbing activities within protected areas; relocation of staging and other material piling areas away from protected areas; restrictions on herbicide use and/or type of herbicide and/or application method within 100 feet of sensitive plants; and worker education and training.</li> <li>2. The MND provide measures to fully mitigate the loss of individual ESA- (Endangered Species Act) and CESA-listed</li> </ol>	Prior to Project construction and activities	County of Ventura/ Applicant

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	<p>plants and habitat. The MND should provide a map showing which plants or populations will be impacted and provide a table that clearly documents the number of plants and acres of supporting habitat impacted, and plant composition (e.g., density, cover, abundance) within impacted habitat (e.g., species list separated by vegetation class; density, cover, abundance of each species).</p>		
<p><b>MM-BIO-5- Impacts to Rare Plants</b></p>	<p>CDFW recommends the County/Applicant create a mitigation plan (Plan). The Plan should provide species-specific measures for on-site mitigation. Each species-specific mitigation plan should adopt an ecosystem-based approach and be of sufficient detail and resolution to describe the following at a minimum: 1) identify the impact and level of impact (e.g., acres or individual plants/habitat impacted); 2) location of on-site mitigation and adequacy of the location(s) to serve as mitigation; 3) assessment of appropriate reference sites; 4) scientific [Genus and species (subspecies/variety if applicable)] of plants being used for restoration; 5) location(s) of propagule source; 6) species-specific planting methods (i.e., container or seed); 7) measurable goals and success criteria for establishing self-sustaining populations (e.g. percent survival rate, absolute cover); 8) long-term monitoring, and; 9) adaptive management techniques.</p>	<p>Prior to Project construction and activities</p>	<p>County of Ventura/ Applicant</p>
<p><b>MM-BIO-6- Impacts to Special-Status Reptiles</b></p>	<p>To disclose impacts to special-status reptiles within the MND, CDFW recommends focused surveys for species likely to occur within a Project(s) area. Additional surveys will more reliably determine what species are present so CDFW can make informed recommendations as to avoidance, minimization, and mitigation measures. Surveys should typically be scheduled during the summer months (June and July) when these animals are most likely to be encountered. To achieve 100 percent visual coverage, CDFW recommends surveys be conducted with parallel transects at approximately 20 feet apart and walked on-site in appropriate habitat suitable for each species. Suitable habitat consists of areas</p>	<p>Prior to Project construction and activities</p>	<p>County of Ventura/ Applicant</p>

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	<p>of sandy, loose, and moist soils, typically under the sparse vegetation of scrub, chaparral, and within the duff of oak woodlands.</p>		
<p><b>MM-BIO-7- Impacts to Special-Status Reptiles</b></p>	<p>Prior to any Project activities, a relocation plan (Plan) should be developed by a qualified biologist familiar with the respective reptile in consultation with CDFW. The Plan should include, but not be limited to, the timing and location of the surveys that will be conducted for the species, identify the locations where more intensive survey efforts will be conducted (based on high habitat suitability); identify the habitat and conditions in any proposed relocation site(s); the methods that will be utilized for trapping and relocating the individuals; and the documentation/recordation of the number of animals relocated. CDFW recommends the County coordinate with CDFW and/or USFWS prior to any ground disturbing activities within potentially occupied habitat.</p>	<p>Prior to Project construction and activities</p>	<p>County of Ventura/ Applicant</p>
<p><b>MM-BIO-8- Impacts to Crotch's Bumble Bee</b></p>	<p>CDFW recommends that measures be taken, primarily, to avoid Project impacts to Crotch's bumble bee. Surveys should be performed by a qualified entomologist familiar with the species behavior and life history to determine the presence/absence of Crotch's bumble bee and within one year prior to vegetation removal and/or grading. Surveys should be conducted during flying season when the species is most likely to be detected above ground, between March 1 to September 1 (Thorp et al. 1983). Survey results, including negative findings, should be submitted to CDFW prior to implementing Project-related ground-disturbing activities. At minimum, a survey report should provide the following:</p> <ol style="list-style-type: none"> <li>1. A description and map of the survey area, focusing on areas that could provide suitable habitat for Crotch's bumble bee. CDFW recommends the map show surveyor(s) track lines to document that the entire site was covered during field surveys.</li> </ol>	<p>Prior to Project construction and activities</p>	<p>County of Ventura/ Applicant</p>

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	<ol style="list-style-type: none"> <li>2. Field survey conditions that should include name(s) of qualified entomologist(s) and brief qualifications; date and time of survey; survey duration; general weather conditions; survey goals, and species searched.</li> <li>3. Map(s) showing the location of nests/colonies.</li> <li>4. A description of physical (e.g., soil, moisture, slope) and biological (e.g., plant composition) conditions where each nest/colony is found. A sufficient description of biological conditions, primarily impacted habitat, should include native plant composition (e.g., density, cover, and abundance) within impacted habitat (e.g., species list separated by vegetation class; density, cover, and abundance of each species).</li> </ol>		
<p><b>MM-BIO-9- Impacts to Crotch's Bumble Bee</b></p>	<p>If "take" or adverse impacts to Crotch's bumble bee cannot be avoided either during Project activities or over the life of the Project, the County should consult CDFW to determine appropriate avoidance and/or minimization measures for the species.</p>	<p>Prior to Project construction and activities</p>	<p>County of Ventura/ Applicant</p>
<p><b>MM-BIO-10- Impacts to Bats</b></p>	<p>CDFW recommends a qualified bat specialist conduct bat surveys to determine baseline conditions within the Project site and within a 500-foot buffer to identify trees and/or structures (i.e., tunnels, maintenance buildings, food concession stands, comfort stations) that could provide daytime and/or nighttime roost sites. CDFW recommends using acoustic recognition technology to maximize detection of bats. Night roosts are typically utilized from the approach of sunset until sunrise. In most parts of California, night roost use will only occur from spring through fall while day roosts are typically utilized during the spring, summer, and fall in California (Johnston et al. 2004).</p> <p>Survey methodology and results, including negative findings, should be included in final environmental documents. Depending on survey results, please discuss potentially significant effects of the proposed Project on the bats and include species specific</p>	<p>Prior to Project construction and activities</p>	<p>County of Ventura/ Applicant</p>

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	<p>mitigation measures to reduce impacts to below a level of significance (CEQA Guidelines, § 15125).</p>		
<p><b>MM-BIO-11- Impacts to Bats</b></p>	<p>If maternity roosts are found, CDFW recommends, the following three mitigation measures:</p> <ol style="list-style-type: none"> <li>1. If maternity roosts are found, to the extent feasible, work should be scheduled between October 1 and February 28, outside of the maternity roosting season when young bats are present but are not yet ready to fly out of the roost (March 1 to September 30).</li> <li>2. If maternity roosts are found and if trees and/or structures must be removed/demolished during the maternity season, a qualified bat specialist should conduct a pre-construction survey to identify those trees and/or structures proposed for disturbance that could provide hibernacula or nursery colony roosting habitat. Acoustic recognition technology will be used to maximize detection of bats. Each tree and/or structure identified as potentially supporting an active maternity roost should be closely inspected by the bat specialist no more than 7 days prior to tree and/or structure disturbance to determine the presence or absence of roosting bats more precisely. If maternity roosts are detected, trees and/or structures determined to be maternity roosts should be left in place until the end of the maternity season. Work should not occur within 100 feet of or directly under or adjacent to an active roost and work should not occur between 30 minutes before sunset and 30 minutes after sunrise.</li> <li>3. If bats are not detected, but the bat specialist determines that roosting bats may be present at any time of year, trees will be removed using the two-step removal method. Segments of the tree which do not offer any roosting</li> </ol>	<p>Prior to Project construction and activities</p>	<p>County of Ventura/ Applicant</p>

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	<p>habitat will be removed using a chainsaw. To ensure the optimum warning for any roosting bats that may still be present, trees should be pushed lightly with heavy machinery two to three times, with a pause of approximately 30 seconds between each nudge to allow bats to become active. The tree should then be left in place for at least a 24-hour period and inspected by a bat specialist. Trees that are known to be bat roosts should not be bucked or mulched immediately. A period of at least 24 hours, but preferably 48 hours, should elapse prior to such operations to allow bats to escape. Bats should be allowed to escape prior to demolition of buildings. This may be accomplished by using lights, fans, and placing one-way exclusionary devices into areas where bats are entering a building that allow bats to exit but not enter the building.</p>		
<p><b>MM-BIO-12- Impacts to Bats</b></p>	<p>If night-time or day-time roosting habitat is available and presence is confirmed within trees CDFW recommends the two-step removal method:</p> <ol style="list-style-type: none"> <li>1. During daytime hours between October 1-October 15 portions of trees which do not provide habitat will be removed with a chainsaw by a qualified arborist. Tree cutting will occur under the supervision of a qualified bat biologist who will guide the trimming in a way to minimize any potential harm to bats. Removal of non-roosting areas will influence movement of bats from the structure through noise and vibration disturbance. A period of at least 24 hours, but preferably 48 hours, should elapse prior to complete removal to allow bats to escape.</li> <li>2. Following the appropriate waiting period and an inspection by a qualified biologist the tree or structure can be fully removed.</li> </ol>	<p>Prior to Project construction and activities</p>	<p>County of Ventura/ Applicant</p>

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	These methods should be done when young are not dependent on their mothers for food, are able to fly, and are not tied to the roosting site due to seasonal timing. Generally, these methods should not be done past the third week of October. In the absence of presence/absence data a conservative approach to tree removal is recommended to lessen the likelihood of “take.”		
<b>MM-BIO-13- Impacts to Bats</b>	If roosting habitat is available but absence is confirmed following appropriate focus-surveys CDFW recommends removing potential roosting habitat during winter months (November 1-January 31). Removal of habitat where bats have been determined to be absent will prevent future occupation in the area. Bats move roosting locations frequently based on need or seasonal changes. Habitat that is not occupied may become so in a matter of days, to weeks, to months, to years.	Prior to Project construction and activities	County of Ventura/ Applicant
<b>MM-BIO-14- Impacts to Non-Game Mammals and Wildlife</b>	If fencing is proposed for use during construction or during the life of the Project, fences should be constructed with materials that are not harmful to wildlife. Prohibited materials include, but are not limited to, spikes, glass, razor, or barbed wire. Fencing should also be minimized so as not to restrict free wildlife movement through habitat areas.	Prior to Project construction and activities	County of Ventura/ Applicant
<b>MM-BIO-15- Impacts to Non-Game Mammals and Wildlife</b>	To avoid direct mortality, a qualified biological monitor should be on site prior to and during ground and habitat disturbing activities to move out of harm’s way special status species or other wildlife of low mobility that would be injured or killed by grubbing or Project-related construction activities. Salvaged wildlife of low mobility should be removed and placed onto adjacent and suitable (i.e., species appropriate) habitat out of harm’s way.  It should be noted that the temporary relocation of on-site wildlife does not constitute effective mitigation for the purposes of offsetting Program impacts associated with habitat loss.	Prior to Project construction and activities	County of Ventura/ Applicant



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<b>MM-BIO-16- Impacts to Non- Game Mammals and Wildlife</b>	<p>Grubbing and grading should be done to avoid islands of habitat where wildlife may take refuge and later be killed by heavy equipment. Grubbing and grading should be done from the center of the Project site, working outward towards adjacent habitat off site where wildlife may safely escape.</p>	<p>Prior to/During construction and activities</p>	<p>County of Ventura/ Applicant</p>
<b>REC-1- Sensitive Plant Communities</b>	<p>CDFW recommends taking an inter-disciplinary approach, inclusive of wildlife biologists and restoration professionals, to restore scrub and grassland habitats. The County should replace acreage of Mediterranean Scrub and Grassland, Warm Semi-Desert Scrub and Grassland, and Coastal Bluff Scrub at no less than the total acres impacted and use only native grasses or forbs indigenous to grasslands in region/watershed. Restoration should consider habitat requirements (e.g., refugia, structure, variation in plant density and cover) of wildlife that could occur in these two vegetation communities. CDFW recommends that the location of the mitigation site avoid the conversion of other habitats (e.g., scrubland to grassland). Scrub and grassland restoration should occur in areas appropriate abiotic and biotic conditions to support each habitat type.</p>	<p>Prior to Project construction and activities</p>	<p>County of Ventura/ Applicant</p>
<b>REC-2- Crotch's Bumble Bee</b>	<p>CDFW recommends the County update their CEQA document to reflect the possibility of Crotch's bumble bee within the Project site and discuss the local and regional significance of impacts to the species. Focus surveys should be conducted in order to determine presence/absence, identify potential nest sites, and to further evaluate the quality of habitat present for Crotch's bumble bee. The updated analysis should include appropriate avoidance, minimization, and compensatory mitigation measures to offset any impacts to below a level of significance.</p>	<p>Prior to Project construction and activities</p>	<p>County of Ventura/ Applicant</p>
<b>REC-3- Bats</b>	<p>CDFW also recommends the proper inspection of the shed present on-site to avoid take of bat species. Pallid bats are especially vulnerable to take in man-made structures as they have been documented to utilize unnatural structures as roosting sites.</p>	<p>Prior to Project construction and activities</p>	<p>County of Ventura/ Applicant</p>

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<b>REC-4- Crotch's Bumble Bee</b>	CDFW recommends the County update their CEQA document to reflect the possibility of Crotch's bumble bee within the Project site and discuss the local and regional significance of impacts to the species. Focus surveys should be conducted in order to determine presence/absence, identify potential nest sites, and to further evaluate the quality of habitat present for Crotch's bumble bee. The updated analysis should include appropriate avoidance, minimization, and compensatory mitigation measures to offset any impacts to below a level of significance.	Prior to Project construction and activities	County of Ventura/ Applicant
<b>REC-5- Alternatives</b>	CDFW recommends the County consider an alternative that would fully avoid or minimize impacts to streams, sensitive plants and wildlife. CDFW recommends the County recirculate the environmental document after including alternative locations in order to foster meaningful public participation and informed decision making [CEQA Guidelines, §§ 15088.5, 15126.6(f)]. If the County concludes that no feasible alternative locations exist, or the use of alternative locations as a mitigation measure is infeasible, the County must disclose the reasons in the final environmental document and recirculate [CEQA Guidelines, §§ 15088.5(a)(3), 15126.6(f)(2)].	Prior to Project construction and activities	County of Ventura/ Applicant
<b>REC-6- Fuel Modification</b>	If the Project includes fuel modification, CDFW recommends that the final environmental include avoidance and mitigation measures for any fuel modification activities conducted within and adjacent to the Project area. A weed management plan should be developed for all areas adjacent to open space that will be subject to fuel modification disturbance. CDFW also recommends that any irrigation proposed in fuel modification zones drain back into the development and not onto natural habitat land as perennial sources of water allow for the introduction of invasive Argentine ants.	Prior to Project construction and activities	County of Ventura/ Applicant
<b>REC-7-</b>	Per Public Resources Code section 21081.6(a)(1), CDFW has provided the County with a summary of our suggested mitigation measures and recommendations in the form of an attached Draft Mitigation and Monitoring Reporting Plan (MMRP; Attachment A).	Prior to construction and activities	County of Ventura/ Applicant

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<b>Mitigation and Monitoring Reporting Plan</b>	A final MMRP should reflect results following additional plant and wildlife surveys and the Project's final on and/or off-site mitigation plans.		
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**EXHIBIT 4.b**

County File No. PL21-0020

**Response to MND Comments from  
California Department of Fish and Wildlife (CDFW)**

<b>#</b>	<b>CDFW Comment</b>	<b>County Response</b>
1	Sensitive natural communities should be avoided if feasible. (MM-BIO-1)	Avoidance of sensitive natural communities is infeasible on the project site. County staff considered alternative locations for the residence and determined that these locations were largely infeasible due to topography. Moreover, the selected location is in an area where vegetation clearance has historically taken place. As a result, it would result in a reduced impact on natural communities when compared to other locations.
2	Mitigation ratios for S3 vegetation communities should be 4:1. (MM-BIO-1)	The ISBA appropriately recommends a 2:1 mitigation ratio for S3 vegetation communities. This ratio aligns with (1) the County's historic practice for mitigating S3 communities; (2) the County's Initial Study Assessment Guidelines (ISAGs); and (3) the County's Standards for Initial Study Biological Assessments (ISBAs). Additionally, the ISBA for the project was completed by a qualified biologist and peer reviewed by the County's contract biologist. Both biologists concurred with the proposed 2:1 mitigation ratio.
3	Mitigation ratios for S4 and S5 vegetation communities should be 2:1. (MM-BIO-1)	In accordance with the County's ISAGs and Standards for ISBAs, S4 and S5 vegetation communities are not considered sensitive. Therefore, there would be no potential for impact to sensitive vegetation communities and no grounds for requiring mitigation. As such, the ISBA appropriately concludes no mitigation is necessary for impacts to S4/S5 communities.
4	The restoration plan should be approved by CDFW. (MM-BIO-1)	Mitigation Measure BIO-6 has been modified to specify that the restoration plan be prepared in consultation with CDFW.
5	Areas proposed for mitigation should be placed in a conservation easement. (MM-BIO-1)	Mitigation Measure BIO-6 requires the permanent protection of the restoration area. No conservation easement is proposed. No outside agencies have expressed an interest in holding a conservation easement. The

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Exhibit 4.b - Response to Comments

#	CDFW Comment	County Response
		proposed approach to mitigate onsite without a conservation easement is sufficient to offset potential impacts.
6	Restoration success should not be determined until the site has been irrigation free for at least 5 years and metrics for success have remained stable. (MM-BIO-2)	Mitigation Measure BIO-6 requires a minimum of five years of monitoring to ensure establishment of vegetation and determines success after one year without any maintenance or remediation activities. This is sufficient to ensure the success of the restoration plan
7	Conduct focused surveys during flowering seasons for rare plants. (MM-BIO-3)	The ISBA documents that such surveys were conducted.
8	Provide species-specific measures for identified rare/sensitive plants. (MM-BIO-4)	No special-status plants were observed on site. Mitigation Measure BIO-3 requires that a biologist monitor grading and grubbing activities. This measure is designed to ensure that sensitive plants will be avoided during grading and grubbing.
9	Mitigate the loss of ESA/CESA-listed plants and habitat with a species-specific mitigation plan. (MM-BIO-5)	No special-status plants were observed on site. Therefore, no loss of ESA/CESA-listed plants and habitat is anticipated to result from the project.
10	Conduct a summer survey to determine the presence of special-status reptiles. (MM-BIO-6)	A summer survey was conducted as part of the ISBA. No special-status reptiles were observed.
11	Develop a relocation plan for special-status reptiles. (MM-BIO-7)	Mitigation Measure BIO-1 already requires that relocation be done in accordance with CDFW-approved measures. This mitigation measure has been revised to strengthen the content requirements of a relocation plan.
12	Conduct an entomological survey to determine the presence of Crotch's bumble bee. (MM-BIO-8)	The ISBA was prepared by a County-approved biologist who assessed the potential for presence of special status wildlife species, including Crotch's bumble bee. This species was not observed on the site. Mitigation Measure BIO-3 has been modified to include Crotch's bumble bee in the list of species to be considered by the biological monitor.
13	Consult CDFW if take or adverse impacts to Crotch's bumble bee would occur. (MM-BIO-9)	No adverse impacts or take of Crotch's bumble bee is expected to result from the project, based on the conclusions of the ISBA.

#	CDFW Comment	County Response
14	Conduct a bat habitat assessment survey. (MM-BIO-10)	The ISBA was prepared by a County-approved biologist who assessed the potential for presence of special status bats, such as pallid bat. No suitable roosting habitat was observed on the site. Mitigation Measure BIO-3 has been modified to include pallid bat in the list of species to be considered by the biological monitor.
15	Certain protocols should be followed if maternity roosts are found or if roosts need to be removed. (MM-BIO-11 through MM-BIO-13)	The ISBA notes that no roosts were found on the project site. As such, the project is not expected to result in the removal of roosts.
16	Fences should be constructed of materials that would not harm wildlife. (MM-BIO-14)	The applicant has voluntarily amended the project description to include a design feature that prohibits the use of fencing material that would harm wildlife.
17	A biologist should monitor during ground disturbing activities. (MM-BIO-15)	Mitigation Measure BIO-3 requires that a qualified biologist monitor during all grading and fuel modification activities.
18	Grading and grubbing should start at the center of the site and work outwards. (MM-BIO-16)	The applicant has voluntarily amended the project description to include a design feature that would require grading be conducted from the center of the site outwards to avoid creating islands of habitat.
19	CDFW recommends an interdisciplinary approach be taken to restoration. (REC-1)	The County concurs.
20	Update the CEQA document to address Crotch's bumble bee. (REC-2)	Revisions have been made to the CEQA document to include Crotch's bumble bee in the list of species with potential presence on the project site. The conclusion that no special-status wildlife species were present remains valid based on the ISBA survey results. Mitigation Measure BIO-3 was also updated to include Crotch's bumble bee in the list of the species to be monitored for.
21	CDFW recommends proper inspection of the shed. (REC-3)	The ISBA did not note that the shed has potential to include roosting habitat.

**CONDITIONS OF APPROVAL  
AND MITIGATION MONITORING AND REPORTING PROGRAM  
FOR PD PERMIT CASE NO. PL21-0020**

**RESOURCE MANAGEMENT AGENCY (RMA)**

**Planning Division Conditions**

1. Project Description

This Planned Development Permit is based on and limited to compliance with the project description stated in this condition below, Exhibits 3, 7, and 8 of the Planning Director hearing on May 26, 2022, and conditions of approval set forth below. Together, these conditions and documents describe the "Project." Any deviations from the Project must first be reviewed and approved by the County in order to determine if the Project deviations conform to the Project as approved. Project deviations may require Planning Director approval for changes to the permit or further California Environmental Quality Act (CEQA) environmental review, or both. Any Project deviation that is implemented without requisite County review and approval(s) may constitute a violation of the conditions of this permit and applicable law.

The Project description is as follows:

Request for a Planned Development (PD) Permit for the construction of (1) a one-story single-family dwelling with an attached four-car garage (15,784 sq. ft.); (2) an accessory dwelling unit (1,799 sq. ft.); (3) a detached four-car garage (1,272 sq. ft.); and (4) a swimming pool. The permit would also authorize the demolition of a "recreation building" that is not considered of historic or cultural interest and the removal of one protected Italian stone pine. The dwelling and accessory structures will cover 0.49 acres of a 20.75-acre lot.

In addition to the structural improvements, this PD Permit will also authorize grading, landscaping, installation of drainage improvements, and fuel modification. Grading will be limited to over-excavation and re-compaction of the existing building pad. Landscaping will include the planting of 58 trees as well as shrubs and vines. Groundcover will include 14,890 sq. ft. of artificial turf, 7,050 sq. ft. of ornamental planting, and 26,950 sq. ft. of native planting. Fuel modification will occur within 100 feet of proposed structures and will cover an area of approximately 3.87 acres. All drainage from the new development will be directed to a planter box and any overflow will be conveyed to an underground retention system, both to be located in the landscaped area.

The project will also incorporate the following project design features:

- (1) *Fencing Limitation.* The applicant has voluntarily limited fencing to be constructed with materials that are not harmful to wildlife. Materials not to be used include

spikes, glass, razor, or barbed wire. This limitation shall apply for the life of the project.

- (2) *Grading and Grubbing Approach.* The applicant has proposed to use a grading and grubbing approach that will not result in the temporary creation of islands of habitat. Grubbing and grading will be done from the center of the project site, working outward towards adjacent habitat where wildlife may escape.

Access to the proposed dwelling will be by way of an existing paved driveway that extends one-quarter (0.25) mile from White Stallion Road to the building pad. White Stallion Road, a paved private loop road, intersects with Potrero Road, a County-maintained arterial road, 0.36 miles west and 0.38 miles east of the project site.

Potable water will be supplied by California-American (Cal-Am) Water Company. Wastewater will be disposed of using an on-site wastewater treatment system comprised of a septic tank, secondary treatment system, and two 40-foot-deep seepage pits.

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and all approved County land use hearing exhibits in support of the Project and conditions of approval below.

## 2. Required Improvements for PD

**Purpose:** To ensure the project site conforms to the plans approved at the Planning Director hearing in support of the project.

**Requirement:** The Permittee shall ensure that all required off-site and on-site improvements for the Project, including structures, paving, parking, and landscaping are completed in conformance with the approved plans stamped as hearing exhibit 3. The Permittee shall prepare and submit all final building and site plans for the County's review and approval in accordance with the approved plans.

**Documentation:** The Permittee shall obtain Planning Division staff's stamped approval on the project plans and submit them to the County for inclusion in the Project file. The Permittee shall submit additional plans to the Planning Division for review and stamped approval (e.g., tree protection and landscape plans) for inclusion in the Project file, as necessary.

**Timing:** Prior to the issuance of a Zoning Clearance for construction the Permittee shall submit all final development plans to the Planning Division for review and approval. Unless the Planning Director and/or Public Works Agency Director allow the Permittee to provide financial security and a final executed agreement, approved as to form by the County Counsel, that ensures completion of such improvements, the Permittee shall complete all required improvements prior to final inspection. The Permittee shall maintain the required improvements for the life of the Project.



**Monitoring and Reporting:** The County Building Inspector, Public Works Agency Grading Inspector, Fire Marshall, and/or Planning Division staff has the authority to conduct periodic site inspections to ensure the Permittee's ongoing compliance with this condition consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

### 3. Site Maintenance

**Purpose:** To ensure that the Project site is maintained in a neat and orderly manner so as not to create any hazardous conditions or unsightly conditions which are visible from outside of the Project site.

**Requirement:** The Permittee shall maintain the Project site in a neat and orderly manner, and in compliance with the Project description set forth in Condition No. 1. Only equipment and/or materials which the Planning Director determines to substantially comply with the Project description shall be stored within the Project site during the life of the Project. Equipment and materials to be stored onsite shall be limited to designated staging areas.

**Documentation:** The Permittee shall maintain the Project site in compliance with Condition No. 1 and the approved plans for the Project.

**Timing:** The Permittee shall maintain the Project site in a neat and orderly manner and in compliance with Condition No. 1 throughout the life of the Project.

**Monitoring and Reporting:** The County Building Inspector, Public Works Agency Grading Inspector, Fire Marshall, and/or Planning Division staff has the authority to conduct periodic site inspections to ensure the Permittee's ongoing compliance with this condition consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

### 4. PD Modification

Prior to undertaking any operational or construction-related activity which is not expressly described in these conditions, the Permittee shall first contact the Planning Director to determine if the proposed activity requires a modification of this PD. The Planning Director may, at the Planning Director's sole discretion, require the Permittee to file a written and/or mapped description of the proposed activity in order to determine if a PD modification is required. If a PD modification is required, the modification shall be subject to:

- a. The modification approval standards of the Ventura County Ordinance Code in effect at the time the modification application is acted on by the Planning Director; and
- b. Environmental review, as required pursuant to the California Environmental Quality Act (CEQA; California Public Resources Code, §§ 21000-21178) and the

State CEQA Guidelines (California Code of Regulations, Title 14, Chapter 3, §§ 15000-15387), as amended from time to time.

**5. Construction Activities**

Prior to any construction, the Permittee shall obtain a Zoning Clearance for construction from the Planning Division, and a Building Permit from the Building and Safety Division. Prior to any grading, the Permittee shall obtain a Grading Permit from the Public Works Agency.

**6. Acceptance of Conditions and Schedule of Enforcement Responses**

The Permittee's acceptance of this PD Permit and/or commencement of construction and/or operations under this PD Permit shall constitute the Permittee's formal agreement to comply with all conditions of this PD Permit. Failure to abide by and comply with any condition of this PD Permit shall constitute grounds for enforcement action provided in the Ventura County Non-Coastal Zoning Ordinance (Article 14), which shall include, but is not limited to, the following:

- a. Public reporting of violations to the Planning Commission and/or Board of Supervisors;
- b. Suspension of the permitted land uses (Condition No. 1);
- c. Modification of the PD Permit conditions listed herein;
- d. Recordation of a "Notice of Noncompliance" on the deed to the subject property;
- e. The imposition of civil administrative penalties; and/or
- f. Revocation of this PD Permit.

The Permittee is responsible for being aware of and complying with the PD Permit conditions and all applicable federal, state, and local laws and regulations.

**7. Time Limits**

a. Use inauguration:

- (1) The approval decision for this PD Permit becomes effective upon the expiration of the 10 day appeal period following the approval decision, or when any appeals of the decision are finally resolved. Once the approval decision becomes effective, the Permittee must obtain a Zoning Clearance for construction in order to initiate the land uses set forth in Condition No. 1.
- (2) This PD Permit shall expire and become null and void if the Permittee fails to obtain a Zoning Clearance for construction within one year from the date the approval decision of this PD becomes effective. The Planning Director may grant a one year extension of time to the Permittee in order to obtain the Zoning Clearance for construction if the Permittee can demonstrate to the satisfaction of the Planning Director that the Permittee has made a diligent effort to implement the Project, and the Permittee has requested the time extension in writing at least 30 days prior to the one year expiration date.

- (3) Prior to the issuance of the Zoning Clearance for construction, all fees and charges billed to that date by any County agency, as well as any fines, penalties, and sureties, must be paid in full. After issuance of the Zoning Clearance for construction, any final billed processing fees must be paid within 30 days of the billing date or the County may revoke this PD Permit.

8. Documentation Verifying Compliance with Other Agencies' Requirements Related to this PD Permit

**Purpose:** To ensure compliance with, and notification of, federal, state, and/or local government regulatory agencies that have requirements that pertain to the Project (Condition No. 1, above) that is the subject of this PD Permit and the completion of Mitigation and Monitoring Reporting Program.

**Requirement:** Upon the request of the Planning Director, the Permittee shall provide the Planning Division with documentation (e.g., copies of permits or agreements from other agencies, which are required pursuant to a condition of this PD Permit) to verify that the Permittee has obtained or satisfied all applicable federal, state, and local entitlements and conditions that pertain to the Project.

**Documentation:** The Permittee shall provide this documentation to Planning Division staff in the form that is acceptable to the agency issuing the entitlement or clearance, to be included in the Planning Division Project file.

**Timing:** The documentation shall be submitted to the Planning Division prior to the issuance of the Zoning Clearance for construction or as dictated by the respective agency.

**Monitoring and Reporting:** The Planning Division maintains the documentation provided by the Permittee in the respective Project file. In the event that the federal, state, or local government regulatory agency prepares new documentation due to changes in the Project or the other agency's requirements, the Permittee shall submit the new documentation within 30 days of receipt of the documentation from the other agency.

9. Notice of PD Permit Requirements and Retention of PD Permit Conditions On Site

**Purpose:** To ensure full and proper notice of these PD Permit conditions affecting the use of the subject property.

**Requirement:** Unless otherwise required by the Planning Director, the Permittee shall notify, in writing, the Property Owner(s) of record, contractors, and all other parties and vendors who regularly conduct activities associated with the Project, of the pertinent conditions of this PD Permit.

**Documentation:** The Permittee shall maintain a current set of PD Permit conditions and exhibits at the project site.

**Timing:** Prior to issuance of a Zoning Clearance for construction and throughout the life of the Project.

**Monitoring and Reporting:** The Planning Division has the authority to conduct periodic site inspections to ensure ongoing compliance with this condition consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

10. Recorded Notice of Land Use Entitlement

**Purpose:** The Permittee shall record a “Notice of Land Use Entitlement” form and the conditions of this PD Permit with the deed for the subject property that notifies the current and future Property Owner(s) of the conditions of this PD Permit.

**Requirement:** The Permittee shall sign, have notarized, and record with the Office of the County Recorder, a “Notice of Land Use Entitlement” form furnished by the Planning Division and the conditions of this PD Permit, with the deed of the property that is subject to this PD Permit.

**Documentation:** Recorded “Notice of Land Use Entitlement” form and conditions of this PD.

**Timing:** The Permittee shall record the “Notice of Land use Entitlement” form and conditions of this PD Permit, prior to Zoning Clearance for construction.

**Monitoring and Reporting:** The Permittee shall return a copy of the recorded “Notice of Land Use Entitlement” form and conditions of this PD Permit to Planning Division staff to be included in the Project file.

11. Financial Responsibility for Compliance Monitoring and Enforcement

- a. **Cost Responsibilities:** The Permittee shall bear the full costs of all County staff time, materials, and County-retained consultants associated with condition compliance review and monitoring, CEQA mitigation monitoring, other permit monitoring programs, and enforcement activities, actions, and processes conducted pursuant to the Ventura County Non-Coastal Zoning Ordinance (§ 8114-3) related to this PD Permit. Such condition compliance review, monitoring and enforcement activities may include (but are not limited to): periodic site inspections; preparation, review, and approval of studies and reports; review of permit conditions and related records; enforcement hearings and processes; drafting and implementing compliance agreements; and attending to the modification, suspension, or revocation of permits. Costs will be billed at the rates set forth in the Planning Division or other applicable County Fee Schedule, and at the contract rates of County-retained consultants, in effect at the time the costs are incurred.

- b. Establishment of Revolving Compliance Account: Within 10 calendar days of the effective date of the final decision approving this PD Permit, the Permittee shall submit the following deposit and reimbursement agreement to the Planning Director:
- (1) A payment of \$500.00 for deposit into a revolving condition compliance and enforcement account to be used by the Planning Division to cover costs associated with condition compliance review, monitoring, and enforcement activities described in 11.a (above), and any duly imposed civil administrative penalties regarding this. The Permittee shall replenish such account to the above-stated amount within 10 calendar days after receiving notice of the requirement to do so from the Resource Management Agency.
  - (2) An executed reimbursement agreement, in a form provided by the Planning Division, obligating the Permittee to pay all condition compliance review, monitoring, and enforcement costs, and any civil administrative penalties, subject to the Permittee's right to challenge all such charges and penalties prior to payment.
- c. Billing Process: The Permittee shall pay all Planning Division invoices within 30 days of receipt thereof. Failure to timely pay an invoice shall subject the Permittee to late fees and charges set forth in the Planning Division Fee Schedule, and shall be grounds for suspension, modification, or revocation of this PD Permit. The Permittee shall have the right to challenge any charge or penalty prior to payment.

12. Defense and Indemnification

- a. The Permittee shall defend, at the Permittee's sole expense with legal counsel acceptable to the County, against any and all claims, actions, or proceedings against the County, any other public agency with a governing body consisting of the members of the County Board of Supervisors, or any of their respective board members, officials, employees and agents (collectively, "Indemnified Parties") arising out of or in any way related to the County's issuance, administration, or enforcement of this PD Permit. The County shall promptly notify the Permittee of any such claim, action or proceeding and shall cooperate fully in the defense.
- b. The Permittee shall also indemnify and hold harmless the Indemnified Parties from and against any and all losses, damages, awards, fines, expenses, penalties, judgments, settlements, or liabilities of whatever nature, including but not limited to court costs and attorney fees (collectively, "Liabilities"), arising out of or in any way related to any claim, action or proceeding subject to subpart (a) above, regardless of how a court apportions any such Liabilities as between the Permittee, the County, and/or third parties.

- c. Except with respect to claims, actions, proceedings, and Liabilities resulting from an Indemnified Party's sole active negligence or intentional misconduct, the Permittee shall also indemnify, defend (at Permittee's sole expense with legal counsel acceptable to County), and hold harmless the Indemnified Parties from and against any and all claims, actions, proceedings, and Liabilities arising out of, or in any way related to, the construction, maintenance, land use, or operations conducted pursuant to this PD Permit, regardless of how a court apportions any such Liabilities as between the Permittee, the County, and/or third parties. The County shall promptly notify the Permittee of any such claim, action, or proceeding and shall cooperate fully in the defense.
- d. Neither the issuance of this PD Permit, nor compliance with the conditions hereof, shall relieve the Permittee from any responsibility otherwise imposed by law for damage to persons or property; nor shall the issuance of this PD Permit serve to impose any liability upon the Indemnified Parties for injury or damage to persons or property.

**13. Invalidation of Condition(s)**

If any of the conditions or limitations of this PD Permit are held to be invalid in whole or in part by a court of competent jurisdiction, that holding shall not invalidate any of the remaining PD Permit conditions or limitations. In the event that any condition imposing a fee, exaction, dedication, or other mitigation measure is challenged by the Permittee in an action filed in a court of competent jurisdiction, or threatened to be filed therein, the Permittee shall be required to fully comply with this PD Permit, including without limitation, by remitting the fee, exaction, dedication, and/or by otherwise performing all mitigation measures being challenged. This PD Permit shall continue in full force unless, until, and only to the extent invalidated by a final, binding judgment issued in such action.

If a court of competent jurisdiction invalidates any condition in whole or in part, and the invalidation would change the findings and/or the mitigation measures associated with the approval of this PD Permit, at the discretion of the Planning Director, the Planning Director may review the project and impose substitute feasible conditions/mitigation measures to adequately address the subject matter of the invalidated condition. The Planning Director shall make the determination of adequacy. If the Planning Director cannot identify substitute feasible conditions/mitigation measures to replace the invalidated condition and cannot identify overriding considerations for the significant impacts that are not mitigated to a level of insignificance as a result of the invalidation of the condition, then this PD Permit may be revoked.

**14. Consultant Review of Information and Consultant Work**

The County and all other County permitting agencies for the Project have the option of referring any and all special studies that these conditions require to an independent and qualified consultant for review and evaluation of issues beyond the expertise or resources of County staff.

Prior to the County engaging any independent consultants or contractors pursuant to the conditions of this PD Permit, the County shall confer in writing with the Permittee regarding the necessary work to be contracted, as well as the estimated costs of such work. Whenever feasible, the County will use the lowest responsible bidder or proposer. Any decisions made by County staff in reliance on consultant or contractor work may be appealed pursuant to the appeal procedures contained in the Ventura County Zoning Ordinance Code then in effect.

The Permittee may hire private consultants to conduct work required by the County, but only if the consultant and the consultant's proposed scope-of-work are first reviewed and approved by the County. The County retains the right to hire its own consultants to evaluate any work that the Permittee or a contractor of the Permittee undertakes. In accordance with Condition No. 11 above, if the County hires a consultant to review any work undertaken by the Permittee or hires a consultant to review the work undertaken by a contractor of the Permittee, the hiring of the consultant will be at the Permittee's expense.

15. Relationship of PD Permit Conditions, Laws, and Other Entitlements

The Permittee shall implement the Project in compliance with all applicable requirements and enactments of federal, state, and local authorities. In the event of conflict between various requirements, the more restrictive requirements shall apply. In the event the Planning Director determines that any PD Permit condition contained herein is in conflict with any other PD Permit condition contained herein, when principles of law do not provide to the contrary, the PD Permit condition most protective of public health and safety and environmental resources shall prevail to the extent feasible.

No condition of this PD Permit for uses allowed by the Ventura County Ordinance Code shall be interpreted as permitting or requiring any violation of law, lawful rules, or regulations, or orders of an authorized governmental agency. Neither the approval of this PD Permit, nor compliance with the conditions of this PD Permit, shall relieve the Permittee from any responsibility otherwise imposed by law for damage to persons or property.

16. Contact Person

**Purpose:** To designate a person responsible for responding to complaints.

**Requirement:** The Permittee shall designate a contact person(s) to respond to complaints from citizens and the County which are related to the permitted uses of this PD Permit.

**Documentation:** The Permittee shall provide the Planning Director with the contact information (e.g., name and/or position title, address, business and cell phone numbers, and email addresses) of the Permittee's field agent who receives all orders, notices, and communications regarding matters of condition and code compliance at the Project site.

**Timing:** Prior to the issuance of a Zoning Clearance for construction, the Permittee shall provide the Planning Division the contact information of the Permittee's field agent(s) for the Project file. If the address or phone number of the Permittee's field agent(s) should change, or the responsibility is assigned to another person, the Permittee shall provide Planning Division staff with the new information in writing within three calendar days of the change in the Permittee's field agent.

**Monitoring and Reporting:** The Planning Division maintains the contact information provided by the Permittee in the Project file. The Planning Division has the authority to periodically confirm the contact information consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

#### 17. Change of Permittee

**Purpose:** To ensure that the Planning Division is properly and promptly notified of any change of Permittee.

**Requirement:** The Permittee shall file, as an initial notice with the Planning Director, the new name(s), address(es), telephone/FAX number(s), and email addresses of the new owner(s), lessee(s), operator(s) of the permitted uses, and the company officer(s). The Permittee shall provide the Planning Director with a final notice once the transfer of ownership and/or operational control has occurred.

**Documentation:** The initial notice must be submitted with the new Permittee's contact information. The final notice of transfer must include the effective date and time of the transfer and a letter signed by the new Property Owner(s), lessee(s), and/or operator(s) of the permitted uses acknowledging and agreeing to comply with all conditions of this PD Permit.

**Timing:** The Permittee shall provide written notice to the Planning Director 10 calendar days prior to the change of ownership or change of Permittee. The Permittee shall provide the final notice to the Planning Director within 15 calendar days of the effective date of the transfer.

**Monitoring and Reporting:** The Planning Division maintains notices submitted by the Permittee in the Project file and has the authority to periodically confirm the information consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

#### 18. Landscaping and Screening

**Purpose:** To comply with the County's landscaping requirements.

**Requirement:** The Permittee shall retain a landscape architect to prepare a landscape plan that complies with the requirements of this condition and the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO).



**Landscaping Objectives:** The Permittee must install and maintain landscaping that serves the following functions:

- a. Ensures compatibility with scenic resources and community character. The Permittee must install landscaping that visually integrates the development with the character of the surrounding community.
- b. Complies with the California Department of Water Resources Model Water Efficient Landscape Ordinance. The Permittee must install landscaping that complies with the requirements of the California Department of Water Resources' Model Water Efficient Landscape Ordinance, which is available on-line at: <http://www.water.ca.gov/wateruseefficiency/landscapeordinance/>.

**Landscaping Design:** The Permittee shall design the landscaping such that the landscaping requires minimal amounts of water and uses required water efficiently, in accordance with the water efficiency requirements of the Landscape Design Criteria and the California Department of Water Resources Model Water Efficient Landscape Ordinance, and must achieve the following design objectives:

- a. Protection of Existing Vegetation. Existing vegetation, especially trees, must be saved and integrated into landscape design wherever feasible, appropriate, or required by other regulations (e.g., the Tree Protection Ordinance).
- b. Create Viable Growing Environment. The landscape design must address the needs of the plants to ensure their health, long-term viability, and protection.
- c. Species Diversity. The landscape plan must integrate a variety of plant species, heights, colors, and textures, as appropriate given the size of the landscape.
- d. Fire Resistance. Plant material installed in the fuel modification zone must be fire resistant.
- e. Use Non-Invasive Plant Species.
- f. Use Native Plant Species in all areas outside of the graded pad (e.g., in fuel modification areas). Selected species must be fire resistant and approved by VCFPD as to species, location, and spacing.
- g. Plant replacement coast live oaks, consistent with Section 5.2.7.9 of the Thousand Oaks Area Plan Special Guidelines and Standards and NCZO Section 8107-25.10.
- h. In accordance with § 8109-4.1.5 of the Ventura County Non-Coastal Zoning Ordinance, plants used to revegetate graded slopes must be native plants indigenous to the area, where appropriate considering the surrounding conditions.

**Documentation:** The Permittee shall submit three sets of a draft landscape plan to the Planning Division for review and approval. A California registered landscape architect (or other qualified individual as approved by the Planning Director) shall prepare the landscape plan, demonstrating compliance with the requirements set forth in this condition (above), § 8106-8.2 (General Landscaping and Water Conservation Requirements) of the Non-Coastal Zoning Ordinance. The landscape architect responsible for the work shall stamp the plan. After landscape installation, the Permittee shall submit to Planning Division staff a statement from the project landscape architect that the Permittee installed all landscaping as shown on the approved landscape plan. Prior to installation of the landscaping, the Permittee must obtain the Planning Director's approval of any changes to the landscape plans that affect the character or quantity of the plant material or irrigation system design.

**Timing:** The Permittee shall submit the landscape plan to the Planning Division for review and approval prior to issuance of a Zoning Clearance for grading or construction. Landscaping installation and maintenance activities shall occur according to the timing requirements set forth in § 8106-8.2.8 of the Non-Coastal Zoning Ordinance.

**Monitoring and Reporting:** Landscaping shall be maintained for the life of the permit. Landscaping approval/installation and verification shall occur after the Permittee submits the Certificate of Completion for the landscape installation. County staff shall then conduct an onsite inspection to verify that the landscaping was installed as required by the approved landscape plan as set forth in § 8106-8.2.3(a) of the Non-Coastal Zoning Ordinance. Monitoring activities, and enforcement activities shall occur according to the procedures set forth in § 8106.8.2.8 of the Non-Coastal Zoning Ordinance. The Planning Division maintains the landscape plans and statement by the landscape architect in the Project file.

#### 19. Materials and Colors in the SRP Overlay Zone

**Purpose:** In order to ensure that buildings and structures comply with the development standards of the Scenic Resource Protection Overlay Zone § 8109-4.1.5 of the Ventura County Non-Coastal Zoning Ordinance and Ventura County General Plan Policy 1.7.2.2(3)(e) and blend in with the Project site's surroundings.

**Requirement:** The Permittee shall utilize building materials and colors compatible with surrounding terrain (earth tones and non-reflective paints) on exterior surfaces of all structures, including but not limited to the dwelling, water tanks, walls, and fences. In accordance with NCZO § 8109-4.1.5.a(5), exteriors shall not be white or brightly colored.

**Documentation:** A copy of the approved plans denoting the building materials and colors.

**Timing:** Prior to the issuance of a Zoning Clearance for construction, the Permittee shall submit the building plans with the colors and materials noted on all structures for review

and approval by the Planning Division. Prior to occupancy, the Permittee shall paint the structures according to the approved plans.

**Monitoring and Reporting:** The Planning Division maintains the approved plans in the Project file. Prior to occupancy, the Planning Division has the authority to inspect the site to ensure that the exterior of the structures were treated as approved. The Permittee shall maintain these materials and colors throughout the life of the Project. The Planning Division has the authority to inspect the site to confirm on-going compliance with the approved plans consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

#### 20. Avoidance of Nesting Birds

**Purpose:** In order to prevent impacts to birds protected under the Migratory Bird Treaty Act, land clearing and construction activities shall be regulated.

**Requirement:** The Permittee shall conduct all demolition, tree removal/trimming, vegetation clearing, and grading activities (collectively, "land clearing activities"), and construction in such a way as to avoid nesting native birds. This can be accomplished by implementing one of the following options:

- a. Timing of land clearing or construction: Prohibit land clearing or construction activities during the breeding and nesting season (February 1 – September 1), in which case the following surveys are not required; or
- b. Surveys and avoidance of occupied nests: Conduct site-specific surveys prior to land clearing or construction activities during the breeding and nesting season (February 1 – September 1) and avoid occupied bird nests. A County-approved biologist shall conduct surveys to identify any occupied (active) bird nests in the area proposed for disturbance. Occupied nests shall be avoided until juvenile birds have vacated the nest.

The County-approved biologist shall conduct an initial breeding and nesting bird survey 30 days prior to the initiation of land clearing or construction activities. The County-approved biologist shall continue to survey the Project site on a weekly basis, with the last survey completed no more than 3 days prior to the initiation of land clearing activities. The nesting bird survey must cover the development footprint and 300 feet from the development footprint. If occupied (active) nests are found, land clearing activities within a setback area surrounding the nest shall be postponed or halted. Land clearing activities may commence in the setback area when the nest is vacated (juveniles have fledged) provided that there is no evidence of a second attempt at nesting, as determined by the County-approved biologist. Land clearing activities can also occur outside of the setback areas. Pursuant to the recommendations of the California Department of Fish and Wildlife, the required setback is 300 feet for most birds and 500 feet for raptors.

This setback can be increased or decreased based on the recommendation of the County-approved biologist and approval from the Planning Division.

**Documentation:** The Permittee shall provide to the Planning Division a Survey Report from a County-approved biologist documenting the results of the initial nesting bird survey and a plan for continued surveys and avoidance of nests in accordance with the requirements set forth in this condition (above). Along with the Survey Report, the Permittee shall provide a copy of a signed contract (financial information redacted) with a County-approved biologist responsible for the surveys, monitoring of any occupied nests discovered, and establishment of mandatory setback areas. The Permittee shall submit to the Planning Division a Mitigation Monitoring Report from a County-approved biologist following land clearing activities documenting actions taken to avoid nesting birds and results.

**Timing:** If land clearing or construction activities will occur between February 1 – September 1, the County-approved biologist shall conduct the nesting bird surveys 30 days prior to initiation of land clearing or construction activities, and weekly thereafter. The last survey for nesting birds shall be conducted no more than 3 days prior to initiation of land clearing or construction activities. The Permittee shall submit the Survey Report documenting the results of the first nesting bird survey and the signed contract to the Planning Division prior to issuance of a zoning clearance for construction. The Permittee shall submit the Mitigation Monitoring Report within 14 days of completion of the land clearing or construction activities.

**Monitoring and Reporting:** The Planning Division reviews the Survey Report and signed contract for adequacy prior to issuance of a Zoning Clearance for construction. The Planning Division maintains copies of the signed contract, Survey Report, and Mitigation Monitoring Report in the Project file. (PL-47)

#### 21. Paleontological Resources Discovered During Grading

**Purpose:** In order to mitigate potential impacts to paleontological resources that may be encountered during ground disturbance or construction activities.

**Requirement:** If any paleontological remains are uncovered during ground disturbance or construction activities, the Permittee shall:

- a) Cease operations and assure the preservation of the area in which the discovery was made;
- b) Notify the Planning Director in writing, within three days of the discovery;
- c) Obtain the services of a paleontological consultant or professional geologist who shall assess the find and provide a report that assesses the resources and sets forth recommendations on the proper disposition of the site;

- d) Obtain the Planning Director's written concurrence with the recommended disposition of the site before resuming development; and
- e) Implement the agreed upon recommendations.

**Documentation:** The Permittee shall submit the paleontologist's or geologist's reports. Additional documentation may be required to demonstrate that the Permittee has implemented the recommendations set forth in the paleontological report.

**Timing:** If any paleontological remains are uncovered during ground disturbance or construction activities, the Permittee shall provide the written notification to the Planning Director within three days of the discovery. The Permittee shall submit the paleontological report to the Planning Division immediately upon completion of the report.

**Monitoring and Reporting:** The Permittee shall provide the paleontological report to the Planning Division to be made part of the Project file. The Permittee shall implement any recommendations made in the paleontological report to the satisfaction of the Planning Director. The paleontologist shall monitor all ground disturbance activities within the area in which the discovery was made, in order to ensure the successful implementation of the recommendations made in the paleontological report. The Planning Division has the authority to conduct site inspections to ensure that the Permittee implements the recommendations set forth in the paleontological report, consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

## 22. Archaeological Resources Discovered During Grading

**Purpose:** In order to mitigate potential impacts to archaeological resources discovered during ground disturbance.

**Requirement:** The Permittee shall implement the following procedures:

- a) If any archaeological or historical artifacts are uncovered during ground disturbance or construction activities, the Permittee shall:
  - (1) Cease operations and assure the preservation of the area in which the discovery was made;
  - (2) Notify the Planning Director in writing, within three days of the discovery;
  - (3) Obtain the services of a County-approved archaeologist who shall assess the find and provide recommendations on the proper disposition of the site in a written report format;
  - (4) Obtain the Planning Director's written concurrence of the recommended disposition of the site before resuming development; and

- (5) Implement the agreed upon recommendations.
- b) If any human burial remains are encountered during ground disturbance or construction activities, the Permittee shall:
- (1) Cease operations and assure the preservation of the area in which the discovery was made;
  - (2) Immediately notify the County Coroner and the Planning Director;
  - (3) Obtain the services of a County-approved archaeologist and, if necessary, Native American Monitor(s), who shall assess the find and provide recommendations on the proper disposition of the site in a written report format;
  - (4) Obtain the Planning Director's written concurrence of the recommended disposition of the site before resuming development on-site; and
  - (5) Implement the agreed upon recommendations.

**Documentation:** If archaeological remains are encountered, the Permittee shall submit a report prepared by a County-approved archaeologist including recommendations for the proper disposition of the site. Additional documentation may be required to demonstrate that the Permittee has implemented any recommendations made by the archaeologist's report.

**Timing:** If any archaeological remains are uncovered during ground disturbance or construction activities, the Permittee shall provide the written notification to the Planning Director within three days of the discovery. The Permittee shall submit the archaeological report to the Planning Division immediately upon completion of the report.

**Monitoring and Reporting:** The Permittee shall provide the archaeological report to the Planning Division to be made part of the Project file. The Permittee shall implement any recommendations made in the archaeological report to the satisfaction of the Planning Director. The archaeologist shall monitor all ground disturbance activities within the area in which the discovery was made, in order to ensure the successful implementation of the recommendations made in the archaeological report. The Planning Division has the authority to conduct site inspections to ensure that the Permittee implements the recommendations set forth in the archaeological report, consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

### 23. Construction Noise

**Purpose:** In order for this project to comply with the Ventura County General Plan Goals, Policies and Programs Noise Policy 2.16.2-1(5) and the County of Ventura Construction Noise Threshold Criteria and Control Plan (Amended 2010).

**Requirement:** The Permittee shall limit construction activity for site preparation and development to the hours between 7:00 a.m. and 7:00 p.m., Monday through Friday, and from 9:00 a.m. to 7:00 p.m. Saturday, Sunday, and State holidays. Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions.

**Documentation:** The Permittee shall post a sign stating these restrictions in a conspicuous location on the Project site, in order so that the sign is visible to the general public. The Permittee shall provide photo documentation showing posting of the required signage to the Planning Division, prior to the commencement of grading and construction activities. The sign must provide a telephone number of the site foreman, or other person who controls activities on the jobsite, for use for complaints from the public. The Permittee shall maintain a "Complaint Log," noting the date, time, complainant's name, complaint, and any corrective action taken, in the event that the Permittee receives noise complaints. The Permittee must submit the "Complaint Log" to the Planning Division upon the Planning Director's request.

**Timing:** The Permittee shall install the sign prior to the issuance of a building permit and throughout all grading and construction activities. The Permittee shall maintain the signage on-site until all grading and construction activities are complete. If the Planning Director requests the Permittee to submit the "Complaint Log" to the Planning Division, the Permittee shall submit the "Complaint Log" within one day of receiving the Planning Director's request.

**Monitoring and Reporting:** The Planning Division reviews, and maintains in the Project file, the photo documentation of the sign and the "Complaint Log." The Planning Division has the authority to conduct site inspections and take enforcement actions to ensure that the Permittee conducts grading and construction activities in compliance with this condition, consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

### 24. Undergrounding of All Electric, Cable, Phone, Internet, and Gas Lines

**Purpose:** To provide adequate utility services to the site in keeping with the Thousand Oaks area's scenic qualities and to comply with Thousand Oaks Area Plan Policy TO-21.1.

**Requirement:** In accordance with Thousand Oaks Area Plan Policy TO-21.1, the undergrounding of all electric, cable, phone, internet, and gas lines shall be required.

**Documentation:** The Permittee shall obtain the Planning Division's stamped approval on the project plans and submit them to the County for inclusion in the project file.

**Timing:** Prior to the issuance of a Zoning Clearance for construction, the Permittee shall submit to the Planning Division for review and approval final development plans identifying all electric, cable, phone, internet, and gas lines as being undergrounded. Prior to final inspection by RMA Building and Safety Division, the project site shall be inspected by the Planning Division to ensure all electric, cable, phone, internet, and gas lines have been undergrounded.

**Monitoring and Reporting:** The Planning Division has the authority to ensure that all electric, cable, phone, internet, and gas lines have been undergrounded. The Planning Division has the authority to conduct periodic site inspections to ensure ongoing compliance with this condition consistent with the requirements of NCZO Section 8114-3.

#### **Mitigation Monitoring and Reporting Program**

The adopted Mitigated Negative Declaration identified potential impacts to Biological Resources associated with the construction of the new single-family dwelling, accessory dwelling unit, detached garage, and swimming pool. The following Condition Nos. 25 through 31 were developed to mitigate these potentially significant impacts to less than significant levels.

#### 25. **Mitigation Measure BIO-1: Pre-Construction Sensitive Wildlife Survey and Impact Avoidance**

**Purpose:** To avoid significant impacts to special-status wildlife that could occur during vegetation clearing and grading.

**Requirement:** At least two weeks prior to the initiation of ground disturbance activities (e.g., vegetation removal and grading), the Permittee shall install a silt-screen fence around the disturbance areas. Following the installation of the silt-screen fence and within two weeks prior to the initiation of, and periodically throughout, ground disturbance activities, a County-approved qualified biologist shall conduct surveys for special-status wildlife to ensure that special-status wildlife are not harmed within these fenced areas. Individuals of these species that are found shall be relocated to suitable undisturbed habitat, outside of the areas directly and indirectly (e.g., noise) affected by ground disturbance activities. A County-approved qualified biologist, with a California Department of Fish and Wildlife (CDFW) Scientific Collecting Permit, shall conduct the surveys and relocation activities according to methods approved by the CDFW. The silt fencing must remain in place until the completion of ground disturbance activities.

**Documentation:** The Permittee shall provide to the Planning Division a signed contract with a County-approved qualified biologist that ensures that installation of the silt-screen fencing, wildlife surveys, and relocation of wildlife will be conducted within 14 days prior to, and during, any ground disturbance activities. The Permittee shall submit a



memorandum to the Planning Division within 14 days of the wildlife surveys, notifying the Planning Division of the results of the surveys and avoidance and relocation activities.

**Timing:** Prior to the issuance of a Zoning Clearance for construction, the Permittee shall provide the signed contract. Within 14 days of the wildlife surveys and relocation activities, the Permittee shall provide a memorandum reporting the results.

**Monitoring and Reporting:** The Permittee shall confirm with the Planning Division that a County-approved qualified biologist has been contracted to implement the requirements of this condition prior to issuance of a Zoning Clearance for construction. The Planning Division maintains copies of the signed contract and the survey reports in the Project file. The Planning Division has the authority to inspect the property during the development phase of the Project to ensure that the survey and wildlife relocation work is conducted as required and the silt fencing is maintained as required. If the Planning Division confirms that the required surveys are not conducted as agreed upon or the fencing is not maintained as required, enforcement actions may be enacted in accordance with § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

26. Mitigation Measure BIO-2: Woodrat Nest Avoidance and Relocation

**Purpose:** In order to minimize impacts to woodrats, land clearing and construction activities shall be regulated.

**Requirement:** The Permittee shall conduct all demolition, tree removal/trimming, vegetation clearing, and grading activities (collectively, "land clearing activities"), and construction in such a way as to minimize impacts to woodrats. This can be accomplished by implementing one of the following options:

1. The relocation or disturbance of wood rat midden areas are prohibited during the peak nesting season (November 1 through March 15).
2. Surveys: Conduct site-specific surveys prior to land clearing or construction activities. A County-approved qualified biologist with a California Department of Fish and Wildlife (CDFW) Scientific Collecting Permit, hereafter referred to as "qualified biologist" shall survey suitable habitat for woodrats within areas that will be subject to land clearing activities, and within 50 feet of areas that will be subject to land clearing activities 14 days prior to the initiation of land clearing or construction activities.

If the qualified biologist does not find any nests, then no further action is required.

3. Avoidance Measures:

- a. If the qualified biologist finds active woodrat nests, the Permittee shall implement a 50-foot radius buffer area around the nests in which land clearing activities will be avoided.

- b. Wildlife exclusion fencing shall be installed around land clearing activities where middens are detected within 50 feet of the project footprint. Orange snow fencing is not considered a wildlife exclusion fence and is prohibited in areas where middens are found.
4. Relocation of Middens: If the minimum fencing distance cannot be achieved and the middens cannot be protected and/or avoided, the qualified biologist in consultation with CDFW, will select the location of artificial midden sites according to the following instructions:
- a. Artificial Midden Ratio: Artificial middens shall be installed at a 2:1 ratio for less than 5 middens impacted. If more than 5 middens are impacted in the population, the qualified biologist shall consult with the Planning Division to determine the appropriate ratio.
- b. Artificial Midden Location: Midden locations shall include but not be limited to downed woody debris, cactuses, dense understory and overstory cover (ideally 90 percent cover), or other "core element" (e.g., a stump, large log, rock, rock outcrop), and outside of drainage channels. Artificial middens shall be placed in a clustered pattern relative to adjacent natural middens (when present) and no further than 550 feet of the project footprint.
- c. Dismantling of Natural Middens: The entire midden site, including the aboveground midden and the below ground basement area, will be carefully examined to ensure that no adults or young are present before the midden is dismantled and the basement filled in.
- d. Trapping: If woodrats are present a trapping effort will be initiated. The trapping will consist of two to three live traps per active midden site being set each evening for 3 days. The traps will be baited with oatmeal, peanut butter, and apple and will contain synthetic batting for use as nesting material. Traps will be checked the following morning within 1 hour following sunrise. Traps containing woodrats will be placed facing the entrance of relocated middens and opened, allowing the woodrats to leave the traps on their own accord. Each release site will be monitored for approximately 1 hour after each woodrat is released to determine the short-term success rate of the artificial middens.
- e. Dismantling Middens: To provide refuge for woodrats that may be become displaced, piles of sticks/vegetation/slash shall be placed between the midden site to be dismantled and the new artificial midden site, 3 days prior to dismantling. The midden will be dismantled by hand, removing the materials layer by layer. All salvageable midden materials will be relocated and incorporated (as needed) or placed adjacent to the artificial midden.

- d. Post-Midden Relocation: The qualified biologist will perform a survey to determine if the woodrat has reoccupied the project footprint following the implementation of the midden relocation measures.

5. Woodrat Presence and Activity After Midden Relocation:

- a. If newly constructed middens are found inside the project footprint following the commencement of land clearing activities, the trapping effort noted in section 4(d) above) shall be implemented.

**Documentation:** The Permittee shall provide to the Planning Division and CDFW a Survey Report from the qualified biologist that includes a map, physical description of middens (size, width, materials, etc.), a photo of each of the midden, and a plan for avoidance or relocation of the nests in accordance with the requirements set forth in this condition (above). Along with the Survey Report, the Permittee shall provide a copy of a signed contract (financial information redacted) with the qualified biologist(s) who will monitor avoidance and relocation efforts. Following the completion of land clearing activities, the Permittee shall submit to the Planning Division and CDFW a Mitigation Monitoring Report from the qualified biologist(s) that documents the actions implemented to avoid or relocate woodrat nests, a map of the natural and artificial midden locations, trapping and relocation procedures, and the results of the relocation effort.

**Timing:** The qualified biologist shall conduct the survey within 30 days prior to the initiation of land clearing activities and follow all relocation timing protocols set forth in this condition (above). The Permittee shall submit the Survey Report and signed contract to the Planning Division, prior to issuance of a Zoning Clearance for construction. The Mitigation Monitoring Report shall be submitted within 14 days of completion of the land clearing activities.

**Monitoring and Reporting:** The Planning Division reviews for adequacy, and maintains in the Project file, the signed contract, Survey Report, and Mitigation Monitoring Report. If the Planning Division confirms that the required surveys and relocation measures were not implemented in compliance with the requirements of this condition, then enforcement actions may be enacted in accordance with § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

27. Mitigation Measure BIO-3: Qualified Biologist for Construction Monitoring

**Purpose:** To minimize and avoid impacts to sensitive habitats (coast live oak woodland, Bush monkeyflower scrub and Blue elderberry scrub) within the project fuel modification zone, as well as impacts to potentially present sensitive wildlife (California legless lizard, Southern California legless lizard, California glossy snake, coastal whiptail and the San Diego desert woodrat) during construction.

**Requirement:** The Permittee shall retain the services of a County-approved qualified biologist to monitor the clearing and grubbing phase of ground-disturbance activities, and initial vegetation thinning fuel modification activities that may impact sensitive habitats and potentially present sensitive wildlife (California legless lizard, Southern California legless lizard, California glossy snake, coastal whiptail and the San Diego desert woodrat). Additionally, a wildlife exclusion fence will be placed outside the project area to avoid any impacts to special status species during grading and grubbing.

**Documentation:** The Permittee shall provide to the Planning Division name of a designated County-approved biologist who will be present on-site during the grading, grubbing, fence installation and initial fuel modification phase, that may impact the sensitive and locally important habitats present within the survey area, special status plants if found and potentially present and special status wildlife (California legless lizard, Southern California legless lizard, California glossy snake, coastal whiptail and the San Diego desert woodrat). The Applicant shall specify (1) when the County-approved biologist must monitor the Project Site; and (2) the disturbance areas that the County-approved biologist will monitor. The Permittee shall submit a written document to the Planning Division within 14 days of the completion of ground-disturbance activities, notifying the Planning Division of the results of the monitoring.

**Timing:** The Permittee shall submit the name of a County-approved biologist to the Planning Division for review and approval, prior to any ground disturbance. The Permittee shall submit the written document that sets forth the results of the monitoring to the Planning Division, within 14 days of the completion of ground-disturbance activities.

**Monitoring and Reporting:** The Permittee submit weekly monitoring reports during the grading, grubbing, fence installation and the initial fuel modification phase and a post construction monitoring report after completion of all ground disturbing and initial fuel-modification activities.

28. Mitigation Measure BIO-4: Protection Measures During Construction Activities

**Purpose:** To avoid impacts to native habitats adjacent to or in the vicinity of the limits of disturbance, as well as special-status flora and fauna that could potentially be associated with these habitats.

**Requirements:**

- a) Prior to all ground disturbing activities, the Applicant shall demarcate the project limits of disturbance with temporary silt screen construction fencing to prevent encroachment of project activities into adjacent native habitats and to dissuade wildlife from entering the construction area. The fencing shall be marked with highly visible flagging. The Planning Division shall verify the fencing has been correctly installed prior to the start of ground disturbance or construction activities. Additional fencing shall also be required around oak trees whose tree protection zones are within 20 feet of construction activities. The temporary fencing shall be

routinely inspected and maintained in functional condition for the duration of project construction.

- b) To reduce impacts to wildlife, the applicant will submit a construction plan that includes the following:
- 1) All construction and maintenance activities shall operate in accordance with the Construction Noise Condition which limits construction activities, to the hours of 7:00 a.m. to 7:00 p.m.
  - 2) No nighttime construction activities or lighting is permitted.
  - 3) No pets shall be allowed on the Project Site during construction.
  - 4) All temporary and permanent food-related trash shall be disposed of in closed animal-proof containers.
  - 5) During construction, trenches shall be filled within the same day or covered.
  - 6) Construction equipment shall be cleaned and decontaminated of weeds and soils prior to entering the Project Site to reduce the potential for the spread and introduction of invasive and noxious weeds.

**Documentation:** Monitoring reports shall be submitted to the Planning Division after fence installation and upon completion of clearing, grubbing, and the initial vegetation thinning for fuel modification. Monitoring reports shall include a discussion of compliance with the measures listed above. If inconsistencies with measures are observed, the property owner shall cease operations and assure the preservation of the area in which the biological resources are found; notify the County Planner in writing, within three days of the discovery; obtain the County Planner's written concurrence with the recommended disposition of the site before resuming construction; and implement the agreed upon recommendations.

**Timing:** These measures shall be implemented prior to and during all ground disturbing activities throughout all construction phases of the project. Construction fencing shall be installed prior to the issuance of grading permit.

**Monitoring and Reporting:** The Planning Division reviews the monitoring reports for adequacy of implementing measures listed above. The Planning Division has the authority to inspect the Project Site to ensure that the permittee implements these measures as required.

29. Mitigation Measure BIO-5: Tree Protection Plan (TPP)

**Purpose:** To comply with the County's Tree Protection Regulations (TPR) set forth in § 8107-25 et seq. of the Ventura County Non-Coastal Zoning Ordinance, the Tree Protection Guidelines (TPG), and the arborist report prepared for the project (Bill Spiewak; February 7, 2021; updated May 8, 2021).

**Requirement:** The Permittee shall provide the Planning Division with a TPP that shows removal of one (1) non-native Italian stone pine heritage tree (Tree No. 1). The TPP shall also show the protection of one heritage Italian stone pine (Tree No. 2) and one coast live oak (Tree No. 3) in place. If protected trees are felled/damaged and require

offsets/mitigation pursuant to the TPR (§ 8107-25.10) and TPG (§ IV.C, Offset/Replacement Guidelines), the Permittee shall post a financial assurance to cover the costs of planting and maintaining the offset trees. Replacement trees shall be planted consistent with Section 5.2.7.9 of the Thousand Oaks Area Plan Special Guidelines and Standards. Tree removal activities shall comply with Section 5.2.7 of the Thousand Oaks Area Plan Special Guidelines and Standards, which include but are not limited to the following:

- a. All work conducted in the ground within the protected zone of trees to be protected in place shall be accomplished by using non-power hand tools.
- b. All portions of the tree shall be removed from the site and debris relocated to an approved County Refuse Disposal site or other approved location. The stump shall be completely removed and the hole or indentation filled with soil.

**Documentation:** The Permittee shall prepare and submit to the Planning Division for review and approval, a TPP pursuant to the “Content Requirement for Tree Protection Plans” that is currently available on-line at: <http://www.ventura.org/rma/planning/pdf/permits/tree/Tree-Protection-Plan-11-11-19.pdf>. The TPP must include (but is not limited to):

- a. measures to protect all TPR-protected trees whose tree protection zones (TPZs) are within 50 feet of the construction envelope (including stockpile and storage areas, access roads, and all areas to be used for construction activities) or within 10 feet of other trees proposed for felling or removal;
- b. the offset or mitigation that will be provided for any trees approved for felling; and
- c. the offset or mitigation that will be provided should any protected trees be damaged unexpectedly.

A qualified arborist<sup>1</sup> shall prepare the TPP in conformance with the County’s TPR, TPG, and “Content Requirements for Tree Protection Plans.”

If in-lieu fees will be paid to a conservation agency for tree offsets/mitigation, the Permittee shall submit to the Planning Division for review and approval, a tree mitigation plan from a conservation agency that explains how the mitigation funds will be used to support the preservation of protected trees. After the Planning Division’s review and approval of the tree mitigation plan, the Permittee shall provide the Planning Division with a copy of the contract between the conservation agency and the Permittee.

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<sup>1</sup> A qualified arborist may be either an International Society of Arboriculture certified arborist or a related professional, such as a landscape architect, with qualifying education, knowledge and experience, as determined by the Planning Director. The project arborist is the arborist who prepared the TPP and remains involved with implementation and monitoring of the Project.

If a financial assurance is required for tree offsets/mitigation, the Planning Division shall provide the Permittee with a “Financial Assurance Acknowledgement” form. The Permittee shall submit the required financial assurance and the completed “Financial Assurance Acknowledgement” form to the Planning Division. The Permittee shall submit annual verification that any non-cash financial assurances are current and have not expired.

**Timing:** Prior to the issuance of a Zoning Clearance for construction, the Permittee shall submit the TPP to the Planning Division for review and approval, implement all prior-to-construction tree protection measures, and submit the required documentation to demonstrate that the Permittee implemented the tree protection measures. Unless otherwise approved by the Planning Director, replacement and transplant trees must be planted prior to occupancy. Other monitoring and reporting dates shall be as indicated in the approved TPP.

If in lieu fees are required and will be paid to the Planning Division’s Tree Impact Fund, the Permittee shall submit these fees prior to the issuance of a Zoning Clearance for construction. Where a TPP damaged tree addendum is prepared, the Permittee shall remit payment of the fees within 30 days of Planning Division’s approval of the addendum.

If in lieu fees are required and will be paid to an approved conservation agency, the Permittee shall submit these fees, along with the required tree mitigation plan and contract from the conservation organization, prior to the issuance of a Zoning Clearance for construction.

If a financial assurance is required, the Permittee shall submit the required financial assurance and the completed “Financial Assurance Acknowledgement” form prior to the issuance of a Zoning Clearance for construction/within 30 days of the Planning Division’s approval of the TPP damaged tree addendum. The Planning Division may release the financial assurance after receiving the report from the project arborist that verifies that the replacement trees met their final 5 or 7 year performance targets set forth in the TPP.

**Monitoring and Reporting:** The Permittee shall retain an arborist to monitor and prepare the documentation regarding the health of the protected trees, pursuant to the monitoring and reporting requirements set forth in the “Content Requirements for Tree Protection Plans.” The Planning Division maintains the approved TPP and all supporting documentation in the Project file. The Resource Management Agency Operations Division maintains copies of all financial documentation. Planning Division staff, Building and Safety Inspectors, and Public Works Agency grading inspectors have the authority to inspect the site during the construction phase of the Project, in order to verify that tree protection measures remain in place during construction activities, consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

30. Mitigation Measure BIO-6: Sensitive Plant Community Restoration – Scrub Habitats

**Purpose:** To compensate for the loss of 0.33 acre of Bush monkeyflower scrub and 0.05 acre of Blue elderberry scrub, both sensitive plant communities/ natural communities of special concern.

**Requirement:** At least 0.66 acres of Bush monkeyflower scrub and 0.10 acres of Blue elderberry scrub shall be restored and permanently protected on-site. The areas selected to be restored on-site (Restoration Areas) shall be located outside the limits of development and the fuel modification areas. The Permittee shall modify the site plan to include the Restoration Areas. The Permittee shall ensure that a County-approved, qualified biologist prepares a Restoration Plan that includes the following:

1. Restoration of Bush monkeyflower scrub and Blue elderberry scrub.
2. Description of the project/impact and mitigation sites.
3. Specific objectives.
4. Performance standards
5. A reference site for each vegetation alliance (Bush monkeyflower scrub and Blue elderberry scrub) that is an ecologically intact example of the alliance with minimal disturbance, with the following documented for each reference site:
  - a. Total percent cover by native plant species;
  - b. Species richness; and
  - c. Total percent cover by non-native plant species.
6. A plant palette and methods of salvaging, propagating, and planting. The plant palette shall consist only of plants propagated from locally collected (on the project site or adjacent to the project site) seeds or cuttings.
7. An implementation plan including:
  - a. Methods of soil preparation;
  - b. Method and timing of irrigation; and
  - c. Best Management Practices to avoid impacting the Bush monkeyflower scrub and Blue elderberry scrub.



8. Maintenance and monitoring necessary to ensure that the restored plant communities meet the following success criteria:
  - a. Within three years of the maintenance and monitoring program:
    - i. Absolute cover of native species no less than 60 percent; and
    - ii. Non-native species in the treated area less than 15 percent relative cover.
  - b. By Year 5 of the maintenance and monitoring program:
    - i. 90 percent of the native plant cover found for the reference site;
    - ii. 100 percent of the species richness found for the reference site; and
    - iii. Equal or lower percent cover by non-native plant species as that found for the reference site.
  - c. Restoration will be considered successful after the performance standards have been met for a period for at least one (1) year without any maintenance or remediation activities other than invasive species control.

The restored habitat that is located on the property as shown in the Restoration Plan shall be maintained in open space in perpetuity. The following shall be prohibited within the restoration area:

- a. Removal, mining, excavation, or disturbance of the soil or surface rocks or decaying material such as fallen trees;
- b. Dumping, filling, storing, disposal, burying or stockpiling of any natural or manmade materials;
- c. Erection of buildings or structures of any kind, including, but not limited to, fencing, corrals, advertising signs, antennas, and light poles;
- d. Placement of pavements, concrete, asphalt and similar impervious materials, laying of decomposed granite for pathways, or setting of stones, paving bricks, or timbers;
- e. Operation of dune buggies, motorcycles, all-terrain vehicles, bicycles, mowers, tractors, or any other types of motorized or non-motorized vehicles or equipment;
- f. Removal or alteration of native trees or plants, through such activities as irrigating, mowing, draining, plowing, tilling, or disking, except as necessary for controlled burns (for fuel reduction, as regulated by the Ventura County Fire Protection District), removal of non-native species, and native habitat restoration or maintenance (which must be under the direction of a qualified biologist);
- g. Application of insecticides or herbicides, poisons, or fertilizers;
- h. Grazing or keeping of cattle, sheep, horses or other livestock, or pet animals;

- i. Agricultural activity of any kind including the harvesting of native materials for commercial purposes;
- j. Planting, introduction, or dispersal of non-native plant or animal species;
- k. Hunting or trapping, except live trapping for purposes of scientific study or removal of non-native species;
- l. Manipulating, impounding or altering any natural watercourse, body of water or water circulation on the restoration area, and activities or uses detrimental to water quality, including but not limited to degradation or pollution of any surface or sub-surface waters;
- m. Light pollution (e.g., lighting that is located outside of, yet directed towards, the restoration area); and
- n. Other activities that damage the existing flora, fauna, or hydrologic conditions of the restoration area.

The Permittee shall record these conditions of approval and the Restoration Plan with the Office of County Recorder in the chain of title to the subject property, and shall ensure that the Restoration Plan is fully implemented.

**Documentation:** The Permittee shall provide the Planning Division with a Restoration Plan prepared by a County-approved qualified biologist that meets the requirements of this condition; and revised site plan. The Permittee shall record for the subject property (1) the conditions of this PD and (2) the Restoration Plan map, establishing that the restoration area that will remain as open space in perpetuity as a result of the Project. The Permittee shall submit a copy of the recorded conditions of approval and Restoration Plan to the Planning Division. The Permittee shall submit a report with photographs of the restoration area and a description of the restoration work to demonstrate to the Planning Division that implementation of the Restoration Plan has commenced. The Permittee shall provide annual reports prepared by a County-approved qualified biologist on the progress of the restoration area for 5 years (or more, if the success criteria have not been met by Year 5).

**Timing:** Prior to issuance of a Zoning Clearance for construction, the Permittee shall provide the Restoration Plan and revised site plan to Planning Division staff for review and approval. The Permittee shall record these conditions of approval and the Restoration Plan, and provide a copy of the recorded conditions of approval and Restoration Plan to the Planning Division, prior to issuance of a Zoning Clearance for construction. Implementation of the Restoration Plan shall commence prior to issuance of a Zoning Clearance for use inauguration. The annual reports must be provided to the Planning Division by December 31<sup>st</sup> of each year during the monitoring period.

**Monitoring and Reporting:** The Planning Division shall review for approval the Restoration Plan and revised site plan prior to issuing a Zoning Clearance for construction. The Planning Division shall review the Permittee's report with photographs of the restoration area and a description of the restoration work to confirm that implementation of the Restoration Plan has commenced prior to issuing a Zoning

Clearance for use inauguration. The restoration area must be monitored by a County-approved qualified biologist for at least 5 years (or more, if the success criteria have not been met by Year 5). The biologist shall provide an annual report on the status of the restoration area, including results of qualitative monitoring (i.e., photographs taken at permanent photo-points, observations of the health and condition of plantings and wildlife use of the restoration area) and quantitative monitoring (i.e., randomly placed transects to estimate cover and richness), to the Planning Division for the length of the monitoring period. The Permittee shall submit the annual reports to the Planning Division to demonstrate compliance with this condition and the success criteria. The release of the requirement for monitoring the restoration area may occur when the Planning Division determines that the success criteria have been met by Year 5 or later, based on the annual reports and a Planning Division staff site inspection. The Planning Division will review this Project and all future projects on the subject property to ensure compliance with the requirements of this condition. The Planning Division has the authority to inspect the site to confirm on-going compliance with this mitigation measure.

31. Mitigation Measure BIO-7: Lighting Plan

**Purpose:** To ensure lighting on the subject property is provided in compliance with § 8109-4.1.5 of the Ventura County Non-Coastal Zoning Ordinance and to ensure the following objectives are met:

- a. avoids interference with reasonable use of adjoining properties;
- b. avoids conflict with landscape features;
- c. minimizes on-site and eliminates off-site glare;
- d. provides adequate on-site lighting for security;
- e. minimizes impacts to wildlife movement;
- f. minimizes energy consumption; and
- g. includes devices that are compatible with the design of the permitted facility.

**Requirement:** The Permittee shall submit two copies of a lighting plan to the Planning Division for review and approval prior to implementing such plan. The lighting plan must comply with the following:

- a. the lighting plan shall include a photometric plan and manufacturer's specifications for each exterior light fixture type (e.g., light standards, bollards, and wall mounted packs).;
- b. the lighting plan shall provide illumination information for all exterior lighting such as parking areas, walkways/driveways, streetscapes, and open spaces proposed throughout the development;
- c. in order to minimize light and glare on the project property, all exterior structure light fixtures and freestanding light standards must be a cut-off type, fully shielded,

and downward directed, such that the lighting is projected downward onto the property and does not cast light on any adjacent property or roadway; and,

- d. light emanation shall be controlled so as not to produce excessive levels of glare or abnormal light levels directed at any neighboring uses. Lighting shall be kept to a minimum to maintain the normal night-time light levels in the area, but not inhibit adequate and safe working light levels.

The Permittee shall bear the total cost of the review and approval of the lighting plan. The Permittee shall install all exterior lighting in accordance with the approved lighting plan.

**Documentation:** The Permittee shall submit two copies of a lighting plan to the Planning Division for review and approval.

**Timing:** The Permittee shall obtain the Planning Division's approval of the lighting plan prior to the issuance of a Zoning Clearance for construction. The Permittee shall maintain the lighting as approved in the lighting plan for the life of the Project.

**Monitoring and Reporting:** The Planning Division maintains a stamped copy of the approved lighting plan in the Project file. The Permittee shall ensure that the lighting is installed according to the approved lighting plan prior to occupancy. The Building and Safety Inspector and Planning Division staff have the authority to ensure that the lighting is installed according to the approved lighting plan. Planning Division staff has the authority to conduct periodic site inspections to ensure ongoing compliance with this condition consistent with the requirements of § 8114-3 of the Non-Coastal Zoning Ordinance.

### 32. Tree Health Monitoring and Reporting

**Purpose:** To comply with the County's Tree Protection Regulations (TPR) in § 8107-25 of the Ventura County Non-Coastal Zoning Ordinance and Tree Protection Guidelines (TPG), and with the Oak Woodland Conservation Act (OWCA) (PRC § 21083.4, Fish and Game Code § 1361).

**Requirement:** The Permittee shall submit annual monitoring reports, prepared by an arborist, after initiation of construction activities and until two years after the completion of construction activities, which address the success of tree protection measures and the overall condition of encroached-upon trees relative to their condition prior to the initiation of construction activities. If any trees are found to be in serious decline (e.g., "D" status, or "C" status if pre-construction status was "A"), the arborist's report must include a Damaged Tree Addendum to the TPP which recommends offsets and any associated additional monitoring.

**Documentation:** The Permittee shall submit annual arborist reports as stated in the "Requirement" section of this condition (above).

**Timing:** The Permittee shall submit annual arborist reports after initiation of construction activities and until two years after the completion of construction activities.

**Monitoring and Reporting:** The Permittee shall implement any recommendations made by the arborist's Damaged Tree Addendum to the satisfaction of the Planning Director. The Planning Division maintains copies of all documentation and evidence that the arborist's recommendations are implemented. The Planning Division has the authority to inspect the site to confirm the health of the protected trees and to ensure that the recommendations made by the arborist are implemented consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

### **Environmental Health Division (EHD) Conditions**

#### 33. New Onsite Wastewater Treatment System (OWTS) Installation

**Purpose:** To demonstrate the feasibility for the installation of an onsite wastewater treatment system (OWTS), also known as a septic system or individual sewage disposal system. To demonstrate compliance with state and local regulations related to the design and installation of an OWTS. Only domestic waste as defined in the Ventura County General Plan and the Ventura County Building Code Ordinance is allowed to be discharged into the onsite sewage disposal system.

**Requirement:** Permittee shall submit a soils/geotechnical report and OWTS system design satisfactory to the Ventura County Environmental Health Division, Liquid Waste Program (EHD) staff. Permittee shall also obtain the approval of EHD staff to install an OWTS on the property. During the ministerial permitting process, the proposed OWTS will be required to meet all current building code, system design, and system installation/construction standards at the time of submittal.

**Documentation:** Submit soils/geotechnical report, OWTS design, and OWTS application to the EHD for review and approval. Submit all applicable documentation, including permit application, site plan, system design, bedroom and fixture unit equivalent worksheet, etc., to EHD for review and approval.

**Timing:** Prior to the issuance of a building permit pertaining to the project, OWTS design approval and permit to construct the OWTS shall be obtained from EHD.

**Monitoring:** To assure compliance with this condition, EHD staff shall review and verify all relevant documentation, including but not limited to: geotechnical report, system design calculations, building codes, and historic geological data for the area. Once the OWTS design has been evaluated to the satisfaction of EHD staff, the OWTS plans will be approved and EHD staff shall issue a permit to construct, conduct site inspections, and give final approval of the OWTS.

**Ongoing Maintenance:** Once the OWTS has been installed and finalized by EHD, it is the owner's responsibility to properly maintain the system to prevent OWTS failure or an unauthorized sewage release, and from creating a public nuisance, health concern, or impact the environment. The septic tank shall be serviced, as needed, by a septic pumper truck registered and permitted by EHD, and all pumping activities shall be reported to EHD. All septage wastes must be disposed of in an approved manner. EHD staff will also receive and respond to any complaints related to OWTS and/or unauthorized sewage releases.

## **PUBLIC WORKS AGENCY (PWA)**

### **Development and Inspection Services Conditions**

#### 34. Grading Permit

**Purpose:** In order to ensure the Permittee performs all grading in compliance with Appendix J of the Ventura County Building Code.

**Requirement:** The Permittee shall submit a grading plan showing existing and proposed elevations to the Public Works Agency's Land Development Services Division for review and approval. If a grading permit is required, a civil engineer registered in the State of California must prepare and submit the grading plans, geotechnical and hydrology reports as necessary, to Land Development Services Division for review and approval.

**Documentation:** If a grading permit is required, all deposits, fees, and materials detailed on Public Works Agency Grading Permit Submittal Checklist, must be submitted to Land Development Services Division for review and approval.

**Timing:** All applicable documentation, as specified above, must be submitted for review and approval prior to issuance of a Zoning Clearance for development.

**Monitoring and Reporting:** Public Works Agency staff will review grading plans and reports for compliance with Ventura County codes, ordinances, and standards, as well as state and federal laws. Public Works Agency inspectors will monitor the proposed grading to verify that the work is done in compliance with the approved plans and reports.

#### 35. Drainage Plan

**Purpose:** To ensure runoff is discharged in accordance with Ventura County Building Code, Ventura County Public Works Agency, Watershed Protection District, national and state standards.

**Requirement:** The Permittee shall submit drainage plans and hydrologic and hydraulic calculations, which are prepared by a civil engineer registered in the State of California,

to the Public Works Agency's Land Development Services Division for review and approval.

**Documentation:** Drainage plans and hydrologic and hydraulic calculations shall address the following: quantities of water, water flow rates, major water courses, drainage areas and patterns, diversions, collection systems, flood hazard areas, sumps, debris basins, detention facilities, and drainage courses and mitigation measures devised to manage the drainage. The hydrologic and hydraulic calculations shall be in compliance with the Ventura County Watershed Protection District's hydrology and design manuals. Detention facilities shall be provided such that proposed developed condition stormwater peak discharge rates do not exceed existing/pre-development conditions. The hydrologic and hydraulic calculations shall demonstrate that structure pads will be protected from flooding based on a 1% annual chance storm.

**Timing:** All documentation, as specified above, must be submitted for review and approval by Public Works Agency prior to issuance of a Zoning Clearance for development.

**Monitoring and Reporting:** Public Works Agency staff will review drainage plans and hydrologic and hydraulic calculations for compliance with state and federal laws, as well as Ventura County codes, ordinances and standards. Public Works Agency inspectors will monitor the construction to verify that the work is done in compliance with the approved plans and reports.

36. Land Development Fee for Flood Control Facilities (AKA Flood Acreage Fee (FAF))

**Purpose:** To address the cumulative adverse impacts of runoff from development on Watershed Protection District Facilities as required by Ordinance No. FC-24.

**Requirement:** The Permittee shall deposit with the PWA – Engineering Services Department a Flood Acreage Fee (FAF) in accordance with Ordinance No FC-24 and subsequent resolutions. The fee will be calculated based on the Permittee's information. The Permittee may choose to submit additional information to supplement the information currently provided to establish the amount of the fee.

**Documentation:** The Permittee shall provide a site plan including a calculation of the new impervious surface being created by the project along with impervious surface for existing construction.

**Timing:** Permittee shall pay the Flood Acreage Fee (FAF) to the Ventura County Public Works Agency prior to obtaining the zoning clearance for development.

**Monitoring and Reporting:** Public Works Agency staff will prepare a quote of the fee amount and provide a receipt when the fee is paid.

### **Integrated Waste Management Division (IWMD) Conditions**

#### **37. Construction & Demolition Debris Recycling Plan (Form B)**

**Purpose:** Ordinance 4421 requires the Permittee to divert recyclable construction and demolition (C&D) materials generated by their project (e.g., wood, metal, green waste, soil, concrete, asphalt, paper, cardboard, etc.) from local landfills through recycling, reuse, or salvage. Review Ordinance 4421 at:

<https://www.vcpubliworks.org/wsd/iwmd/businessrecycling/#GreenWasteProcessing>

Further, the 2016 California Green Building Code Sections 4.408 and 5.408 require a minimum of 65% diversion of construction and demolition materials from landfill disposal.

**Requirement:** The Permittee must submit a comprehensive recycling plan (Form B – Recycling Plan) to the IWMD for any proposed construction and/or demolition projects that require a building permit.

**Documentation:** The Form B – Recycling Plan must ensure a minimum of 65% of the recyclable C&D debris generated by the project will be diverted from the landfill by recycling, reuse, or salvage. A copy of Form B is available at:

<https://www.onestoppermits.vcrma.org/departments/integrated-waste-management>.

A comprehensive list of permitted recyclers, County-franchised haulers, and solid waste & recycling facilities in Ventura County is available at: <http://onestoppermit.ventura.org/>.

A list of local facilities permitted to recycle soil, wood, and green waste is available at: <https://www.vcpubliworks.org/wsd/iwmd/businessrecycling/#GreenWasteProcessing>.

A complete list of County-franchised solid waste haulers is available at:

<https://www.vcpubliworks.org/wsd/iwmd/construction/#solid-waste-collectors>

**Timing:** Upon Building and Safety Division's issuance of a building permit for the project, the Permittee must submit a Form B – Recycling Plan to the IWMD for approval.

**Monitoring & Reporting:** The Permittee is required to keep a copy of their approved Form B – Recycling Plan until Building and Safety Division's issuance of final permit.

#### **38. Construction & Demolition Debris Reporting Form (Form C)**

**Purpose:** Ordinance 4421 requires the Permittee to divert recyclable construction and demolition (C&D) materials generated by their project (e.g., wood, metal, green waste, soil, concrete, paper, cardboard, plastic containers, etc.) from local landfills through recycling, reuse, or salvage. Review Ordinance 4421 at:

<https://www.onestoppermits.vcrma.org/departments/integrated-waste-management#laws>.

The 2016 California Green Building Code Sections 4.408 and 5.408 require a minimum



of 65% diversion of construction and demolition materials from landfill disposal.

**Requirement:** The Permittee must submit a Form C – Reporting Form to the IWMD for approval upon issuance of their final Building and Safety Division permit. A copy of Form C – Reporting Form is available at:

<https://www.vcpbublicworks.org/wsd/iwmd/businessrecycling/#GreenWasteProcessing>

**Documentation:** The Permittee must submit original recycling facility receipts and/or documentation of reuse with their Form C – Reporting Form to verify a minimum of 65% of the recyclable C&D debris generated by their project was diverted from the landfill.

**Timing:** A completed Form C – Reporting Form, with required recycling facility receipts and/or documentation or reuse, must be submitted to the IWMD for approval at the time of Building and Safety Division’s issuance of final permit.

**Monitoring & Reporting:** The Permittee is required to keep a copy of their approved Form C – Reporting Form until Building and Safety Division’s issuance of final permit.

### **Transportation Department Conditions**

#### 39. Traffic Impact Mitigation Fee

**Purpose:** To address the cumulative adverse impacts of traffic on the Regional Road Network, Ventura County General Plan Goals, Policies, and Programs CMT-1.7 and Ventura County Ordinance Code, Division 8, Chapter 6 require that the VCPWA-RT collect a Traffic Impact Mitigation Fee (TIMF).

**Requirement:** The applicant/permittee shall deposit with the VCPWA-RT a TIMF. The trip generation rate and TIMF are calculated based on the applicant’s information. The applicant/permittee may choose to submit additional information or provide a Traffic Study to supplement the information currently provided to establish the trip generation rate. The TIMF may be adjusted for inflation at the time of deposit in accordance with the latest version of the Engineering News Record Construction Cost Index. Based on the applicant’s information:

a) The TIMF due to the County of Ventura is:

$$\$99.89 = 1.0857 \text{ (SFDUM)} \times \$92.00^{(1)} / \text{ADT}$$

b) The TIMF due to the City of Thousand Oaks is:

$$\$5960.57 = 1.0857 \text{ (SFDUM)} \times \$5,490.00^{(2)} / \text{ADT}$$

### Dwelling Unit Multiplier

Single Family Dwelling Unit = 14,000 sq. ft.

Accessory Dwelling Unit = 1,200 sq. ft.

$$1,200 / 14,000 = .0857$$

Single Family Dwelling Unit Multiplier (SFDUM) = 1.0857<sup>(5)</sup>

Notes:

1. The trips generated by the project shall be used as a baseline level so that the TIMF may be computed for future increases to the trip generation. Based on the applicant's information, the baseline level will be 1 Single-Family Dwelling Units (DU) of 14,000 sq. ft. and 1 Accessory Dwelling Unit of 1,200 sq. ft. (TD - 4, RMA – 138).
2. County of Ventura TIMF for the Average Daily Trips in the Thousand Oaks Area District # 6.
3. The City of Thousand Oaks Reciprocal TIMF for the Average Daily Trips.
4. The TIMF due to the City of Thousand Oaks is to be transferred to the City within 30 calendar days in accordance with the reciprocal traffic mitigation agreement between the City and the County of Ventura.
5. The multiplier was determined using the estimate single-family dwelling square footage and the accessory dwelling unit square footage in the application. The actual multiplier used for the payment of the TIMF will be calculated at the time of payment of the TIMF, using the square footage in the building permits.

### Watershed Protection District (WPD) Conditions

#### County Stormwater Program Section

#### 40. Compliance with Stormwater Development Construction Program

**Purpose:** To ensure compliance with the Los Angeles Regional Water Quality Control Board NPDES Municipal Stormwater Permit No.CAS004002 (Permit) the proposed project will be subject to the construction requirements for surface water quality and storm water runoff in accordance with Part 4.F., "Development Construction Program" of the Permit.

**Requirement:** The construction of the proposed project shall meet requirements contained in Part 4.F. "Development Construction Program" of the Permit through the inclusion of effective implementation of the Construction BMPs during all ground disturbing activities.

**Documentation:** The Permittee shall submit to the Watershed Protection – County Stormwater Program (CSP) for review and approval a completed and signed SW-2 form (Best Management Practices for Construction One Acre and Larger), which can be found at <https://www.onestoppermits.vcrma.org/departments/stormwater-program>.

**Timing:** The above listed item shall be submitted to the CSP for review and approval prior to issuance of a Zoning Clearance for Construction.

**Monitoring and Reporting:** CSP will review the submitted materials for consistency with the NPDES Municipal Stormwater Permit. Building Permit Inspectors will conduct inspections during construction to ensure effective installation of the required BMPs.

41. State General Construction Stormwater Permit No. CAS000002 Requirements

**Purpose:** To ensure compliance with all water quality provisions in NPDES State General Construction Stormwater Permit No. CAS000002, Waste Discharge Requirements for Discharges of Stormwater Runoff Associated with Construction Activities.

**Requirement:** Proper filing of all compliance documents required under the General Construction Permit No. CAS000002.

**Documentation:** The Permittee shall prepare and submit the following items to the Watershed Protection – County Stormwater Program (CSP) for review:

- a) Current Notice of Intent (NOI) in accordance with the State Water Resources Control Board requirements under the General Construction Stormwater Permit (No. CAS000002);
- b) Current Stormwater Pollution Prevention Plan (SWPPP) in accordance with the State Water Resources Control Board requirements under the General Construction Permit; and
- c) If applicable, Change of Information (COI) form and a copy of modified SWPPP at any time a transfer of ownership takes place for the entire development or portions of the common plan of development where construction activities are still on-going.

**Timing:** The above listed items (i and ii) shall be submitted to CSP staff for review prior to Zoning Clearance for Construction. In addition, if applicable, the COI form and a copy of modified SWPPP (item iii) shall be submitted anytime during project duration.

**Monitoring and Reporting:** CSP staff will review the submitted materials for consistency with the General Construction Permit. Up-to-date and site-specific SWPPP shall be kept on-site for periodic review by the Building Permit inspectors.

## **OTHER VENTURA COUNTY AGENCIES**

### **Ventura County Air Pollution Control District (APCD) Conditions**

#### 42. Fugitive Dust

**Purpose:** To ensure that fugitive dust and particulate matter that may result from site preparation and construction activities are minimized to the greatest extent feasible.

**Requirement:** The Permittee shall comply with the provisions of applicable VCAPCD Rules and Regulations, which include, but are not limited to, Rule 50 (Opacity), Rule 51 (Nuisance), and Rule 55 (Fugitive Dust).

**Documentation:** The Permittee shall ensure compliance with the following provisions:

- a) The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to prevent excessive amounts of dust;
- b) Pre-grading/excavation activities shall include watering the area to be graded or excavated before commencement of grading or excavation operations. Application of water should penetrate sufficiently to minimize fugitive dust during grading activities;
- c) All trucks shall cover their loads as required by California Vehicle Code §23114.
- d) Fugitive dust throughout the site shall be controlled by the use of a watering truck or equivalent means (except during and immediately after rainfall). Water shall be applied to all unpaved roads, unpaved parking areas or staging areas, and active portions of the construction site. Environmentally safe dust control agents may be used in lieu of watering.
- e) Graded and/or excavated inactive areas of the construction site shall be monitored at least weekly for dust stabilization. Soil stabilization methods, such as water and roll compaction, and environmentally safe dust control materials, shall be periodically applied to portions of the construction site that are inactive for over four days.
- f) Signs shall be posted onsite limiting traffic to 15 miles per hour or less.
- g) All clearing, grading, earth moving, or excavation activities shall cease during periods of high winds (i.e., wind speed sufficient to cause fugitive dust to be a nuisance or hazard to adjacent properties). During periods of high winds, all clearing, grading, earth moving, and excavation operations shall be curtailed to the degree necessary to prevent fugitive dust created by onsite activities and operations from being a nuisance or hazard, either offsite or onsite.

**Timing:** Throughout the grading and construction phases of the project.

**Reporting and Monitoring:** Construction and Grading permits are issued by Public Works Agency and inspector shall perform periodic site inspections throughout the construction period. Monitoring and Enforcement of dust-related provisions shall also be conducted by APCD staff on a complaint-driven basis.

43. Air Contaminants

**Purpose:** To ensure that discharge of air contaminants that may result from site operations are minimized to the greatest extent feasible.

**Requirement:** The facility shall be operated in accordance with the Rules and Regulations of the Ventura County Air Pollution Control District, with emphasis on Rule 51, Nuisance.

**Documentation:** The Permittee shall ensure compliance with the following provision:

- a) A person shall not discharge from any source whatsoever such quantities of air contaminants or other material which cause injury, detriment, nuisance, or annoyance to any considerable number of persons or to the public or which endangers the comfort, repose, health or safety of any such persons or the public or which cause or have a natural tendency to cause injury or damage to business or property.

**Timing:** Throughout the life of the permit, with emphasis during construction period.

**Reporting and Monitoring:** Monitoring and Enforcement of the Nuisance Rule shall be conducted by APCD staff during compliance inspections and on a complaint-driven basis.

**Ventura County Fire Protection District (VCFPD) Conditions**

44. Access Road Widths, Single Family Dwellings

**Purpose:** To ensure that adequate fire department access is provided in conformance with current California State Law and Ventura County Fire Protection District Ordinance.

**Requirement:** The Permittee shall provide a minimum access of 15' onsite.

**Documentation:** A stamped copy of the approved access plan.

**Timing:** The Permittee shall submit an access plan to the Fire Prevention Bureau for approval before the issuance of building permits. All required access shall be installed before the start of combustible construction.

**Monitoring and Reporting:** A copy of the approved access plan shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection to ensure that the access is installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the access for the life of the development.

45. Turning Radius

**Purpose:** To ensure that adequate fire department access is provided in conformance with current California State Law and Ventura County Fire Protection District Ordinance.

**Requirement:** The Permittee shall provide a minimum 40 foot inside turning radius at all turns along the access roads/driveways.

**Documentation:** A stamped copy of the approved access plan.

**Timing:** The Permittee shall submit an access plan to the Fire Prevention Bureau for approval before the issuance of building permits. All required access shall be installed before the start of combustible construction.

**Monitoring and Reporting:** A copy of the approved access plan shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection to ensure that the access is installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the access for the life of the development.

46. Turnarounds

**Purpose:** To ensure that adequate fire department access is provided in conformance with current California State Law and Ventura County Fire Protection District Ordinance.

**Requirement:** The Permittee shall provide an approved turnaround area for fire apparatus where dead-end Fire Department access roads / driveways exceed 150 feet. Required turnaround areas shall be designed such:

- a) Does not exceed a 5% cross-slope in any direction.
- b) Located within 150 feet of the end of the access road / driveway
- c) Posted as fire lanes in accordance with Ventura County Fire Protection District Standards.
- d) Kept free of obstructions at all times.

**Documentation:** A stamped copy of the approved access plan.

**Timing:** The Permittee shall submit access plans to the Fire Prevention Bureau for approval before issuance of building permits. The plans shall indicate all access road/driveway locations and proposed turnaround location and design. All required turnarounds shall be installed before the start of combustible construction.

**Monitoring and Reporting:** A copy of the approved access plans shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection ensure that turnaround areas are installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the turnaround areas for the life of the development.

#### 47. Turnouts

**Purpose:** To ensure that adequate fire department access is provided in conformance with current California State Law and Ventura County Fire Protection District Ordinance.

**Requirement:** The Permittee shall provide approved turnouts along the access road(s) at locations as required by the Ventura County Fire Protection District. Required turnouts shall be designed such:

- a) Posted as fire lanes in accordance with Ventura County Fire Protection District Standards
- b) Kept free of obstructions at all times
- c) Located within the right-of-way, a common lot or easement

**Documentation:** A stamped copy of the approved access plan.

**Timing:** The Permittee shall submit access plans to the Fire Prevention Bureau for approval before issuance of building permits. The plans shall indicate all access road/driveway locations and proposed turnout locations and design. All required turnouts shall be installed before the start of combustible construction.

**Monitoring and Reporting:** A copy of the approved access plans shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection ensure that turnout areas are installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the turnout areas for the life of the development.

#### 48. Construction Access

**Purpose:** To ensure that adequate fire department access is provided during construction in conformance with current California State Law and Ventura County Fire Protection District Ordinance.

**Requirement:** The Permittee shall install all utilities located within the access road(s) and a paved all-weather access road/driveway suitable for use by a 20-ton fire apparatus. The access road(s)/driveway(s) shall be maintained with a minimum 20-foot clear width at all times.

**Documentation:** A stamped copy of the construction access plan.

**Timing:** The Permittee shall submit plans to the Fire Prevention Bureau for approval before the issuance of building permits. All required access installed before start of construction.

**Monitoring and Reporting:** A copy of the approved access plan shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct periodic on-site inspections ensure that all required fire department access is maintained during construction. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain all required fire access during construction.

#### 49. Access Road Certification

**Purpose:** To ensure that adequate fire department access is provided in conformance with current California State Law and Ventura County Fire Protection District Ordinance.

**Requirement:** The Permittee shall have all access road(s)/driveway(s) certified by a registered Civil Engineer as having an all-weather surface in conformance with Public Works and / or Fire District Standards.

**Documentation:** A copy of the approved road certification.

**Timing:** The Permittee shall submit the certification to the Fire Prevention Bureau for approval before final occupancy.

**Monitoring and Reporting:** A copy of the certification shall be kept on file with the Fire Prevention Bureau.

#### 50. Fire Flow

**Purpose:** To ensure that adequate water supply is available to the project for firefighting purposes.

**Requirement:** The Permittee shall verify that the water purveyor can provide the required volume and duration at the project. The minimum required fire flow shall be determined as specified by the current adopted edition of the Ventura County Fire Code and the applicable Water Manual for the jurisdiction (whichever is more restrictive). Given the present plans and information, the required fire flow is approximately 500 gallons per minute.



**Documentation:** A signed copy of the water purveyor's fire flow certification.

**Timing:** Prior to map recordation, the Permittee shall provide to the Fire District, verification from the water purveyor that the purveyor can provide the required fire flow. If there is no map recordation, the Permittee shall submit a signed copy of the water purveyor's certification to the Fire Prevention Bureau for approval before the issuance of building permits.

**Monitoring and Reporting:** A copy of the fire flow certification shall be kept on file with the Fire Prevention Bureau.

51. Fire Hydrant(s)

**Purpose:** To provide fire hydrants capable of meeting the required fire flow and duration.

**Requirement:** The Permittee shall provide fire hydrant(s) per the current adopted edition of the Ventura County Fire Code, Appendix C. Design and installation shall conform to the minimum standard of the County Water Works Manual.

**Documentation:** A stamped copy of the approved fire hydrant location plan.

**Timing:** The Permittee shall submit a site plan to the Fire Prevention Bureau for fire hydrant placement and approval before the issuance of building permits. The plans shall indicate all existing fire hydrants located within 500 feet of the project site, the type of hydrant (i.e. wet or dry barrel) and the number and size of outlets. All required fire hydrants shall be installed per the approved plans and in-service before the start of construction.

**Monitoring and Reporting:** A copy of the approved fire hydrant plans shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct on-site inspections to ensure that the fire hydrants are installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the fire hydrants for the life of the development.

52. Fire Sprinklers

**Purpose:** To comply with current California Codes and Ventura County Fire Protection District Ordinance.

**Requirement:** The Permittee shall be responsible to have an automatic fire sprinkler system installed in all structures as required by the VCFPD. The fire sprinkler system shall be designed and installed by a properly licensed contractor under California State Law.

**Documentation:** A stamped copy of the approved fire sprinkler plans.

**Timing:** The Permittee shall submit fire sprinkler plans to the Fire Prevention Bureau for approval before the installation of the fire sprinkler system.

**Monitoring and Reporting:** A copy of the approved fire sprinkler plans shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct on-site inspections to ensure that the fire sprinkler system is installed according to the approved plans. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the fire sprinkler system for the life of the development.

### 53. Address Numbers (Single-Family Homes)

**Purpose:** To ensure proper premise identification to expedite emergency response.

**Requirement:** The Permittee shall install a minimum of 4 inch (4") address numbers that are a contrasting color to the background and readily visible at night. Brass or gold plated numbers shall not be used. Where structures are setback more than 150 feet (150') from the street, larger numbers will be required so that they are distinguishable from the street. In the event the structure(s) is not visible from the street, the address number(s) shall be posted adjacent to the driveway entrance on an elevated post.

**Documentation:** A stamped copy of an approved addressing plan or a signed copy of the Ventura County Fire Protection District's Form #610 "Requirements for Construction".

**Timing:** The Permittee shall install approved address numbers before final occupancy.

**Monitoring and Reporting:** A copy of the approved addressing plan and/or signed copy of the Ventura County Fire Protection District's Form #610 "Requirements for Construction" shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection to ensure that all structures are addressed according to the approved plans/form.

### 54. Fuel Modification Plans

**Purpose:** To reduce hazardous fuel loads surrounding a project or developments to provide wildfire protection.

**Requirement:** The Permittee shall prepare a Fuel Modification Plan (FMP).

**Documentation:** A stamped copy of the approved Fuel Modification Plan (FMP).

**Timing:** The Permittee shall submit a Fuel Modification Plan (FMP) to the Fire Prevention Bureau for approval before the start of construction.

**Monitoring and Reporting:** A copy of the approved Fuel Modification Plan shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau shall conduct a final inspection to ensure the Fuel Modification Zones are installed according to the approved

**Conditions for PD Permit Case No. PL21-0020**

**Date of Public Hearing:** May 26, 2022

**Date of Approval:**

**Permittee:** Robert Erdmann

**Location:** 2551 White Stallion Rd

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FMP. The Fire Prevention Bureau shall conduct annual inspections through its Fire Hazard Reduction Program to ensure the Fuel Modification Zones are maintained according to the FMP. Unless a modification is approved by the Fire Prevention Bureau, the Permittee, and their successors in interest, shall maintain the approved Fuel Modification Zones for the life of the development.

55. Fire Department Clearance

**Purpose:** To provide the Permittee a list of all applicable fire department requirements for their project.

**Requirement:** The Permittee shall obtain VCFD Form #610 "Requirements for Construction" for any new structures or additions to existing structures before issuance of building permits.

**Documentation:** A signed copy of the Ventura County Fire Protection District's Form #610 "Requirements for Construction."

**Timing:** The Permittee shall submit VCFPD Form #610 Application to the Fire Prevention Bureau for approval before issuance of building permits.

**Monitoring and Reporting:** A copy of the completed VCFPD Form #610 shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau will conduct a final on-site inspection of the project to ensure compliance with all conditions and applicable codes / ordinances.

## EXHIBIT 6 General Plan Consistency Analysis

The 2040 Ventura County General Plan *Goals, Policies and Programs* (page 1-1) states:

*All area plans, specific plans, subdivisions, public works projects, and zoning decisions must be consistent with the direction provided in the County's General Plan.*

Furthermore, the Ventura County NCZO (Section 8111-1.2.1.1.a) states that in order to be approved, a project must be found consistent with all applicable policies of the Ventura County General Plan.

This exhibit provides an evaluation of the consistency of the proposed project with the applicable policies of the General Plan Goals, Policies, and Programs and the Thousand Oaks Area Plan.

### Land Use and Community Character

- 1. General Plan Policy LU-16.1 (Community Character and Quality of Life):** *The County shall encourage discretionary development to be designed to maintain the distinctive character of unincorporated communities, to ensure adequate provision of public facilities and services, and to be compatible with neighboring uses.*

**General Plan Policy LU-16.8 (Residential Design that Complements the Natural Environment):** *The County shall encourage discretionary development that incorporates design features that provide a harmonious relationship between adjoining uses and the natural environment.*

**General Plan Policy LU-16.9 (Building Orientation and Landscaping):** *The County shall encourage discretionary development to be oriented and landscaped to enhance natural lighting, solar access, and passive heating or cooling opportunities to maximize energy efficiency.*

**Thousand Oaks Area Plan Policy TO-12.1 (Santa Monica Mountains Comprehensive Plan Consistency):** *The County shall require all discretionary development to be consistent with the Santa Monica Mountains Comprehensive Plan (1979).*

The proposed project is located in a rural area south of the City of Thousand Oaks in the OS-20 ac. (Open Space, 20-acre minimum lot size) zone. The purpose and intent of the OS zone is to provide for preservation of natural resources, the managed production of resources, outdoor recreation, and protection of public health and safety (NCZO Section 8104-1.1). Additionally, the project site is within the SRP (Scenic Resource Protection) overlay zone. The purpose and intent of

the SRP overlay is to preserve and protect visual quality within the viewshed of selected County lakes, along the County's adopted scenic highways, and at other locations as determined by an Area Plan and to minimize development that conflicts with the value of scenic resources (NCZO Section 8104-7.1).

The Thousand Oaks Area Plan identifies the project site as part of the White Stallion Ranch neighborhood. This area is characterized by custom homes on large lots of 20 or more acres. The proposed residence and accessory structures would be similar in visual character (size, scale, style, setbacks, etc.) with surrounding residential development. The project site is a lot of 20.75 acres, which meets the minimum parcel size standard. The permitted maximum building coverage in the OS zone is 5 percent. As proposed, the project would have a building coverage of approximately 2.4 percent. The proposed single-story residence will have a height of just under 22 feet, and the accessory dwelling unit and detached garage have a height of 15 feet. All proposed structures use a modern design style with a combination of flat roofs and low-pitched hip roofs. Exterior materials include limestone and stucco with metal trim and clay tile roofing.

The south side of the project site fronts Potrero Road, an eligible County scenic highway, with proposed development set back 502 feet from the right-of-way line. The location of the building pad is elevated approximately 190 feet above the Potrero Road frontage. As a result, the sloping topography blocks views of the proposed structures from Potrero Road. Proposed development would not be visible from any other road in the Regional Road Network, or any scenic route identified in the Thousand Oaks Area Plan. As such, the proposed project would not degrade or significantly alter the existing scenic or visual qualities of surrounding area.

The 1979 Santa Monica Mountains Comprehensive Plan designates the project site as part of Subarea V (Thousand Oaks). The site is considered a "high resource constraint area," and very low residential densities are recommended (5 to 40 acres per unit). The project site is zoned OS-20 ac., which ensures that it will be developed consistently with the Santa Monica Mountains Comprehensive Plan.

Based on the above discussion, the proposed project is consistent with Ventura County General Plan Land Use and Community Character Policies LU-16.1, LU-16.8, and LU-16.9 and with Thousand Oaks Area Plan Policy TO-12.1.

- 2. General Plan Policy COS-1.6 (Discretionary Development on Hillsides and Slopes):** *The County shall require discretionary development on hillsides and slopes, which have an average natural slope of 20 percent or greater in the area where the proposed development would occur, to be sited and designed in a manner that will minimize grading, alteration of natural landforms, and vegetation*

*removal to avoid significant impacts to sensitive biological resources to the extent feasible.*

**General Plan Policy COS-3.1 (Scenic Roadways):** *The County shall protect the visual character of scenic resources visible from state or County designated scenic roadways.*

**General Plan Policy PFS-7.4 (Discretionary Development Utility Service Line Placement):** *The County shall require discretionary development to place new utility service lines underground if feasible. If undergrounding is determined by the County to be infeasible, then new utility service lines shall be placed in parallel to existing utility rights-of-way, if they exist, or sited to minimize their visual impact.*

**Thousand Oaks Area Plan Policy TO-21.1 (Utility Undergrounding):** *The County shall require the undergrounding of all electric, cable, television, phone and gas lines, where feasible, for all discretionary development.*

**Thousand Oaks Area Plan Policy TO-41.1 (Public Views of Natural Ridgelines):** *The County shall prohibit discretionary development which will significantly obscure or alter public views of the natural ridgelines.*

**Thousand Oaks Area Plan Policy TO-41.2 (Requirements for Projects in the Thousand Oaks Area of Interest Zoned SRP):** *The following requirements shall apply to all properties in the Thousand Oaks Area of Interest which are zoned SRP (Scenic Resource Protection Overlay Zone):*

- (1) The County shall require all discretionary grading to be in accordance with the Grading and Hillside Development Standards (see Special Guidelines and Standards).*
- (2) The County shall require removal, damaging or destruction of protected trees to comply with the provisions of the County's Tree Protection Regulations (see Non-Coastal Zoning Ordinance), Tree Protection Guidelines and the Guidelines for the Preservation and Protection of Trees (see Special Guidelines and Standards).*
- (3) The County shall prohibit freestanding off-site advertising signs.*
- (4) The County shall require any required landscaping to utilize species native to the area where feasible.*
- (5) The County shall not approve discretionary development which would significantly degrade or destroy a scenic view or vista.*

**Thousand Oaks Area Plan Policy TO-41.3 (Development Abutting Scenic Roadways):** *The County shall subject discretionary development on parcels abutting an adopted or eligible County Scenic Highway or Local Scenic Road (see "Scenic Roadways") to the following criteria:*

- (1) *The County shall prohibit freestanding off-site advertising signs and pole-mounted business identification or advertising signs.*
- (2) *The County shall prohibit outside storage in public. The County shall require storage areas to be landscaped and/or screened from public view.*
- (3) *The County shall require existing healthy, mature trees, and native and long-established vegetation to be retained, where feasible.*
- (4) *The County shall require development to be designed to be in harmony with the surrounding areas.*

**Thousand Oaks Area Plan Policy TO-42.1 (Grading and Hillside Development Standards Conformance):** *The County shall require new discretionary development to be designed and constructed in conformance with the Grading and Hillside Development Standards (Special Guidelines and Standards).*

The proposed project site is within the SRP overlay zone. Section D of the staff report evaluates the project's compliance with the SRP standards (NCZO Section 8109-4.1) and concludes that the project meets all applicable standards.

The project site's terrain varies from level to steeply sloping. The proposed building pad and access drive were originally graded prior to 1961 and later expanded in 1985 under a County grading permit after the recordation of the subdivision that created the parcel (Parcel Map No. 3559). As a result, the designated building pad is already level. Proposed grading activities will be limited to over-excavation and re-compaction. No new manufactured slopes are proposed. Therefore, the siting of the proposed development will minimize grading activities and alteration of natural landforms.

As discussed above under Item 1, intervening topography and vegetation ensure that the proposed development would not be visible from an eligible County scenic highway, roads in the Regional Road Network, or scenic roads identified in the Thousand Oaks Area Plan. The applicant has supplied visual simulations that confirm the structure will not be visible from various points along Potrero Road. The project also incorporates low-profile design, with proposed development limited to single-story structures no taller than 22 feet above grade. Therefore, the project will not degrade the visual character of the surrounding environment as viewed from scenic roads and public viewsheds.

As part of the project one heritage Italian stone pine will be removed. In its place, the applicant will be required to plant replacement coast live oaks pursuant to the standards and guidelines contained in the Thousand Oaks Area Plan (Exhibit 5, Condition Nos. 18 and 29). Additionally, the applicant proposes to implement a comprehensive landscaping plan to include 58 ornamental trees, artificial turf (approximately 15,000 sq. ft.), ornamental plantings (approximately 7,000 sq. ft.), and native vegetation (approximately 27,000 sq. ft.).

Condition No. 5 of Parcel Map No. 3559 requires that all utilities be placed underground. The project has been conditioned to underground all electric, cable, television, phone, and gas lines (Exhibit 5, Condition No. 24).

Based on the above discussion, the proposed project is consistent with Ventura County General Plan Conservation and Open Space Policies COS-1.6 and COS-3.1; Public Facilities and Services Element Policy PFS-7.4; and Thousand Oaks Area Plan Policies TO-21.1, TO-41.1, TO-41.2, TO-41.3, and TO-42.1.

### **Circulation, Transportation, and Mobility**

- 3. General Plan Policy CTM-1.1 (Vehicle Miles Travelled (VMT) Standards and CEQA Evaluation):** *The County shall require evaluation of County General Plan land use designation changes, zone changes, and discretionary development for their individual (i.e., project-specific) and cumulative transportation impacts based on Vehicle Miles Traveled (VMT) under the California Environmental Quality Act (CEQA) pursuant to the methodology and thresholds of significance criteria set forth in the County Initial Study Assessment Guidelines.*

**General Plan Policy CTM-1.4 (Level of Service Evaluation)** *County General Plan land use designation changes and zone changes shall be evaluated for their individual (i.e., project-specific) and cumulative effects, and discretionary developments shall be evaluated for their individual effects, on Level of Service (LOS) on existing and future roads, to determine whether the project:*

- a. *Would cause existing roads within the Regional Road Network or County-maintained roadways that are currently functioning at an acceptable LOS to function below an acceptable LOS;*
- b. *Would add traffic to existing roads within the Regional Road Network or County-maintained roadways that are currently functioning below an acceptable LOS; and*
- c. *Could cause future roads planned for addition to the Regional Road Network or County maintained roadways to function below an acceptable LOS. d. The Level of Service (LOS) evaluation shall be conducted based on methods established by the County.*

**General Plan Policy CTM-1.7 (Pro Rata Share of Improvements):** *The County shall require discretionary development that would generate additional traffic pays its pro rata share of the cost of added vehicle trips and the costs of necessary improvements to the Regional Road Network pursuant to the County's Traffic Impact Mitigation Fee Ordinance.*



**Thousand Oaks Area Plan Policy TO-13.3 (Impacts on Circulation):** *The County shall condition discretionary development to mitigate any significant adverse impact to circulation, including contributing to the cost of offsite improvements.*

**Thousand Oaks Area Plan Policy TO-16.1 (Road Network Use Conditions for Discretionary Development):** *The County shall condition discretionary development projects which may be expected to benefit from the road network, bicycle path system and/or the equestrian trail system to dedicate land and construct improvements or pay a fee for auto, bicycle and equestrian facilities in accordance with the circulation maps. The County shall require bicycle and/or equestrian trails to be integrated, where feasible, into the overall circulation plan for discretionary development projects.*

The California Natural Resources Agency has adopted new CEQA Guidelines that require an analysis of vehicle miles travelled (VMT). Based on guidance provided by the Office of Planning and Research (OPR), certain projects may be screened out of requiring VMT analysis, because their impacts are known to be less than significant. Screened projects include those that generate fewer than 110 average daily vehicle trips. As proposed, the project will generate approximately 20 average daily trips (based on the ITE rate of approximately 10 daily trips per unit). Therefore, the project is exempt from a VMT analysis.

The project will connect with the public road system by way of White Stallion Road, a paved private road. Public Works Agency (PWA) staff has reviewed the proposed project and determined that approval of the project would not result in the degradation of LOS for any identified roadway segments or intersections in the area. The project will be required to pay a Traffic Impact Mitigation Fee (TIMF) to offset cumulative contribution of additional traffic to the Regional Road Network (Exhibit 5, Condition No. 39).

Based upon the above discussion, the proposed project is consistent with Ventura County General Plan Circulation, Transportation, and Mobility Policies CTM-1.1, CTM-1.4, and CTM-1.7, and Thousand Oaks Area Plan Policies TO-13.3 and TO-16.1.

## **Public Facilities, Services, and Utilities**

- 4. General Plan Policy PFS-1.7 (Public Facilities, Services, and Infrastructure):** *The County shall only approve discretionary development in locations where adequate public facilities, services, and infrastructure are available and functional, under physical construction, or will be available prior to occupancy.*

**General Plan Policy PFS-4.1 (Wastewater Connections Requirement):** *The County shall require development to connect to an existing wastewater collection*

*and treatment facility if such facilities are available to serve the development. An onsite wastewater treatment system shall only be approved in areas where connection to a wastewater collection and treatment facility is deemed unavailable.*

**General Plan Policy PFS-4.2 (Onsite Wastewater Treatment Systems):** *The County may allow the use of onsite wastewater treatment systems that meet the State Water Resources Control Board Onsite Wastewater Treatment System Policy, Ventura County Sewer Policy, Ventura County Building Code, and other applicable County standards and requirements.*

**General Plan Policy COS-1.12 (Discretionary Development and Landscaping):** *The County shall require landscaping associated with discretionary development, or subject to the California Water Efficient Landscape Ordinance (WELo), to be water-efficient and include native, pollinator-friendly plants consistent with WELo guidelines, as applicable. The planting of invasive and watch list plants as inventoried by the California Invasive Plant Council shall be prohibited, unless planted as a commercial agricultural crop or grown as commercial nursery stock.*

**General Plan Policy WR-1.11 (Adequate Water for Discretionary Development):** *The County shall require all discretionary development to demonstrate an adequate long-term supply of water.*

**General Plan Policy WR-3.2 (Water Use Efficiency for Discretionary Development):** *The County shall require the use of water conservation techniques for discretionary development, as appropriate. Such techniques include low-flow plumbing fixtures in new construction that meet or exceed the California Plumbing Code, use of graywater or reclaimed water for landscaping, retention of stormwater runoff for direct use and/or groundwater recharge, and landscape water efficiency standards that meet or exceed the standards in the California Model Water Efficiency Landscape Ordinance.*

**Thousand Oaks Area Plan Policy TO-19.3 (Private Septic Systems):** *The County shall prohibit discretionary development in urban and rural residential neighborhoods on septic systems unless it complies with the County Sewer Policy and the property owner signs a binding agreement with the sewer purveyor to connect to the sewer system when such a system becomes available, and to participate financially in the cost of any needed facilities, if required by the purveyor.*

**Thousand Oaks Area Plan Policy TO-54.1 (Water Conservation Techniques):** *The County shall condition discretionary development to utilize all feasible water conservation techniques.*

The proposed project will be served by California-American Water Company (Cal-Am). A letter dated April 16, 2021 indicates that Cal-Am can and will serve the project. Cal-Am maintains an Urban Water Management Plan (UWMP), which it implements and regularly updates to ensure a long-term sustainable water supply for its users.

The proposed project will be required to meet the standards of the California Plumbing Code and the California Building Code. These standards include requirements for water conservation, low flow plumbing fixtures, and efficient appliances. Project landscaping will be required to comply with the water efficiency requirements in the California Model Water Efficient Landscape Ordinance (MWELo) (Exhibit 5, Condition No. 18).

The project site does not have access to a sewer system. For wastewater disposal, the project proposes an on-site wastewater treatment system (OWTS) with an advanced effluent treatment system and two 40-foot-deep seepage pits. The septic system will discharge to the Topanga Formation, which the Environmental Health Division classifies as a “formation of concern.” As a result, the tertiary effluent treatment system is proposed as a means of de-nitrification. The applicant has provided a geotechnical report and an on-site wastewater treatment system design report (Gold Coast Geoservices, Inc.; February 4, 2021), which demonstrate that the septic system design will function properly on the project site in accordance with applicable regulations.

Based upon the above discussion, the proposed project is consistent with Ventura County General Plan Public Facilities and Services Policies PFS-1.7, PFS-4.1, and PFS-4.2; Conservation and Open Space Policy COS-1.12; Water Resources Policies WR-1.11 and WR-3.2; and Thousand Oaks Area Plan Policies TO-19.3 and TO-54.1

- 5. General Plan Policy PFS-5.9 (Waste Reduction Practices for Discretionary Development):** *The County shall encourage applicants for discretionary development to employ practices that reduce the quantities of wastes generated and engage in recycling activities to further reduce the volume of waste disposed of in landfills.*

**Thousand Oaks Area Plan Policy TO-20.1 (Solid Waste Recycling):** *The County shall condition discretionary development to utilize feasible solid waste recycling measures.*

The proposed residential addition would not result in a significant generation of waste. Newbury Disposal Company will provide curbside garbage and recycling pickup services.

As required by California Public Resources Code (PRC) 41701, Ventura County's Countywide Siting Element (CSE), adopted in June 2001 and updated annually, Ventura County has at least 15 years of disposal capacity available for waste generated by in-County projects. Because the County currently exceeds the minimum disposal capacity required by the state PRC, the proposed project will have less than a significant project-specific impact upon Ventura County's solid waste disposal capacity. Ventura County Ordinance 4421 requires all applicants for discretionary permits for projects that include construction and/or demolition to reuse, salvage, recycle, or compost a minimum of 65 percent of the solid waste generated by their project. The Integrated Waste Management Division's (IMWD) waste diversion program (Form B Recycling Plan / Form C Report) ensures the 65 percent diversion goal is met prior to Building and Safety Division's issuance of a certificate of occupancy, consistent with the Ventura County General Plan. The project has been conditioned to address recycling during the demolition and construction phases of the project (Exhibit 5, Condition Nos. 37 and 38).

Based on the above discussion, the proposed project is consistent with Ventura County General Plan Public Facilities and Services Policy PFS-5.9 and Thousand Oaks Area Plan Policy TO-20.1.

- 6. General Plan Policy PFS-6.1 (Flood Control and Drainage Facilities Required for Discretionary Development):** *The County shall require discretionary development to provide flood control and drainage facilities, as deemed necessary by the County Public Works Agency and Watershed Protection District. The County shall also require discretionary development to fund improvements to existing flood control facilities necessitated by or required by the development.*

**General Plan Policy PFS-6.5 (Stormwater Drainage Facilities):** *The County shall require that stormwater drainage facilities are properly designed, sited, constructed, and maintained to efficiently capture and convey runoff for flood protection and groundwater recharge.*

**General Plan Policy HAZ-4.12 (Slope Drainage):** *Drainage plans that direct runoff and drainage away from slopes shall be required for construction in hillside areas.*

**Thousand Oaks Area Plan Policy TO-49.2 (On-site Stormwater Retention Facilities):** *During the period that the City of Thousand Oaks Master Stormwater Retention Facility Study is being prepared, the County may require permanent on-site retention facilities may also be required for a project if determined to be necessary and feasible by the Ventura County Flood Control District. Such structures shall be constructed in such a manner to ensure the protection of the project and adjacent properties from a 100-year frequency storm. The retention basin shall also be designed to minimize erosion and maximize desiltation in order to prevent debris from entering downstream channels. Site improvements shall*

*include, but are not limited to, a perimeter fence with lockable gates, vehicle access to bottom of basin and to top of outlet structure, low-flow pipe system, overflow system, landscaping and an automatic irrigation system to provide visual screening.*

**Thousand Oaks Area Plan Policy TO-49.3 (Downstream Flooding Impact Review Requirement):** *The County shall require cumulative downstream flooding impacts in the Conejo/Calleguas drainage system to be evaluated prior to or as part of the environmental document, for discretionary developments involving significant amounts of impervious surface coverage. When determined necessary by the County Flood Control District, the County shall require feasible mitigation measures designed to reduce flood impacts to be incorporated into the project design.*

As shown on Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Panels 06111C0966E, effective January 20, 2010, and 06111C0968F, effective April 4, 2018, the project site is in a location identified as Zone X, Area of Minimal Flood Hazard. The project will not require the development of new flood control facilities nor contribute funds to the development and/or maintenance of flood control facilities.

The applicant has provided a hydrology and stormwater quality report (Pacific Coast Civil, Inc.; May 6, 2021). In accordance with that report, drainage will be handled by directing all runoff from the developed portion of the site to a 1,943 cubic foot planter box. Overflow from the planter box will be directed to an underground detention basin with a capacity of 3,889 cubic feet. With the incorporation of these stormwater control devices, post-development runoff characteristics (e.g., volume, velocity, direction, peak flow, etc.) are expected to be equivalent to pre-development conditions. Because the project is not anticipated to result in a significant change in drainage conditions, no downstream impacts are expected with respect to flooding or stormwater control.

Based on the above discussion, the proposed project is consistent with Ventura County General Plan Public Facilities and Services Policies PFS-6.1 and PFS-6.5, Hazards and Safety Policy HAZ-4.12, and Thousand Oaks Area Plan Policies TO-49.2 and TO-49.3.

- 7. Thousand Oaks Area Plan Policy TO-24.1 (Impacts on Recreation):** *The County shall require all discretionary development that may affect recreation resources, trail systems, or parklands to be reviewed by affected recreation agencies (e.g., Ventura County General Services Agency - Recreation Services, Conejo Recreation and Park District, Santa Monica Mountains Conservancy, California Department of Parks and Recreation, National Park Services, Conejo Open Space Conservation Agency [COSCA]), for impact on recreation opportunities and resources.*

**Thousand Oaks Area Plan Policy TO-28.1 (Development Near Equestrian Trails):** *The County shall condition discretionary development near existing or proposed equestrian trails, as depicted on "Hiking/Equestrian Trails", to mitigate or avoid adverse impacts to the existing trail system. The County shall condition discretionary development permits which may be expected to benefit from the regional trail system to dedicate and improve, or pay a fee for, planned trails and public trail access points and install appropriate signs to the standards of the County of Ventura, Conejo Open Space Conservation Agency (COSCA) and the Conejo Recreation and Park District.*

The subject parcel was created by a parcel map (Parcel Map No. 3559). In accordance with Condition No. 21 of that parcel map, the subdivider paid a park impact (Quimby) fee for each new parcel. This impact fee is intended to offset each new parcel's contribution to cumulative increases in demand for parks and recreation facilities.

The project site is not located adjacent to parks or trails. Additionally, the Thousand Oaks Area Plan's hiking and equestrian trails map does not show any proposed trails or bicycle paths running through or adjacent to the project site. As a result, the proposed project is not anticipated to affect recreation resources, trail systems, or parklands.

Based on the above discussion, the proposed project is consistent with Thousand Oaks Area Plan Policies TO-24.1 and TO-28.1.

## **Conservation and Open Space**

- 8. General Plan Policy COS-1.1 (Protection of Sensitive Biological Resources):** *The County shall ensure that discretionary development that could potentially impact sensitive biological resources be evaluated by a qualified biologist to assess impacts and, if necessary, develop mitigation measures that fully account for the impacted resource. When feasible, mitigation measures should adhere to the following priority: avoid impacts, minimize impacts, and compensate for impacts. If the impacts cannot be reduced to a less than significant level, findings of overriding considerations must be made by the decision-making body.*

**General Plan Policy COS-1.4 (Consideration of Impacts to Wildlife Movement):** *When considering proposed discretionary development, County decision-makers shall consider the development's potential project-specific and cumulative impacts on the movement of wildlife at a range of spatial scales including local scales (e.g., hundreds of feet) and regional scales (e.g., tens of miles).*

**General Plan Policy COS-1.9 (Agency Consultation Regarding Biological Resources):** *The County shall consult with the California Department of Fish and Wildlife, the Regional Water Quality Control Board, the U.S. Fish and Wildlife Service, National Audubon Society, California Native Plant Society, National Park Service for development in the Santa Monica Mountains or Oak Park Area, and other resource management agencies, as applicable during the review of discretionary development applications to ensure that impacts to biological resources, including rare, threatened, or endangered species, are avoided or minimized.*

**Thousand Oaks Area Plan Policy TO-33.1 (Biological Field Reconnaissance Report Requirement):** *The County shall require a biological field reconnaissance report detailing the composition of species at the site, the presence of rare, threatened, endangered or candidate plant or animal species, the presence of important wildlife movement corridors and wetlands, and suitable mitigation measures to be prepared by the County's biological consultant as part of the environmental assessment of all discretionary development permits involving earth movement or construction on previously undeveloped land (i.e., where the natural vegetation still exists).*

**Thousand Oaks Area Plan Policy TO-33.2 (Agency Consultation Requirement):** *The County shall require the City of Thousand Oaks, the Conejo Open Space Conservation Agency (COSCA), the California Department of Parks and Recreation, the Santa Monica Mountains Conservancy, and the Santa Monica Mountains National Recreation Area to be consulted during the initial 30-day project review period for discretionary development proposals when proposals which may adversely affect the biological resources under their purview are submitted.*

**Thousand Oaks Area Plan Policy TO-36.1 (Protected Trees):** *The County shall require discretionary development to be located to avoid the loss or damage to protected trees. The County shall require removal of protected trees to only occur after review of the necessity of such removal, and in accordance with the provisions of the County's Scenic Resource Protection Overlay Zone (Zoning Ordinance), the County's Tree Protection Ordinance (Zoning Ordinance), and the Guidelines for the Preservation and Protection of Trees (see Special Guidelines and Standards).*

**Thousand Oaks Area Plan Policy TO-48.2 (Brush Removal Impact Mitigation):** *The County shall require discretionary development within high fire hazard areas to be reviewed with attention to the environmental impact of required brush clearance to biological resources, particularly on moderate to steep slopes. The County should encourage brush clearance that reduces fuel volumes while*

*allowing the selective retention of native shrubs a minimum of 20' apart, as permitted by the Ventura County Fire Protection District.*

The project involves development of a vacant 20-acre parcel in an Open Space zone. An Initial Study Biological Assessment (ISBA) was completed for this project (Envicom Corporation; February 18, 2022). The ISBA notes that the project site is largely vegetated with coastal sage scrub communities. The project would involve 2.08 acres of vegetation removal in association with the proposed development. Additionally, 3.86 acres of fuel modification is proposed to comply with fire safety requirements.

The proposed project would include removal of one heritage Italian stone pine to accommodate driveway widening and a fire department turnaround. The proposed tree removal was evaluated by an arborist (Bill Spiewak; February 7, 2021, addendum dated May 8, 2021). Both the project arborist and fire department concluded that removal of the pine is necessary and appropriate for the proposed development. Grading activities would also occur within the protected zone of a second heritage Italian stone pine and a coast live oak. As indicated in Section D of the staff report, the project complies with all relevant tree removal standards in the Non-Coastal Zoning Ordinance (NCZO). The project is conditioned to provide a Tree Protection Plan and to monitor tree health (Exhibit 5, Conditions 29 and 32).

The Thousand Oaks Area Plan include guidelines for tree protection and removal. The proposed tree removal and encroachment meets the standard for approval (Section 5.2.3.3), because it is necessary to enable reasonable and conforming use of the subject property which is otherwise prevented by the presence of the tree to be removed and the two trees to be encroached upon. The Thousand Oaks Area Plan guidelines (Section 5.2.7) have been incorporated into the condition of approval requiring a Tree Protection Plan (Exhibit 5, Condition No. 29).

Grading, tree removal, and other construction activities have the potential to disturb nesting birds protected under the Migratory Bird Treaty Act (MBTA). To avoid any such impacts, the project will be conditioned to provide a nesting bird survey unless all grading is to occur outside of the nesting season (Exhibit 5, Condition No. 20). Should nesting birds be present, a buffer zone of 300-500 feet would be established until the young have fledged.

As discussed above, the Mitigated Negative Declaration identified impacts to biological resources arising from removal of a tree, site work within the protected zone of two additional trees, vegetation removal associated with fuel modification, and addition of exterior lighting. The Mitigated Negative Declaration (Exhibit 4.a) proposes the following mitigation measures, which are included as conditions of approval:



- Mitigation Measure BIO-1: Pre-Construction Sensitive Wildlife Survey and Impact Avoidance (Exhibit 5, Condition No. 25)
- Mitigation Measure BIO-2: Woodrat Nest Avoidance and Relocation (Exhibit 5, Condition No. 26)
- Mitigation Measure BIO-3: Qualified Biologist for Construction Monitoring (Exhibit 5, Condition No. 27)
- Mitigation Measure BIO-4: Protection Measures During Construction Activities (Exhibit 5, Condition No. 28)
- Mitigation Measure BIO-5: Tree Protection Plan (Exhibit 5, Condition No. 29)
- Mitigation Measure BIO-6: Sensitive Plant Community Restoration – Scrub Habitats (Exhibit 5, Condition No. 30)
- Mitigation Measure BIO-7: Lighting Plan (Exhibit 5, Condition No. 31)

With the incorporation of the above mitigation measures, the Mitigated Negative Declaration concludes that impacts to biological resources will be less than significant.

The project has been referred for review to the following agencies: Los Angeles Regional Water Quality Control Board, US Fish and Wildlife Service, National Audubon Society, California Native Plant Society, National Parks Service – Santa Monica Mountains Recreation Area, City of Thousand Oaks, COSCA, California Department of Parks and Recreation, and Santa Monica Mountains Conservancy. As of the date of publication of the staff report, no comments have been provided by these agencies or organizations.

Based on the above discussion, the proposed project is consistent with Ventura County General Plan Conservation and Open Space Policies COS-1.1, COS-1.4, and COS-1.9 and Thousand Oaks Area Plan Policies TO-33.1, TO-33.2, TO-36.1, and TO-48.2.

- 9. General Plan Policy COS-4.2b (Cooperation for Tribal Cultural Resource Protection):** *For discretionary projects, the County shall request local tribes contact information from Native American Heritage Commission, to identify known tribal cultural resources. If requested by one or more of the identified local tribes, the County shall engage in consultation with each local tribe to preserve, and determine appropriate handling of, identified resources within the county.*

**General Plan Policy COS-4.4 (Discretionary Development and Tribal, Cultural, Historical, Paleontological, and Archaeological Resource Preservation):** *The County shall require that all discretionary development projects be assessed for potential tribal, cultural, historical, paleontological, and archaeological resources by a qualified professional and shall be designed to protect existing resources. Whenever possible, significant impacts shall be reduced to a less-than-significant level through the application of mitigation and/or extraction of maximum recoverable data. Priority shall be given to measures that avoid resources.*

**Thousand Oaks Area Plan Policy TO-45.1 (Archaeological Resource Review Requirement):** *The County shall require all discretionary development permits involving construction or earth movement within the Thousand Oaks Area of Interest to be reviewed by the County's designated archaeological resource review organization. Whenever a discretionary development project is located within an archaeologically sensitive area, The County shall require the following requirements:*

- (1) The County shall require a field reconnaissance study to be conducted by a County approved archaeologist to determine the potential for surface or subsurface cultural reservoirs.*
- (2) The County shall require a qualified archaeological monitor to be present to monitor trenching or earth movement during construction.*
- (3) In the event that artifacts of historical or archaeological significance are uncovered, the County shall require the qualified archaeological monitor to be empowered to halt construction in the immediate vicinity of such unearthed artifacts until disposition of the site has been determined by the County Planning Division.*

The project site is not within a sensitive area for archaeological resources (RMA GIS, 2022). An archaeological site (CA-VEN-320) was located within the boundaries of the subdivision that created the subject lot (Parcel Map No. 3559); however, the exact location is unclear. When the subdivision was undergoing review, a Phase I archaeological surface survey was conducted (Ancient Enterprises; July 1, 1980). The survey failed to delineate the archaeological site and concluded that the site had been destroyed when a road was graded through the area in the 1970s. No resources were located within the boundaries of the subdivision, including on the subject parcel.

As part of preparing the Mitigated Negative Declaration, County Planning staff contacted the Native American Heritage Commission for a list of local tribes. The project was then referred to six tribes in compliance with Assembly Bill 52: Barbareno-Ventureno Band of Mission Indians, Chumash Council of Bakersfield, Coastal Band of the Chumash Nation, Northern Chumash Tribal Council, San Luis

Obispo County Chumash Council, and Santa Ynez Band of Chumash Indians. As of the date of publication, no requests for consultation have been received.

Encountering cultural resources during grading is unlikely, as the building pad had been previously graded (see Section A.8 of the staff report). Nonetheless, it is possible to encounter unanticipated resources. Should this happen, the project conditions will require that work stop, the Planning Director be notified, and an archaeologist be consulted (Exhibit 5, Condition No. 22).

The project site's underlying geology is described as the Topanga Formation, which has moderate potential for paleontological resources. As set forth in the *Ventura County Initial Study Assessment Guidelines*, no impact is anticipated to occur when disturbing soils that have moderate potential for paleontological resources. As with archaeological resources, it is still possible to encounter unanticipated paleontological resources. Should this occur, the project conditions will require that work stop, the Planning Director be notified, and a paleontologist be consulted (Exhibit 5, Condition No. 21).

Based on the above discussion, the proposed project is consistent with Ventura County General Plan Conservation and Open Space Policies COS-4.2b and COS-4.4 and Thousand Oaks Area Plan Policy TO-45.1.

**10. Thousand Oaks Area Plan Policy TO-46.2 (Sensitive Land Preservation for New Development):** *The County shall condition discretionary development projects to preserve the most sensitive portions of the property as permanent open space or recreational areas (see Special Guidelines and Standards).*

**Thousand Oaks Area Plan Policy TO-46.3 (Significant Natural Area Preservation):** *The County shall require deed restrictions, conservation easements, and/or parkland/open space dedications to an appropriate public agency (e.g., Conejo Open Space Conservation Agency (COSCA), California Department of Parks and Recreation, National Park Service, Conejo Recreation and Park District, Nature Conservancy, a Homeowners Association, or other entity approved by the County) to be employed on portions of properties with severe environmental constraints, in order to protect significant natural areas by preserving them as permanent open space/recreation areas while permitting property owners to develop less constrained portions of property (see Special Guidelines and Standards).*

**Thousand Oaks Area Plan Policy TO-46.4 (Natural Open Space Preservation):** *The County shall condition discretionary development permits within or adjacent to areas of significant wildlife habitat, scenic areas, steep slopes, moderate slopes, canyons, water courses, and other hazardous or sensitive areas to reserve a portion of the site for natural open space or recreation in accordance with the standards established in the Special Guidelines and Standards of this*

*Plan. Where appropriate, the County shall encourage developers to dedicate such areas to park or open space agencies.*

As discussed above, the project site is zoned Open Space. Development authorized under this Planned Development Permit will be limited to a 2.08-acre area, which is the least constrained location on the site. Fuel modification will occur over a 3.86-acre area. The remainder of the 20-acre project site will remain undisturbed in its natural state.

The parcel (Lot 9) is in the center of a 10-lot residential subdivision. The parcel is surrounded by similarly sized residential parcels. It is not contiguous to any parkland, trails, or public open space. The project was referred to the following organizations and agencies: COSCA, California Department of Parks and Recreation, National Parks Service, Conejo Recreation and Parks District, and Ventura County Parks. None of these entities has expressed an interest in acquiring open space on the subject property.

The Thousand Oaks Area Plan contains Special Guidelines and Standards that pertain to open space preservation. Section 5.1.2 requires that a minimum 32.5 percent of the project site remain in a natural state with no cut or fill. As proposed, more than 75 percent of the project site will remain in a natural state. This will be ensured, as future use of the property will be restricted by the conditions of approval of this PD Permit.

The project does not include a proposal to offer open space for dedication to the public. Because the project involves the construction of a single-family dwelling and accessory structures on an existing legal lot of record in a residential subdivision, there is no nexus to require the applicant to dedicate an open space easement to a public entity. The applicant and successors in interest will instead retain all open space areas of the lot in private ownership.

Based on the above discussion, the proposed project is consistent with Thousand Oaks Area Plan Policies TO-46.2, TO-46.3, and TO-46.4.

## **Hazards and Safety**

**11. General Plan Policy HAZ-1.1 (Fire Prevention Design and Practices):** *The County shall continue to require development to incorporate design measures that enhance fire protection in areas of high fire risk. This shall include but is not limited to incorporation of fire-resistant structural design, use of fire-resistant landscaping, and fuel modification around the perimeter of structures.*

**General Plan Policy HAZ-1.2 (Defensible Space Clear Zones):** *The County shall require adherence to defensible space standards, or vegetation “clear zones,”*

*for all existing and new structures in areas that are designated as Hazardous Fire Areas by the Ventura County Fire Protection District and High Fire Hazard Severity Zones by the California Department of Forestry and Fire Protection.*

**General Plan Policy CTM 2.28 (Emergency Access):** *The County shall ensure that all new discretionary projects are fully evaluated for potential impacts to emergency access. Mitigation of these impacts shall be handled on a project-by-project basis to guarantee continued emergency service operations and service levels.*

**General Plan Policy PFS-11.4 (Emergency Vehicle Access):** *The County shall require all discretionary development to provide, and existing development to maintain, adequate access for emergency vehicles, including two points of access for subdivisions and multifamily developments.*

**General Plan Policy PFS-12.3 (Adequate Water Supply, Access, and Response Times for Firefighting Purposes):** *The County shall prohibit discretionary development in areas that lack and cannot provide adequate water supplies, access, and response times for firefighting purposes.*

**General Plan Policy PFS-12.4 (Consistent Fire Protection Standards for New Development):** *The County, in coordination with local water agencies and the Fire Protection District, shall require new discretionary development to comply with applicable standards for fire flows and fire protection.*

**Thousand Oaks Area Plan Policy TO-29.1 (Public Safety Compliance):** *The County shall require discretionary development to comply with the requirements of the Fire Protection District and Sheriff's Department by providing adequate access for fire, law enforcement, emergency equipment and personnel, and evacuation.*

**Thousand Oaks Area Plan Policy TO-31.1 (Adequate Water Supply and Delivery for Firefighting):** *The County shall require adequate water supplies and delivery system for firefighting purposes to serve any discretionary development in accordance with the standards of the Fire Protection District.*

**Thousand Oaks Area Plan Policy TO-48.1 (Fuel Modification Zone Requirements):** *The County shall require discretionary development in or adjacent to high fire hazard areas to maintain a minimum 100-foot-wide fuel modification zone consisting of low-density vegetation or fire-retardant vegetation around the perimeter of the development. The County shall require maintenance of such fuel modification zones to be adequately provided for through a viable homeowners' association, benefit assessment district, or other means approved by the County.*

Emergency access to the project site is provided by White Stallion Road, a private paved road. White Stallion Road is a loop road that intersects with Potrero Road, a County road, east and west of the project site. Both White Stallion Road and Potrero Road are designed to comply with Ventura County Fire Protection District standards.

The proposed residence will be provided with water service by Cal-Am Water Company. Cal-Am's facilities are adequate to provide the needed fire flow to the property.

The nearest fire station, Ventura County Fire Station 32, addressed as 830 South Reino Road, Newbury Park, is approximately 2.0 miles west of the project site.

The Ventura County Fire Protection District reviewed this project and determined that there were no significant issues with respect to access or fire flow. The project will be required to meet standard fire safety clearance requirements prior to Zoning Clearance for construction of the project (Exhibit 5, Condition No. 55).

Based on the above discussion, the proposed project is consistent with Ventura County General Plan Hazards and Safety Policy HAZ-1.1 and HAZ-1.2; Circulation, Transportation, and Mobility Policy CTM-2.28; Public Facilities and Services Policies PFS-11.4, PFS-12.3, and PFS-12.4; and Thousand Oaks Area Plan Policies TO-29.1, TO-31.1, and TO-48.1.

**12. General Plan Policy HAZ-4.1 (Projects in Earthquake Fault Zones):** *The County shall prohibit new structures for human occupancy and subdivisions that contemplate the eventual construction of structures for human occupancy in Earthquake Fault Zones unless a geologic investigation is performed to delineate any hazard of surface fault rupture and appropriate and sufficient safeguards, based on this investigation, are incorporated into the project design.*

**General Plan Policy HAZ-4.3 (Structural Design):** *The County shall require that all structures designed for human occupancy incorporate engineering measures to reduce the risk of and mitigate against collapse from ground shaking.*

**General Plan Policy HAZ-4.8 (Seismic Hazards):** *The County shall not allow development of habitable structures or hazardous materials storage facilities within areas prone to the effects of strong ground shaking, such as liquefaction, landslides, or other ground failures, unless a geotechnical engineering investigation is performed and appropriate and sufficient safeguards, based on this investigation, are incorporated into the project design.*

**General Plan Policy HAZ-4.13 (Design for Expansive Soils):** *The County shall not allow habitable structures or individual sewage disposal systems to be placed*

*on or in expansive soils unless suitable and appropriate safeguards are incorporated into the project design to prevent adverse effects.*

The proposed project has been sited and designed in a manner that ensures stability and structural integrity. It would neither create nor contribute significantly to geologic instability or destruction of the site or surrounding areas. The nearest faults are 0.8 miles south and 0.8 miles west of the project site, and the nearest Fault Hazard Zone, Camarillo Fault Hazard Zone, is located 5.7 miles northwest. The project site is not located within 50 feet of the Alquist-Priolo Special Fault Hazard Area. The site will be subject to moderate ground shaking caused by regionally active faults. Additionally, the project site is located in an area subject to liquefaction (Ventura County RMA GIS, 2021).

The applicant has provided a geotechnical report (Gold Coast Geoservices; February 4, 2021). The report assessed conditions pertaining to drainage, geology, liquefaction risk, and seismic hazards. Additionally, the geotechnical report includes recommendations on excavation, drainage, and foundation design. The report concludes that the project can be safely developed on the project site. Through the building permit process, the County's Building and Safety Division will ensure that proposed construction techniques are based on the recommendations of the geotechnical engineering report.

Based on the above discussion, the proposed project is consistent with Ventura County General Plan Hazards and Safety Policies HAZ-4.1, HAZ-4.3, HAZ-4.8 and HAZ-4.13.

**13. General Plan Policy HAZ-4.5 (Soil Erosion and Pollution Prevention):** *The County shall require discretionary development be designed to prevent soil erosion and downstream sedimentation and pollution.*

**General Plan Policy HAZ-4.6 (Vegetative Resource Protection):** *The County shall require discretionary development to minimize the removal of vegetation to protect against soil erosion, rockslides, and landslides.*

**General Plan Policy HAZ-4.7 (Temporary Revegetation on Graded Areas):** *The County shall require, as necessary, the use of soil stabilization methods on graded areas to reduce the potential for erosion, particularly during the construction phase.*

**General Plan Policy WR-1.2 (Watershed Planning):** *The County shall consider the location of a discretionary project within a watershed to determine whether or not it could negatively impact a water source. As part of discretionary project review, the County shall also consider local watershed management plans when considering land use development.*

**General Plan Policy WR-1.12 (Water Quality Protection for Discretionary Development):** *The County shall evaluate the potential for discretionary development to cause deposition and discharge of sediment, debris, waste and other pollutants into surface runoff, drainage systems, surface water bodies, and groundwater. The County shall require discretionary development to minimize potential deposition and discharge through point source controls, storm water treatment, runoff reduction measures, best management practices, and low impact development.*

**General Plan Policy WR-2.2 (Water Quality Protection for Discretionary Development):** *The County shall evaluate the potential for discretionary development to cause deposition and discharge of sediment, debris, waste, and other contaminants into surface runoff, drainage systems, surface water bodies, and groundwater. In addition, the County shall evaluate the potential for discretionary development to limit or otherwise impair later reuse or reclamation of wastewater or stormwater. The County shall require discretionary development to minimize potential deposition and discharge through point source controls, storm water treatment, runoff reduction measures, best management practices, and low impact development.*

**General Plan Policy WR-3.3 (Low-Impact Development):** *The County shall require discretionary development to incorporate low impact development design features and best management practices, including integration of stormwater capture facilities, consistent with County's Stormwater Permit.*

**Thousand Oaks Area Plan Policy TO-49.1 (Temporary Catchment Basin Requirement):** *The County shall require temporary catchment basins to be constructed on-site and maintained by the property owner in accordance with County standards prior to any site grading, particularly if these operations are to occur during, or extend into, the rainy season.*

**Thousand Oaks Area Plan Policy TO-49.4 (Manufactured Slope Landscaping Requirement):** *The County shall require all manufactured slopes to be thoroughly landscaped in order to stabilize disturbed soils in keeping with City of Thousand Oaks standards.*

**Thousand Oaks Area Plan Policy TO-52.4 (Landscaping Requirement for Inactive Portions of Construction Sites):** *The County shall require inactive portions of a construction site, as determined by the County Public Works Agency, to be planted in some manner such as hydroseeding and watered until sufficient groundcover cover is established.*



As discussed in Item No. 6, above, the drainage from the proposed development will be directed to a planter box, which is a Low Impact Development<sup>1</sup> measure. Overflow will be directed to an underground detention system. No downstream impacts are anticipated, as post-development drainage is expected to match pre-development conditions.

Proposed grading is limited to over-excavation and re-compaction. No manufactured slopes are proposed. Vegetation removal is limited to the area of development, plus a 100-foot fuel modification zone.

Because the project involves grading and development of an area larger than one acre, it will be subject to the preparation of a Stormwater Pollution Prevention Plan (SWPPP) (Exhibit 5, Condition No. 41). A SWPPP is designed to ensure against erosion and sedimentation during the construction phase of a development project. Typical SWPPP Best Management Practices (BMPs) include silt fences, fiber rolls, sandbag barriers around drainage inlets.

With the implementation of the SWPPP, the proposed project will not individually or cumulatively degrade the quality of surface water causing it to exceed water quality objectives, as contained in Chapter 3 of the Los Angeles Basin Plan. The project will not impact surface water quality, because the development is not expected to result in a violation of any surface water quality standards as defined in the Los Angeles Basin Plan. No erosion or sedimentation impacts are anticipated.

Based on the above discussion, the proposed project is consistent with Ventura County General Plan Hazards and Safety Element Policies HAZ-4.5, HAZ-4.6, and HAZ-4.7; Water Resources Element Policies WR-1.2, WR-1.12, WR-2.2, and WR-3.3; and Thousand Oaks Area Plan Policies TO-49.1, TO-49.4, and TO-52.4.

**14. General Plan Policy HAZ-9.2 (Noise Compatibility Standards):** *The County shall review discretionary development for noise compatibility with surrounding uses. The County shall determine noise based on the following standards:*

1. *New noise sensitive uses proposed to be located near highways, truck routes, heavy industrial activities and other relatively continuous noise sources shall incorporate noise control measures so that indoor noise levels in habitable rooms do not exceed Community Noise Equivalent Level (CNEL) 45 and outdoor noise levels do not exceed CNEL 60 or Leq1H of 65 dB(A) during any hour.*

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<sup>1</sup> LID is an approach to stormwater management that emphasizes controlling runoff at the source using integrated site design and management practices to align with the site's natural hydrology. Examples of LID techniques include permeable pavement, rain gardens, and bioswales.

2. *New noise sensitive uses proposed to be located near railroads shall incorporate noise control measures so that indoor noise levels in habitable rooms do not exceed Community Noise Equivalent Level (CNEL) 45 and outdoor noise levels do not exceed L10 of 60 dB(A)*
3. *New noise sensitive uses proposed to be located near airports:*
  - a. *Shall be prohibited if they are in a Community Noise Equivalent Level (CNEL) 65 dB or greater, noise contour; or*
  - b. *Shall be permitted in the Community Noise Equivalent Level (CNEL) 60 dB to CNEL 65 dB noise contour area only if means will be taken to ensure interior noise levels of CNEL 45 dB or less.*
4. *New noise generators, proposed to be located near any noise sensitive use, shall incorporate noise control measures so that ongoing outdoor noise levels received by the noise sensitive receptor, measured at the exterior wall of the building, does not exceed any of the following standards:*
  - a. *Leq1H of 55dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 6:00 a.m. to 7:00 p.m.;*
  - b. *Leq1H of 50dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 7:00 p.m. to 10:00 p.m.; and*
  - c. *Leq1H of 45dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 10:00 p.m. to 6:00 a.m.*
5. *Construction noise and vibration shall be evaluated and, if necessary, mitigated in accordance with the Construction Noise Threshold Criteria and Control Plan (Advanced Engineering Acoustics, November 2005).*

Development on the project site is set back 502 feet from Potrero Road, the nearest transportation noise source. Because of this distance, the single-family dwelling and accessory dwelling unit are both outside of the 60 dB(A) Community Noise Equivalent Level (CNEL). There are no airports, railroads, or stationary noise sources within 5 miles of the project site.

Development on the project site will be done in compliance with the 2019 California Building Code. Energy standards in the building code include requirements such as insulation and double-paned windows, which help to reduce interior noise levels. Compliance with the building code typically attenuates 20 to 25 dB(A) of noise. As a result, the interior habitable space will not exceed a CNEL of 45 dB(A).

The nearest neighboring development, an accessory dwelling unit, is approximately 250 feet east of the proposed dwelling. Despite this distance, construction on the property could potentially disturb the residents of nearby homes. To avoid such disturbance, the project has been conditioned to limit construction hours (Exhibit 5, Condition No. 23)

Based on the above discussion, the proposed project is consistent with Ventura County General Plan Hazards and Safety Policy HAZ-9.2.

**15. General Plan Policy HAZ-10.11 (Air Quality Assessment Guidelines):** *In evaluating air quality impacts, the County shall consider total emissions from both stationary and mobile sources, as required by the California Environmental Quality Act. The County shall evaluate discretionary development for air quality impacts using the Air Quality Assessment Guidelines as adopted by the Ventura County Air Pollution Control District (APCD), except that emissions from APCD-permitted sources shall also be included in the analysis. The County shall revise the Initial Study Assessment Guides to implement this policy.*

**General Plan Policy HAZ-10.12 (Conditions for Air Quality Impacts):** *The County shall require that discretionary development that would have a significant adverse air quality impact shall only be approved if it is conditioned with all feasible mitigation measures to avoid, minimize or compensate (offset) for the air quality impact. The use of innovative methods and technologies to minimize air pollution impacts shall be encourage in project design.*

**General Plan Policy HAZ-10.13 (Construction Air Pollutant Best Practices):** *Discretionary development projects that will generate construction-related air emissions shall be required by the County to incorporate best management practices (BMPs) to reduce emissions. These BMPs shall include the measures recommended by VCAPCD in its Air Quality Assessment Guidelines or otherwise to the extent applicable to the project.*

**General Plan Policy HAZ-10.14 (Fugitive Dust Best Management Practices):** *The County shall ensure that discretionary development which will generate fugitive dust emissions during construction activities will, to the extent feasible, incorporate appropriate BMPs to reduce emissions to be less than applicable thresholds.*

**Thousand Oaks Area Plan Policy TO-52.3 (Dust Suppression):** *The County shall require all active and graded portions of a construction site to be watered or treated with a nonoil based dust suppressant, a minimum of twice each working day (once during the day and once at the end of the day) to prevent excessive amounts of dust.*

**Thousand Oaks Area Plan Policy TO-52.5 (Fugitive Dust Emissions Mitigation):** *The County shall require chemical stabilizers to be applied to completed cut and fill areas in order to reduce fugitive dust emissions from inactive portions of a project site.*

**Thousand Oaks Area Plan Policy TO-52.6 (Dust Suppression for Excavation or Grading):** *The County shall require all material excavated or graded to be sufficiently watered or treated with a non-oil based dust suppressant, to prevent excessive amounts of dust.*

**Thousand Oaks Area Plan Policy TO-52.12 (Earth Moving Equipment Maintenance Requirement):** *The County shall require earth moving equipment engines to be maintained in good condition and in proper tune as per manufacturer's specifications.*

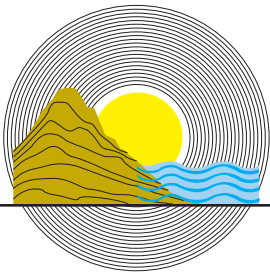
**Thousand Oaks Area Plan Policy TO-52.13 (On-site Equipment Requirement):** *The County shall require all grading and construction equipment to be kept on or near the site until those phases of development are completed.*

**Thousand Oaks Area Plan Policy TO-52.14 (High Wind Restriction):** *The County shall require all clearing, grading, earthmoving and excavation operations to cease during periods of high winds (20 mph or greater in one hour).*

**Thousand Oaks Area Plan Policy TO-52.15 (Construction Period during Periods of High Levels of Smog):** *The County shall require the construction period during periods of high levels of smog (May through October) to be lengthened to minimize the number of vehicles and equipment operating at the same time.*

The proposed project has been reviewed by the Ventura County Air Pollution Control District (APCD). The APCD has determined that the project would have less than significant impacts to air quality. Additionally, the project will be subject to standard conditions of approval relating to construction best practices and fugitive dust control (Exhibit 5, Condition Nos. 42 and 43).

Based on the above discussion, the proposed project is consistent with Ventura County General Plan Hazards and Safety Policies HAZ-10.11 through HAZ-10.14 and Thousand Oaks Area Plan Policies TO-52.3 through TO-52.6 and TO-52.12 through TO-52.15.



# **GOLD COAST GEOSERVICES, INC.**

*Engineering Geologic and Geotechnical Consultants*

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## **GEOTECHNICAL REPORT**

Proposed Single Family Residence, Detached Garage,  
Guest House, and Swimming Pool  
Lot 9, PM 3559  
2551 White Stallion Road  
Thousand Oaks, County of Ventura

for:

**ROBERT ERDMANN  
ALLIED PROPERTY GROUP**

February 4, 2021

File No. GC20-123144

<p>County of Ventura Planning Director Hearing Case No. PL21-0020 Exhibit 7 - Geotechnical Report</p>
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INTRODUCTION

In accordance with your request, we have prepared this geotechnical report for the proposed construction of a single family residence, detached garage, guest house, and swimming pool at 2551 White Stallion Road in the White Stallion residential community in unincorporated Ventura County. The scope of work in preparation of this report included the completion of the following tasks:

1. Review of plans for grading provided by the project civil engineer, *Pacific Coast Civil*.
2. Review of architectural plans provided by Robert Erdmann.
3. Review of previous geologic and soils engineering reports for this property, prepared by Gorian and Associates, Inc. (see Reference List, Appendix I).
4. Geologic mapping of the site, using the topographic map / grading plan by *Pacific Coast Civil* as the base map.
5. Excavation and downhole geologic logging of 9 backhoe-dug trenches, and 1 bucket auger boring.
6. Preparation of Geologic Cross-Sections to show the surface and subsurface soils and geologic conditions determined from this investigation, with respect to the development as now proposed.
7. Preparation of this report to provide geotechnical design recommendations for the project as now proposed.

The locations of the exploratory excavations are shown on the Geotechnical Map in Appendix III. Descriptions of the earth materials encountered in the exploratory excavations are presented on the Trench Logs and Boring Log in Appendix III. Laboratory test results are provided in Appendix II.

### **PROPOSED DEVELOPMENT**

As shown on the Geotechnical Map in Appendix III, the proposed single family residence, detached garage, guest house, and pool are to be constructed on the existing building pad at the southeast side of the site. Minimal grading is proposed, as necessary to establish a suitable building pad condition for foundation construction. No retaining walls are proposed. A septic system consisting of a septic tank and seepage pits is proposed to be constructed at the south side of the residence, as shown on the Geotechnical Map.

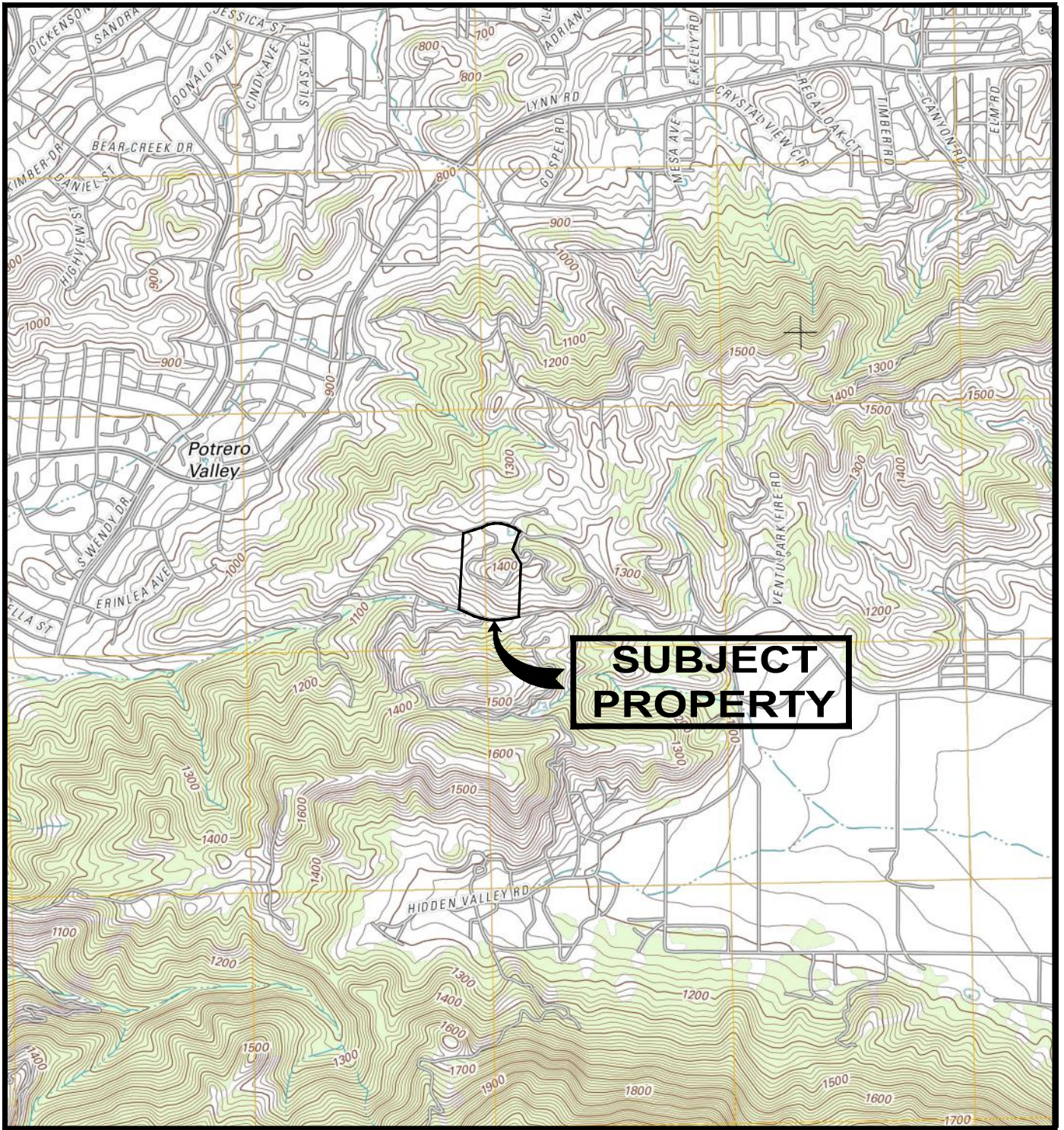
### **FINDINGS**

#### **Site Conditions and Geology**

The subject property is Lot 9 of a 10 parcel subdivision within the White Stallion residential community located at the northwest side of the Santa Monica Mountains at the southwest side of Thousand Oaks in unincorporated Ventura County (see Site Location Map, Figure 1). The site contains an existing paved access driveway from White Stallion Road at the north side of the site that provides vehicular access to the building pad on the southeasterly side of the site. A ranch building remains at the west side of the building pad, and is to be removed (but not replaced) as part of the proposed development.

The access driveway and the existing building pad were created by engineered grading of the building pads and roads/driveways for the White Stallion development in 1989. The building pad was created by cut grading atop a former knoll. The building pad site is underlain by sedimentary rocks (sandstone interbedded with siltstone) assigned to the Miocene age (approximately 15 million years old) Topanga Formation of marine origin. Compacted fill was placed along the east side of the building pad.





**BASE MAP: USGS 7.5' NEWBURY PARK QUADRANGLE**



**NORTH**  
1" = 2000'

**GOLD  
COAST  
GEOSERVICES, INC.**

**SITE LOCATION MAP**

2551 WHITE STALLION ROAD, THOUSAND OAKS

DATE: 01/06/2021

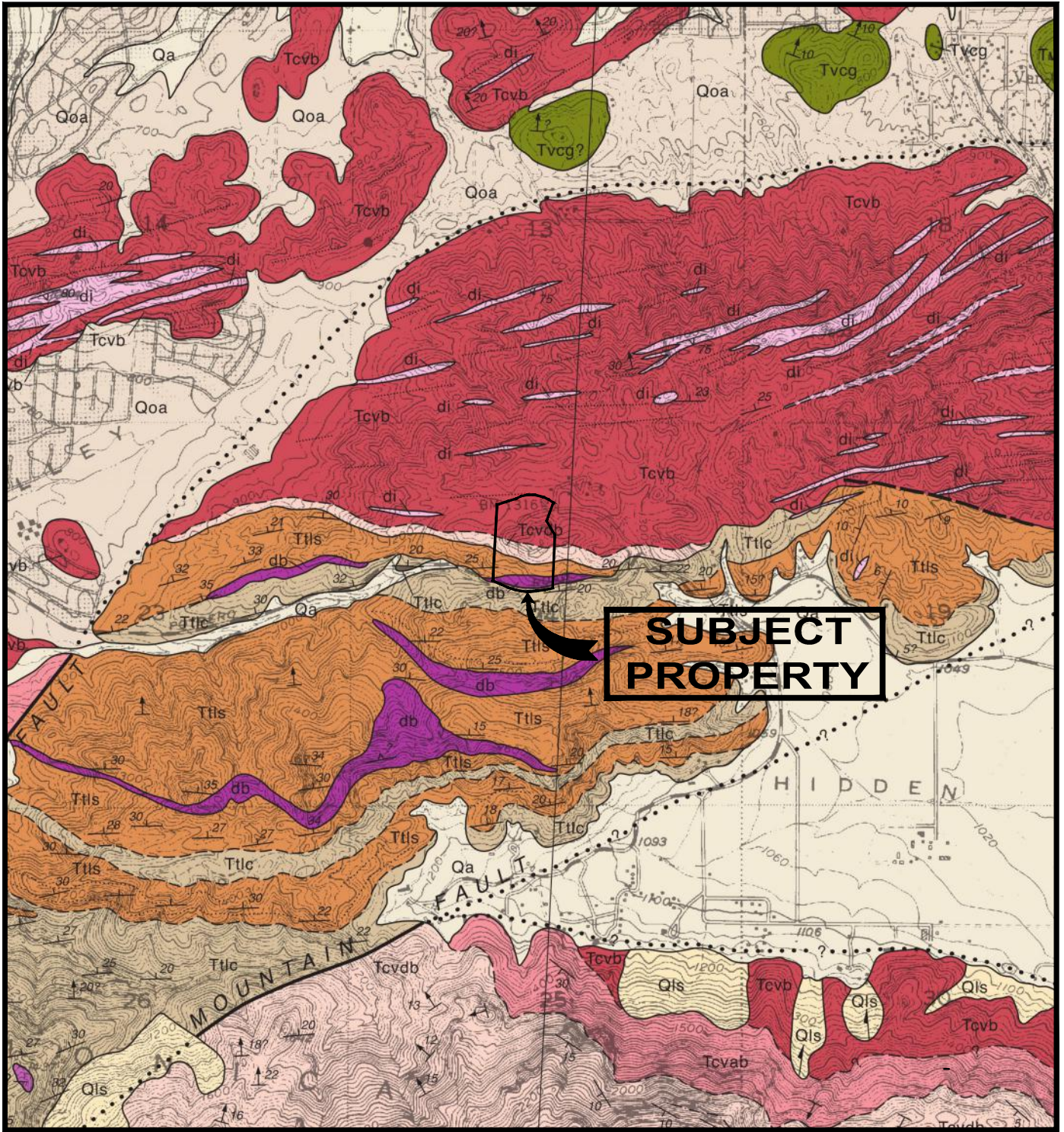
FILE NO.: GC20-123144

**FIGURE 1**

Slopes descend in all directions from the knoll top building pad site. The slopes vary from 3h:1v to 2h:1v slope ratio, with slope heights that exceed 100 feet. The slope that descends along the east side of the building pad is a 2h:1v compacted fill slope, with a slope height of about 25 feet. All other slopes are natural slopes.

A geotechnical report with compaction test data was prepared for the White Stallion development by Gorian and Associates, Inc. (Gorian), dated 11/10/1989. The limits of compacted fill and geologic data from the 1989 report by Gorian for Lot 9 are shown on the Geotechnical Map (see Appendix III). The Geotechnical Map incorporates updated geologic mapping by this office of the current site conditions. No evidence of grading was observed during this investigation beyond the limits of grading as shown and discussed in the 1989 report by Gorian. The building pad within this site has remained in the same condition as was created by the grading in 1989. Some minor improvements were made to the access driveway for maintenance, as discussed in a report by Gorian dated 4/13/2005.

Graphic depiction of the subsurface soils and geologic conditions determined from this investigation with respect to the proposed development are shown on the Geologic Cross-Sections presented in Appendix III. As noted, the building pad is underlain by sandstone and siltstone assigned to the Topanga Formation, with compacted fill along the easterly side of the building pad. The Topanga Formation is found to be hard to very hard underlying the building pad area. The exploratory trenches excavated for this investigation encountered fill material within the building pad (not discussed or described in the Gorian report) that did not exceed a thickness of about 18 inches. As noted, the east side of the building pad is underlain by compacted fill that attains a thickness of about 10 feet or more. The fill within the building area contains abundant cobbles and small boulders, presumably resulting from ripping of the underlying hard sandstone bedrock during the past grading that created the building pad.



**BASE MAP: THOMAS W. DIBBLEE JR., GEOLOGIC MAP OF THE CAMARILLO AND NEWBURY PARK QUADRANGLES (1990).**



**GOLD  
COAST  
GEOSERVICES, INC.**

**GEOLOGIC SITE  
LOCATION MAP**  
2551 WHITE STALLION ROAD, THOUSAND OAKS

DATE: 02/02/2021  
FILE NO.: GC20-123144  
**FIGURE 2**

### **Drainage**

Site drainage is by topographically controlled sheetflow runoff. No drainage courses or concentrated flows occur within or adjacent to the building site. A pond was created during the original White Stallion development at the northeast side of the property, at the location shown on the Geotechnical Map with this report. The pond was created by engineered grading within a natural westerly trending drainage course within the valley bottom on the north side of the site.

### **Geologic Structure and Landslide Hazard Potential**

No landslides occur at or adjacent to the proposed building site. Based on the findings from this engineering geologic investigation, the landslide hazard potential is considered to be low. The Topanga Formation strata dip to the north-northwest, at low dip angle that varies from about 24-33 degrees across the building pad. The descending slope along the north side of the building pad is considered to be a “dip slope”, with the slope surface and the dip angle of the Topanga Formation being essentially the same. The Topanga Formation sandstone/siltstone strata do not contain daylighted bedding plane conditions with respect to the northerly facing hillside along the southerly side of the site. General geologic structure determined from this investigation is shown on the Geotechnical Map and Geologic Cross-Sections with this report.

### **Groundwater**

No groundwater was encountered in the exploratory excavations during this investigation. The building site is situated at the top of a knoll and is not within an area of high groundwater potential. It is noted that temporary, transient groundwater can occur due to excessive irrigation, and during or following seasonal rainstorms.

**Faulting and Seismic Hazards**

The site is located in the westerly part of the Transverse Ranges Geomorphic Province, characterized by predominantly east-west trending fault systems, mountain ranges, and valleys. The property is **not** known to be underlain by any faults, and the site is **not** located within an “Earthquake Fault Studies Zone” per the State of California. The closest seismically active faults to the site are the Springville-Santa Rosa-Simi fault system located about 15 miles north of the property. Several other fault systems that are capable of producing earthquakes, including the San Andreas fault, occur within 50 miles of the property. Earthquakes along any of the numerous fault systems in the southern California area could cause moderate to strong ground shaking at the property.

Due to the lack of faulting at the site, the potential for fault rupture hazard in the event of an earthquake is considered to be very low. Seiche phenomenon and tsunamis are not potential seismic hazards at this site, due to the lack of water bodies at or adjacent to the site.

This proposed building site is **not** located within a Seismic Hazard Zone for seismically-induced liquefaction hazard, by state classification (see Figure 3). The slopes within the site are also **not** situated within a “seismically-induced landslide hazard zone”.



### CONCLUSIONS AND RECOMMENDATIONS

The findings from this updated geotechnical investigation indicate that the proposed development is considered to be suitable from a geotechnical standpoint. The following geotechnical recommendations are provided for consideration by the design and construction professionals for this project. Applicable elements of these recommendations shall be incorporated into the site development plans.

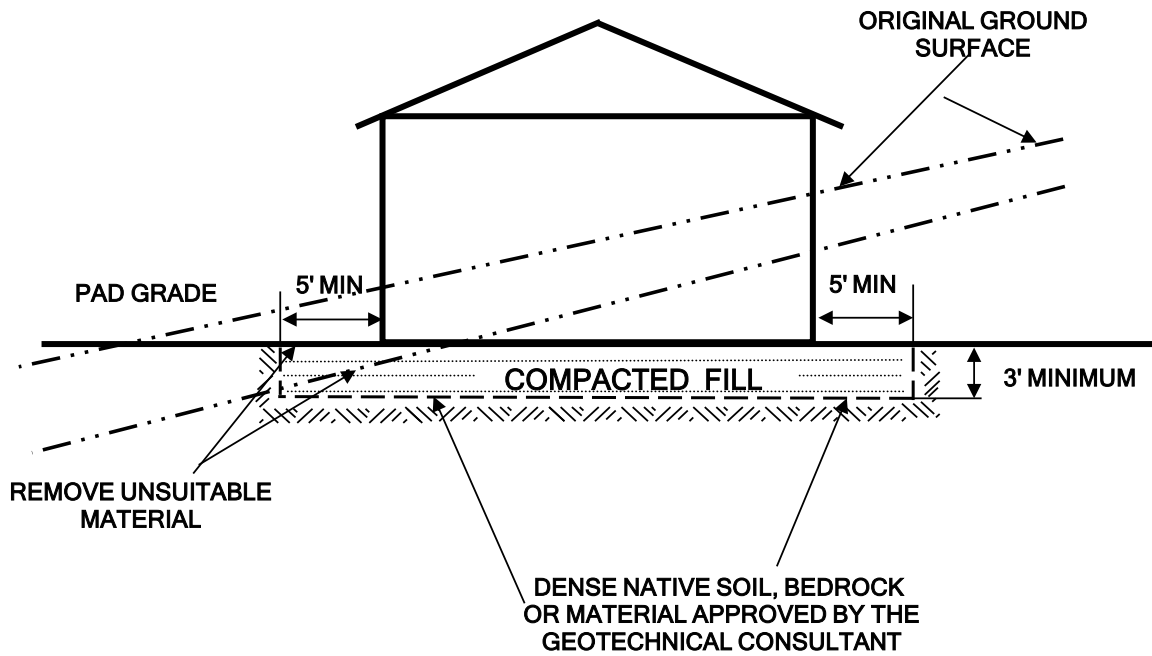
### SITE PREPARATIONS

The building pad is underlain by fill material that varies in thickness across the site. The existing fill is typically less than 18 inches in thickness, except along the east side of the building pad where the thickness of fill is about 10 feet (in the area of the detached garage along the east side of the residence). The fill is in turn underlain by sandstone and siltstone bedrock (Topanga Formation) that is hard to very hard. It is recommended that the proposed building areas be prepared for conventional foundations and slab-on-grade construction by performing removal and recompaction earth work to establish a uniform compacted fill blanket that is at least 3 feet in thickness (as measured from proposed building pad grade) and that provides a minimum compacted fill thickness of 18 inches below proposed footings. The compacted fill blanket shall extend a minimum of 5 feet beyond the proposed building areas. It is noted that consideration should be given to over-excavation and recompaction for all areas of proposed landscaping and utility line construction, to facilitate excavations that would otherwise encounter very hard sandstone bedrock.

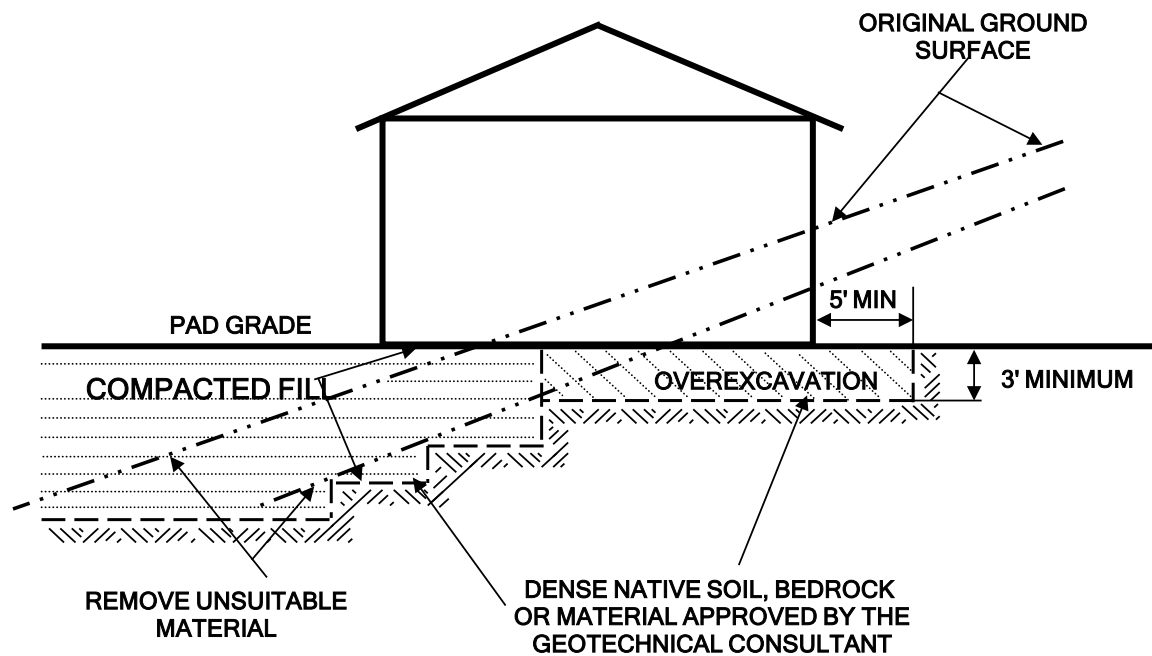
### EXCAVATIONS

Excavations that will exceed a height of 5 feet shall be sloped at 1h:1v slope ratio for that portion of excavation that exceeds a height of 5 feet, or as otherwise approved by the geologist and soils engineer.

# CUT LOT



# TRANSITION (CUT - FILL) LOT



NOT TO SCALE

Gold Coast  
GeoServices, Inc.

CUT FILL TRANSITION  
DETAIL

DATE: 02/2021

FIGURE 4



**PLACEMENT OF FILL**

All areas to receive engineered compacted fill shall be cleared of existing fill and surficial soils, extending down into dense bedrock approved by the engineering geologist, so that a uniform and dense surface area is exposed (the depth of removal may extend into existing compacted fill along the east side of the building pad, subject to approval with testing by the soils engineer). After the existing on-site materials have been excavated, they may be utilized for placement as compacted fill provided they are cleansed of rocks greater than 8 inches in width. Material placed as compacted fill shall be free of deleterious debris, and shall contain no rocks greater than 8 inches in width across the widest point. Fill placed within 3 feet of any planned foundation or utility line shall contain no rocks larger than 8 inches in width. It is noted that the site preparations and removal/recompaction earthwork will generate large rock material, so that a rock crusher may be required to reduce the rock material to no greater than 8 inches in diameter for placement as compacted fill within the building areas. Larger rock material that cannot be crushed may be placed for landscaping fill or in rock disposal areas, subject to approval by the soils engineer.

Compacted fill material shall be placed at optimum moisture content in layers approximately 6 to 8 inches in maximum thickness, and compacted by mechanical means to 90% relative compaction. Testing shall be performed by the soils engineer to verify 90% relative compaction for all fill material to be placed within the building area.

**SHRINKAGE AND BULKING**

Removal and recompaction of the existing fill material will result in shrinkage or loss of volume. A shrinkage factor of 10% is estimated. Excavation and compaction of bedrock will result in a bulking factor, estimated at 5%. It is noted that excavation of the hard sandstone bedrock will generate over-size rock material (exceeding 8 inches in diameter). Rock material that exceeds 8 inches in diameter shall be crushed into rock size suitable for placement as compacted fill (maximum 8 inches in diameter).

**PAVEMENT**

It is recommended that the areas to receive pavement be provided with 12 inches of 90% compacted subbase material overlying bedrock. A structural section consisting of 3 inches of asphaltic concrete (A/C) over 4 inches of processed miscellaneous base (PMB) or Class 2 base material is recommended. The base material shall be compacted to 95% relative compaction.

**SITE DRAINAGE**

All pad and roof drainage should be collected and transferred via non-erosive devices to an approved drainage disposal site. Drainage shall not be allowed to pond on the building pad or adjacent to any foundation. Pad drainage shall not be allowed to flow in an uncontrolled manner over descending slopes.

**FOUNDATION DESIGN**

Conventional continuous footings or independent footings may be used for foundation support. Conventional footings shall be a minimum of 12 inches in width and embedded a minimum of 12 inches into certified compacted fill for one-story construction, and a minimum of 18 inches embedment depth for two-story structures. The following recommendations for foundation design are minimum values based on the foundation bearing materials:

EXPANSION INDEX RANGE = 0- 20 (non-expansive to very low expansive)

**Footings**

- Allowable Bearing Capacity ..... 2,000 PSF
- Allowable Lateral Resistance ..... 300 PSF/FT
- Maximum Lateral Resistance ..... 2,000 PSF
- Coefficient of Friction (*Allowable*) ..... 0.3
- Minimum Reinforcement..... 4 #4 bars,  
2 near top and 2 near bottom

**Slabs-On-Grade**

- Thickness ..... Nominal 4 ins.
- Minimum Reinforcement..... #4 bars @ 18 ins. each way,  
dowel footings to slab
- Bedding ..... 4 ins. 1/2 in. crushed aggregate

**Note:** At a minimum, place a moisture barrier / waterproof barrier (min. 10-mil visqueen or Stego Wrap® or equivalent) beneath all slab areas (top of the bedding layer). The services of a floor slab waterproofing specialist are recommended for slab areas to receive flooring.

**NOTES TO FOUNDATION DESIGN**

1. Allowable bearing pressure may be increased by one-third for short duration loading, such as by wind or seismic forces.
2. Independent footings shall be a minimum of 18-inches square and embedded a minimum of 18 inches into compacted fill.
3. The bottom of all footings shall be setback a minimum of 10 feet from the closest descending slope surface.

**ESTIMATED SETTLEMENT**

Settlement is not expected to occur for foundations supported by certified compacted fill. Estimated total settlement is not expected to exceed 1/2 inch. Differential settlement is not expected to exceed 1/4 inch in a lateral span of 20 feet.

**SEISMIC DESIGN PARAMETERS**

The following 2019 CBC seismic design parameters were determined in accordance with ASCE/SEI 7-16 incorporating USGS Seismic Design Maps. Seismic Design Category D and Seismic Importance Factor  $I_e = 1.0$  are applicable to the project as proposed.

Seismic Use Group	Site Classification	Mapped Spectral Accelerations		Spectral Response Coefficients		Adjusted Maximum Accelerations		Design Spectral Accelerations	
		S <sub>s</sub>	S <sub>1</sub>	F <sub>a</sub>	F <sub>v</sub>	S <sub>M<sub>s</sub></sub>	S <sub>M<sub>1</sub></sub>	S <sub>D<sub>s</sub></sub>	S <sub>D<sub>1</sub></sub>
II	C	1.416	0.508	1.2	1.492	1.699	0.758	1.133	0.505

**RETAINING WALLS: ACTIVE EARTH PRESSURE**

Cantilevered walls retaining the on-site materials may be designed for applicable active pressures given on the following table:

<u>Surface Slope of Retained Material Horizontal to Vertical</u>	<u>Equivalent Fluid Weight (pcf)</u>
Level	35
2 to 1	45

**Seismically-Induced Lateral Soil Pressure**

Retaining walls, including pool walls that exceed 6 feet in height, may be designed for seismic loading, in addition to the static load. The seismic load may utilize a triangular distribution of pressure equivalent to a fluid pressure of 25 pcf, applied at 1/3 above the base of the wall.

**RETAINING WALLS: BACKFILL AND DRAINAGE**

All walls shall be effectively waterproofed and effectively drained. A perforated pipe shall be placed within a 12-inch x 12-inch bed of 3/4 inch rock or equivalent at the base of the retaining wall and shall be drained to discharge to an approved drainage disposal site. All walls shall be backfilled with free-draining (granular) 90% compacted soil, or 3/4 inch rock or equivalent, placed against the wall up to finish grade. Where the cavity to be filled behind a wall is less than 18 inches, the use of 3/4 inch rock or equivalent is recommended. The upper 18 inches of backfill should consist of 90% compacted clayey fill material.

**POOL SHELL DESIGN**

The pool shell shall be supported by 90% compacted fill. Conventional pool shell design may be used.

**SEPTIC SYSTEM**

The proposed septic system (Onsite Wastewater Treatment System) is shown on the Geotechnical Map with this report. The proposed septic system location is acceptable from a geotechnical standpoint.

**PLAN REVIEW**

A set of grading plans and building plans shall be submitted to this office for review and approval, prior to the initiation of construction.

**OBSERVATIONS AND TESTING**

It is recommended that all earth work be observed and approved by the engineering geologist with testing by the soils engineer. The following minimum observations and testing are required:

1. All removal excavation bottoms shall be observed and approved, prior to placement of backfill.
2. Any fill placed for engineering purposes shall be tested and certified. Compaction tests shall be performed every 2 vertical feet of compacted fill placed, or as otherwise necessary to assure the specified relative compaction.
3. Any earth materials that are to be imported to the site for use as compacted fill within the building areas shall be observed and approved, prior to transport to the site.
4. Subdrains and french drains shall be observed and approved by the geologist.
5. Footing excavations including pool shell excavations shall be observed and approved, prior to placement of steel or concrete.

ALLIED PROPERTY GROUP  
2551 WHITE STALLION ROAD

FILE NO. GC20-123144



**REMARKS**

Please call this office at (805) 484-5070 if you have any questions regarding this report.  
Thank you for the opportunity to be of professional service.

Respectfully submitted,  
**GOLD COAST GEOSERVICES, INC.**



Scott J. Hogrefe, CEG 1516



Edmond Vardeh, RCE 56992

**APPENDIX I**

**REFERENCES - CONSULTANTS REPORTS**

Gorian and Associates, Inc., Final Compaction Test Report for Rough Grading, Updated, Lots 1-10, Parcel Map 3559, White Stallion Ranch, Hidden Valley, County of Ventura, California; dated 11/10/1989; and report on driveway repairs, dated 4/13/2005.

**REFERENCE MATERIALS - STATE PUBLICATIONS**

California Division of Mines and Geology (CDMG) Open-File Report 76-5LA, Weber, 1975.

California Division of Mines and Geology, Preliminary Report 14, 1973.

Geologic Map of the Newbury Park Quadrangle, by T.W. Dibblee, Jr., 1992.

California Division of Mines and Geology, Seismic Hazards Map of the Newbury Park Quadrangle, 2002.



APPENDIX II

LABORATORY TEST RESULTS

Laboratory testing was performed on samples of the earth materials encountered in the exploratory excavations, to determine pertinent engineering properties for evaluation of proposed earthwork and foundation design. Test procedures and results are as follows:

Maximum Density-Optimum Moisture

Maximum dry density and optimum moisture data were determined in conformance with ASTM D1557. This test procedure uses 25 blows of a 10 pound hammer, falling a height of 18 inches into a 1/30 cubic foot cylinder. The test results are as follow:

Sample Location	Sample Description	Dry Density (lbs/cu.ft.)	Moisture (%)
T-1 @ 2'	silty sand	124	10

Expansion Index

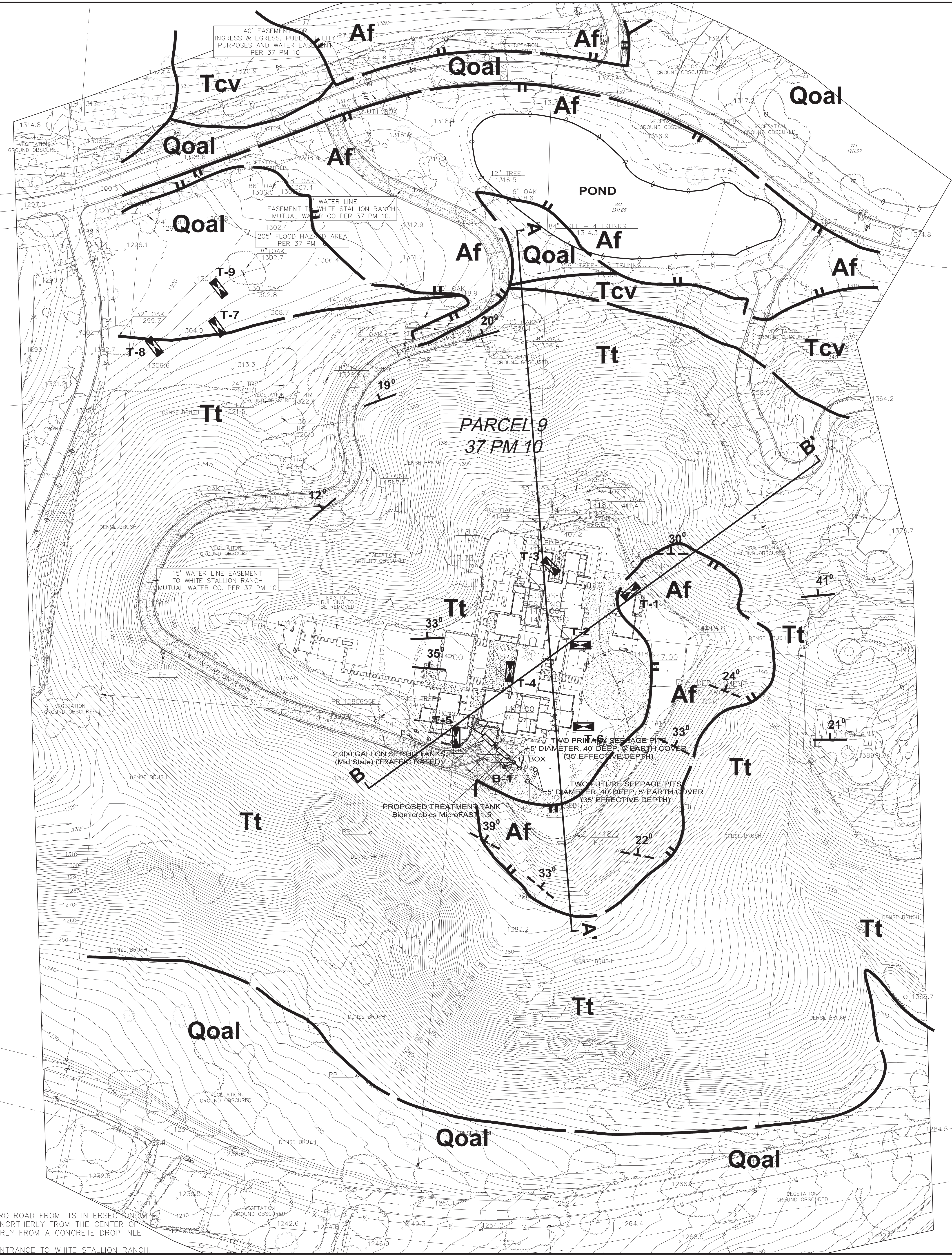
Expansion index testing was performed on a representative sample of soil obtained from the exploratory excavations using the expansion test procedure as outlined in ASTM D4829. The results are as follows:

Location	Description	Expansion Index
T-1 @ 2'	silty sand	14

ALLIED PROPERTY GROUP  
2551 WHITE STALLION ROAD

FILE NO. GC20-123144

APPENDIX III  
GEOTECHNICAL MAP, GEOLOGIC CROSS-SECTIONS,  
AND FIELD DATA



**GEOLOGIC LEGEND**

<b>Af</b>	EXISTING FILL (By Gorian and Associates)
<b>Qc</b>	COLLUVIUM
<b>Qoal</b>	OLDER ALLUVIUM
<b>Tcv</b>	CONEJO VOLCANICS
<b>Tt</b>	TOPANGA FORMATION
<b>T-1</b>	APPROXIMATE LOCATION OF EXPLORATORY TRENCH
<b>35°</b>	STRIKE AND DIP OF BEDDING
	GEOLOGIC CONTACT
	APPROXIMATE LIMITS OF EXISTING FILL
	GEOLOGIC CROSS-SECTION

# CONCEPTUAL GRADING PLAN

## SINGLE FAMILY RESIDENCE

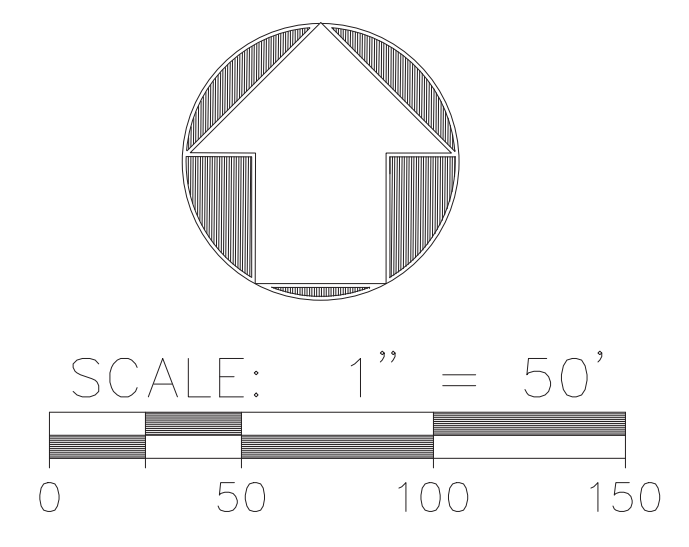
2417 WHITE STALLION ROAD

A.P.N.: 668-0-080-140 & 668-0-080-150

PARCEL 9, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON THE MAP FILED FEBRUARY 18, 1983, IN BOOK 37, PAGES 10, 11, 12 AND 13, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

February 12, 2021

**BENCH MARK:**  
 VCPD 1343  
 22-274 RM 1  
 EL = 376.313 METERS (NAVD 88)  
 1234.62 FEET  
 0.3 MILE WESTERLY ALONG POTRERO ROAD FROM ITS INTERSECTION WITH HIDDEN VALLEY ROAD, 50.0 FEET NORTHERLY FROM THE CENTER OF POTRERO ROAD, 6.0 FEET NORTHERLY FROM A CONCRETE DROP INLET AND IN THE EASTERLY CURB OF THE ENTRANCE TO WHITE STALLION RANCH

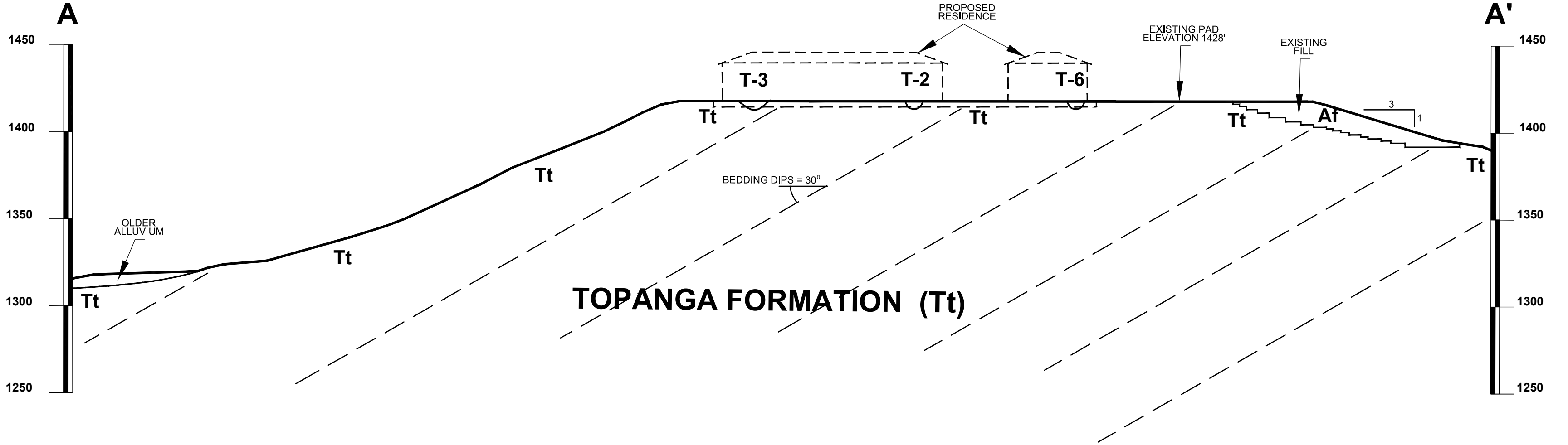


**PREPARED BY:** PACIFIC COAST CIVIL, INC.  
 30141 AGOURA ROAD, SUITE 200  
 AGOURA HILLS, CA 91301  
 PH: (818) 865-4168  
 FAX: (818) 865-4198

**DEVELOPER:** ALLIED PROPERTY GROUP  
 1411 WINDSOR DRIVE  
 THOUSAND OAKS, CA 91360  
 (805) 760-4522

# GEOLOGIC CROSS-SECTION A - A'

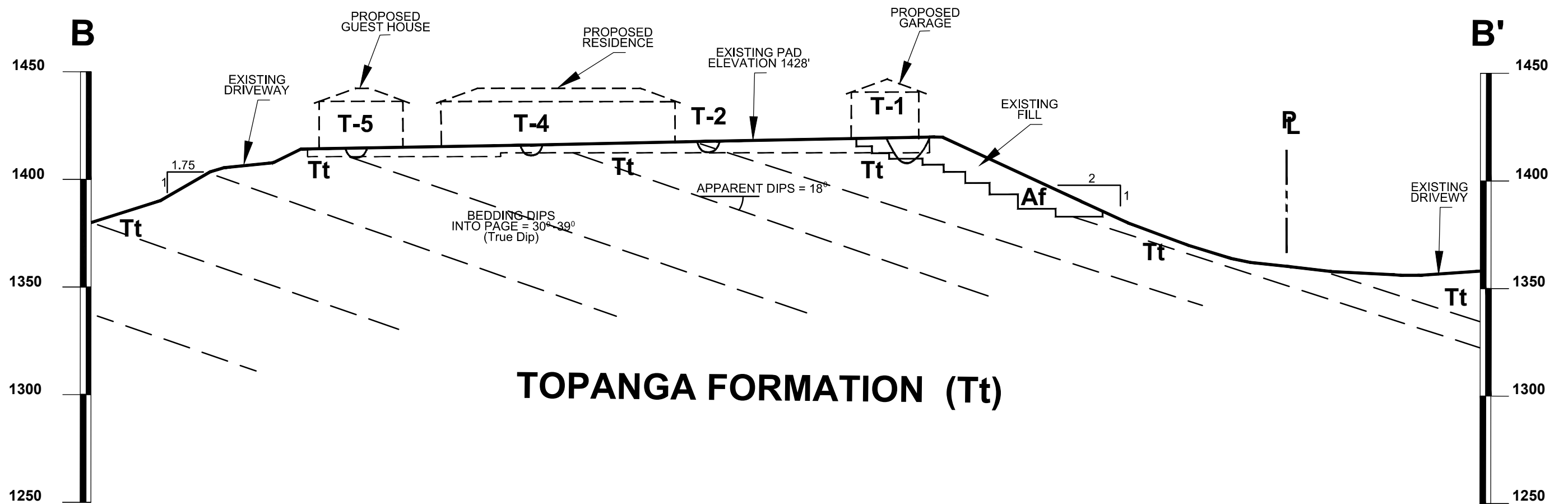
N 05 W



<b>PLATE 2.1</b>	<b>GOLD COAST GEOSERVICES, INC.</b>		
	<b>GEOLOGIC CROSS-SECTION A - A'</b> 2551 WHITE STALLION ROAD, THOUSAND OAKS		
DATE: 01-27-2021	SIZE:	CLIENT: ERDMANN	REV:
FILE NO: GC20-123144	SCALE: 1" = 50'	DRAWN BY: IM	APPROVED BY: SJH
5251 VERDUGO WAY, SUITE J * CAMARILLO, CA 93012 * (805) 484-5070			

# GEOLOGIC CROSS-SECTION B - B'

N 55 E



<b>PLATE 2.2</b>	<b>GOLD COAST GEOSERVICES, INC.</b>		
	<b>GEOLOGIC CROSS-SECTION B - B'</b> 2551 WHITE STALLION ROAD, THOUSAND OAKS		
DATE: 01-27-2021	SIZE:	CLIENT: ERDMANN	REV:
FILE NO: GC20-123144	SCALE: 1" = 50'	DRAWN BY: IM	APPROVED BY: SJH
5251 VERDUGO WAY, SUITE J * CAMARILLO, CA 93012 * (805) 484-5070			

PROJECT: 2551 WHITE STALLION ROAD, THOUSAND OAKS TRENCH LOG: T-1 TO T-3  
 FILE NO.: GC20-123144 DATE: 01-21-2021  
 LOCATION: SEE PLAN, PLATE 1 LOGGED BY: SJH

1. FILL - (Af) - Yellowish brown gravelly cobbly silty sand, moist, compacted.
2. TOPANGA FORMATION - (Tt) - Yellowish brown silty sandstone, well cemented, very hard.

Scale : 1" = 5'

T-1

T-3

T-2

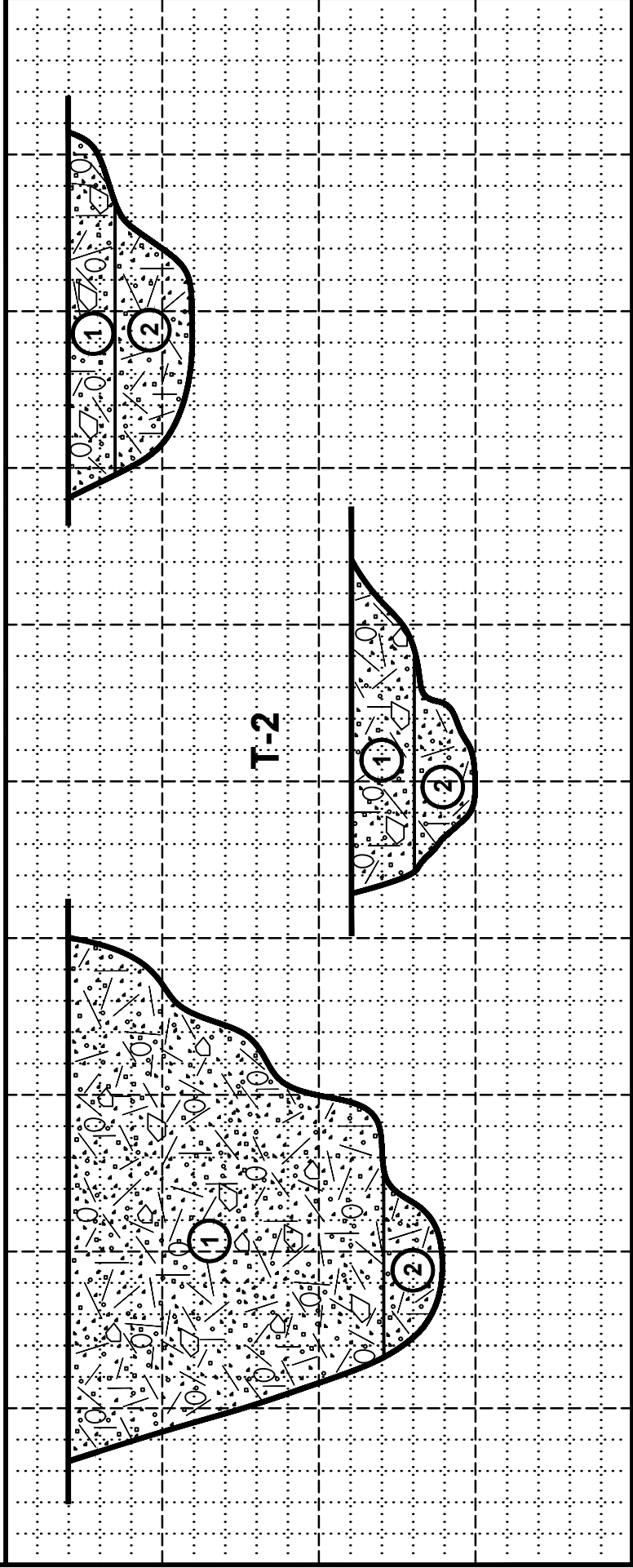


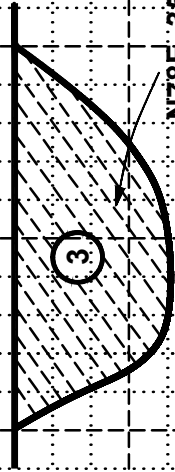
PLATE: 3.1

PROJECT: 2551 WHITE STALLION ROAD, THOUSAND OAKS TRENCH LOG: T-4 TO T-6  
 FILE NO.: GC20-123144 DATE: 01-21-2021  
 LOCATION: SEE PLAN, PLATE 1 LOGGED BY: SJH

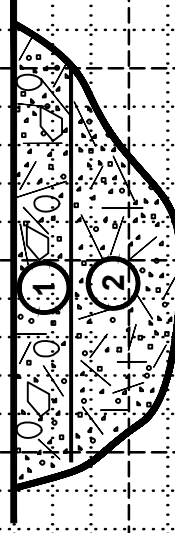
1. FILL - (Af) - Yellowish brown gravelly cobbly silty sand, moist, compacted.
2. TOPANGA FORMATION - (Tt) - Yellowish brown silty sandstone, well cemented, very hard.
3. TOPANGA FORMATION - (Tt) - Rust brown shale, platy, well-bedded, fractured, dense.

T-4

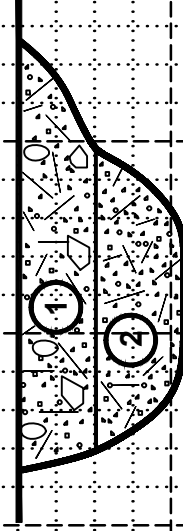
Scale : 1" = 5'



T-6



T-5



PROJECT: 2551 WHITE STALLION ROAD, THOUSAND OAKS TRENCH LOG: T-7 TO T-9  
FILE NO.: GC20-123144 DATE: 01-21-2021  
LOCATION: SEE PLAN, PLATE 1 LOGGED BY: SJH

1. COLLUVIUM - (Qc) - Dark brown sandy clay, moist, tight.
2. TOPANGA FORMATION - (Tt) - Yellowish brown silty sandstone, well cemented, very hard.

T-7

Scale : 1" = 5'

T-9

T-8

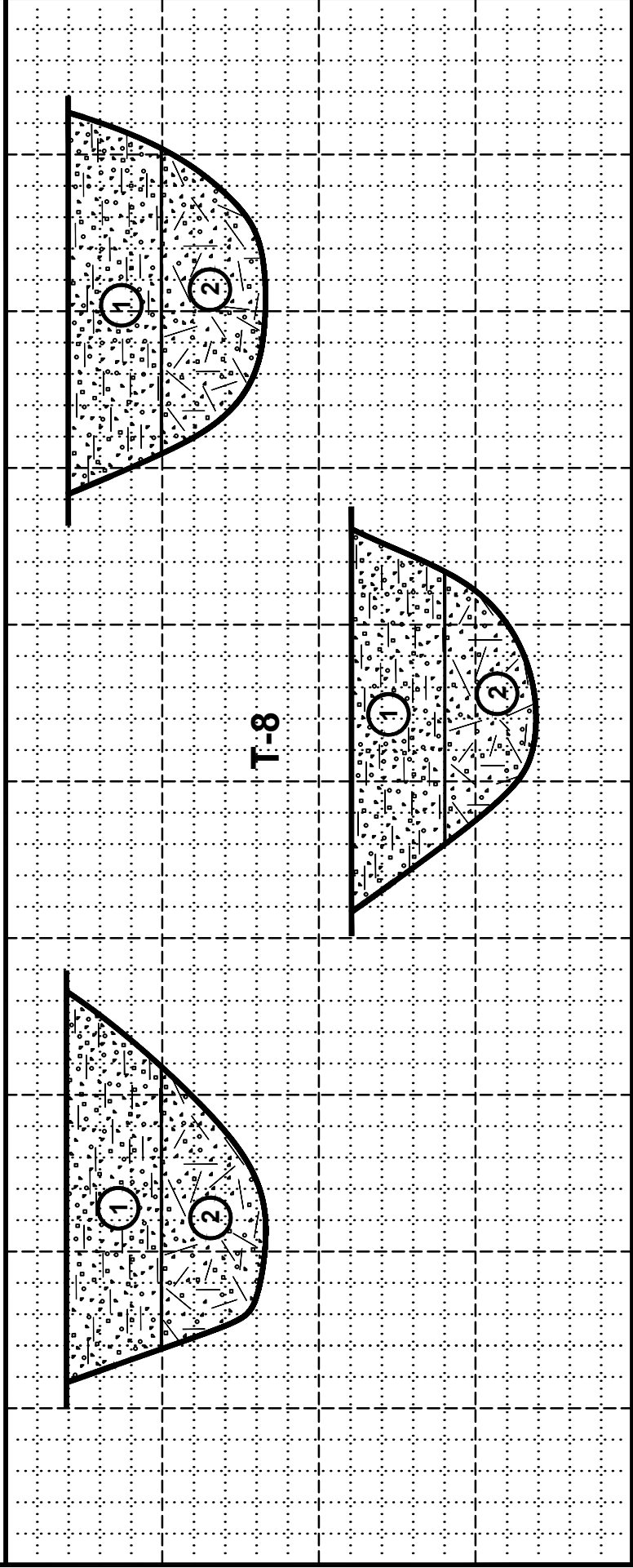


PLATE: 3.3



# GOLD COAST GEOSERVICES, INC.

## SUB-SURFACE DATA

## BORING LOG NO. 1

PROJECT: 2551 White Stallion Road, Thousand Oaks  
 NEAREST CROSS STREET: West Potrero Road  
 OWNER: Erdmann  
 METHOD OF DRILLING: 24" Bucket Auger

FILE NO.: GC20-123144  
 DATE DRILLED: 1/21/2021  
 WEATHER: Warm  
 DRILLED BY: Roy Brothers Drilling Inc.

DEPTH (FEET)	UNIFIED SOIL CLASSIFICATION	G.P. SYMBOL	SOIL TYPE TABLE I-4 UPC	MOISTURE CONTENT %	HYDROS			SOIL DESCRIPTION
					% SAND/GRAVEL	% SILT	% CLAY	
0								<b>TOPANGA FORMATION - Tt - (0' - 60')</b> 0' - 8' - Yellowish brown sandstone, massive, fractured, slightly moist, hard.
5	SM		II	7.7	84	11	5	8' - 22' - Yellowish brown siltstone, well bedded, fractured, dense.
10	SM		II	9	72	20	8	
15	SM		II	9.2	73	19	8	
20	SM		II	8.5	72	21	7	22' - 47' - Yellowish brown and gray sandstone, slightly moist, hard.
25	SM		II	9	79	16	5	
30	SM		II	7.5	77	7	7	
35	SM		II	8	80	14	6	
40	SM		II	9.5	78	15	7	
45	SM		II	10.1	83	13	4	47' -60' - Dark gray silty sandstone, moist, hard.
50	SM		II	10.4	79	14	7	

# GOLD COAST GEOSERVICES, INC.

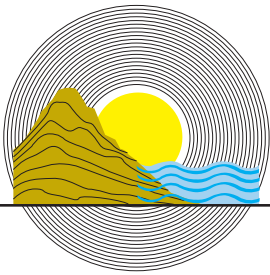
## SUB-SURFACE DATA

## BORING LOG NO. 1

PROJECT: 2551 White Stallion Road, Thousand Oaks  
 NEAREST CROSS STREET: West Potrero Road  
 OWNER: Erdmann  
 METHOD OF DRILLING: 24" Bucket Auger

FILE NO.: GC20-123144  
 DATE DRILLED: 1/21/2021  
 WEATHER: Warm  
 DRILLED BY: Roy Brothers Drilling Inc.

DEPTH (FEET)	UNIFIED SOIL CLASSIFICATION	G.P. SYMBOL	SOIL TYPE TABLE I-4 UPC	MOISTURE CONTENT %	HYDROS			SOIL DESCRIPTION
					% SAND/GRAVEL	% SILT	% CLAY	
50								
55								
60								End @ 60'
65								
70								
75								
80								
85								
90								TOTAL DEPTH: 60' GROUNDWATER: NO CAVING: NO BACKFILLED: YES (after testing)
95								
100								



# GOLD COAST GEOSERVICES, INC.

*Engineering Geologic and Geotechnical Consultants*

---

February 4, 2021

File No. GC20-123144

**ROBERT ERDMANN  
ALLIED PROPERTY GROUP**

**SUBJECT:** Onsite Wastewater Treatment System Design Report for Proposed Single Family Residence and Guest House, 2551 White Stallion Road, Thousand Oaks, County of Ventura.

Dear Mr. Erdmann:

In accordance with your request, this report provides design recommendations for an Onsite Wastewater Treatment System (OWTS) for a custom-build single family residence and guest house to be constructed at 2551 White Stallion Road within the County of Ventura. The residence will have a total of 7 bedroom equivalents, with a total of 99 plumbing fixture units. The guest house will have a total of 2 bedroom equivalents, with a total of 22 plumbing fixture units. The proposed structures and proposed OWTS layout are shown on the OWTS Plot Plan with this report.

## SITE CONDITIONS

The subject property is Lot 9 of the 10 parcel subdivision within the White Stallion residential community on the northwest side of the Santa Monica Mountains. The site contains an existing paved access driveway from White Stallion Road at the north side of the site that provides vehicular access to the building pad on the southeasterly side of the site. A ranch building remains at the west side of the building pad, and is to be removed (but not replaced) as part of the proposed development (any old septic systems from the existing ranch building shall be properly abandoned).

The access driveway and the existing building pad were created by engineered grading of the building pads and roads/driveways for the White Stallion development in 1989. The building pad was created by cut grading atop a former knoll. The building pad site is

underlain by sedimentary rocks (sandstone interbedded with siltstone) assigned to the Miocene age (approximately 15 million years old) Topanga Formation of marine origin. No water lines shall be located within 10 feet from the seepage pit or septic tank. No water wells are located within this site or within 150 feet from the proposed seepage pits.

### **FIELD INVESTIGATION**

Boring B-1 was drilled to a depth of 60 feet at the proposed seepage pit location shown on the OWTS Plot Plan. The earth materials encountered in the boring are assigned to the Topanga Formation, consisting of sandstone and lesser siltstone to the depth of testing.

The Topanga Formation is a designated “formation of concern” per EHD designation. A wastewater treatment tank system is proposed to meet current EHD requirements for on-site disposal of wastewater effluent into an EHD designated “formation of concern” (Topanga Formation).

No groundwater was encountered at the proposed seepage pit location. The proposed seepage pit locations will maintain a setback distance of 10 feet from groundwater. A seepage pit depth of 40 feet is proposed and will maintain a setback of more than 10 feet from groundwater.

Samples of the earth materials encountered in boring B-1 were collected at 5-foot vertical intervals and taken to our laboratory for soil testing. Hydrometer tests were performed to determine soil classification based on criteria established by the Uniform Plumbing Code (UPC). The hydrometer test results are presented on the “Sub-Surface Data Boring Log.”

A pit performance test (percolation test) was performed to determine the field percolation rate. Boring B-1 was presoaked for 24 hours prior to testing for percolation rate determination. Percolation testing was performed in accordance with EHD percolation testing procedural requirements. A worksheet showing the percolation test field data is included with this report. The field performance percolation testing indicated adequate

percolation rate of 4.6 gallons per square foot per day. A design percolation rate of 4 gallons per square foot per day was used (based on the UPC Soil Type determined from laboratory analysis).

### **ONSITE WASTEWATER TREATMENT SYSTEM DESIGN**

A “secondary” effluent treatment system capable of “de-nitrification” is proposed to be incorporated into the septic system, to meet current County of Ventura EHD ordinance due to the “formation of concern” (Topanga Formation) into which treated wastewater effluent will be discharged. BioMicrobics MicroFAST Model 1.5, a tertiary treatment system that meets current Ventura County EHD requirements, is proposed (see Detail Sheets). The septic tanks are proposed to be constructed within the access driveway / fire department turn-out area, and shall be constructed for “traffic rated” condition.

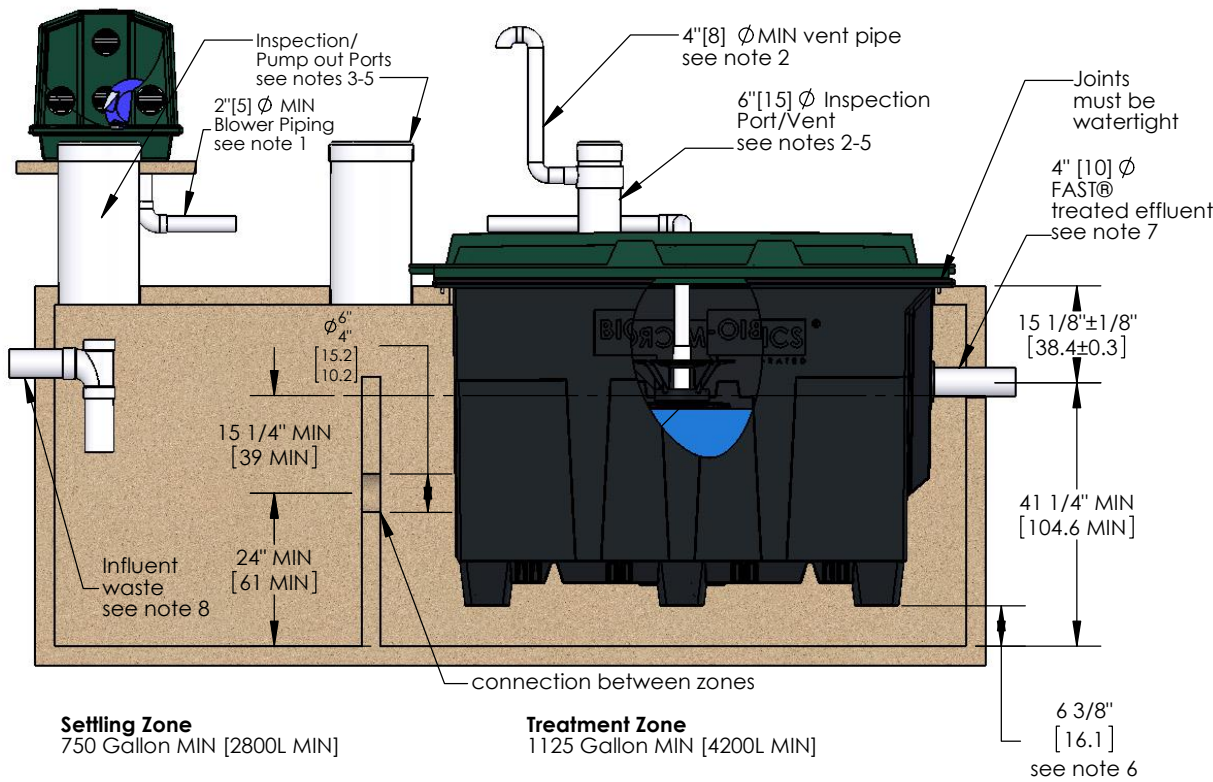
The treatment tank will discharge liquid effluent into 2 5-foot diameter by 40-foot deep seepage pits. The seepage pits are designed to have an effective depth of 35 feet each, with 5-foot deep earth cover above the rock filled portion of the seepage pits. A typical seepage pit detail is attached herewith. The recommended locations of the seepage pits are shown on the Plot Plan with this report.

### **EXPANSION AREA**

You must provide an expansion area for 2 “future” seepage pits, should the primary seepage pits become inadequate to perform the intended function over time. The “future” seepage pit locations are shown on the Plot Plan.

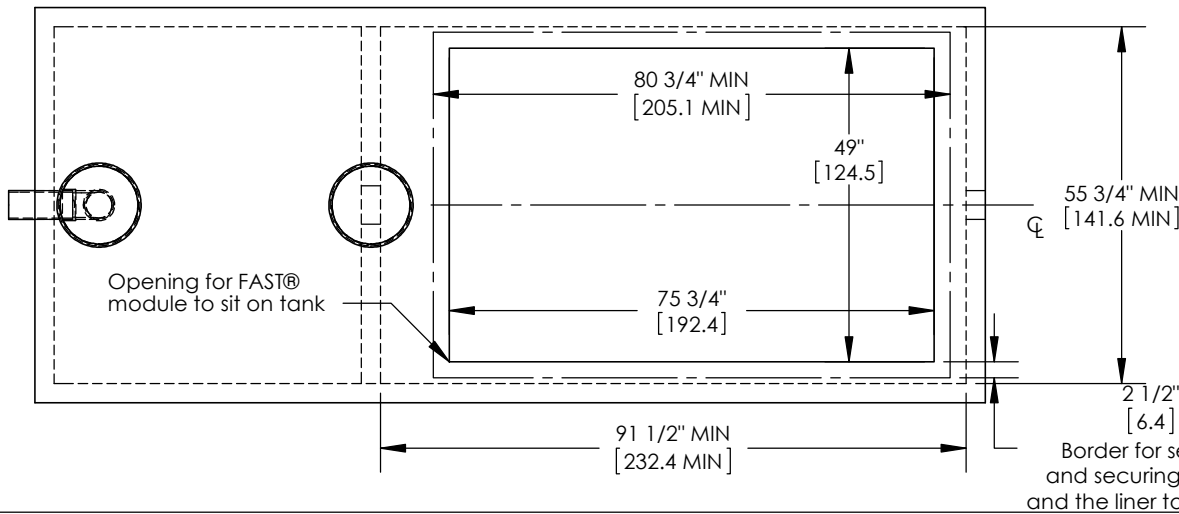
### **INSTALLATION OBSERVATIONS**

It is the responsibility of the installation contractor to notify the undersigned engineering geologist, and the County of Ventura Environmental Health Division, for required observations and approval of the septic system construction work. All seepage pit construction and septic tank construction shall be observed and approved by the undersigned engineering geologist.



**NOTES**

1. Airline piping to FAST® may not exceed 100 FT [30m] total length and have a maximum of 4 elbows in the piping system. For distances greater than 100 FT [30m] consult factory. Blower must be located above flood levels on a concrete base 42" X 28" X 2" [105 X 70 X 5cm] min.
2. Vent to desired location and cover opening with a vent grate with at least 9 sq in. [58 sq. cm] open surface area. Secure with stainless steel screws. Vent piping must not allow condensate build up or create back pressure. Vent must be above finished grade or higher (see sheet 4 of 4).
3. All appurtenances to FAST® (e.g. tanks, access ports, electrical, etc.) must conform to all applicable country, state, province, and local plumbing and electrical codes. Pump out access shall be adequate to thoroughly clean out both zones.
4. All inspection, viewing and pump out ports must be secured to prevent accidental or unauthorized access.
5. Tank, piping, conduit, etc. are provided by others. Blower control system by Bio-Microbics, Inc. See Installation Manual.
6. If less than the specified minimums are considered necessary, consult factory for guidance.
7. All piping and ancillary equipment installed after FAST must not impede or restrict free flow of effluent.
8. The tank(s) shall be designed to prevent air passage between the settling zone/tank and the treatment zone and preventing an air lock. Examples include a baffle wall sealed to the lid, and treatment zone inlet line with a pipe cap. Consult factory for guidance.
9. Installations using a FAST® system lid are capable of withstanding AASHTO H-10 equivalent loads. Any installation in which a FAST lid is buried deeper than 3 feet, or where additional loading conditions may occur, a professional engineer should be consulted. FAST® with feet option should be considered. Refer to Installation Manual for more details.
10. Specialized treatment levels may require specific features to be incorporated into the design. Consult factory for guidance.



DO NOT SCALE  
UNLESS NOTED  
DIMENSIONS  
ARE IN INCHES  
[CENTIMETERS]  
TOLERANCES  
± 0.02 IN/IN  
[± 0.05 CM/CM]



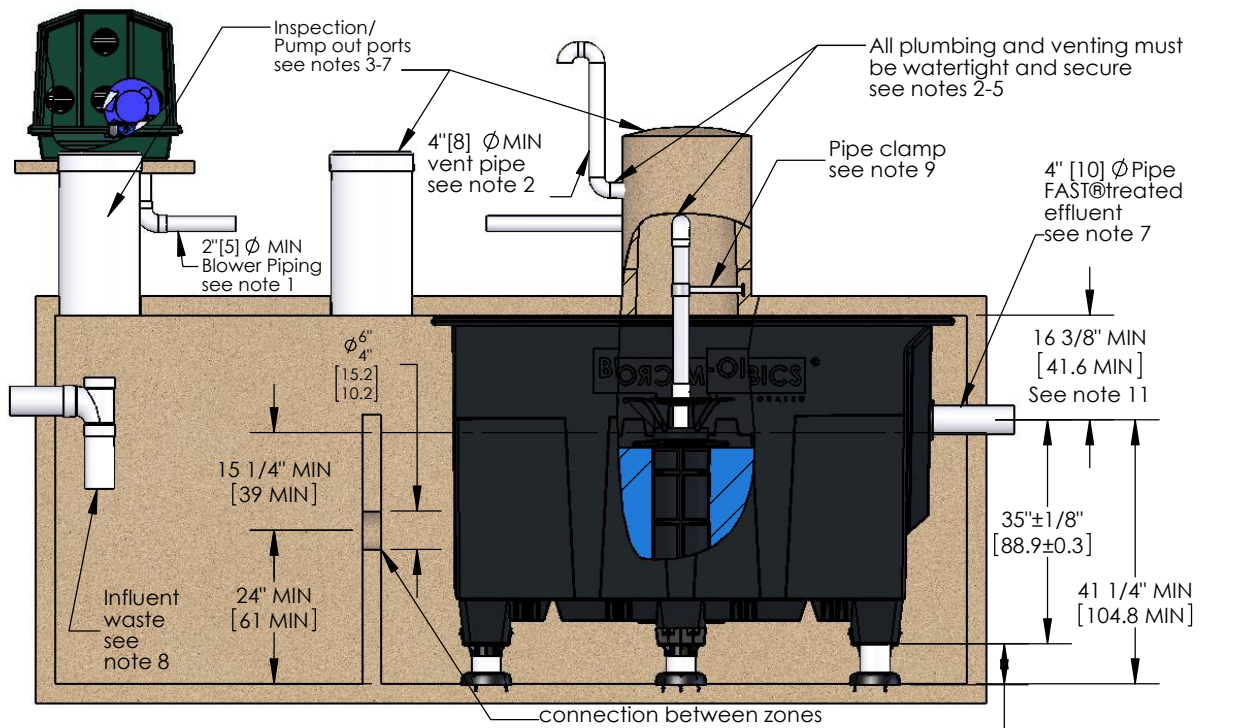
MicroFAST 1.50 FAST Unit

WEIGHT lb		SIZE	DRAWING NUMBER		SHEET 1 OF 4
NAME	DATE	A	MicroFAST® 1.50 with lid		
DRAWN CTC	12/18/2006				
CHECKED PF	9/18/2013		REVISED 9/18/2013	REV. INI-03-M	

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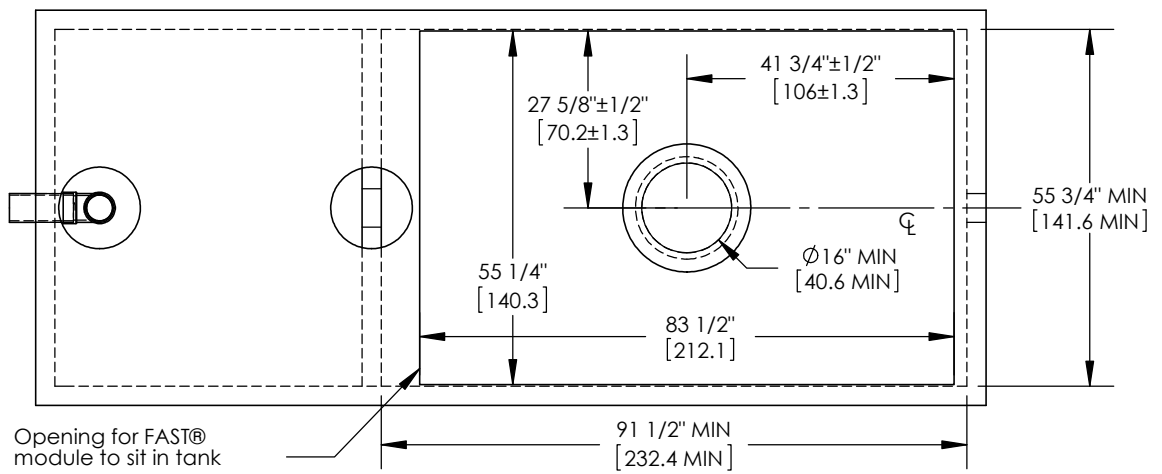
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**FIGURE 1.1**



**Settling Zone**  
750 Gallon MIN [2800L MIN]

**Treatment Zone**  
1125 Gallon MIN [4200L MIN]



Opening for FAST®  
module to sit in tank

- NOTES**
1. Airline piping to FAST® may not exceed 100 FT [30m] total length and have a maximum of 4 elbows in the piping system. For distances greater than 100 FT [30m] consult factory. Blower must be located above flood levels on a concrete base 42" X 28" X 2" [105 X 70 X 5cm] min.
  2. Vent to desired location and cover opening with a vent grate with at least 9 sq in. [60 sq. cm] open surface area. Secure with stainless steel screws. Vent piping must not allow condensate build up or create back pressure. Vent must be above finished grade or higher (see sheet 4 of 4).
  3. All appurtenances to FAST® (e.g. tanks, access ports, electrical, etc.) must conform to all applicable country, state, province, and local plumbing and electrical codes. Pump out access shall be adequate to thoroughly clean out both zones.
  4. All inspection, viewing and pump out ports must be secured to prevent accidental or unauthorized access.
  5. Tank, piping, conduit, etc. are provided by others. Blower control system by Bio-Microbics, Inc. See Installation Manual.
  6. If less than the specified minimums are considered necessary, consult factory for guidance.
  7. All piping and ancillary equipment installed after FAST must not impede or restrict free flow of effluent.
  8. The tank(s) shall be designed to prevent air passage between the settling zone/tank and the treatment zone and preventing an air lock. Examples include a baffle wall sealed to the lid or treatment zone inlet line with a pipe cap. Consult factory for guidance.
  9. The air supply line into the FAST® unit must be secured to prevent vibration induced damage. The air supply line should be secured with a non-corrosive clamp every 2' min [60 cm]. See alternate air supply option on sheet 4 of 4.
  10. Specialized treatment levels may require specific features to be incorporated into the design. Consult factory for guidance.
  11. Min. height may be reduced, consult factor and reference "Low Profile Module Procedure.pdf"
  12. Refer to sheet 4 of 4 for leg extensions requirements.

DO NOT SCALE  
UNLESS NOTED  
DIMENSIONS  
ARE IN INCHES  
[CENTIMETERS]  
TOLERANCES  
± 0.02 IN/IN  
[± 0.05 CM/CM]



MicroFAST 1.50 FAST Unit

<b>WEIGHT</b>		<b>lb</b>	<b>SIZE</b>	<b>DRAWING NUMBER</b>	<b>SHEET</b> 2 OF 4
<b>NAME</b>	<b>DATE</b>		<b>A</b>	<b>MicroFAST® 1.50 with feet</b>	
<b>DRAWN</b>	<b>CTC</b>	12/18/2006			
<b>CHECKED</b>	<b>PF</b>	9/18/2013		<b>REVISED</b> 9/18/2013 <b>REV.</b> INI-03-M	

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**FIGURE 1.2**

Specifications for MicroFAST 1.50 Wastewater Treatment System

1. GENERAL

The contractor shall furnish and install (1) MicroFAST@1.50 treatment system as manufactured by Bio-Microbics, Inc. The treatment system shall be complete with all needed equipment as shown on the drawings and specified herein.

The principal items of equipment shall include FAST® system insert, leg extensions, or lid, blower assembly, blower controls and alarms. All other items will be provided by others. The MicroFAST 1.50 unit shall be situated within a 1125 gallon [4200 L] minimum compartment as shown on the drawings. Suggested maximum settling zone is (1)X the daily flow. Tank must provide adequate pump out access and conform to local, state, and all other applicable codes. The contractor shall coordinate the proper fabrication of the tank between the tank and FAST system suppliers as well as the installation of the FAST unit, and delivery to the job site.

2. OPERATING CONDITIONS

The MicroFAST 1.50 treatment system shall be capable of treating the wastewater produced by typical family activities (bath, laundry, kitchen, etc.) ranging from (6) six to (21) twenty-one people and not to exceed 1500 US Gallons per day (5600 LPD) provided the waste contains nothing that will interfere with biological treatment. The FAST system is a biological treatment system not meant for non-biodegradable or industrial wastewater.

3. MEDIA

The FAST media shall be manufactured of rigid PVC, polyethylene, or polypropylene and it shall be supported by the polyethylene insert. The media shall be fixed in position and contain no moving or wearing parts and shall not corrode. The media shall be designed and installed to ensure that sloughed solids descend through the media to the bottom of the septic tank.

4. BLOWER

The MicroFAST 1.50 unit shall come equipped with a regenerative type blower capable of delivering 20-45 CFM [38-85 m3/hr]. The blower assembly shall include an inlet filter with metal filter element. The blower shall be mounted outside the tank on a contractor supplied concrete base. Blower piping to the tank shall use non-corrosive material (PVC, Galvanized, or Stainless Steel). Do not run galvanized pipe inside the treatment tank. Refer to Installation Manual for further details.

5. REMOTE MOUNTED BLOWER

The blower must not set in standing water and its elevation must be higher than the normal flood level. A two-piece, rectangular housing shall be provided. The discharge air line from the blower to the MicroFAST System, shall be provided and installed by the contractor.

6. ELECTRICAL

The electrical source should be within 150 feet [45 meters] of the blower, consult local codes for longer wiring distances. All wiring must conform to all applicable codes(IEC, NEC, etc.). Wiring distances must prevent significant voltage loss. Input power on 60Hz electrical systems 110/220VAC, 1Ø, 5/2.5 FLA, on 50 Hz electrical systems 220VAC, 1Ø, 5.7 FLA. Other voltages and phase are also available. Actual power consumption varies with site conditions. All conduit and wiring shall be supplied by contractor.

7. CONTROLS

The control panel provides power to the blower with an alarm system consisting of a visual and audible alarm capable of signaling blower circuit failure and high water conditions. The control panel is equipped with SFR® (Sequencing Fixed Reactor) timed control feature. A manual silence button is included.

8. INSTALLATION AND OPERATING INSTRUCTIONS

All work must be done in accordance with local codes and regulations. Installation of the FAST 1.5 shall be done in accordance with the written instructions provided by the manufacturer. Manuals shall be furnished, which will include a description of system installation, operation, and maintenance procedures.

9. FLOW AND DOSING

FAST systems have been successfully designed, tested and certified receiving gravity, demand-based influent flow. When influent flow is controlled by pump or other means to help with highly variable flow conditions, then multiple dosing events should be used to maximize performance. The flow rate shall not exceed 7.8 gpm (28 Lpm) with a maximum hourly flow not to exceed 10% of the design daily flow (150 gph (570 LPH)).

10. WARRANTY

Bio-Microbics, Inc. warrants all new residential FAST® models (MicroFAST® 0.50, 0.625, 0.75, 0.90, and 1.5) against defects in materials and workmanship for a period of two years after installation or three years from date of shipment which ever occurs first. All other FAST® system models are warranted for a period of one year after installation or eighteen months from date of shipment, whichever occurs first. All are subject to the following terms and conditions below:

During the warranty period, if any part is defective or fails to perform as specified when operating at design conditions, and if the equipment has been installed and is being operated and maintained in accordance with the written instructions provided by Bio-Microbics, Inc., Bio-Microbics, Inc. will repair or replace at its discretion such defective parts free of charge. Defective parts must be returned by owner to Bio-Microbics, Inc.'s factory postage paid, if so requested. The cost of labor and all other expenses resulting from replacement of the defective parts and from installation of parts furnished under this warranty and regular maintenance items such as filters or bulbs shall be borne by the owner. This warranty does not cover general system misuse, aerator components which have been damaged by flooding or any components that have been disassembled by unauthorized persons, improperly installed or damaged due to altered or improper wiring or overload protection. This warranty applies only to the treatment plant and does not include any of the structure wiring, plumbing, drainage, septic tank or disposal system. Bio-Microbics, Inc. reserves the right to revise, change or modify the construction and/or design of the FAST system, or any component part or parts thereof, without incurring any obligation to make such changes or modifications in present equipment. Bio-Microbics, Inc. is not responsible for consequential or incidental damages of any nature resulting from such things as, but not limited to, defect in design, material, or workmanship, or delays in delivery, replacements or repairs.

THIS WARRANTY IS IN LIEU OF ALL OTHER WARRANTIES EXPRESS OR IMPLIED. BIO-MICROBICS SPECIFICALLY DISCLAIMS ANY IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.

NO REPRESENTATIVE OR PERSON IS AUTHORIZED TO GIVE ANY OTHER WARRANTY OR TO ASSUME FOR BIO-MICROBICS, INC., ANY OTHER LIABILITY IN CONNECTION WITH THE SALE OF ITS PRODUCTS. Contact your local distributor for parts and service.

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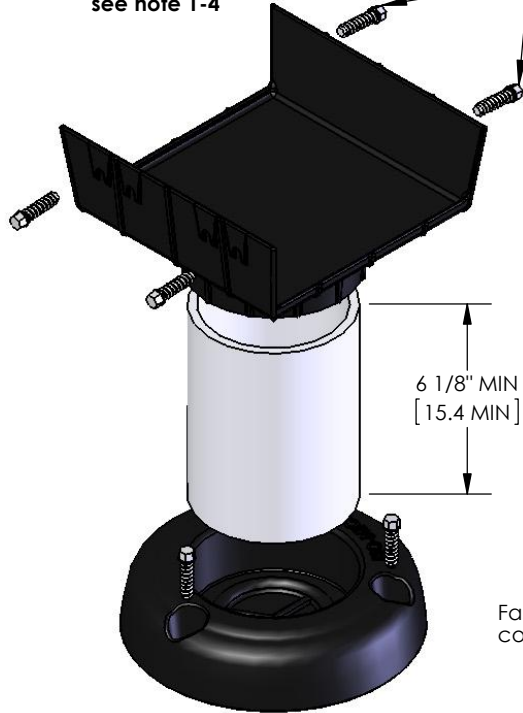
<p>DO NOT SCALE</p> <p>UNLESS NOTED DIMENSIONS ARE IN INCHES [CENTIMETERS] TOLERANCES ± 0.02 IN/IN [± 0.05 CM/CM]</p>		 <p>BIO MICROBICS BETTER WATER. BETTER WORLD.®</p> <p>MicroFAST 1.50 FAST Unit</p>	
<p>DRAWN</p> <p>CHECKED PF</p>	<p>DATE</p> <p>12/18/2006</p> <p>9/18/2013</p>	<p>REVISED 9/18/2013</p>	<p>REV.</p> <p>SHEET 3 OF 4</p>

FIGURE 1.3



Minimum leg extension assembly  
see note 1-4



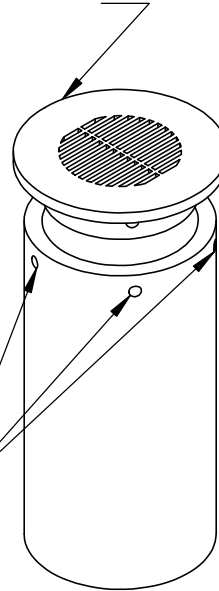
DETAIL  
SCALE 1 : 5

2 screws per  
side included

**FAST® Lid Vent Option**

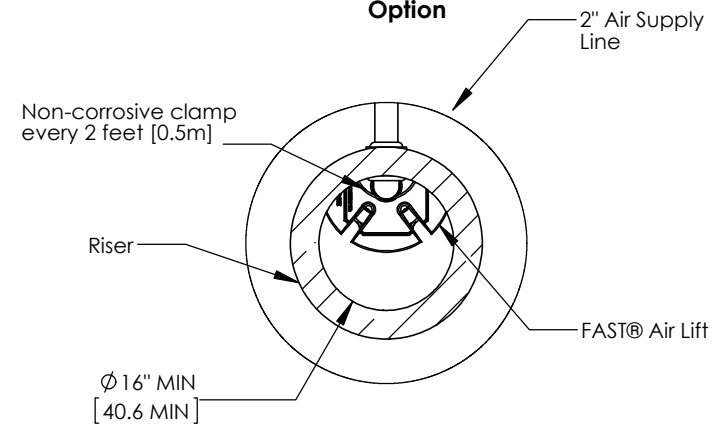
NDS 6" Grate MIN 9 SQ in [60 Sq  
cm] of open surface area.

Fasten with non-  
corrosive screws

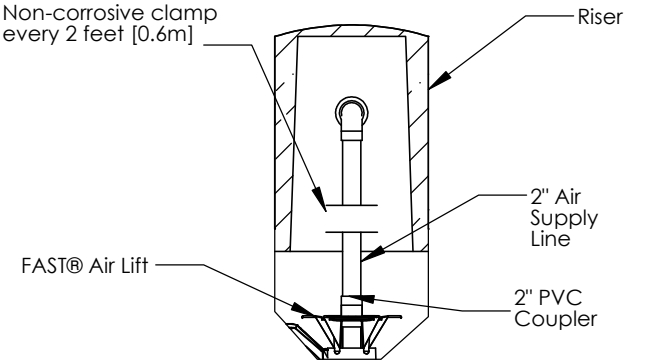


DETAIL  
SCALE 1 : 4

**Alternate Air Supply  
Option**



Non-corrosive clamp  
every 2 feet [0.6m]



**Notes**

1. Secure leg extension to the FAST® unit by placing two screws on each side of the leg extension (4 screws per foot are included).
2. Cut 4" schd. 40 PVC pipe (not included) to obtain the desired height. Minimum pipe length of 6 1/8" [15.56cm] will provide minimum clearance of 10". For heights greater than 18" [45.7cm] use schd. 80 PVC pipe (not included). Consult factory for extending leg beyond 36" [90cm].
3. Anchor the leg extensions to the tank with non-corrosive hardware (not included) at the provided mounting points.
4. If less than the specified minimums are considered necessary, consult factory for guidance.
5. The air supply line into the FAST® unit must be secured to prevent vibration induced damage. The air supply line should be secured with a non-corrosive clamp every 2ft [0.6m] minimum.
6. Tank, anchors, piping conduit, blower, housing pad and vents are provided by others.

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[CENTIMETERS]  
TOLERANCES  
± 0.02 IN/IN  
[± 0.05 CM/CM]



MicroFAST 1.50 FAST Unit

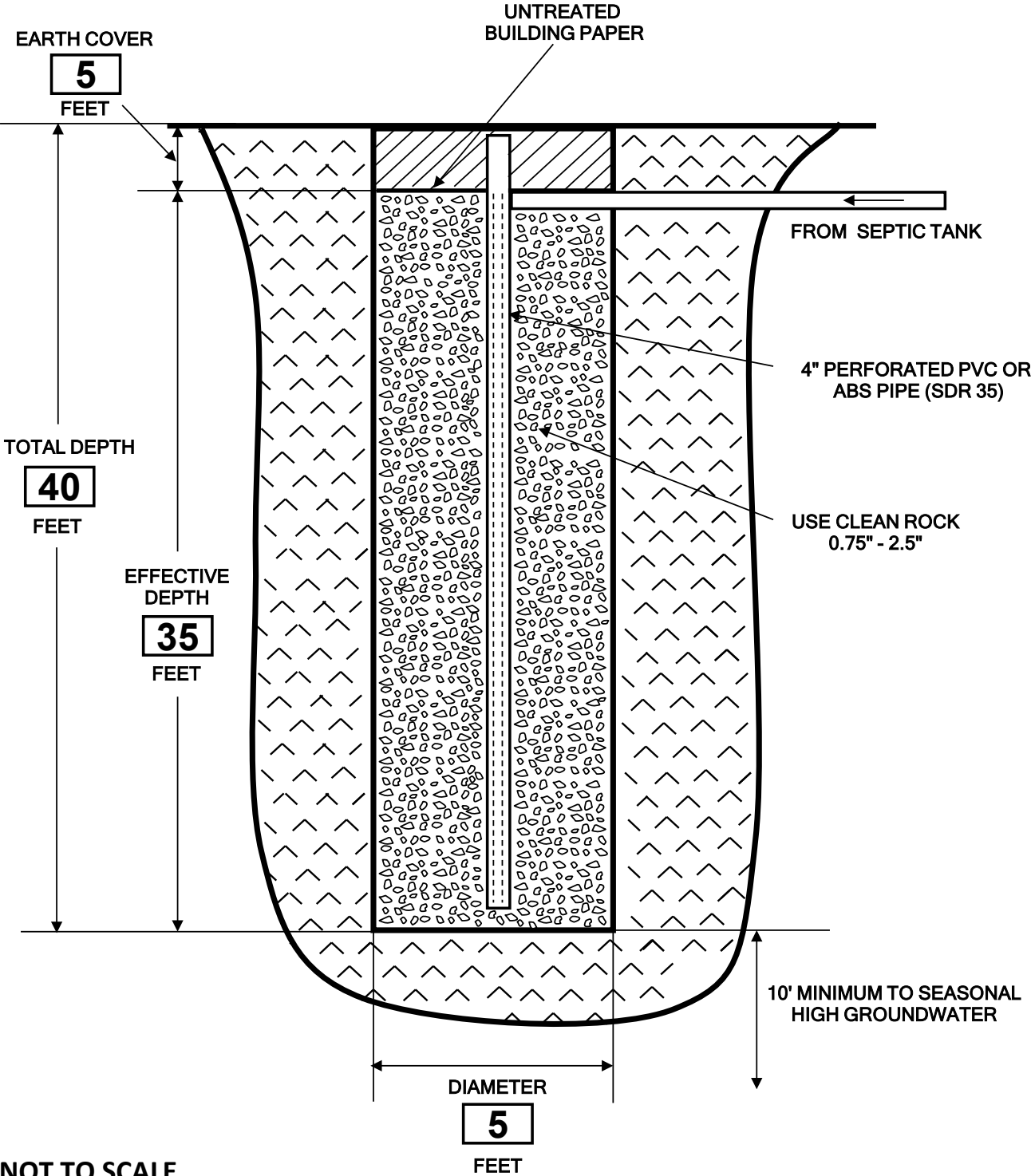
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WEIGHT	lb	SIZE	DRAWING NUMBER	SHEET 4 OF 4
NAME	DATE	A	MicroFAST® 1.50 Details	
DRAWN	CTC 12/18/2006			
CHECKED	PF 9/18/2013	REVISED 9/18/2013	REV. INI-09-X	

**FIGURE 1.4**

# CROSS-SECTION OF SEEPAGE PIT



Gold Coast  
GeoServices, Inc.

**TYPICAL SEEPAGE PIT DETAIL**  
VENTURA COUNTY

DATE: 02/2021

FIGURE 2

**ALLIED PROPERTY GROUP  
2551 WHITE STALLION ROAD**

**FILE NO. GC20-123144**

**MAINTENANCE REQUIREMENTS**

Proper maintenance of the septic system is vital to ensure a long-lasting, trouble-free system. You must follow the recommendation of the manufacturer, supplier, and installer of the septic system to maintain a trouble-free septic system.

**REMARKS**

The data and conditions presented herein are generally considered valid for one year. Reports and system designs older than one year must be updated to assure compliance with current regulations.

Please call this office at (805) 484-5070 if you have any questions regarding this report.

Respectfully submitted,

**GOLD COAST GEOSERVICES, INC.**

  
Scott J. Hogrefe, CEG 1516



OWTS DESIGN CALCULATIONS

1. Planned usage:  

<u>Single Family Residence</u>	<u>Guest House</u>
7 Bedroom Equivalents	2 Bedroom Equivalents
<u>99</u> Plumbing Fixture Units	<u>22</u> Plumbing Fixture Units
  
2. Required septic tank capacity: **3,775 gallons (minimum)**  
Required daily absorption capacity for seepage pits: 3,775 gallons per day (gpd)
  
3. Treatment tank sizing (due to EHD designated “formation of concern”):  
9 bedroom equivalents: 1 (300) + 8 (150) = 1,500 gallons/day  
Treatment System: **BioMicrobics MicroFAST 1.5**
  
4. Exploratory boring drilled to 60 feet (no groundwater)  
Effective depth:  
60'- 10' (above potential high groundwater level) - 5' (earth cover) = 45 feet
  
5. Percolation rate from testing: 4.6 gallons per square foot per day (gsf/day)  
Absorption rate based on UPC Soil Type from hydrometer testing: 4.0 gsf/day
  
6. **SIZING CALCULATIONS** (5' diameter, 35' effective depth seepage pit)

$$\text{UPC Soil Type II: } 5' \times 35' \times \Pi \times 4.0 \text{ gal./sq.ft./day} = 2,199 \text{ gal./day}$$

$$\text{TOTAL FOR 2 PITS} = 4,398 \text{ gal./day}$$

7. Provide two 5-foot diameter seepage pits, each with an earth cover of 5 feet. Each seepage pit will have an effective depth of 35 feet. The total depth of each seepage pits will be 40 feet (as measured from lowest adjacent grade).

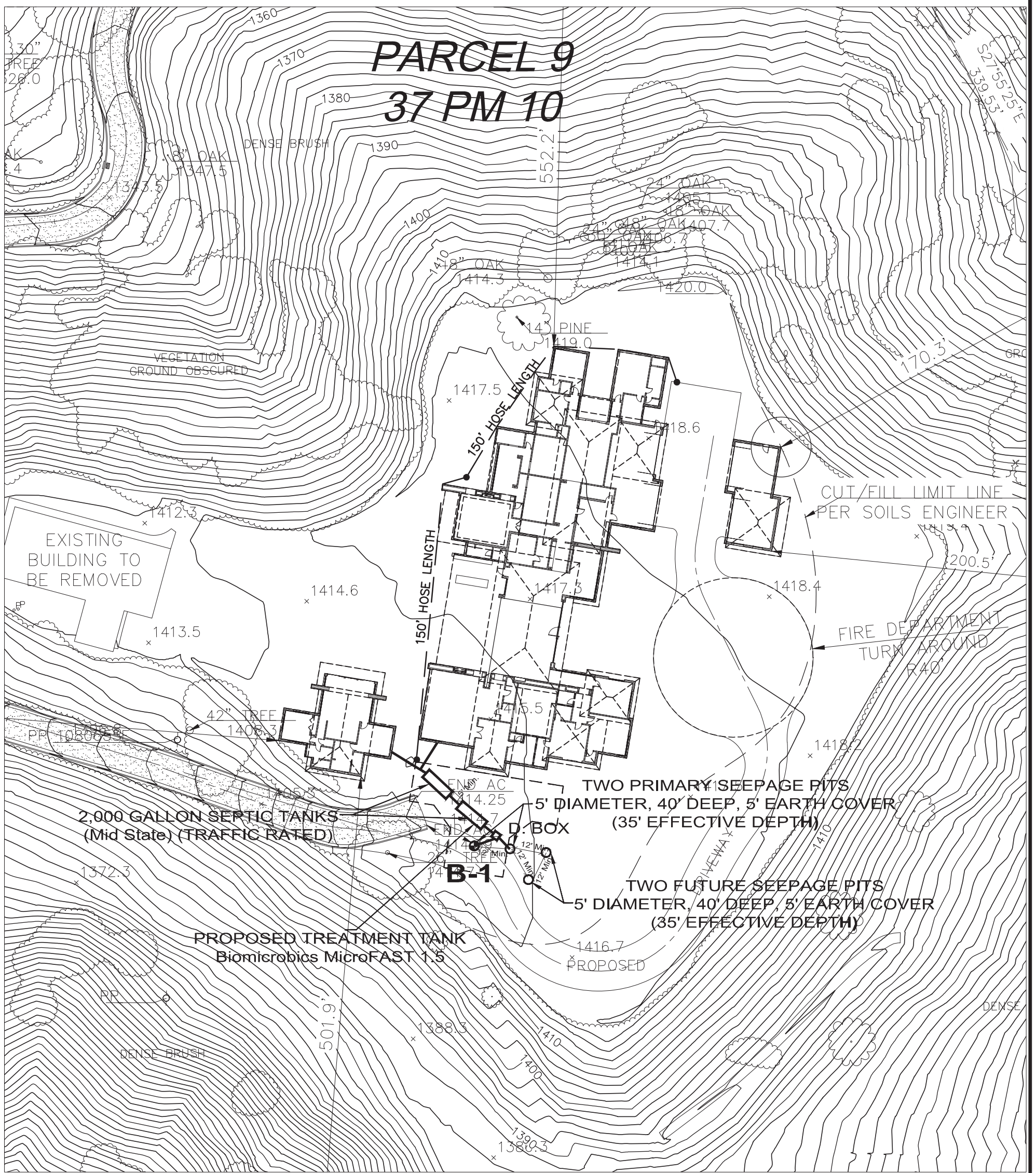


ALLIED PROPERTY GROUP  
2551 WHITE STALLION ROAD

FILE NO. GC20-123144

APPENDIX  
OWTS PLOT PLAN AND BORING LOG

# PARCEL 9 37 PM 10



## LEGEND

B-1



APPROXIMATE LOCATION OF PERCOLATION TEST BORING



SCALE: 1" = 50'



**PLATE 1**

**GOLD COAST GEOSERVICES, INC.**

**OWTS PLOT PLAN**

2551 WHITE STALLION ROAD, THOUSAND OAKS

DATE: 01-27-2021

SIZE: B

CLIENT: ERDMANN

REV:

FILE NO: GC20-123144

SCALE: 1" = 50'

DRAWN BY: IM

APPROVED BY: SJH

# GOLD COAST GEOSERVICES, INC.

## SUB-SURFACE DATA

## BORING LOG NO. 1

PROJECT: 2551 White Stallion Road, Thousand Oaks  
 NEAREST CROSS STREET: West Potrero Road  
 OWNER: Erdmann  
 METHOD OF DRILLING: 24" Bucket Auger

FILE NO.: GC20-123144  
 DATE DRILLED: 1/21/2021  
 WEATHER: Warm  
 DRILLED BY: Roy Brothers Drilling Inc.

DEPTH (FEET)	UNIFIED SOIL CLASSIFICATION	G.P. SYMBOL	SOIL TYPE TABLE I-4 UPC	MOISTURE CONTENT %	HYDROS			SOIL DESCRIPTION
					% SAND/GRAVEL	% SILT	% CLAY	
0								<b>TOPANGA FORMATION - Tt - (0' - 60')</b> 0' - 8' - Yellowish brown sandstone, massive, fractured, slightly moist, hard.
5	SM		II	7.7	84	11	5	8' - 22' - Yellowish brown siltstone, well bedded, fractured, dense.
10	SM		II	9	72	20	8	
15	SM		II	9.2	73	19	8	
20	SM		II	8.5	72	21	7	22' - 47' - Yellowish brown and gray sandstone, slightly moist, hard.
25	SM		II	9	79	16	5	
30	SM		II	7.5	77	7	7	
35	SM		II	8	80	14	6	
40	SM		II	9.5	78	15	7	
45	SM		II	10.1	83	13	4	47' -60' - Dark gray silty sandstone, moist, hard.
50	SM		II	10.4	79	14	7	



# GOLD COAST GEOSERVICES, INC.

## SUB-SURFACE DATA

## BORING LOG NO. 1

PROJECT: 2551 White Stallion Road, Thousand Oaks  
 NEAREST CROSS STREET: West Potrero Road  
 OWNER: Erdmann  
 METHOD OF DRILLING: 24" Bucket Auger

FILE NO.: GC20-123144  
 DATE DRILLED: 1/21/2021  
 WEATHER: Warm  
 DRILLED BY: Roy Brothers Drilling Inc.

DEPTH (FEET)	UNIFIED SOIL CLASSIFICATION	G.P. SYMBOL	SOIL TYPE TABLE I-4 UPC	MOISTURE CONTENT %	HYDROS			SOIL DESCRIPTION
					% SAND/GRAVEL	% SILT	% CLAY	
50								
55								
60								End @ 60'
65								
70								
75								
80								
85								
90								TOTAL DEPTH: 60' GROUNDWATER: NO CAVING: NO BACKFILLED: YES (after testing)
95								
100								

## Initial Study Biological Assessment

---

**Original ISBA report date:** 04/22/21

**Case number** (to be entered by Planning Div.):

**Permit type:** Planned Development Permit

**Applicant:** Robert Erdmann

**Case Planner** (to be entered by Planning Div.):

**Total parcel(s) size:** 20 acres

**Assessor Parcel Number(s):** 666-008-014; 668-008-015

**Development proposal description:** Construction of a proposed residence, a secondary residence building and detached garage on an approximately 21-acre parcel.

### Prepared for Ventura County Planning Division by:

As a Qualified Biologist, approved by the Ventura County Planning Division, I hereby certify that this Initial Study Biological Assessment was prepared according to the Planning Division's requirements and that the statements furnished in the report and associated maps are true and correct to the best of my knowledge.

<b>Qualified Biologist (signature):</b> <i>Damini Sindhar</i>		Date: 04/22/21; Revised 06/15/21; 06/29/21;12/09/21, 02/18/22
Name (printed): Saudamini (Damini) Sindhar	Title: Senior Biologist	Company: Envicom Corporation
Phone: 805-415-8988	email: ssindhar@envicomcorporation.com	
<b>Other Biologist (signature):</b> n/a		Date:
Name (printed):	Title:	Company:
Phone:	email:	
Role:		

County of Ventura  
 Planning Director Hearing  
 Case No. PL21-0020  
 Exhibit 9 - Initial Study  
 Biological Assessment

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This Biological Assessment DID provide adequate information to make recommended CEQA findings regarding potentially significant impacts.

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	Project Impact Degree of Effect				Cumulative Impact Degree of Effect			
	N	LS	PS-M*	PS	N	LS	PS-M*	PS
Biological Resources								
Species			X			X		
Ecological Communities			X			X		
Habitat Connectivity		X				X		

N: No impact

LS: Less than significant impact

PS-M: Potentially significant unless mitigation incorporated.

PS: Potentially significant

\* DO NOT check this box unless the Biological Assessment provided information adequate enough to develop mitigation measures that reduce the level of impact to less than significant.

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## Summary

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The proposed project involves construction of a single-family residence and accessory structures on an existing vacant property located within two (2) parcels in the northern foothills of the Santa Monica Mountains, County of Ventura. The project would be located on the western Parcel (APN #668-008-015). The development area/ limits of grading is 2.08 acres; the 100 -foot fuel modification buffer is 3.86 acres and the construction footprint that includes the limits of grading plus the 100-foot fuel modification buffer totals 5.94 acres. An existing unnamed paved road would be used to access the site.

Project grading would affect cleared land and barren/sparsely vegetated areas, that have little ecological significance. None of these habitats is considered to be a “natural community of special concern.” Project grading would be in close proximity to native upland scrub habitats. Project Fuel modification would lead to impacts to two (2) sensitive plant communities/ natural communities of special concern; 0.33 acre of Bush monkeyflower scrub and 0.05 acre of Blue elderberry scrub. The project would result in significant impacts to these habitats. Implementation of Mitigation Measures MM-3, MM-4 and MM-6 would reduce impacts to natural communities of special concern to less than significant. Additionally, one locally important community- coast live oak Woodland (0.10 acre) is also within the Project Fuel modification zone. Since this community is present within the fuel modification zone, subject to vegetation thinning only, project activities will not result in conversion of oak woodlands. Removal of some branches of Oaks may be necessary to comply with the fuel-modification requirements. However, this does not impact the structure of Oak woodlands. Impacts to one locally important plant community- coast live oak is considered less than significant. Implementation of MM-3, MM-4 and MM-5 would further insure minimization of impacts to Oak woodlands during construction and fuel modification/vegetation thinning.

The canopies and root protection zones of most County ordinance-sized trees located within the fuel modification zone would be avoided to the maximum extent feasible. Removal of some branches/minor limbing of Oaks may be necessary to comply with the fuel-modification requirements. However, this will not have a significant impact on Oak trees. One (1) non-native heritage Italian stone pine tree is scheduled for removal. A tree report drafted by a certified arborist with details of the findings and valuation of trees has been submitted to the County. Three other trees/clusters are present within the 100 foot fuel modification zone outside but in close proximity to the limits of grading. The project would result in significant, but mitigable impacts to these trees. Implementation of MM-3, MM-4 and MM-5 would reduce impacts to native trees to less than significant.

Six (6) special status plant species have the potential to be present onsite, Malibu baccharis, round-leaved filaree, Plummer’s mariposa-lily, Conejo buckwheat, white veined monardella and Ojai navarretia. No special-status plant plants were found onsite during the biological and botanical surveys conducted on the property. No impacts to special status plants are expected as a consequence of project activities.

One (1) special-status bird, the white-tailed kite, may forage at the site with moderate probability, but is not expected to nest onsite and thus would not be impacted by project activities. No other special-status birds known from a five-mile radius of the project have moderate or high potential to occur within the project construction footprint. Several species of non-special-status birds have potential to nest within the grading footprint or within 300 feet of the grading footprint. If present, nesting birds could be directly impacted by the project. Also, the project could potentially disturb birds nesting in the vicinity of the project site, which could cause nesting failure and the loss of eggs or nestlings. Implementation of MM-2 and MM-3 would reduce potentially significant impacts to less than significant.

Most special-status wildlife species that may potentially occur at the site are capable of escaping harm during project development, including grading or fuel modification, while a few are vulnerable to direct impacts, including injury and mortality. In this case, the special-status species that could be directly impacted include potentially occurring land dwelling animals, that include two (2) species of legless lizards. Other species that are capable of escaping harm include California glossy snake, coastal whiptail and the San Diego desert woodrat. Though some bats could forage at the project site, suitable roosting habitat for bats was noted onsite.

Project impacts if any to special-status wildlife species would be less than significant, as the project would not reduce a special-status species' population, only a very small number of individuals would potentially be affected (with low probability), and the habitats at the site are not of particular importance to the survival or life cycle of a special-status species. Implementation of MM-1,MM-2 MM-3 and MM-4 would reduce impacts to special status wildlife to less than significant.

The project area does not serve as a wildlife linkage or corridor and would not impede wildlife movement.

## Section 1: Construction Footprint Description

---

*Construction Footprint Definition (per the Ventura County Planning Division): The construction footprint includes the proposed maximum limits of temporary or permanent direct land or vegetation disturbance for a project including such things as the building pad(s), roads/road improvements, grading, septic systems, wells, drainage improvements, fire hazard brush clearance area(s), tennis courts, pools/spas, landscaping, storage/stockpile areas, construction staging areas, fire department turnarounds, utility trenching and other grading areas. The construction footprint on some types of projects, such as mining, oil and gas exploration or agricultural operations, may be quite different than the above.*

### **Development Proposal Description:**

The purpose of the project is to construct a single-family residence and accessory structures on an existing vacant site. The project would involve construction of a proposed residence, a secondary residence building and detached garage on an approximate two-acre pad located within approximately 21-acre property within two (2) parcels. The Assessor Parcel Number (APN) for the parcels are 668-008014, 668-008015. The project site would be accessed via an existing driveway from White Stallion Road. Any necessary storage of equipment, materials, or soil would be located within cleared land on site. If storage is needed outside of the project site, it will be transported to an offsite location.

### **Construction Footprint Size**

The plan for the house includes the gross building area of the main proposed residence (15,814 square feet), secondary residence building (1,801 square feet) and the detached garage (1,272 square feet) for a total construction area of 18,887 square feet/ 0.43 acre. The development area/ limits of grading is 2.08 acres; the 100-foot fuel modification buffer is 3.86 acres. The construction footprint that includes the limits of grading plus the 100-foot fuel modification buffer totals 5.94 acres. An existing unnamed paved road would be used to access the site. The development area,/limits of grading encompasses the septic system, seepage pits, and utilities.

### **Project Design for Impact Avoidance or Minimization**

The development area/ limits of grading is on a 2.08 acre area that has been previously graded or cleared. The project would avoid County protected trees, including oaks, one heritage Italian Stone Pine tree and elderberry. A temporary fence will be installed during construction, to prevent debris or spoils from being placed on the slope below the building pad within the 30 foot tree protection zone and further into the fuel modification zone.

### **Coastal Zone/Overlay Zones**

The project is not in the Coastal Zone or within an Overlay Zone.

## **Zoning**

The project is zoned OS-20.

## **Elevation**

The elevation ranges from 1,416 feet to 1,441 feet.

## **Other**

No other important features to describe.

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## **Section 2: Survey Information**

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### **2.1 Survey Purpose**

Discretionary actions undertaken by public agencies are required to demonstrate compliance with the California Environmental Quality Act (CEQA). The purpose of this Initial Study Biological Assessment (ISBA) is to gather enough information about the biological resources associated with the proposed project, and their potential to be impacted by the project, to make a CEQA Initial Study significance finding for biological resources. In general, ISBA's are intended to:

- Provide an inventory of the biological resources on a project site and the values of those resources.
- Determine if a proposed project has the potential to impact any significant biological resources.
- Recommend project redesign to avoid, minimize or reduce impacts to significant biological resources.
- Recommend additional studies necessary to adequately assess potential impacts and/or to develop adequate mitigation measures.
- Develop mitigation measures, when necessary, in cases where adequate information is available.

### **2.2 Survey Area Description**

*Survey Area Definition (per the Ventura County Planning Division): The physical area a biologist evaluates as part of a biological assessment. This includes all areas that could potentially be subject to direct or indirect impacts from the project, including, but not limited to: the construction footprint; areas that would be subject to noise, light, dust or runoff generated by the project; any required buffer areas (e.g., buffers surrounding wetland habitat). The construction footprint plus a 100 to 300-foot buffer—beyond the required fire hazard brush clearance boundary—(or 20-foot from the cut/fill boundary or road fire hazard brush clearance boundary – whichever is greater) is generally the size of a survey area. Required off-site improvements—such as roads or fire hazard brush clearance—are included in the survey area. Survey areas can extend off the project's parcel(s) because indirect impacts may cross property lines. The extent of the survey area shall be determined by the biologist in consultation with the lead agency.*



## **Survey Area 1 (SA1)**

### ***Location***

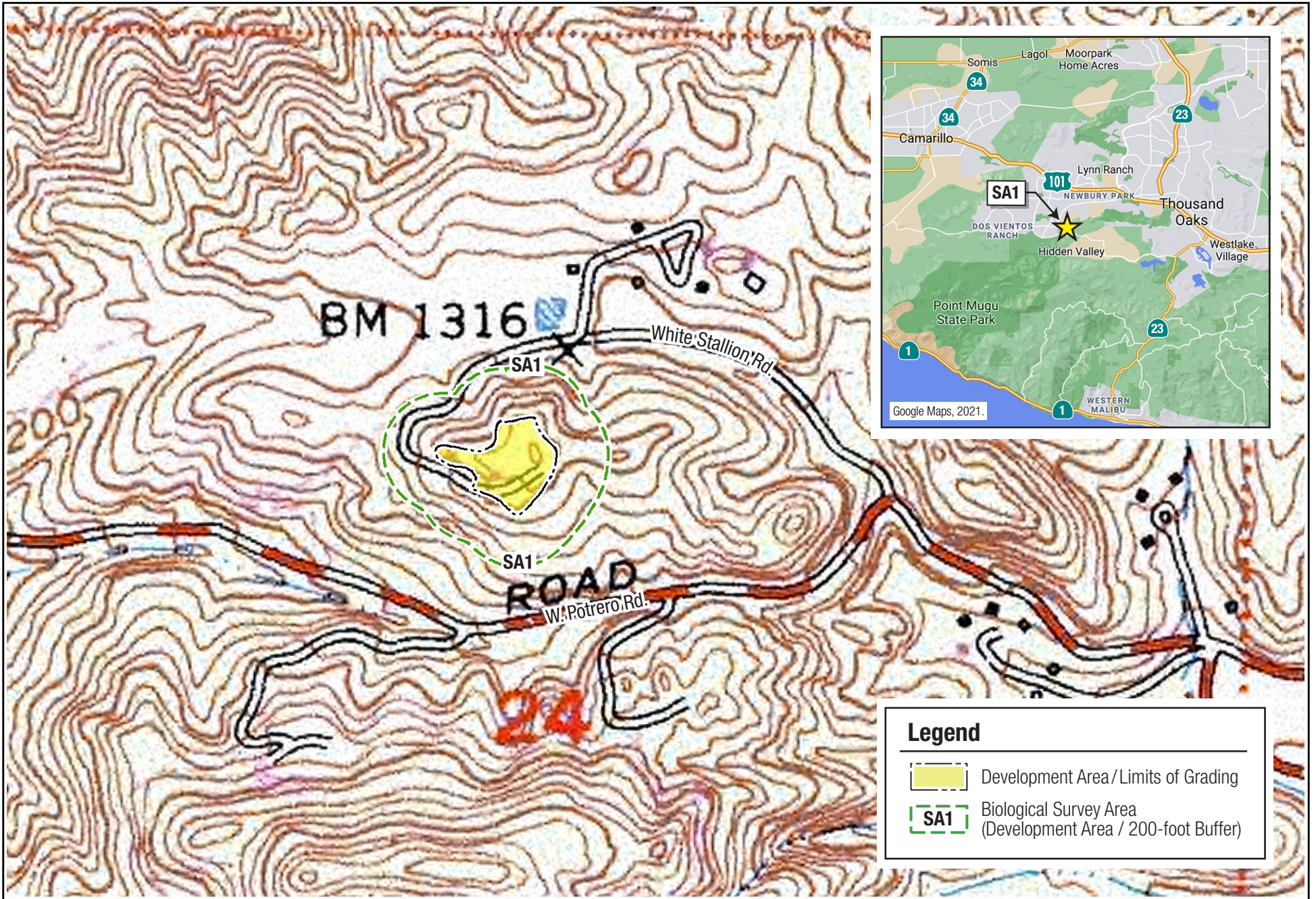
SA1 (Survey Area 1) is located on the northern foothills of the Santa Monica Mountains just north of W Potrero Road and south of White Stallion Road within unincorporated County of Ventura. Regionally, SA1 is located to the south of the City of Thousand Oaks, and southwest of the City of Westlake Village (**Figure 1, Project Location Map**). SA1 includes the development area/limits of grading and a 200-foot buffer. This survey was conducted specifically for this ISBA and therefore focuses on the areas within the two (2) subject parcels, that would be impacted or potentially impacted by the proposed project grading and fuel modification. Project related impacts would be limited to the development area / limits of grading and a surrounding, 100-foot project fuel modification zone.

### ***Survey Area Environmental Setting***

SA1 is located within the two (2) existing parcels, and would be accessed via an existing unnamed driveway from White Stallion Road. (**Figure 2, Site and Survey Map**). The central portion of SA1, is a flat previously disturbed, partially graded pad that is mostly barren to sparsely vegetated. The 200-foot buffer surrounding the development area/limits of grading includes native coastal sage scrub and chaparral vegetation. No drainage features were noted onsite. SA1 is currently undeveloped, with the exception of a small vacant shed in the western portion of SA1 within the limits of grading.

### ***Surrounding Area Environmental Setting***

The Project Parcel is surrounded by open space dominated by coastal sage scrub, chaparral, native and ornamental trees interspersed with a few existing single family residences with associated landscaped areas. White Stallion Road and the existing access road leading to the project site are located north of the project. There is a small, constructed pond located north of the project site, also directly north of White Stallion Road. A single-family residence surrounded by chaparral, and coast live oak (*Quercus agrifolia*) woodland is located to the east of the project site. Existing single-family residences, residential roads including Potrero Road interspersed with native chaparral habitat are located to the south of the site. Regionally, the surrounding area is characterized by open space and natural areas that include chaparral, coastal scrub, oak woodlands and occasional rocky outcrops interspersed with single-family residences.

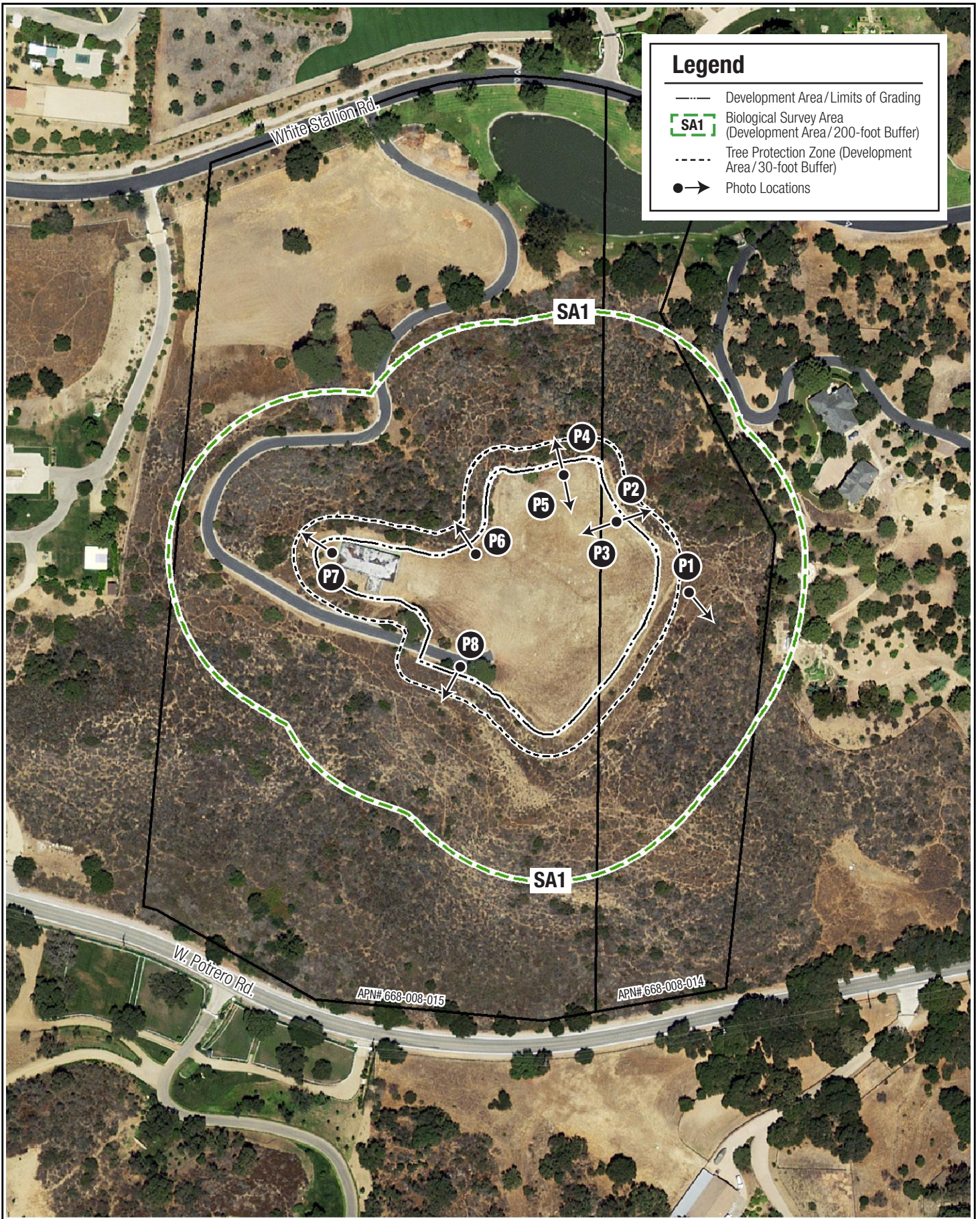


Source: U.S.G.S. 7.5 Min. Topographic Quadrangle map mosaic.

2551 WHITE STALLION ROAD PROJECT – ISBA

# Project Location Map





**Legend**

- Development Area / Limits of Grading
- SA1 Biological Survey Area (Development Area / 200-foot Buffer)
- - - Tree Protection Zone (Development Area / 30-foot Buffer)
- → Photo Locations

Source: U.S.G.S. 7.5 Min. Topographic Quadrangle map mosaic.

2551 WHITE STALLION ROAD PROJECT – ISBA



# Site and Survey Map

FEET 0 | 87.5 | 175

FIGURE 2

## Cover

55% native vegetation

20% non-native vegetation

25% bare ground/cleared/graded

## 2.3 Methodology

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Survey Date & Details							
Survey Key	Survey Date	Survey Area Map Key	Survey Type	Time Period	Methods/Constraints	GPS	Surveyor
SD1	2/19/2021	SA1	ISBA	10:00 am–5:30 pm	Walking meandering transects. About 60% of the site was accessible. Survey was conducted in the limits of grading and a 100-foot buffer. The survey was conducted outside of the blooming season for most plants.	Trimble GeoXT, submeter accuracy	Damini Sindhar, Biologist
SD2	2/26/2021	SA1	ISBA	1.00-5.00 pm	Walking meandering transects. About 60% of the site was accessible. Survey was conducted within the 200-foot buffer.	Trimble GeoXT, submeter accuracy	Damini Sindhar, Biologist
SD3	4/16/2021	SA1	Botanical Survey	9.00 am–5:30 pm	Walking meandering transects. About 60% of the site was accessible. Survey was conducted within the development area and a 100-foot fuel-modification buffer. The survey was conducted within the Spring blooming period for plants.	n/a	Damini Sindhar, Biologist
SD4	6/29/2021	SA1	Botanical Survey	6:00 am-11:30 am	Walking meandering transects. About 60% of the site was accessible. Survey was conducted within the development area and a 100-foot fuel-modification buffer. The survey was conducted within the Summer blooming period for plants.	n/a	Damini Sindhar, Biologist
ISBA ..... Initial Study Biological Assessment Botanical ..... Botanical Survey							

## **Section 3: The Biological Inventory**

See Appendix One for an overview of the types of biological resources that are protected in Ventura County.

### **3.1 Ecological Communities: Plant Communities, Physical Features and Wetland Plant Communities**

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Locally important or rare plant communities were found within the survey area(s).

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#### **Major Plant Communities Summary**

Vegetation within the survey area consists of coastal sage scrub, chaparral, cleared land, and coast live oak woodland. A number of individual scattered native trees were observed within the above listed habitat communities. The development area/limit of grading is comprised of cleared land with a 10-15% cover all comprised predominantly of non-native species. The upland vegetation communities within SA1 are comprised of chaparral and coastal scrub shrub species characterized by low-growing aromatic, and drought-deciduous shrubs adapted to the semi-arid Mediterranean climate of the coastal lowlands.

The plant communities within SA1 were mapped using the State Vegetation Classification System (SVC II). Plant communities were correlated with the *Vegetation Classification of the Santa Monica Mountains Natural Recreation Area and Environs in Ventura and Los Angeles Counties, California* (CDFW/CNPS, January 2006) and the *List of Vegetation Alliances and Associations (Natural Communities List)* (CDFW, September 2020). A map of the plant communities at the site is shown in **Figure 3, Plant Communities Map**.

The Ventura County Planning Division considers those plant communities that receive conservation status rankings of G1-G3 or S1-S3 to be sensitive for the purposes of CEQA impact assessment. The California Department of Fish and Wildlife (CDFW) considers plant communities that receive conservation status rankings of G1-G3 or S1-S3 to be of special concern, and that these plant communities should be addressed during CEQA review. Based on the conservation status rankings from the CDFW California Natural Community List (September 2020), two (2) plant communities identified within SA1 are rare or sensitive; Bush monkeyflower scrub and Blue elderberry scrub. One locally important plant community- Coast live oak woodland is also present within SA1.

The native and non-native plant communities, as well as other land cover classes, present within SA1 are described below.

#### **Shrubland Plant Communities**

PC-1. California sagebrush-deerweed scrub (*Artemisia californica*- *Acmispon glaber*/*Lotus scoparius* shrubland association)

Within the Santa Monica Mountains and valleys, this shrubland association generally occurs on gentle to steep slopes of variable aspect at low elevations less than 600 meters. It is



characterized by a dominance of California sagebrush (*Artemisia californica*) in the shrub layer, and a scattered, mostly non-native herbaceous layer. Many stands have low cover of deerweed (*Acmispon glaber* (old name: *Lotus scoparius*)). Deerweed is generally considered early seral, suggesting this association is reflective of somewhat recent disturbance.

Within SA1 this community was noted just south of the development area. California sagebrush and deerweed were co-dominant with about a 20% relative cover for each. A dominant non-native herbaceous layer was also present comprised mostly of smilo grass (*Stipa miliaceum*).

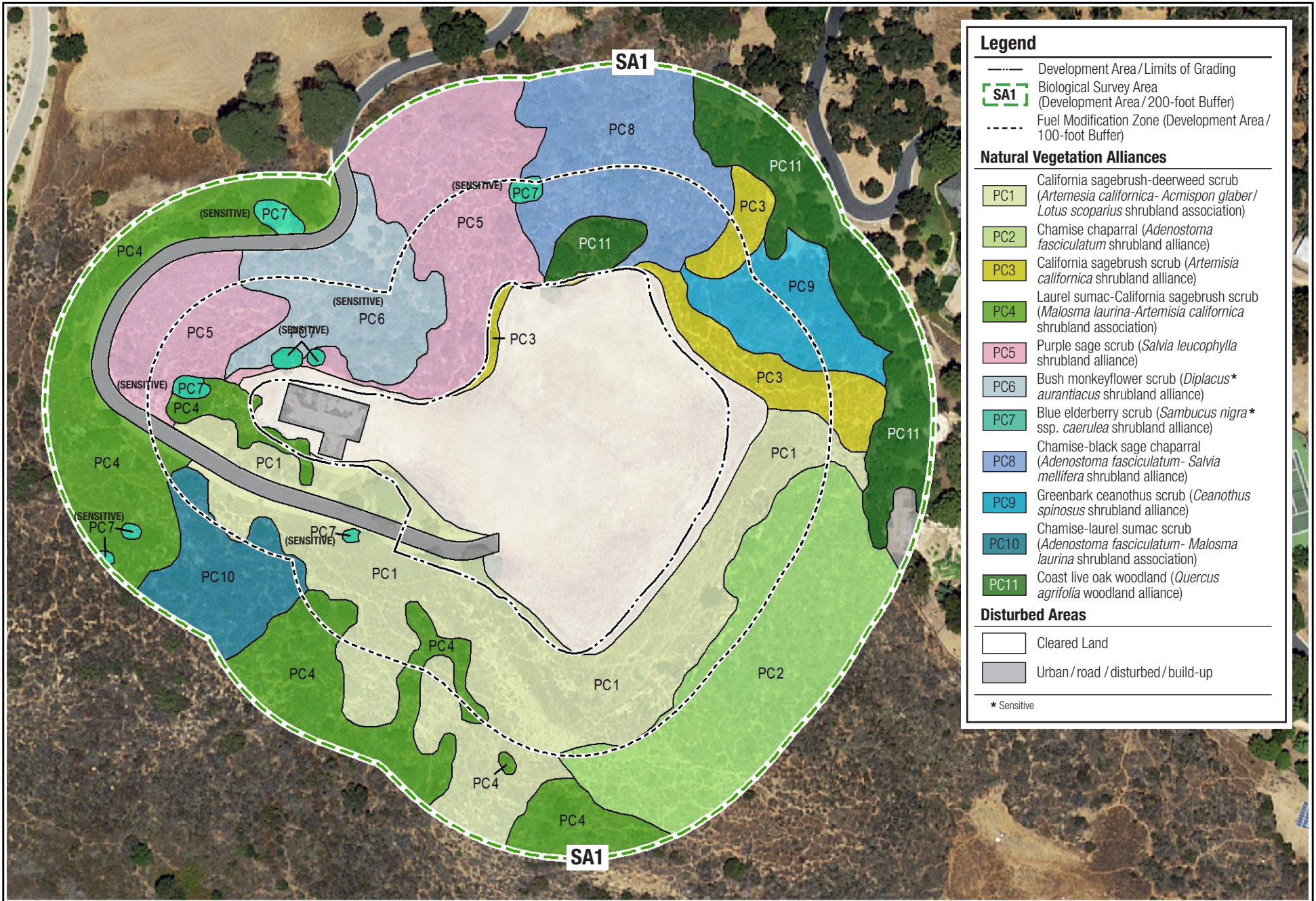
PC-2. Chamise chaparral (*Adenostoma fasciculatum* shrubland alliance)

Within the Santa Monica Mountains and valleys this shrubland alliance occurs on varied topography on commonly shallow soils over colluvium and many kinds of bedrock at elevations between 10 to 1800 meters. This association is characterized by a strong dominance of chamise (*Adenostoma fasciculatum*) in the shrub layer.

This alliance occurs outside limits of grading on the western and southwestern boundary of SA1. The shrub layer is dominated by chamise with more than a 70% relative cover. Other species present within this community include black sage (*Salvia mellifera*), buckbrush (*Ceanothus cuneatus*), California buckwheat (*Eriogonum fasciculatum*) and smilo grass.

PC-3. California sagebrush scrub (*Artemisia californica* shrubland alliance)

This shrubland association occurs on gentle to steep slopes of variable aspect at elevations between 0-1,200 meters. It is characterized by strong dominance of California Sagebrush (*Artemisia californica*) in the shrub layer. The herbaceous layer is not well developed. The emergent tree layer is usually absent.



Aerial Source: Valtus Imagery Services: Hexagon Imagery Program (HxIP), 2017.

2551 WHITE STALLION ROAD PROJECT – ISBA



# Plant Communities Map



Other species present in small numbers include black sage (*Salvia mellifera*), coyote brush (*Baccharis pilularis*), purple sage (*Salvia leucophylla*), and clustered tarweed (*Deinandra fasciculata*), California buckwheat (*Eriogonum fasciculatum*). This alliance occurs outside limits of grading on the northeastern portion of SA1, adjacent to the eastern limit of grading boundary.

PC-4. Laurel sumac- California sagebrush scrub (*Malosma laurina*-*Artemisia californica* shrubland association)

Within the Santa Monica Mountains and valleys this shrubland association generally occurs on gentle to very steep southeast to northwest facing slopes at low elevations less than 500 meters. This association is characterized by a dominance of laurel sumac (*Malosma laurina*) in the shrub layer. Other species present within the shrub layer in association include California sagebrush California buckwheat, black sage, toyon (*Heteromeles arbutifolia*), and big-pod ceanothus (*Ceanothus metacarpus*). The tree layer is generally emergent and open and may infrequently include coast live oak, southern California black walnut (*Juglans californica*), western sycamore (*Platanus racemosa*), and the non-native pepper tree (*Schinus mole*) at low cover. The herbaceous layer is generally diverse and sometimes includes black mustard (*Brassica nigra*), giant wild rye (*Elymus condensatus*), non-native Brome grasses (*Bromus sp.*), and summer mustard (*Hirschfeldia incana*).

This association occurs outside the limits of grading in the western portion of SA1 adjacent to existing access road. It also occurs in the south-western and southern portion of SA1. Dominant species include laurel sumac and California sage is sub-dominant. Other species present include smilo grass and chaparral yucca (*Hesperoyucca whipplei*).

PC-5. Purple sage scrub (*Salvia leucophylla* shrubland alliance)

Within the Santa Monica Mountains and valleys, this shrubland association generally occurs on gentle to very steep slopes of variable aspects at low elevations between 18 to 613 meters. It is characterized by a strong dominance of Purple sage (*Salvia leucophylla*) in the shrub layer. The herbaceous layer is composed of both native and non-native grasses and herbs. The emergent tree layer is generally absent.

This alliance occurs outside the limits of grading along the northwestern portion of SA1. The shrub layer is dominated by purple sage with about a 50% relative cover. Other species present within this alliance include California sagebrush, giant wildrye (*Elymus condensatus*) and foothill needlegrass (*Stipa lepida*).

PC-6. Bush monkeyflower scrub (*Diplacus aurantiacus* shrubland alliance)

Within the Santa Monica mountains and valleys, this shrubland association occurs on somewhat steep to steep northeast and northwest slopes at low elevations between 43–570 meters. It is characterized by a strong dominance of bush monkeyflower (*Diplacus aurantiacus*) in the shrub layer. Giant wildrye is present in most stands within the herbaceous layer, though this species is not considered characteristic of this alliance. The shrub layer is generally characterized by bush monkeyflower, California sagebrush, laurel sumac, purple sage, poison oak (*Toxicodendron diversilobum*), and Blue elderberry (*Sambucus nigra* ssp. *caerulea*). This alliance is a natural community of special concern.

This alliance occurs outside the limits of grading in the northwestern portion of the SA1. Portion of this alliance is within the Project Fuel Modification Zone. The shrub layer has a codominance of Bush monkeyflower and Laurel sumac. Other species present in small percentages include black sage, California sagebrush, giant wildrye and foothill needlegrass.

PC-7. Blue elderberry scrub (*Sambucus nigra* ssp. *caerulea* shrubland alliance)

This alliance though typically found in stream terraces is also found in localized upland settings within gravelly alluvium and also sometimes in intermittently flooded soils. Within the Santa Monica Mountains and valleys, this shrubland occurs on somewhat steep to moderate usually north-facing slopes at low elevations between 261–420 meters. It is dominated by blue elderberry and secondarily by toyon in the shrub layer. This alliance is a natural community of special concern.

Within SA1, small patches of this alliance dominated by Blue elderberry is scattered within and adjacent to other plant communities/alliances as groups of small individuals or clusters. Portion of this alliance is within the Project Fuel Modification Zone.

PC8. Chamise- black sage chaparral (*Adenostoma fasciculatum*- *Salvia mellifera* shrubland alliance)

Within the Santa Monica Mountains and valleys, this shrubland association occurs on somewhat steep to steep southeast- to northwest-facing slopes at low elevations between 114 to 510 meters. It is dominated by chamise and black sage in the shrub layer with a typically sparse herbaceous layer. The emergent tree layer is typically nonexistent.

This alliance occurs outside limits of grading on the northeastern portion of SA1. The shrub layer is dominated by chamise and black sage with both species accounting for about 65% combined relative cover. Other species located within this alliance include buckbrush (*Ceanothus cuneatus*).

PC-9. Greenbark ceanothus scrub (*Ceanothus spinosus* shrubland alliance)

Within the Santa Monica Mountains and valleys, this shrubland association generally occurs on moderately steep to very steep northeast- and northwest- facing slopes at low elevations between 0 to 692 meters. It is characterized by a strong dominance of greenback ceanothus (*Ceanothus spinosus*) in the shrub layer and may include a wide variety of mesophytic species in the herbaceous layer, none apparently in high constancy. The emergent tree layer includes coast live oak and California black walnut.

This alliance occurs outside the limits of grading on the eastern portion of the survey area. Within SA1, this alliance is dominated by greenbark ceanothus. Some chamise, toyon and laurel sumac were also noted within this alliance.

PC-10. Chamise-laurel sumac scrub (*Adenostoma fasciculatum*- *Malosma laurina* shrubland association)

Within the Santa Monica Mountains and valleys, this shrubland association occurs on moderate to steep slopes of variable aspect at low to mid elevations between 100 to 1000 meters. It is dominated by chamise and co-dominated by laurel sumac in the shrub layer. The herbaceous

layer is sparse and composed primarily of introduced annual species. The emergent tree layer includes coast live oak.

This alliance occurs outside the limits of grading on the south-western portion of the survey area. The shrub layer is strongly dominated by chamise with about a 65% relative cover. Laurel sumac was sub-dominant with an approximate 30% relative cover. Other species located within this alliance include black sage, California sagebrush, and chaparral yucca.

PC-11.Coast live oak woodland (*Quercus agrifolia* woodland alliance)

Within the Santa Monica Mountains and valleys, this woodland/forest association generally occurs on gentle to steep, north-facing slopes at elevations between 0 and 636 meters. It is dominated by coast live oak and toyon in the tree layer and variety of grasses and forbs in the herbaceous layer.

Two (2) areas dominated by coast live oak woodlands were noted in the north and north-eastern portion of the SA1 outside of the development area/limit of grading. One of the areas covered by this alliance is within the Project Fuel Modification Zone. Coast live oak woodlands are a locally important plant community.

Cleared Land

Cleared land area includes a majority of the development area/grading footprint in the central part of SA1. This area appears to have been historically disturbed and still has periodic disturbance including mowing. This area has a 10-15% relative cover of non-native/invasive species such as red-stem filaree (*Erodium cicutarium*), Russian thistle (*Salsola kali*) and Mediterranean grass (*Schismus barbatus*).

Urban/disturbed/build-up

Urban/disturbed/build-up includes paved roads and an existing vacant structure on the property. A vacant shed/dwelling is located on the northwestern portion of SA1 within the limits of grading. This dwelling is currently unused and does not contain any natural species.

Map Key (1)	SVC Alliance-Association	SVC Association	Status (3)	Condition (4)	Acres Total (SA1)	Acres Impacted (Development footprint/Limits of Grading)	Fuel Modification Zone (100-foot buffer)
PC1	California sagebrush-deerweed scrub ( <i>Artemisia californica-Acmispon glaber/Lotus scoparius</i> shrubland association)	<i>Acmispon glaber</i>	G5 S5	Intact with some signs of disturbance/non-native species	1.50	0.10	1.40
PC2	Chamise chaparral ( <i>Adenostoma fasciculatum</i> shrubland alliance)		G5 S5	Intact	0.21		0.21

Map Key (1)	SVC Alliance-Association	SVC Association	Status (3)	Condition (4)	Acres Total (SA1)	Acres Impacted (Development footprint/Limits of Grading)	Fuel Modification Zone (100-foot buffer)
PC3	California sagebrush scrub ( <i>Artemisia californica</i> shrubland alliance)		G4 S4	Intact	0.25	0.03	0.22
PC4	Laurel sumac scrub ( <i>Malosma laurina</i> - <i>Artemisia californica</i> shrubland association)	<i>Artemisia californica</i>	G5 S5	Intact	0.21	0.02	0.19
PC5	Purple sage scrub ( <i>Salvia leucophylla</i> shrubland alliance)		G4 S4	Intact	0.57		0.57
PC6	Bush monkeyflower scrub ( <i>Diplacus aurantiacus</i> shrubland alliance)		G3 S3 (Sensitive)	Intact	0.33		0.33
PC7	Blue elderberry scrub ( <i>Sambucus nigra</i> ssp. <i>caerulea</i> shrubland alliance)		G3 S3 (Sensitive)	Intact	0.05		0.05
PC8	Chamise- black sage chaparral ( <i>Adenostoma fasciculatum</i> - <i>Salvia mellifera</i> shrubland alliance)		G4 S4	Intact	0.29		0.29
PC9	Greenbark ceanothus scrub ( <i>Ceanothus spinosus</i> shrubland alliance)		G4 S4	Intact	0.16		0.16
PC 10	Chamise laurel sumac scrub ( <i>Adenostoma fasciculatum</i> - <i>Malosma laurina</i> shrubland association)	<i>Malosma laurina</i>	G4 S4	Intact	0.06		0.06
PC 11	Coast live oak woodland ( <i>Quercus agrifolia</i> woodland alliance)		G5 S4; locally important plant community	Intact	0.10		0.10
PC 12	Cleared Land			Cleared Land/ Introduced	1.98	1.81	0.19
PC 13	Urban/disturbed/build-up			Urban/Disturbed Built-up	0.22	0.12	0.10
<b>Total</b>					<b>5.94 acres</b>	<b>2.08 acres</b>	<b>3.87 acres</b>

### Environmentally Sensitive Habitat Areas (ESHA)

ESHA is “any area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and developments” (Public Resources Code § 30107.5). ESHA includes coastal dunes, beaches, tidepools, wetlands, creek corridors, and certain upland habitats in the Santa Monica Mountains (Ventura County Coastal Area Plan).

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Habitats that meet the definition of ESHA were not found within the survey area(s).

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### Physical Features

A small area within PC4 in SA1 contains a few rocky outcrops. These are outside the development area/limits of grading.

Physical Features		
Map Key (1)	Physical Feature (2)	Comments (3)
N/A	Rocky Outcrop	A small area of rocky outcrop was noted within PC4 directly west of the shed/dwelling

### Waters and Wetlands

*See Appendix One for an overview of the local, state and federal regulations protecting waters, wetlands and riparian habitats. Wetlands are complex systems; delineating their specific boundaries, functions and values generally takes a level of effort beyond the scope of an Initial Study Biological Assessment (ISBA). The goal of the ISBA with regard to waters and wetlands is simply to identify whether they may exist or not and to determine the potential for impacts to them from the proposed project. This much information can be adequate for designing projects to avoid impacts to waters and wetlands. Additional studies are generally warranted to delineate specific wetland boundaries and to develop recommendations for impact minimization or impact mitigation measures.*

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Waters and/or wetlands were not found within the survey area(s).

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### Areas/Observations

No other notable areas/observations to describe.

Other Observations		
Map Key (1)	Describe Features (Violations, other observations, etc.)	Comments
N/A	Rocky granitic substrate noted in the development area and PC4.	

## 3.2 Species

### Observed Species

During the surveys conducted within SA1 on February 19 and 26, 2021 respectively common chapparal and sage scrub species were observed. **During the botanical surveys conducted on April 16, and June 29, 2021,** within the Development Area and the 100-foot fuel modification buffer, many Spring blooming annual plants were detected. A complete list of observed plant species is provided in Appendix 2. Plant diversity is moderate, and a small percentage of the species observed were non-native (20%).

During the surveys conducted within SA1 many common birds and one (1) common reptile, western fence lizard, expected from that area was observed. The mammals observed by sign/scat included coyote, jackrabbit, bobcat, mule deer and California ground squirrel.

Observed species were primarily species common or relatively common to the region and represent only a sample of the species that can be expected to utilize habitats at or in the vicinity of the site for cover, foraging, and reproduction. Furthermore, in general, this list includes species that are more easily detected during daytime surveys. Wildlife observed were mainly birds associated with the upland chaparral, scrub and wooded habitats. Upland birds heard or observed onsite included California towhee, western scrub-jay, red-tailed hawk, California quail, turkey vulture, northern flicker, house finch, house sparrow, bushtit, lesser goldfinch, western kingbird, Cassin's kingbird, mourning dove and white-crowned sparrow. A complete list of observed wildlife species is provided in Appendix 2.

### **Protected Trees**

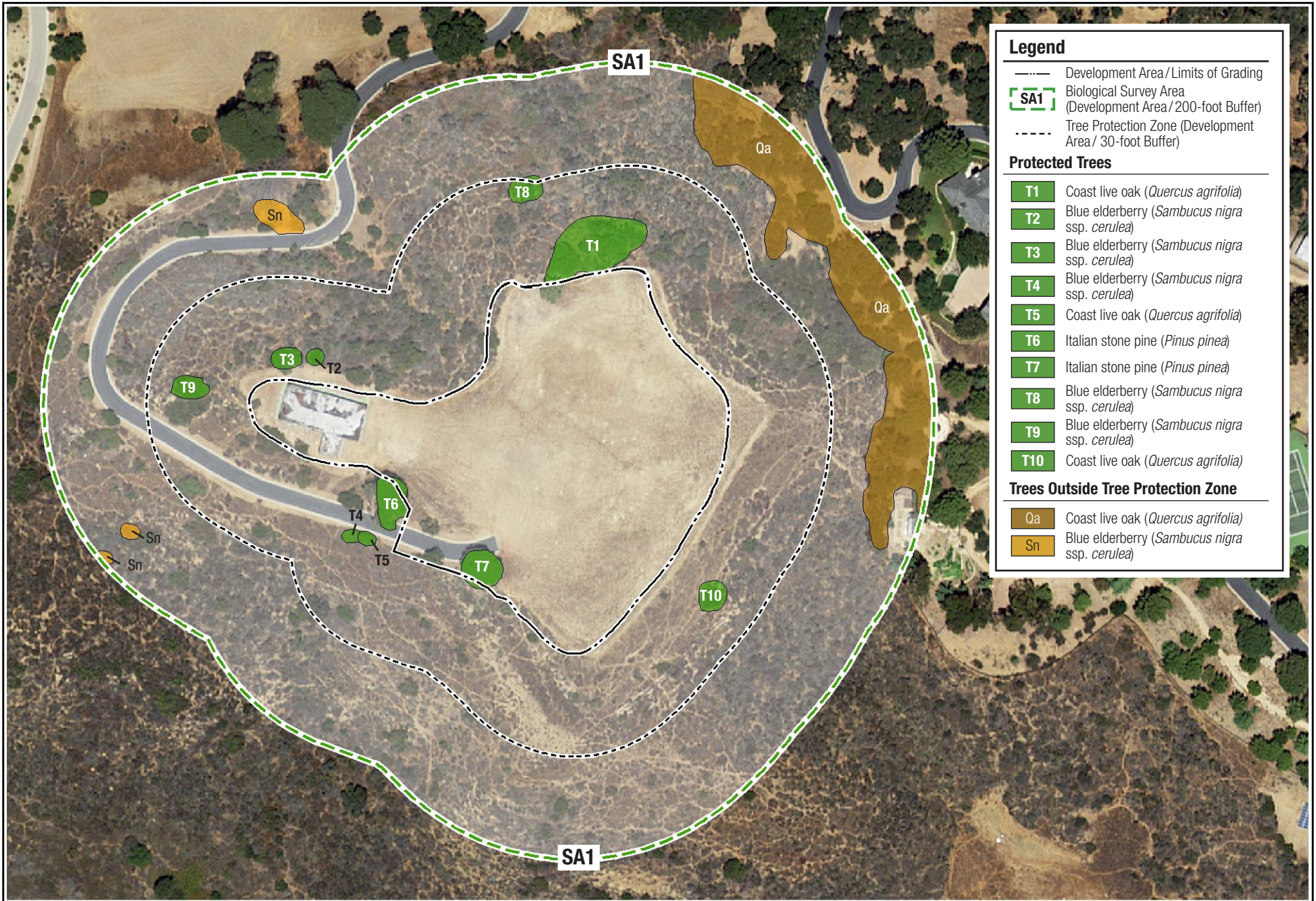
Select trees are protected by the Ventura County Tree Protection Ordinance, found in Section 8107-25 of the Ventura County Non-Coastal Zoning Ordinance. This ordinance, which applies in the unincorporated areas of the County outside the coastal zone, regulates—through a tree permit program—the removal, trimming of branches or roots, or grading or excavating within the root zone of a "protected tree." Individual trees are the focus of the ordinance, while oak woodlands are additionally protected as "locally important communities." A list of protected trees is provided in Section 8107-25 of the ordinance. The species of trees protected is dependent on zoning classification, with more species protected in Scenic Highway and Scenic Resource Protection Overlay Zones. The subject parcel is within a Scenic Resource Overlay Zone. **Figure 4, Protected Tree Map**, depicts all the areas where protected trees may be present within the construction footprint. Though all areas of potentially protected trees are depicted in Figure 4, only the trees that are Protected by Ventura County Tree Protection Ordinance are assessed in this report. Details of all tree/ tree clusters and their impacts are included in the protected trees Table below.

Two (2) Italian Stone Pine (*Pinus pinea*) trees that are more than 100" in DBH (T6 and T7) are present within the limits of Grading. One (T7) will be removed as a consequence of the project.

One cluster of approximately seven (7) coast live oaks (T1) and one cluster of about 4-5 blue elderberry trees (T3) are present just outside the limits of grading, but within a 100 foot buffer of the limits of grading. Another county ordinance-sized coast live oak (T5) tree was noted, just adjacent to the grading footprint.

Minimal impacts during project construction are expected since an exclusion fence will be installed on-site before construction to prevent debris or spoils from being placed on the slope below the building pad in the tree protection zone. All measures to protect native ordinance sized trees are addressed in MM-5.





Aerial Source: Valtus Imagery Services: Hexagon Imagery Program (HxIP), 2017.

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# Protected Tree Map



Protected Trees				
Map Key (1)	Species (2)	Common Name	Girth (3) (circumference)	Impact (4)
T1	<i>Quercus agrifolia</i>	coast live oak	Cluster of approximately 7 Trees > 9.5 inches in combined circumference.	Potential minor encroachment to root protection zone because of Fuel-Modification. Removal of a few limbs for fire code compliance. Less than significant impact.
T2	<i>Sambucus nigra caerulea</i>	blue elderberry	Cluster of 2-3 trees <9.5 inches circumference.	Not protected.
T3	<i>Sambucus nigra caerulea</i>	blue elderberry	Cluster of approximately 4-5 trees, > 9.5 inches circumference.	Potential minor encroachment to root protection zone because of Fuel-Modification. Removal of a few limbs for fire code compliance. Less than significant impact.
T4	<i>Sambucus nigra caerulea</i>	blue elderberry	Cluster of 2-3 trees <9.5 inches circumference.	Not protected.
T5	<i>Quercus agrifolia</i>	coast live oak	1 tree >6.5 inches in circumference.	Potential minor encroachment to root protection zone because of Fuel-Modification. Removal of a few limbs for fire code compliance. Less than significant impact.
T6	<i>Pinus pinea</i>	Italian Stone Pine	1 tree > 90 inches in circumference.	This heritage Pine tree will not be removed.
T7	<i>Pinus pinea</i>	Italian Stone Pine	1 tree > 90 inches in circumference.	This heritage Pine tree will be removed. Biological impact is less than significant since this is a non-native tree. Three native coast live oaks will be planted to mitigate for removal of this tree.
T8	<i>Sambucus nigra caerulea</i>	blue elderberry	Cluster of 2-3 trees <9.5 inches in circumference.	Not protected.
T9	<i>Sambucus nigra caerulea</i>	blue elderberry	Cluster of 2-3 trees <9.5 inches in circumference.	Not protected.
T10	<i>Quercus agrifolia</i>	coast live oak	1 tree < 9.5 inches in circumference.	Not protected.

### Special Status Species and Nests

Special status species were not observed during general and botanical surveys, though some were assessed to have a moderate potential to occur within the survey area(s).

Habitat suitable for nests of birds protected under the Migratory Bird Treaty Act does exist within the survey area(s).

### Special Status Species Summary

#### Special-Status Plants

The development area/limits of grading does not have habitat suitability to support any special status plants. Based on habitat suitability, six (6) special status plant species, Malibu baccharis (*Baccharis malibuensis*), round-leaved filaree (*California macrophylla*), Plummer's mariposa-lily (*Calochortus plummerae*), Conejo buckwheat (*Eriogonum crocatum*), white-veined monardella (*Monardella hypoleuca* ssp. *hypoleuca*) and Ojai Navarretia (*Navarretia ojaiensis*) have some potential for occurrence in the project's fuel modification zone. **No special-status plant species**

that are considered to be rare, threatened, or endangered have been reported from the site nor were found within SA1 during the general biological surveys conducted in February 2021 nor the Spring and Summer season botanical surveys conducted in April and June 2021 . The above listed species were not detected during the botanical surveys conducted during the appropriate bloom period for the two species.

Special-Status Wildlife

No special-status species were found during the biological surveys conducted within SA1. One (1) special-status bird, the white-tailed kite (*Elanus leucurus*), may forage at the site with moderate probability, but is not expected to nest and thus would not be impacted by the project. No other special-status birds known from a five-mile radius of the project have moderate or high potential to occur within the project construction footprint. Several species of non-special-status birds have potential to nest within the grading footprint or within 300 feet of the grading footprint.

Special-status species that could be directly have a moderate or higher potential to occur onsite include potentially two (2) species of legless lizards, California legless lizard (*Anniella* Spp.) and Southern California legless lizard (*Anniella stebbinsi*), California glossy snake (*Arizona elegans occidentalis*), coastal whiptail (*Aspidoscelis tigris stejnegeri*) and the San Diego desert woodrat (*Neotoma lepida intermedia*). Though some bats could forage at the project site, suitable roosting habitat for bats was not observed onsite.

Observed or Potentially Occurring Special Status Species						
Map Key (1)	Survey/ Source (2)	Scientific Name (3)	Common Name	Species' Status (4)	Potential to Occur (5)	Habitat Requirements (6)
<b>PLANTS POTENTIAL FOR OCCURRENCE</b>						
SSP1	CNDDDB	<i>Astragalus brauntonii</i>	Braunton's milkvetch	FE, 1B.1	Low (suitable substrate not present)	Recent burns or disturbed areas, usually sandstone with carbonate layers in closed-cone coniferous forest, chaparral, coastal scrub, and valley and foothill grassland at elevations between 4 and 640 meters. A soil specialist in saline, somewhat alkaline soils high in calcium, manganese, with some potassium. Perennial rhizomatous herb. Blooms February-June.
SSP2	CNPS	<i>Atriplex coulteri</i>	Coulter's saltbush	1B.2	None	Generally found in coastal bluff scrub, coastal dunes, coastal scrub, valley and foothill grassland. Ocean bluffs, ridgetops, as well as alkaline low places, 10-440 meters. Perennial herb. Blooms March – October.
SSP3	CNDDDB	<i>Baccharis malibuensis</i>	Malibu baccharis	1B.1	Moderate	Chaparral, cismontane woodland, coastal scrub, and riparian woodland at elevations between 150 and 305 meters. Perennial deciduous shrub. Blooms in late summer. Not observed during general and seasonal botanical surveys.

Observed or Potentially Occurring Special Status Species						
SSP4	CNPS	<i>California macrophylla</i>	round-leaved filaree	1B.1	Moderate	An annual herb found in cismontane woodland and valley and foothill grassland on clay soils at elevations between 15 and 1200 meters. Blooms March to May. Not observed during general and seasonal botanical surveys.
SSP5	CNDDB	<i>Calochortus clavatus</i> var. <i>gracilis</i>	slender mariposa lily	1B.2	None	A perennial bulbiferous herb found in shaded foothill canyons in chaparral, coastal scrub, and valley and foothill grassland at elevations between 320 and 1000 meters. Blooms March to June.
SSP6	CNDDB	<i>Calochortus fimbriatus</i>	late-flowered mariposa-lily	1B.2	None	A perennial bulbiferous herb found in dry, open coastal woodland and chaparral on serpentine at elevations between 270 and 1910 meters.
SSP7	CNDDB	<i>Calochortus plummerae</i>	Plummer's mariposa-lily	1B.2	Moderate	A perennial bulbiferous herb found in granitic, rocky habitats in chaparral, cismontane woodland, coastal scrub, lower montane coniferous forests, and valley and foothill grassland at elevations between 90 and 1600 meters. Blooms between May and July. Not observed during general and seasonal botanical surveys.
SSP8	CNDDB	<i>Centromadia parryi</i> ssp. <i>australis</i>	southern tarplant	1B.1	None	Annual herb found on the margins of marshes and swamps, and in vernal mesic valley and foothill grassland and vernal pools at elevations between 0 and 425 meters. Blooms from May to November.
SSP9	CNPS	<i>Chaenactis glabriuscula</i> var. <i>orcuttiana</i>	Orcutt's pincushion	1B.1	None	Annual herb found in sandy coastal bluff scrub and coastal dune habitats. Blooms from January to August.
SSP10	CNPS	<i>Chorizanthe parryi</i> var. <i>fernandina</i>	San Fernando Valley spineflower	FC, SE	None	Annual herb found on sandy soils in coastal scrub and valley and foothill grassland at elevations between 3 and 1035 meters. Blooms from April to July.
SSP11	CNPS	<i>Chorizanthe parryi</i> var. <i>parryi</i>	Parry's spineflower	1B.1	None	Annual herb found in sandy or rocky openings in chaparral, cismontane woodland, coastal scrub, and valley and foothill grassland at elevations between 40 and 1705 meters. Blooms from April to June.
SSP12	CNDDB	<i>Deinandra minthornii</i>	Santa Susana tarplant	SR, 1B.2	Low (suitable substrate not present)	Perennial deciduous shrub found in rocky sandstone habitats in chaparral and coastal scrub at elevations between 280 and 760 meters. Blooms from July to November.
SSP13	CNDDB	<i>Delphinium parryi</i> ssp. <i>blochmaniae</i>	dune larkspur	1B.2	None	Perennial herb found in maritime chaparral and coastal dunes at elevations between 0 and 200 meters. Blooms from April to May.
SSP14	CNDDB	<i>Didymodon norrisii</i>	Norris' beard moss	2.2	None	Moss found on rocks in intermittently mesic habitats in cismontane woodland and lower montane coniferous forest at elevations between 600 and 1973 meters.

Observed or Potentially Occurring Special Status Species						
SSP15	CNDDDB	<i>Dodecahema leptoceras</i>	slender-horned spineflower	FE, CE	None	Annual herb found on flood deposited terraces and washes in chaparral, cismontane woodland, and coastal scrub (alluvial fan sage scrub) at elevations between 200 and 760 meters. Blooms from April to June.
SSP16	CNDDDB	<i>Dudleya blochmaniae</i> ssp. <i>blochmaniae</i>	Blochman's dudleya	1B.1	None	Perennial herb found on open, rocky slopes; often in shallow clays over serpentine or in rocky areas with little soil; coastal bluff scrub, chaparral, coastal scrub, and valley and foothill grassland at elevations between 5 and 450 meters. Blooms from April to June.
SSP17	CNDDDB	<i>Dudleya cymosa</i> ssp. <i>agourensis</i>	Agoura Hills dudleya	FT, 1B.2	None	Perennial herb found in rocky, volcanic breccia in chaparral and cismontane woodland at elevations between 200 to 500 meters. Blooms from May to June.
SSP18	CNDDDB	<i>Dudleya cymosa</i> ssp. <i>marcescens</i>	marcescent dudleya	FT, SR, 1B.2	None	Perennial herb found on sheer rock surfaces and rocky volcanic cliffs in chaparral at elevations between 150 and 520 meters. Blooms from April to July.
SSP19	CNDDDB	<i>Dudleya cymosa</i> ssp. <i>ovatifolia</i>	Santa Monica dudleya	FT, 1B.2	None	Perennial herb found on volcanic or sedimentary, rocky substrates in chaparral and coastal scrub at elevations between 150 and 1675 meters. Blooms from March to June.
SSP21	CNDDDB	<i>Dudleya parva</i>	Conejo dudleya	FT, 1B.2	None	Found in rocky or gravelly areas on clay or volcanic substrates in coastal scrub and valley and foothill grassland habitats at elevations between 60 and 450 meters. Blooms from May to June.
SSP22	CNDDDB	<i>Dudleya verityi</i>	Verity's dudleya	FT, 1B.2	None	Perennial herb found on volcanic, rocky substrates in chaparral, cismontane woodland, and coastal scrub at elevations between 60 and 120 meters. Blooms from May to June.
SSP23	CNDDDB	<i>Eriogonum crocatum</i>	Conejo buckwheat	SR, 1B.2	Moderate	Perennial subshrub found in rocky or gravelly areas on clay or volcanic substrates in coastal scrub and valley and foothill grassland habitats at elevations between 60 and 450 meters. Blooms from April to July. Not observed during general and seasonal botanical surveys.
SSP24	CNDDDB	<i>Horkelia cuneata</i> var. <i>puberula</i>	mesa horkelia	1B.1	Low (suitable substrate not present)	Perennial herb found in sandy or gravelly areas in chaparral, cismontane woodland, coastal scrub at elevations between 70 and 810 meters. Blooms from February to July.
SSP25	CNDDDB	<i>Lupinus paynei</i>	Payne's bush lupine	1B.1	None	Perennial shrub found in sandy areas in coastal scrub, riparian scrub and valley and foothill grassland habitats at elevations between 220 and 450 meters. Blooms from April to July.
SSP26	CNDDDB	<i>Lasthenia glabrata</i> ssp. <i>coulteri</i>	Coulter's goldfields	1B.1	None	Annual herb found in coastal salt marshes and swamps, playas, and vernal pools at elevations between 1 and 1220 meters. Blooms from February to June.

Observed or Potentially Occurring Special Status Species						
SSP27	CNDDB	<i>Monardella hypoleuca</i> ssp. <i>hypoleuca</i>	white-veined monardella	1B.3	Moderate	Annual herb found in chaparral and shady oak woodland habitats at elevations between 0 and 1500 meters. Local in a variety of habitats. Blooms from June to August. Not observed during general and seasonal botanical surveys.
SSP28	CNDDB	<i>Monardella sinuata</i> ssp. <i>gerryi</i>	Gerry's curly-leaved monardella	1B.1	None	Annual herb found on sandy soils in chaparral, cismontane woodland, coastal dunes, and openings in coastal scrub at elevations between 50 and 245 meters. Blooms from April to June.
SSP29	CNDDB	<i>Navarretia ojaiensis</i>	Ojai navarretia	1B.1	Moderate	Annual herb found in valley and foothill grassland and openings in chaparral and coastal scrub at elevations between 275 and 620 meters. Blooms from May to July. Not observed during general and seasonal botanical surveys.
SSP30	CNDDB	<i>Nolina cismontana</i>	chaparral nolina	1B.2	None	Perennial evergreen shrub found on sandstone or gabbro substrates in chaparral and coastal scrub at elevations between 140 and 1275 meters. Blooms between May and July.
SSP31	CNDDB	<i>Orcuttia californica</i>	California Orcutt grass	FE, SE	None	Annual herb found in vernal pool at elevations between 15 and 660 meters. Blooms from April to August.
SSP32	CNDDB	<i>Pentachaeta lyonii</i>	Lyon's pentachaeta	FE, SE	Low (suitable substrate not present)	Annual herb found on rocky, clay substrates in coastal scrub, valley and foothill grassland, and openings in chaparral at elevations between 30 and 630 meters. Blooms between March and August.
SSP33	CNDDB	<i>Pseudognaphalium leucocephalum</i>	white rabbit-tobacco	2B.2	Low (suitable substrate not present)	Perennial herb found on sandy, gravelly substrate within chaparral, riparian woodland, cismontane woodland and coastal scrub at elevations between 0 and 2100 meters. Blooms between July and December.
SSP34	CNDDB	<i>Quercus dumosa</i>	Nuttall's scrub oak	1B.1	Low/Not Observed	Perennial shrub found on in sandy, clay loam associated with closed-cone coniferous forest, chaparral, and coastal scrub. Taxonomy in question because previously called <i>Q. dumosa</i> , but is now <i>Q. berberidifolia</i> .
SSP35	CNDDB	<i>Senecio aphanactis</i>	chaparral ragwort	2.2	None	Annual herb found on chaparral, cismontane woodland, and coastal scrub habitats at elevations between 15 and 800 meters, sometimes on alkaline soils. Blooms between January and April.
SSP36	CNDDB	<i>Thelypteris puberula</i> var. <i>sonorensis</i>	Sonoran maiden fern	2.2	None	Perennial rhizomatous herb found in meadows and seeps along streams and seepage areas at elevations between 50 and 610 meters.

Observed or Potentially Occurring Special Status Species						
SSP37	CNDDDB	<i>Tortula californica</i>	California screw moss	1B.1	Low (suitable substrate and habitat not present)	Moss found on sandy soil in chenopod scrub and valley and foothill grassland.
<b>WILDLIFE POTENTIAL FOR OCCURRENCE</b>						
<b>Invertebrates</b>						
SSP38	CNDDDB	<i>Danaus plexippus</i> pop. 1	Monarch-California overwintering population	SA	None	Winter roost sites extend along the coast from northern Mendocino to Baja California, Mexico. Roosts located in wind-protected tree groves ( <i>Eucalyptus</i> , Monterey Pine, Cypress), with nectar and water sources nearby.
<b>Fishes</b>						
SSP39	CNDDDB	<i>Catostomus santaanae</i>	Santa Ana sucker	FT, SSC	None	Endemic to Los Angeles Basin south coastal streams. Habitat generalists, but prefer sand-rubble-boulder bottoms, cool, clear water and algae.
SSP40	CNDDDB	<i>Gasterosteus aculeatus williamsoni</i>	unarmored three (3) spine stickleback	FE, SE	None	Weedy pools, backwaters, and among emergent vegetation at the stream edge in small southern California streams. Cools (<24C), clear water with abundant vegetation.
SSP41	CNDDDB	<i>Gila orcuttii</i>	arroyo chub	SSC	None	Native to streams from Malibu Creek to San Luis Rey River basin. Introduced into streams in Santa Clara, Ventura, Santa Ynez. Slow water stream sections with mud or sand bottoms. Feeds heavily on aquatic vegetation and associated invertebrates.
SSP42	CNDDDB	<i>Oncorhynchus mykiss irideus</i>	southern steelhead – southern California DPS	FE, SSC	None	Federal listing refers to populations from Santa Maria River south to southern extent of range (San Mateo Creek in San Diego Co.). Southern steelhead likely have greater physiological tolerances to warmer water and more variable conditions.
<b>Amphibians</b>						
SSP43	CNDDDB	<i>Rana draytonii</i>	California red-legged frog	FT, SSC	None	Lowlands and foothills in or near permanent source of deep water with dense, shrubby or emergent vegetation. Requires 11-20 weeks of permanent water for larval development. Must have access to aestivation habitat. Known historically from Lake Sherwood, but not seen in the Santa Monica Mountains (proper) since 1975 (De Lisle et al. 1986).
SSP44	CNDDDB	<i>Spea hammondi</i>	western spadefoot	SSC	None	Occurs primarily in grassland habitats but can be found in valley-foothill hardwood woodlands. Vernal pools are essential for breeding and egg-laying.

**Observed or Potentially Occurring Special Status Species**

<b>Reptiles</b>						
SSP45	CNDDDB	<i>Phrynosoma blainvillii</i>	coast horned lizard	SSC	Low (suitable habitat and prey not present)	Frequents a wide variety of habitats, most common in lowlands along sandy washes with scattered low bushes. Open areas for sunning, bushes for cover, patches of loose/sandy soil for burial, and abundant supply of ants and other insects.
SSP46	CNDDDB	<i>Anniella Spp.</i>	California legless lizard	SSC	Moderate	Sandy or loose loamy soils under sparse vegetation. Soil moisture is essential. Leaf litter under trees and bushes in sunny areas often indicate suitable habitat. Often can be found under surface objects such as rocks, boards, driftwood, and logs.
SSP47	CNDDDB	<i>Anniella stebbinsi</i>	Southern California legless lizard	SSC	Moderate	Sandy or loose loamy soils under sparse vegetation. Soil moisture is essential. Leaf litter under trees and bushes in sunny areas often indicate suitable habitat. Often can be found under surface objects such as rocks, boards, driftwood, and logs.
SSP48	CNDDDB	<i>Arizona elegans occidentalis</i>	California glossy snake	SSC	Low (suitable habitat and soil not present)	Patchily distributed from the eastern portion of San Francisco Bay, southern San Joaquin Valley, and the Coast, Transverse, and Peninsular ranges, south to Baja California. Generalist reported from a range of arid scrub, rocky washes, grasslands and chaparral generally, with loose or sandy soils. Appears to prefer microhabitats of open areas and areas with soil loose enough for easy burrowing.
SSP49	CNDDDB	<i>Aspidoscelis tigris stejnegeri</i>	coastal whiptail	SSC	Moderate	Found in deserts and semi-arid areas with sparse vegetation and open areas. Also found in woodland & riparian areas. Ground may be firm soil, sandy, or rocky. Presence of leaf litter important.
SSP50	CNDDDB	<i>Diadophis punctatus modestus</i>	San Bernardino ringneck snake	SSC	None	Most common in open, relatively rocky areas. Often in somewhat moist microhabitats near intermittent streams. Avoids moving through open or barren areas by restricting movements to areas of surface litter or herbaceous vegetation.
SSP51	CNDDDB	<i>Emys marmorata</i>	western pond turtle	SSC	None	A thoroughly aquatic turtle of ponds, marshes, rivers, streams and irrigation ditches, usually with aquatic vegetation. Need basking sites and suitable (sandy banks or grassy open fields) upland habitat up to 0.5 km from water for egg-laying.



Observed or Potentially Occurring Special Status Species						
SSP52	CNDDB	<i>Lampropeltis zonata (pulchra)</i>	California mountain kingsnake (San Diego population)	SSC, VC LIS	Low (preferred habitat not present)	Prefers canyon bottoms, but wanders to adjacent coastal sage, valley oak savanna, or southern oak woodland. Reported from Lower Malibu Canyon, Triunfo Canyon, etc. (De Lisle et al. 1986) and other locations in the Santa Monica Mountains (Jennings and Hayes 1994).
SSP53	CNDDB	<i>Thamnophis hammondi</i>	two-striped garter snake	SSC	None	Coastal California from vicinity of Salinas to northwest Baja California. From sea to about 7,000 feet elevation. Highly aquatic, found in or near permanent fresh water. Often along streams with rocky beds and riparian growth.
<b>Birds</b>						
SSP54	CNDDB	<i>Agelaius tricolor</i>	tricolored blackbird	SSC	None	Local resident in coastal district, common where it occurs (Garrett and Dunn 1981). Reported from Lake Sherwood (CDFW 2012).
SSP55	CNDDB	<i>Aquila chrysaetos</i>	golden eagle	SFP	None	Rolling foothills, mountain areas, sage-juniper flats, and desert. Cliff-walled canyons provide nesting habitat in most parts of range; also, large trees in open areas.
SSP56	CNDDB	<i>Athene cunicularia</i>	burrowing owl	SSC	None	Open, dry annual or perennial grasslands, deserts, and scrublands characterized by low-growing vegetation. Subterranean nester, dependent upon burrowing mammals, most notably, the California ground squirrel. Now extirpated from most of the coastal slope of the Los Angeles region (Garrett et al 2006). Now occurs mainly as a transient and winter visitor to coastal southern California.
SSP57	CNDDB	<i>Chaetura vauxi</i>	Vaux's swift	SSC	None	Common migrant from mid-April to mid-May, and again from late August to early October; small flocks sometimes winter in coastal lowlands, but absent from the Los Angeles region from early June to early August (Garrett et al 2006).
SSP58	CNDDB	<i>Coccyzus americanus occidentalis</i>	Western yellow-billed cuckoo	FT/SE	None	Riparian forest nester along the broad, lower flood-bottoms of larger river systems. Nests in riparian jungles of willow, often mixed with cottonwoods, w/ lower story of blackberry, nettles, or wild grape
SSP59	CNDDB	<i>Elanus leucurus</i>	white-tailed kite	SFP	Moderate	Uncommon resident in open grasslands, valley oak savannas, marshes, and agricultural areas throughout the lowlands of the Los Angeles region (Garrett et al. 2006).
SSP60	CNDDB	<i>Empidonax traillii extimus</i>	southwestern willow flycatcher	FE/SE	None	Riparian woodlands in southern California.

Observed or Potentially Occurring Special Status Species						
SSP61	CNDDB	<i>Lanius ludovicianus</i>	loggerhead shrike	SSC	Low (preferred habitat not present)	Very rare in open areas on the coastal slope of southern California; rare to uncommon in migration and winter. Only a few pairs of this once-abundant predator are still found in our coastal lowlands; small numbers of migrants augment this population from July to March in the Los Angeles region (Garrett et al. 2006). Prefers open habitats with scattered shrubs, trees, posts, fences, utility lines, or other perches.
SSP62	CNDDB	<i>Polioptila californica californica</i>	coastal California gnatcatcher	FT, SSC	Low (preferred high quality habitat not present)	Obligate, permanent resident of low, Coastal Sage Scrub (CSS) in arid washes, on mesa and slopes, with California Sagebrush ( <i>Artemisia californica</i> ) as a dominant, below 2500 feet in southern California. Not all areas classified as CSS are occupied.
SSP61	CNDDB	<i>Riparia riparia</i>	bank swallow	ST	None	Very uncommon spring transient and rare fall transient, and casual winter transient along the coast, formerly a fairly common summer resident, now virtually extirpated as a breeder in the region (Garrett and Dunn 1981).
SSP63	CNDDB	<i>Vireo bellii pusillus</i>	least Bell's vireo	FE, SE	None	Summer resident of southern California in low riparian in vicinity of water or in dry river bottoms; below 2000 ft. Nests placed along margins of bushes or on twigs projecting into pathways, usually willow or mulefat.
SSP64	CNDDB	<i>Asio otus</i>	long-eared owl	SSC	Low (preferred habitat not present)	Very rare transient and winter visitant along the coast (Garrett and Dunn 1981). Riparian habitat required; also uses live oak thickets and other dense stands of trees (Zeiner et al. 1990b)
SSP65	CNDDB	<i>Dendroica petechia brewsteri</i>	yellow warbler	SSC	None	Common transient throughout region, and uncommon to locally common summer resident in lowland and foothill riparian woodlands, remaining rarely but regularly in lowlands in winter. Breed in tall riparian growth of cottonwoods, alders, willows, etc. (Garrett and Dunn 1981).
SSP66	CNDDB	<i>Icteria virens</i>	yellow-breasted chat	SSC	None	Uncommon and local summer resident in riparian thickets and brushy tangles of the lowlands and lower portions of foothill canyons (Garrett and Dunn 1981).
<b>Mammals</b>						
SSP67	CNDDB	<i>Neotoma lepida intermedia</i>	San Diego desert woodrat	SSC	Moderate	Lives in high desert areas, chaparral, sagebrush flats, and Pinyon-Juniper Woodland.
SSP68	CNDDB	<i>Taxidea taxus</i>	American badger	SSC	None	Most abundant in drier open stages of most shrub, forest, and herbaceous habitats, with friable soils. Needs sufficient food, friable soils and open, uncultivated ground. Preys on burrowing rodents. Digs burrows.

Observed or Potentially Occurring Special Status Species						
SSP69	CNDDDB	<i>Antrozous pallidus</i>	pallid bat	SSC	Low (roosting habitat not present)	Deserts, grasslands, shrublands, woodlands and forests. Most common in open, dry habitats with rocky areas for roosting. Roosts must protect bats from high temperatures. Very sensitive to disturbance of roosting sites.
SSP70	CNDDDB	<i>Euderma maculatum</i>	spotted bat	SSC	None	Mostly in foothills and mountains and desert regions of southern California, in a range of habitats from desert and grasslands through mixed conifer forest. Range in California includes Santa Monica Mountains (Zeiner et al. 1990a). Occupies a wide variety of habitats from arid deserts and grasslands through mixed conifer forests. Feeds over water and along washes. feeds almost entirely on moths. Needs rock crevices in cliffs or caves for roosting.
SSP71	CNDDDB	<i>Eumops perotis californicus</i>	western mastiff bat	SSC	None	Many open, semi-arid to arid habitats, including conifer and deciduous woodlands, coastal scrub, grasslands, chaparral etc. Roosts in crevices in cliff faces, high buildings, trees and tunnels.
SSP72	CNDDDB	<i>Lasiurus cinereus</i>	hoary bat	VC LIS	None	Prefers open habitats or habitat mosaics, with access to trees for cover and open areas or habitat edges for feeding. Roosts in dense foliage of medium to large trees. Feeds primarily on moths. Requires water.
SSP73	CNDDDB	<i>Macrotus californicus</i>	California leaf-nosed bat	SSC	None	Found in desert riparian, desert wash, desert scrub, desert succulent scrub, alkali scrub and palm oasis habitats. Needs rocky, rugged terrain with mines or caves for roosting. Reported range does not include the Santa Monica Mountains (Zeiner et al. 1990a).
SSP74	CNDDDB	<i>Myotis cilolabrum</i>	Western small-footed myotis	SSC	None	Occurs in a wide variety of habitats, especially woodland and brush lands near water from sea level to 8900 feet. Range in California includes Santa Monica Mountains (Zeiner et al. 1990a).

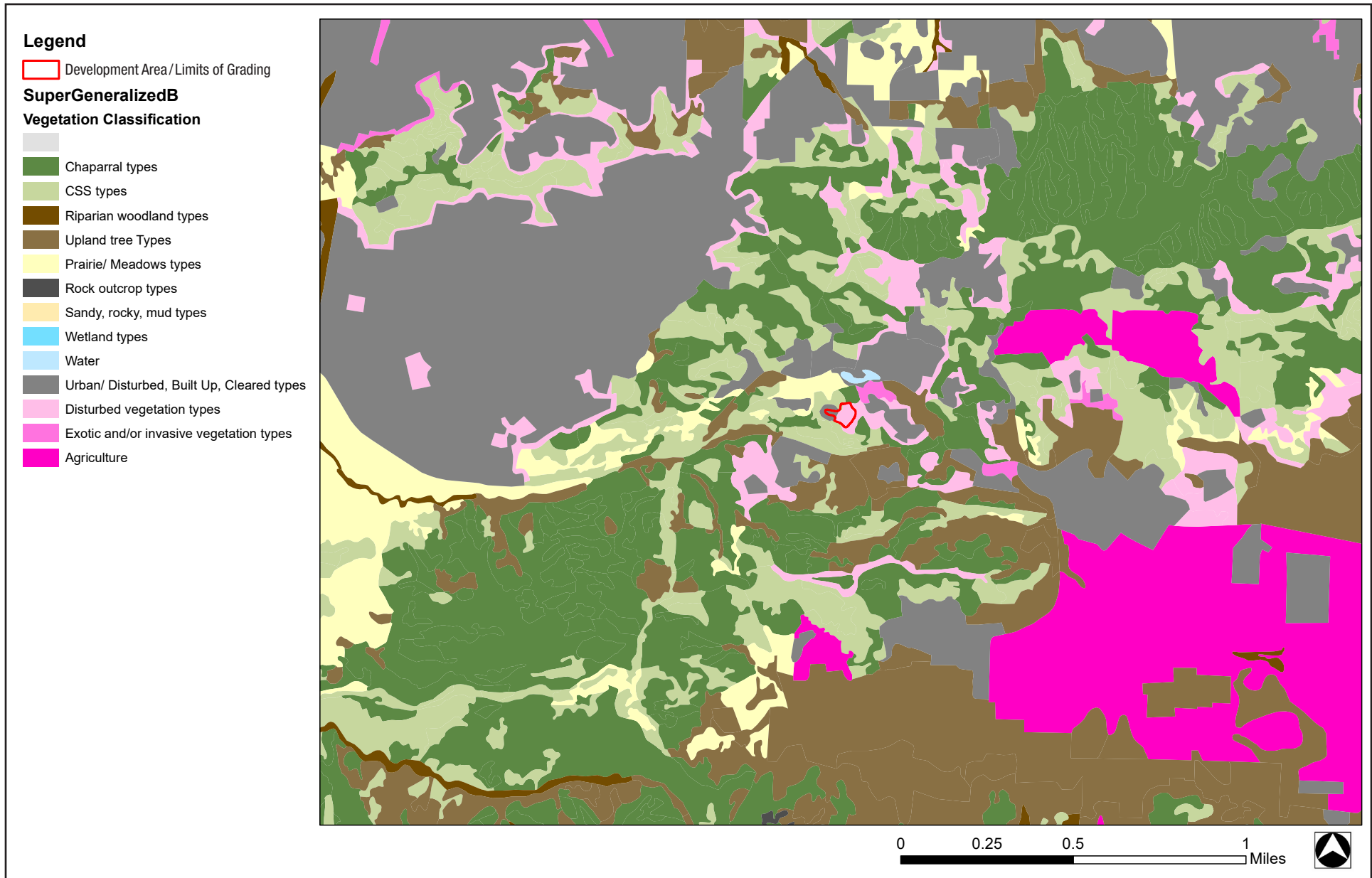
Special Status Species				
Map Key	Adequate Habitat Onsite	Adequate Habitat Size (7)	Acreage Impacted	Comments (8)
SSP1	No	No	0	
SSP2	No	No	0	
SSP3	No	No	0	Suitable habitat present onsite; Not observed during general and seasonal botanical surveys.
SSP4	Yes	Yes	N/A	Suitable habitat present onsite; Not observed during general and seasonal botanical surveys.
SSP5	No	No	0	
SSP6	No	No	0	

Special Status Species				
SSP7	Yes	Yes	N/A	Suitable habitat present onsite; Not observed during general and seasonal botanical surveys.
SSP8	No	No	0	
SSP9	No	No	0	
SSP10	No	No	0	
SSP11	No	No	0	
SSP12	No	No	0	
SSP13	No	No	0	
SSP14	No	No	0	
SSP15	No	No	0	
SSP16	No	No	0	
SSP17	No	No	0	
SSP18	No	No	0	
SSP19	No	No	0	
SSP20	No	No	0	
SSP21	No	No	0	
SSP22	No	No	0	
SSP23	Yes	Yes	N/A	Suitable habitat present onsite; Not observed during general and seasonal botanical surveys.
SSP24	No	No	0	
SSP25	No	No	0	
SSP26	No	No	0	
SSP27	Yes	Yes	N/A	Suitable habitat present onsite; Not observed during general and seasonal botanical surveys.
SSP28	No	No	0	
SSP29	Yes	Yes	N/A	Suitable habitat present onsite; Not observed during general and seasonal botanical surveys.
SSP30	No	No	0	
SSP31	No	No	0	
SSP32	No	No	0	
SSP33	No	No	0	
SSP34	No	No	0	
SSP35	No	No	0	
SSP36	No	No	0	
SSP37	No	No	0	
SSP38	No	No	0	
SSP39	No	No	0	
SSP40	No	No	0	
SSP41	No	No	0	
SSP42	No	No	0	
SSP43	No	No	0	
SSP44	No	No	0	
SSP45	No	No	0	
SSP46	Yes	No	0	
SSP47	Yes	No	0	
SSP48	Yes	No	0	
SSP49	Yes	No	0	
SSP50	No	No	0	
SSP51	No	No	0	
SSP52	No	No	0	
SSP53	No	No	0	
SSP54	No	No	0	
SSP55	No	No	0	
SSP56	No	No	0	
SSP57	No	No	0	
SSP58	No	No	0	

Special Status Species				
SSP59	No	No	0	Moderate potential to forage over the survey areas, but not nesting.
SSP60	No	No	0	
SSP61	No	No	0	
SSP62	Yes	No	0	<p><b>Coastal California Gnatcatchers (CAGN)</b> are closely tied to Coastal Sage Scrub (CSS) for reproduction, though they may also occur in other nearby plant communities, during the non-breeding season (Atwood, 1993). CAGN are nonmigratory, territorial birds that generally disperse very short distances through contiguous, undisturbed semi-open sage scrub with California sagebrush (<i>Artemisia californica</i>) as a dominant or co-dominant species (Atwood and Bontrager 2001).</p> <p>CAGN were historically known from Ventura county and were thought to have been extirpated from most of the County. Through the 1990s, CAGN's were repeatedly referred to as extirpated in Ventura County (Attwood and Bontrager 2001), and later thought to persist only at the point of their rediscovery in Moorpark (USFWS 2003, 2007). Subsequently, additional pairs were located in the surrounding hills that form the border between Moorpark and Simi Valley. All recent records appear to be centered in three roughly contiguous areas: Simi Valley west to Moorpark, the Montclef ridge area northwest of Thousand oaks, and the extreme western base of the Santa Monica Mountains near the Oxnard plain (Cooper et. al. 2017).</p> <p>The proposed project is not within the three known CAGN breeding areas in Ventura County listed above. SA1 is comprised of chaparral habitat interspersed with some CSS where California sagebrush is dominant or co-dominant (0.13 acre within Development Area/Limits of Grading and 1.81 acres within the 100 foot fuel-modification zone). Vegetation within areas adjacent to the project area were assessed by analyzing vegetation community data (NPS, 2017) within a one mile radius of SA1 and doing a drive through to confirm the general presence/absence of these communities. <b>Figure 5A</b> depicts the areas with CSS within a one mile radius of the project. Figure 5B depicts areas within this CSS dominated by California sagebrush that could be potentially suitable for CAGN breeding. As depicted in <b>Figure 5B</b> very few small scattered patches of CSS dominated or co-dominated by California Sagebrush are present within a one mile radius of SA1. Additionally, CAGN are not known from Thousand Oaks, south of the 101 freeway. The closest documented CNDDDB occurrence is about 6 miles north- east of the project site. Hence the occurrence potential for the species within SA1 is assessed as low.</p>
SSP63	No	No	0	
SSP64	No	No	0	
SSP65	No	No	0	
SSP66	No	No	0	
SSP67	Yes	No	0	
SSP68	No	No	0	
SSP69	No	No	0	
SSP70	No	No	0	
SSP71	No	No	0	
SSP72	No	No	0	

### Special Status Species

- FE ..... Federal Endangered
- FT ..... Federal Threatened
- FC ..... Federal Candidate Species
- FSC ..... Federal Species of Concern
- SFP ..... California Fully Protected Species
- SE ..... California Endangered
- ST ..... California Threatened
- SR ..... California Rare
- SSC ..... California Species of Special Concern
- SA ..... California Special Animal
  
- CDFW/NatureServe Rank
  - G1 or S1 - Critically Imperiled Globally or Subnationally (state)
  - G2 or S2 - Imperiled Globally or Subnationally (state)
  - G3 or S3 - Vulnerable to extirpation or extinction Globally or Subnationally (state)
- California Rare Plant Rank (RPR)
  - RPR 1A - California Native Plant Society/CDFW listed as presumed to be extinct
  - RPR 1B - California Native Plant Society/CDFW listed as rare or endangered in California and elsewhere
  - RPR 2 - California Native Plant Society/CDFW listed as rare or endangered in California but more common elsewhere
  - RPR 3 - California Native Plant Society/CDFW listed as in need of more information.
  - RPR 4 - California Native Plant Society/CDFW listed as of limited distribution or infrequent throughout a broader area in California.
- LIS ..... Locally Important Species



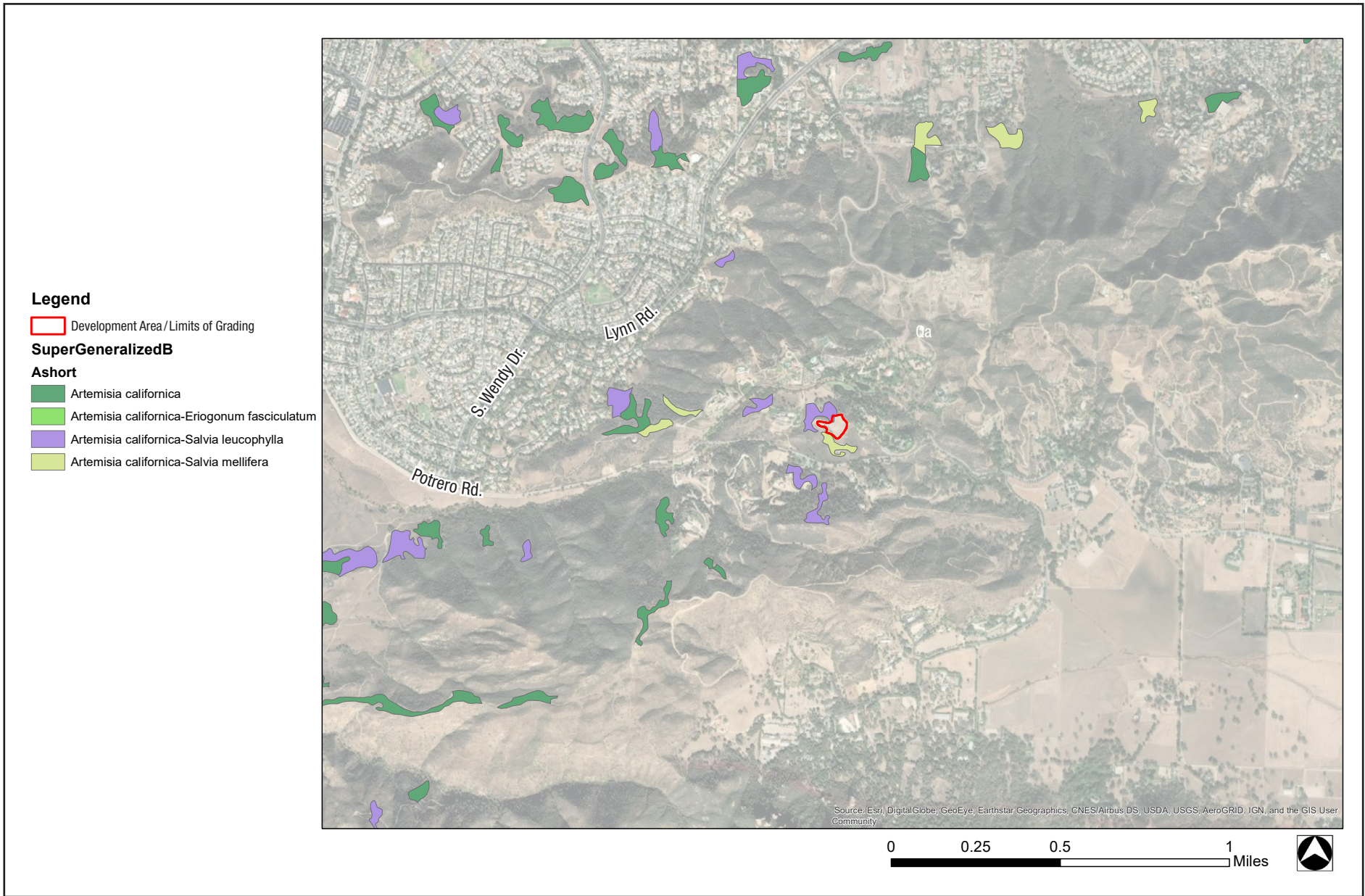
Source: SMMNRA Generalized Vegetation Data (NPS), 2007.

2551 WHITE STALLION ROAD PROJECT – ISBA

# Coastal California Gnatcatcher General Habitat Suitability (Coastal Sage Scrub/CSS) within Project Vicinity

envicom

FIGURE 5A



Source: SMMNRA Generalized Vegetation Data (NPS), 2007.



### Nesting Bird Summary

There is potential for nesting birds protected under the federal Migratory Bird Treaty Act to nest in trees, shrubs, and dense herbaceous vegetation within SA1. The potential for nesting varies with the many species involved. It is expected that some birds would nest in the project fuel modification areas adjacent to the grading footprint. Nesting is generally not expected within the grading footprint, due to the absence of dense shrubby vegetation.

### 3.3 Wildlife Movement and Connectivity

*(Initial Study Checklist D)*

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Wildlife movement or connectivity features, or evidence thereof, were not found within the survey area(s).

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#### Connectivity Features

The survey area and vicinity are not of any particular importance to terrestrial wildlife for movement, and there are no documented corridors and landscape linkages within the survey area or immediate vicinity. Also, there are no road crossing structures and no barriers or impediments to movement at or in the vicinity of the project site. Residential development and residential roads in the surrounding area are an impediment to movement between the scattered natural chaparral and coastal scrub natural habitats.

Connectivity Features							
Map Key (1)	Type of Connectivity Feature (2)	Description (3)	Species Observed (4)	Evidence (5)	Functional Group/Species Expected (6)	Habitats Connected (7)	Comments
N/A							

Roadway Crossing Structures						
Map Key (1)	Type of Crossing Structure (2)	Passable? (3)	Functional Group/Species Expected (4)	Species Observed (5)	Evidence	Comments
N/A						

Barriers			
Map Key (1)	Barrier Type (2)	Species/Functional Groups Affected (3)	Comments (4)
N/A			

## Section 4: Recommended Impact Assessment & Mitigation

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### 4.1 Sufficiency of Biological Data

**Additional biology-related surveys or permits needed prior to issuance of land use permit:**

None.

## 4.2 Impacts and Mitigation

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### A. Species

Project: PS-M; Cumulative: LS

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#### Special-Status Species

*Significance Finding – Project Impacts: Less than Significant with mitigation*

*Significance Finding – Cumulative Impacts: Less than Significant*

#### *Plants*

Many of the special-status plant species that occur in the region can be confirmed absent from the site due to lack of suitable habitats or because the site is clearly outside of the species' known range. Other species for which the site contains or may contain suitable habitat are unlikely to occur due to various factors.

Six (6) special status plant species, Malibu baccharis, round-leaved filaree, Plummer's mariposa-lily Conejo buckwheat, white-veined monardella, and Ojai Navarretia have a moderate potential for occurrence in the project's fuel modification zone. *No special-status plant species considered to be rare, threatened, or endangered have been reported from the site nor were found within SA1 during the general biological surveys conducted in February 2021 nor during the Spring and Summer season botanical surveys conducted in April and June 2021.*

#### *Wildlife*

One special-status bird, the white-tailed kite, may forage at the site with moderate probability, but is not expected to nest would not be impacted by the project. No other special-status birds known from a five-mile radius of the project have moderate or high potential to occur within the project construction footprint.

Most of the special-status wildlife species that may potentially occur at the site are capable of escaping harm during project development, including grading or fuel modification, while a few are vulnerable to direct impacts, including injury and mortality. In this case, the special-status species that could be directly impacted include potentially occurring land dwelling animals, that include two (2) species of legless lizards. Other species that are capable of escaping harm include California glossy snake, coastal whiptail and the San Diego desert woodrat. Though some bats could forage at the project site, no habitat suitable for roosting for bats was noted onsite.

Project impacts if any, to special-status wildlife species would be less than significant, as the project would not reduce a special-status species' population. Only a very small number of individuals would potentially be affected (with low probability), and the habitats at the site are not of particular importance to the survival or life cycle of a special-status species.

## **MM-1: Pre-Construction Sensitive Wildlife Survey and Impact Avoidance.**

Not more than two (2) weeks prior to ground disturbance and fuel modification activities, a preconstruction survey for sensitive wildlife species shall be conducted by a qualified biologist satisfactory to the County of Ventura and submitted to prior to beginning construction and/or commencement of any disturbance. If a sensitive species is found, avoidance is the preferred mitigation option. If avoidance is not feasible, the species, shall be captured, when possible, and transferred to adjacent appropriate habitat within the open space on-site or directly adjacent to the project site, at least 300 feet from the disturbance area, or an adequate distance to account for indirect impacts as determined by the approved biologist. This shall be performed only by a biologist approved by the County. The CDFW and the County shall be formally notified and consulted regarding the presence of this species on-site. If a federally listed species is found prior to grading of the site, the USFWS shall also be notified and appropriate “take” permits acquired prior to any relocation activity and commencement of any ground disturbing activities.

### Nesting Birds

*Significance Finding – Project Impacts: Potentially Significant, but Mitigable*

*Significance Finding – Cumulative Impacts: Less than Significant*

Nesting birds may potentially occur within native habitats outside of the grading footprint within the project fuel modification zone and adjacent to the impact area in trees, shrubs, and relatively dense herbaceous vegetation. If construction of the proposed project occurs within the nesting bird season (February 1 through August 31), the project could potentially impact nesting birds protected under the Migratory Bird Treaty Act (MBTA) and California Department of Fish and Game Code. Nesting birds present within the grading footprint during grading activities would be directly impacted by the project. No special status bird species have potential to nest within 300 feet of the grading footprint, though many non-special-status species that may nest in the vicinity of the project site, may potentially be disturbed by noise, human presence, or construction activities associated with the project, which could result in nesting failure and the loss of eggs or nestlings.

The Federal Migratory Bird Treaty Act (MBTA) and the California Department of Fish and Game (CDFG) Code (3503, 3503.5, 3511, 3513 and 3800) protect most native birds. In addition, the federal and state endangered species acts protect some bird species listed as threatened or endangered. Project-related impacts to birds protected by these regulations would occur during the breeding season, because unlike adult birds, eggs and chicks are unable to escape impacts.

CDFW Code 3513 upholds the MBTA by prohibiting any take or possession of birds that are designated by the MBTA as migratory nongame birds except as allowed by federal rules and regulations promulgated pursuant to the MBTA. In addition, there are CDFG Codes (3503, 3503.5, 3511, and 3800), which further protect nesting birds and their parts, including passerine birds, raptors, and state “fully protected” birds.

Through implementation of mitigation measure MM-1, potential impacts to birds nesting within or adjacent to the proposed impact area would be reduced to a less than significant level. As

project-level impacts to nesting birds would be mitigated by MM-1 and MM-2, cumulative impacts to nesting birds are also less than significant.

### **MM-2: Nesting Bird Surveys.**

No earlier than 14 days prior to ground or vegetation disturbing activities that would occur during the nesting/breeding season of native bird species potentially nesting on the site (typically February 1 through August 31), a qualified biologist shall perform two (2) field surveys to determine if active nests of any bird species protected by the state or federal Endangered Species Acts, Migratory Bird Treaty Act, and/or the California Fish and Game Code Sections 3503, 3503.5, or 3511 are present in the disturbance zone or within 300 feet of the disturbance zone for songbirds or within 500 feet of the disturbance zone for raptors and special-status bird species. The second nesting bird survey shall be conducted within three (3) days of the start of ground or vegetation disturbing activities. A letter report summarizing the methods and results of the surveys shall be submitted to the County of Ventura Planning Department prior to commencement of project activities. In the event that an active nest is found within the Study Area, site preparation, construction, and fuel modification activities shall stop until consultation with the County of Ventura Planning Department, and when applicable CDFW and USFWS, is conducted and an appropriate setback buffer can be established. The buffer shall be demarcated and project activities within the buffer shall be postponed or halted, at the discretion of the biologist, until the nest is vacated, and juveniles have fledged, as determined by the biologist, and there is no evidence of a second attempt at nesting.

### **MM-3: Qualified Biologist for Construction Monitoring**

**Purpose.** To minimize and avoid impacts to sensitive habitats (coast live oak woodland, Bush monkeyflower scrub and Blue elderberry scrub) within the project fuel modification zone, as well as impacts to potentially present sensitive wildlife (California legless lizard, Southern California legless lizard, California glossy snake, coastal whiptail and the San Diego desert woodrat) during construction.

**Requirement:** The Permittee shall retain the services of a County-approved qualified biologist to monitor the clearing and grubbing phase of ground-disturbance activities, and vegetation thinning fuel modification activities that may impact sensitive habitats and potentially present sensitive wildlife (California legless lizard, Southern California legless lizard, California glossy snake, coastal whiptail and the San Diego desert woodrat). Additionally, a wildlife exclusion fence will be placed outside the project area to avoid any impacts to special status species during grading and grubbing.

**Documentation:** The Permittee shall provide to the Planning Division name of a designated County-approved biologist who will be present on-site during the grading, grubbing, fence installation and fuel modification phase, that may impact the sensitive and locally important habitats present within SA1, special status plants if found and potentially present and special status wildlife (California legless lizard, Southern California legless lizard, California glossy snake, coastal whiptail and the San Diego desert woodrat). The Applicant shall specify (1) when the County-approved biologist must monitor the Project Site; and (2) the disturbance areas that the County-approved biologist will monitor. The Permittee shall submit a written

document to the Planning Division within 14 days of the completion of ground-disturbance activities, notifying the Planning Division of the results of the monitoring.

**Timing:** The Permittee shall submit the name of a County-approved biologist to the Planning Division for review and approval, prior to any ground disturbance. The Permittee shall submit the written document that sets forth the results of the monitoring to the Planning Division, within 14 days of the completion of ground-disturbance activities.

**Monitoring and Reporting:** The Permittee submit weekly monitoring reports during the grading, grubbing, fence installation and fuel modification phase and a post construction monitoring report after completion of all ground disturbing and fuel-modification activities.

#### **MM-4 Protection Measures During Construction Activities.**

**Purpose:** The following measure shall be implemented prior to ground disturbing activities to avoid impacts to native habitats adjacent to or in the vicinity of the limits of disturbance, as well as special-status flora and fauna that could potentially be associated with these habitats.

#### **Requirements:**

a) Prior to all ground disturbing activities, the Applicant shall demarcate the project limits of disturbance with temporary construction fencing to prevent encroachment of project activities into adjacent native habitats and to dissuade wildlife from entering the construction area. The fencing shall be marked with highly visible flagging. The Planning Division shall verify the fencing has been correctly installed prior to the start of ground disturbance or construction activities. Additional fencing may also be required around oak trees whose tree protection zones are within 20 feet of construction activities. The temporary fencing shall be routinely inspected and maintained in functional condition for the duration of project construction.

b) To reduce impacts to wildlife, the applicant will submit a construction plan that includes the following:

1) All construction and maintenance activities shall operate in accordance with the Construction Noise Condition which limits construction activities, except in an emergency, to the hours of 7:00 a.m. to 7:00 p.m.

2) No nighttime construction activities or lighting is permitted.

3) No pets shall be allowed on the Project Site during construction.

4) All temporary and permanent food-related trash shall be disposed of in closed animal-proof containers.

5) During construction, trenches shall be filled within the same day or covered.

6) Construction equipment shall be cleaned and decontaminated of weeds and soils prior to entering the Project Site to reduce the potential for the spread and introduction of invasive and noxious weeds.

**Documentation:** Weekly monitoring reports shall be submitted to the Planning Division that includes a discussion of compliance with the measures listed above during clearing, grubbing, fence installation and vegetation thinning for fuel modification phase. If inconsistencies with

measures are observed the property owner shall cease operations and assure the preservation of the area in which the biological resources are found; notify the County Planner in writing, within three days of the discovery; obtain the County Planner's written concurrence with the recommended disposition of the site before resuming construction; and implement the agreed upon recommendations. The Planning Division has the authority to inspect the property during the monitoring phase of the Project to ensure that the measures are implemented as required.

**Timing:** These measures shall be implemented prior to and during all ground disturbing activities throughout all construction phases of the project. Construction fencing shall be installed prior to the issuance of grading permit.

**Monitoring and Reporting:** The Planning Division reviews the weekly monitoring reports for adequacy of implementing measures listed above. The Planning Division has the authority to inspect the Project Site to ensure that the permittee implements these measures as required.

### Protected Trees

*Significance Finding – Project Impacts: Potentially Significant but less than significant after mitigation*

*Significance Finding – Cumulative Impacts: Less than Significant*

Project grading would not encroach into the canopies or root protection zones of County protected trees, present outside of the limits of grading but within a the 100-foot fuel-modification zone.

One (1) Italian Stone Pine tree more than 100" DBH. will be removed as a consequence of the project. A tree report drafted by a certified arborist with details of the findings and valuation of these trees has been submitted to the County. The Ventura County Tree Protection Ordinance allows removal of five (5) protected trees (only three (3) of which can be oaks or sycamores; none of which can be heritage or historical trees) through a ministerial permit process. Removal of more/other than this may trigger a discretionary tree permit. Impacts to protected trees are generally mitigated by planting and nurturing replacement trees.

One cluster of approximately seven (7) coast live oaks (T1) and one cluster of about 4-5 blue elderberry trees (T3) are present just outside the limits of grading, but within a 100 foot buffer/project fuel modification zone. Another county ordinance-sized coast live oak (T5) tree was noted, just adjacent to the grading footprint. Direct impacts to these trees will be avoided to the maximum extent feasible while maintaining compliance with the County Fire Code. Impacts include potential minor encroachment to root protection zone and removal of a few limbs for fire code fuel- modification compliance.

### **MM-5: Mitigation for Impacts to Protected Trees.**

Three (3) coast live Oak trees are scheduled to be planted and nurtured to mitigate for the removal of one (1) non-native Italian Stone Pine Heritage tree. Planting of three Oak trees to mitigate for one non-native tree will lead to improvement in habitat quality. Though this

mitigation is not an exact replacement of the same species of tree, Section 8107-25.10 of the Ventura County Zoning Ordinance Code (Tree Protection Regulations) requires that tree replacement to be on a “ cross-sectional” basis. These guidelines require that the aggregate areas of the cross sections of the replacement trees must be equal to or greater than the cross sectional areas of the altered elements of a tree (e.g., trunks, limbs, or roots). Mitigation planting for trees shall comply with County of Ventura guidelines for mitigation for removal of Protected Trees.

Based on the grading plan provided by the Applicant, grading would not encroach into the canopies, or the root protection zones of the (T1)-coast live Oak cluster, (T3)-blue elderberry cluster and T-5- coast live Oak tree all present just outside the limits of grading. Construction vehicles shall avoid impacts to these trees. Protective fencing will be placed to avoid impacts to all protected trees located adjacent to the grading footprint. If encroachment within the protected zone is required by construction equipment, an arborist will be present onsite to monitor the tree in question.

Minimal impacts during project construction are expected since an exclusion fence will be installed on-site before construction to prevent debris or spoils from being placed on the slope below the building pad in the tree protection zone.

Project impacts to protected trees would significant and reduced to less than significant after mitigation. Cumulative impacts to protected trees would be less than significant.

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## **B. Ecological Communities**

Project: PS-M; Cumulative: LS

### Sensitive Plant Communities

*Significance Finding – Project Impacts: Potentially Significant but less than significant after mitigation*

*Significance Finding – Cumulative Impacts: Less than Significant*

Based on the conservation status rankings from the CDFW List of Vegetation Alliances and Associations (September 2020), two (2) of the plant communities identified within the survey areas is rare or sensitive. Project Fuel modification would lead to impacts to two (2) natural communities of special concern; 0.33 acre of Bush monkeyflower scrub and 0.05 acre of Blue elderberry scrub. These communities are scattered and are comprised of a very small acreage. Project fuel modification will not lead to complete removal of the shrubs within these communities though their habitat structure will change as the shrubs are pruned. The project would result in significant impacts to these Sensitive Plant communities. Implementation of Mitigation Measures MM-3 and MM-6 would reduce impacts to natural communities of special concern to less than significant. Cumulative impacts to sensitive plant communities are less than significant.

### **MM-6 Sensitive Plant Community Restoration – Scrub Habitats**

**Purpose:** To compensate for the loss of 0.33 acre of Bush monkeyflower scrub and 0.05 acre of Blue elderberry scrub, both sensitive plant communities/ natural communities of special concern.

**Requirement:** Project fuel modification impacts to Bush monkeyflower scrub and Blue elderberry scrub, shall be mitigated at a 2:1 ratio in an area to be preserved as permanent open space. Compensatory mitigation shall be accomplished by one or a combination of the following methods and shall be based on the following preference hierarchy:

- 1) On-site restoration of in-kind habitat
- 2) Off-site restoration of in-kind habitat

**Documentation:** The applicant shall prepare a Habitat Mitigation Plan if compensatory mitigation is to be accomplished by on-site or off-site restoration. The Habitat Mitigation Plan shall be developed by a qualified biologist, restoration ecologist, or resource specialist, and approved by the Planning Division prior to issuance of the Zoning Clearance for Project grading. The plan shall at a minimum include:

- Description of the project/impact and mitigation sites
- Specific objectives
- Performance standards
- Plant palettes
- Implementation plan
- Maintenance activities
- Monitoring plan
- Contingency measures

Restoration should be implemented only where suitable conditions exist to support viable in-kind habitats. Disturbed habitats within a proposed Open Space Preservation Area may provide a suitable opportunity for on-site restoration. Off-site restoration shall be in the vicinity of the Project Site or if off-site restoration in the vicinity of the Project Site is infeasible, off-site restoration shall be conducted within the same watershed.

The plant palettes shall include dominant species (Bush monkeyflower, Blue elderberry) as well as a diversity of appropriate native species that occur within these plant communities at the site.

Performance standards of the restoration project shall at a minimum be evaluated based on percent cover of planted native species as well as control of invasive plant species within the restoration area. Success criteria is generally considered if met for five (5) years before the restoration is considered complete. However, this timeline may be adapted if success criteria is met earlier, anytime past the three (3) year mark after initiation of mitigation planting. This will be based on the discretion of the project restoration biologist and the County Planning department.

The performance standards for the Habitat Mitigation Plan shall at a minimum include the following:

- Within five (5) years after introducing the native plants to the mitigation site, the acreage of restored Bush monkeyflower scrub and Blue elderberry scrub, shall be no less than



two times the acreage lost to project construction. Adaptive Management strategies would be applied in case of two consecutive drought years.

- Within three years after introducing the native plants to the mitigation site, the absolute cover of native species shall be no less than 60% within the restoration area.
- Non-native species in the treated area shall be less than 15% relative cover by the end of the third year of treatment and less than 10% relative cover by the end of the fifth year of treatment; and,
- Restoration will be considered successful after the performance standards have been met for a period of at least one (1) year without any maintenance or remediation activities other than invasive species control.

**Timing:** Prior to issuance of the grading permit, the applicant must prepare and submit a Habitat Mitigation and Monitoring Plan to the Planning Division that addresses impacts to the Bush monkeyflower scrub and Blue elderberry scrub, at the Project Site.

If the on-site or off-site restoration method is used as mitigation, the restoration project shall be initiated prior to vegetation clearance for project grading and shall be implemented over a 5-year period.

**Monitoring and Reporting:** The restoration project shall incorporate an iterative process of annual monitoring and evaluation of progress, and allow for adjustments to the restoration plan, as necessary, to achieve desired outcomes and meet the performance standards. Annual reports discussing the implementation, monitoring, and management of the restoration project shall be submitted to the Planning Division by December 31<sup>st</sup> for five years or three years (if the success criteria is met earlier). Five years after Project start a final report shall be submitted to the Planning Division, which shall at a minimum discuss the implementation, monitoring, and management of the restoration project over the five-year period and indicate whether the restoration project has been successful based on established success criteria. The annual reports and the final report shall include as-built plans submitted as an appendix to the report. The project may be extended if the performance standards have not been met at the end of the five-year period to the satisfaction of the Planning Division. The timeline may be reduced if the success criteria is met at the end of a three year period.

#### Waters and Wetlands

*Significance Finding – Project Impacts: No Impacts*

*Significance Finding – Cumulative Impacts: No Impacts*

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#### **C. Habitat Connectivity (migration corridors)**

Project: LS; Cumulative: LS

There are no linkages or corridors for terrestrial wildlife movement within or in the vicinity of the survey areas. Also, there are no roadway crossing structures or other similar habitat connectivity features that are important to wildlife movement. The project would not remove habitat within a wildlife movement corridor, isolate habitat, construct or create barriers that impede fish or wildlife movement, migration, or long term connectivity, or significantly intimidate fish and wildlife via the introduction of noise, light, development, or increased human presence. Project impacts


to wildlife movement and habitat connectivity would be less than significant. Also, as the project would have less than significant impacts to habitat connectivity or wildlife movement, cumulative impacts to habitat connectivity and wildlife movement are also less than significant.

## Section 5: Photos


Photos									
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<b>Location</b>									
<b>Map Key</b>									
P1									
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<b>Location</b>									
<b>Map Key</b>									
P2									
<b>View Direction</b>									
Northeast									
<b>Description</b>									
View showing dense PC3 and PC9 vegetation communities in the northeastern portion of SA1									

**Photos**

<b>Location</b>	
<b>Map Key</b>	
P3	
<b>View Direction</b>	
West	
<b>Description</b>	
View of the cleared land within the Development Area	

<b>Location</b>	
<b>Map Key</b>	
P4	
<b>View Direction</b>	
North	
<b>Description</b>	
View of dense PC11 and PC8 vegetation communities with the Project Fuel Mod. Zone	

**Photos**

<b>Location</b>	
<b>Map Key</b>	
P5	
<b>View Direction</b>	
South	
<b>Description</b>	
View of the cleared land within the Development Area	
<b>Location</b>	
<b>Map Key</b>	
P6	
<b>View Direction</b>	
Northwest	
<b>Description</b>	
View of the PC5 and PC6 within the Project Fuel Mod. Zone	

Photos

<b>Location</b>
<b>Map Key</b> P7
<b>View Direction</b> Northwest
<b>Description</b> View of PC6 and PC5 within the Project Fuel Mod. Zone in the north-western portion of SA1



<b>Location</b>
<b>Map Key</b> P8
<b>View Direction</b> South
<b>Description</b> View of PC1 and PC4 within the southern portion of SA1



## Appendix One

# Summary of Biological Resource Regulations

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The Ventura County Planning Division, as “lead agency” under CEQA for issuing discretionary land use permits, uses the relationship of a potential environmental effect from a proposed project to an established regulatory standard to determine the significance of the potential environmental effect. This Appendix summarizes important biological resource regulations which are used by the Division’s biologists (consultants and staff) in making CEQA findings of significance:

- Sensitive Status Species Regulations
- Nesting Bird Regulations
- Plant Community Regulations
- Tree Regulations
- Waters and Wetlands Regulations
- Coastal Habitat Regulations
- Wildlife Migration Regulations
- Locally Important Species/Communities Regulations

### **Sensitive Status Species Regulations**

#### ***Federally Protected Species***

Ventura County is home to 29 federally listed endangered and threatened plant and wildlife species. The U.S. Fish and Wildlife Service (USFWS) regulates the protection of federally listed endangered and threatened plant and wildlife species.

**FE (Federally Endangered):** A species that is in danger of extinction throughout all or a significant portion of its range.

**FT (Federally Threatened):** A species that is likely to become endangered in the foreseeable future.

**FC (Federal Candidate):** A species for which USFWS has sufficient information on its biological status and threats to propose it as endangered or threatened under the Endangered Species Act (ESA), but for which development of a proposed listing regulation is precluded by other higher priority listing activities.

**FSC (Federal Species of Concern):** A species under consideration for listing, for which there is insufficient information to support listing at this time. These species may or may not be listed in the future, and many of these species were formerly recognized as “Category-2 Candidate” species.

The USFWS requires permits for the “take” of any federally listed endangered or threatened species. “Take” is defined by the USFWS as “to harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect, or to attempt to engage in any such conduct; may include significant habitat modification or degradation if it kills or injures wildlife by significantly impairing essential behavioral patterns including breeding, feeding, or sheltering.”

The Endangered Species Act (ESA) does not provide statutory protection for candidate species or species of concern, but USFWS encourages conservation efforts to protect these species. USFWS can set up voluntary Candidate Conservation Agreements and Assurances, which provide non-Federal landowners (public and private) with the assurance that if they implement various conservation activities to protect a given candidate species, they will not be subject to additional restrictions if the species becomes listed under the ESA.

### ***State Protected Species***

The California Department of Fish and Wildlife (CDFW) regulates the protection of endangered, threatened, and fully protected species listed under the California Endangered Species Act. Some species may be jointly listed under the State and Federal Endangered Species Acts.

**SE (California Endangered):** A native species or subspecies which is in serious danger of becoming extinct throughout all, or a significant portion, of its range due to one (1) or more causes, including loss of habitat, change in habitat, overexploitation, predation, competition, or disease.

**ST (California Threatened):** A native species or subspecies that, although not presently threatened with extinction, is likely to become an endangered species in the foreseeable future in the absence of the special protection and management efforts required by this chapter. Any animal determined by the commission as "rare" on or before January 1, 1985, is a "threatened species."

**SFP (California Fully Protected Species):** This designation originated from the State's initial effort in the 1960's to identify and provide additional protection to those animals that were rare or faced possible extinction. Lists were created for fish, mammals, amphibians, reptiles, and birds. Most fully protected species have also been listed as threatened or endangered species under the more recent endangered species laws and regulations.

**SR (California Rare):** A species, subspecies, or variety of plant is rare under the Native Plant Protection Act when, although not presently threatened with extinction, it is in such small numbers throughout its range that it may become endangered if its present environment worsens. Animals are no longer listed as rare; all animals listed as rare before 1985 have been listed as threatened.

**SSC (California Species of Special Concern):** Animals that are not listed under the California Endangered Species Act, but which nonetheless 1) are declining at a rate that could result in listing, or 2) historically occurred in low numbers and known threats to their persistence currently exist.

The CDFW requires permits for the "take" of any State-listed endangered or threatened species. Section 2080 of the Fish and Game Code prohibits "take" of any species that the California Fish and Game Commission determines to be endangered or threatened. "Take" is defined in Section 86 of the Fish and Game Code as "hunt, pursue, catch, capture, or kill, or attempt to hunt, pursue, catch, capture, or kill."

The California Native Plant Protection Act protects endangered and rare plants of California. Section 1908, which regulates plants listed under this act, states: "no person shall import into



this state, or take, possess, or sell within this state, except as incident to the possession or sale of the real property on which the plant is growing, any native plant, or any part or product thereof, that the commission determines to be an endangered native plant or rare native plant, except as otherwise provided in this chapter.”

Unlike endangered, threatened, and rare species, for which a take permit may be issued, California Fully Protected species may not be taken or possessed at any time and no licenses or permits may be issued for their take except for collecting these species for necessary scientific research and relocation of the bird species for the protection of livestock.

The California Endangered Species Act does not provide statutory protection for California species of special concern, but they should be considered during the environmental review process.

### ***California Rare Plant Ranks (RPR)***

Plants with 1A, 1B, 2 or 4 should always be addressed in CEQA documents. Plants with a RPR 3 do not need to be addressed in CEQA documents unless there is sufficient information to demonstrate that a RPR 3 plant meets the criteria to be listed as a RPR 1, 2, or 4.

**RPR 1A:** Plants presumed to be extinct because they have not been seen or collected in the wild in California for many years. This list includes plants that are both presumed extinct in California, as well as those plants which are presumed extirpated in California. A plant is extinct in California if it no longer occurs in or outside of California. A plant that is extirpated from California has been eliminated from California but may still occur elsewhere in its range.

**RPR 1B:** Plants that are rare throughout their range with the majority of them endemic to California. Most of the plants of List 1B have declined significantly over the last century.

**RPR 2:** Plants that are rare throughout their range in California but are more common beyond the boundaries of California. List 2 recognizes the importance of protecting the geographic range of widespread species.

Plants identified as RPR 1A, 1B, and 2 meet the definitions of Sec. 1901, Chapter 10 (Native Plant Protection Act) or Secs. 2062 and 2067 (California Endangered Species Act) of the California Department of Fish and Game Code and are eligible for state listing.

**RPR 3:** A review list for plants for which there is inadequate information to assign them to one of the other lists or to reject them.

**RPR 4:** A watch list for plants that are of limited distribution in California.

### ***Global and Subnational Rankings***

Though not associated directly with legal protections, species have been given a conservation status rank by NatureServe, an international non-profit conservation organization that is the leading source for information about rare and endangered species and threatened ecosystems. The Ventura County Planning Division considers the following ranks as sensitive for the purposes of CEQA impact assessment (G = Global, S = Subnational or State):

- G1 or S1 - Critically Imperiled
- G2 or S2 – Imperiled
- G3 or S3 - Vulnerable to extirpation or extinction

### ***Locally Important Species***

Locally important species' protections are addressed below under "Locally Important Species/Communities Regulations."

For lists of some of the species in Ventura County that are protected by the above regulations, go to [http://www.ventura.org/rma/planning/ceqa/bio\\_resource\\_review.html](http://www.ventura.org/rma/planning/ceqa/bio_resource_review.html).

### **Nesting Bird Regulations**

The Federal Migratory Bird Treaty Act (MBTA) and the California Department of Fish and (CDFG) Code (3503, 3503.5, 3511, 3513 and 3800) protect most native birds. In addition, the federal and state endangered species acts protect some bird species listed as threatened or endangered. Project-related impacts to birds protected by these regulations would normally occur during the breeding season, because unlike adult birds, eggs and chicks are unable to escape impacts.

The MBTA implements various treaties and conventions between the U.S. and Canada, Japan, Mexico, and Russia for the protection of migratory birds, which occur in two (2) of these countries over the course of one (1) year. The Act maintains that it is unlawful to pursue, hunt, take, capture or kill; attempt to take, capture or kill; possess, offer to or sell, barter, purchase, deliver or cause to be shipped, exported, imported, transported, carried or received any migratory bird, part, nest, egg or product, manufactured or not. Bird species protected under the provisions of the MBTA are identified by the List of Migratory Birds (Title 50 of the Code of Federal Regulations, Section 10.13 as updated by the 1983 American Ornithologists' Union (AOU) Checklist and published supplements through 1995 by the USFWS).

CDFG Code 3513 upholds the MBTA by prohibiting any take or possession of birds that are designated by the MBTA as migratory nongame birds except as allowed by federal rules and regulations promulgated pursuant to the MBTA. In addition, there are CDFG Codes (3503, 3503.5, 3511, and 3800) which further protect nesting birds and their parts, including passerine birds, raptors, and state "fully protected" birds.

NOTE: These regulations protect almost all *native nesting birds*, not just sensitive status birds.

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### **Plant Community Regulations**

Plant communities are provided legal protection when they provide habitat for protected species or when the community is in the coastal zone and qualifies as environmentally sensitive habitat area (ESHA).

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## ***Global and Subnational Rankings***

Though not associated directly with legal protections, plant communities have been given a conservation status rank by NatureServe, an international non-profit conservation organization that is the leading source for information about rare and endangered species and threatened ecosystems. The Ventura County Planning Division considers the following ranks as sensitive for the purposes of CEQA impact assessment (G = Global, S = Subnational or State):

G1 or S1 – Critically Imperiled

G2 or S2 – Imperiled

G3 or S3 – Vulnerable to extirpation or extinction

## ***CDFW Rare***

Rare natural communities are those communities that are of highly limited distribution. These communities may or may not contain rare, threatened, or endangered species. Though the Native Plant Protection Act and the California Endangered Species Act provide no legal protection to plant communities, CDFW considers plant communities that are ranked G1-G3 or S1-S3 (as defined above) to be rare or sensitive, and therefore these plant communities should be addressed during CEQA review.

## ***Environmentally Sensitive Habitat Areas***

The Coastal Act specifically calls for protection of “environmentally sensitive habitat areas” or ESHA, which it defines as: “Any area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and developments” (Section 30107.5).

ESHA has been specifically defined in the Santa Monica Mountains. For ESHA identification in this location, the Coastal Commission, the agency charged with administering the Coastal Act, has described the habitats that are considered ESHA. A memo from a Coastal Commission biologist that describes ESHA in the Santa Monica Mountains can be found at: [http://www.ventura.org/rma/planning/ceqa/bio\\_resource\\_review.html](http://www.ventura.org/rma/planning/ceqa/bio_resource_review.html).

## ***Locally Important Communities***

The Ventura County Initial Study Assessment Guidelines defines a locally important community as one that is considered by qualified biologists to be a quality example characteristic of or unique to the County or region, with this determination being made on a case-by-case basis. The County has not developed a list of locally important communities but has deemed oak woodlands to be a locally important community through the County’s *Oak Woodland Management Plan*.

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## **Tree Regulations**

Selected trees are protected by the Ventura County Tree Protection Ordinance, found in Section 8107-25 of the Ventura County Non-Coastal Zoning Ordinance. This ordinance, which applies in the unincorporated areas of the County outside the coastal zone, regulates—through a tree permit program—the removal, trimming of branches or roots, or grading or excavating within the

root zone of a "protected tree." Individual trees are the focus of the ordinance, while oak woodlands are additionally protected as "locally important communities."

The ordinance allows removal of five (5) protected trees (only three (3) of which can be oaks or sycamores; none of which can be heritage or historical trees) through a ministerial permit process. Removal of more/other than this may trigger a discretionary tree permit.

If a proposed project cannot avoid impacts to protected trees, mitigation of these impacts (such as replacement of lost trees) is addressed through the tree permit process—**unless the impacts may affect biological resources beyond the tree itself**, such as to sensitive status species that may be using the tree, nesting birds, the tree's role as part of a larger habitat, etc. These secondary impacts have not been addressed through the tree permit program and must be addressed by the biologist in the biological assessment in accordance with the California Environmental Quality Act (CEQA).

A tree permit does not, however, substitute as mitigation for impacts to oak woodlands. The Public Resources Code requires that when a county is determining the applicability of CEQA to a project, it must determine whether that project "may result in a conversion of oak woodlands that will have a significant effect on the environment." If such effects (either individual impacts or cumulative) are identified, the law requires that they be mitigated. Acceptable mitigation measures include, but are not limited to, conservation of other oak woodlands through the use of conservation easements and planting replacement trees, which must be maintained for seven (7) years. In addition, only 50% of the mitigation required for significant impacts to oak woodlands may be fulfilled by replanting oak trees.

The following trees are protected in the specified zones. Girth is measured at 4.5 feet from the midpoint between the uphill and downhill side of the root crown.

PROTECTED TREES			
Common Name/Botanical Name (Genus species)	Girth Standard (Circumference)	Applicable Zones	
		All Base Zones	SRP1
Alder ( <i>Alnus</i> all species)	9.5 in.		X
Ash ( <i>Fraxinus</i> all species)	9.5 in.		X
Bay ( <i>Umbellularia californica</i> )	9.5 in.		X
Cottonwood ( <i>Populus</i> all species)	9.5 in.		X
Elderberry ( <i>Sambucus</i> all species)	9.5 in.		X
Big Cone Douglas Fir ( <i>Pseudotsuga macrocarpa</i> )	9.5 in.		X
White Fir ( <i>Abies concolor</i> )	9.5 in.		X
Juniper ( <i>Juniperus californica</i> )	9.5 in.		X
Maple ( <i>Acer macrophyllum</i> )	9.5 in.		X
Oak (Single) ( <i>Quercus</i> all species)	9.5 in.	X	X
Oak (Multi) ( <i>Quercus</i> all species)	6.25 in.	X	X
Pine ( <i>Pinus</i> all species)	9.5 in.		X
Sycamore ( <i>Platanus</i> all species)	9.5 in.	X	X
Walnut ( <i>Juglans</i> all species)	9.5 in.		X
Historical Tree <sup>3</sup> (any species)	(any size)	X	X
Heritage Tree <sup>4</sup> (any species)	90.0 in.	X	X

X Indicates the zones in which the subject trees are considered protected trees.

1. SRP - Scenic Resource Protection Overlay Zone
  2. SHP - Scenic Highway Protection Overlay Zone
  3. Any tree or group of trees identified by the County or a city as a landmark, or identified on the Federal or California Historic Resources Inventory to be of historical or cultural significance, or identified as contributing to a site or structure of historical or cultural significance.
  4. Any species of tree with a single trunk of 90 or more inches in girth or with multiple trunks, two (2) of which collectively measure 72 inches in girth or more. Species with naturally thin trunks when full grown or naturally large trunks at an early age, or trees with unnaturally enlarged trunks due to injury or disease must be at least 60 feet tall or 75 years old.
- 

## **Waters and Wetlands Regulations**

Numerous agencies control what can and cannot be done in or around streams and wetlands. If a project affects an area where water flows, ponds or is present even part of the year, it is likely to be regulated by one (1) or more agencies. Many wetland or stream projects will require three (3) main permits or approvals (in addition to CEQA compliance). These are:

- 404 Permit (U.S. Army Corps of Engineers)
- 401 Certification (California Regional Water Quality Control Board)
- Streambed Alteration Agreement (California Department of Fish and Game)

For a more thorough explanation of wetland permitting, see the Ventura County's "Wetland Project Permitting Guide" at

[http://www.ventura.org/rma/planning/ceqa/bio\\_resource\\_review.html](http://www.ventura.org/rma/planning/ceqa/bio_resource_review.html).

### **404 Permit (U.S. Army Corps of Engineers)**

Most projects that involve streams or wetlands will require a 404 Permit from the U.S. Army Corps of Engineers (USACE). Section 404 of the federal Clean Water Act is the primary federal program regulating activities in wetlands. The Act regulates areas defined as "waters of the United States." This includes streams, wetlands in or next to streams, areas influenced by tides, navigable waters, lakes, reservoirs and other impoundments. For nontidal waters, USACE jurisdiction extends up to what is referred to as the "ordinary high water mark" as well as to the landward limits of adjacent Corps-defined wetlands, if present. The ordinary high water mark is an identifiable natural line visible on the bank of a stream or water body that shows the upper limit of typical stream flow or water level. The mark is made from the action of water on the streambank over the course of years.

**Permit Triggers:** A USACE 404 Permit is triggered by moving (discharging) or placing materials—such as dirt, rock, geotextiles, concrete or culverts—into or within USACE jurisdictional areas. This type of activity is also referred to as a "discharge of dredged or fill material."

### **401 Certification (Regional Water Quality Control Board)**

If your project requires a USACE 404 Permit, then you will also need a Regional Water Quality Control Board (RWQCB) 401 Certification. The federal Clean Water Act, in Section 401, specifies that states must certify that any activity subject to a permit issued by a federal agency, such as the USACE, meets all state water quality standards. In California, the state and regional

water boards are responsible for certification of activities subject to USACE Section 404 Permits.

**Permit Trigger:** A RWQCB 401 Certification is triggered whenever a USACE 404 Permit is required, or whenever an activity could cause a discharge of dredged or fill material into waters of the U.S. or wetlands.

### ***Streambed Alteration Agreement (California Department of Fish and Game)***

If your project includes alteration of the bed, banks or channel of a stream, or the adjacent riparian vegetation, then you may need a Streambed Alteration Agreement from the California Department of Fish and Wildlife (CDFW). The California Fish and Game Code, Sections 1600-1616, regulates activities that would alter the flow, bed, banks, channel or associated riparian areas of a river, stream or lake. The law requires any person, state or local governmental agency or public utility to notify CDFW before beginning an activity that will substantially modify a river, stream or lake.

**Permit Triggers:** A Streambed Alteration Agreement (SAA) is triggered when a project involves altering a stream or disturbing riparian vegetation, including any of the following activities:

- Substantially obstructing or diverting the natural flow of a river, stream or lake
- Using any material from these areas
- Disposing of waste where it can move into these areas

Some projects that involve routine maintenance may qualify for long-term maintenance agreements from CDFW. Discuss this option with CDFW staff.

### ***Ventura County General Plan***

The Ventura County General Plan contains policies which also strongly protect wetland habitats. Biological Resources Policy 1.5.2-3 states:

Discretionary development that is proposed to be located within 300 feet of a marsh, small wash, intermittent lake, intermittent stream, spring, or perennial stream (as identified on the latest USGS 7½ minute quad map), shall be evaluated by a County approved biologist for potential impacts on wetland habitats. Discretionary development that would have a significant impact on significant wetland habitats shall be prohibited, unless mitigation measures are adopted that would reduce the impact to a less than significant level; or for lands designated "Urban" or "Existing Community", a statement of overriding considerations is adopted by the decision-making body.

Biological Resources Policy 1.5.2-4 states:

Discretionary development shall be sited a minimum of 100 feet from significant wetland habitats to mitigate the potential impacts on said habitats. Buffer areas may be increased or decreased upon evaluation and recommendation by a qualified biologist and approval by the decision-making body. Factors to be used in determining adjustment of the 100 foot buffer include soil type, slope stability, drainage patterns, presence or absence of endangered, threatened or rare plants or animals, and compatibility of the proposed development with the

wildlife use of the wetland habitat area. The requirement of a buffer (setback) shall not preclude the use of replacement as a mitigation when there is no other feasible alternative to allowing a permitted use, and if the replacement results in no net loss of wetland habitat. Such replacement shall be "in kind" (i.e., same type and acreage), and provide wetland habitat of comparable biological value. On-site replacement shall be preferred wherever possible. The replacement plan shall be developed in consultation with California Department of Fish and Game.

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## **Coastal Habitat Regulations**

Ventura County's Coastal Area Plan and the Coastal Zoning Ordinance, which constitute the "Local Coastal Program" (LCP) for the unincorporated portions of Ventura County's coastal zone, ensure that the County's land use plans, zoning ordinances, zoning maps, and implemented actions meet the requirements of, and implement the provisions and polices of California's 1976 Coastal Act at the local level.

### ***Environmentally Sensitive Habitats***

The Coastal Act specifically calls for protection of "environmentally sensitive habitat areas" or ESHA, which it defines as: "Any area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and developments" (Section 30107.5). Section 30240 of the Coastal Act states:

- (a) "Environmentally sensitive habitat areas shall be protected against any significant disruption of habitat values, and only uses dependent on such resources shall be allowed within such areas."**
- (b) "Development in areas adjacent to environmentally sensitive habitat areas and parks and recreation areas shall be sited and designed to prevent impacts which would significantly degrade such areas, and shall be compatible with the continuance of such habitat areas."**

There are three (3) important elements to the definition of ESHA. First, a geographic area can be designated ESHA either because of the presence of individual species of plants or animals or because of the presence of a particular habitat. Second, in order for an area to be designated as ESHA, the species or habitat must be either rare or it must be especially valuable. Finally, the area must be easily disturbed or degraded by human activities.

Protection of ESHA is of particular concern in the southeastern part of Ventura County, where the coastal zone extends inland (~5 miles) to include an extensive area of the Santa Monica Mountains. For ESHA identification in this location, the Coastal Commission, the agency charged with administering the Coastal Act, has described the habitats that are considered ESHA. A memo from a Coastal Commission biologist that describes ESHA in the Santa Monica Mountains can be found at:

[http://www.ventura.org/rma/planning/ceqa/bio\\_resource\\_review.html](http://www.ventura.org/rma/planning/ceqa/bio_resource_review.html).

The County's Local Coastal Program outlines other specific protections to environmentally sensitive habitats in the Coastal Zone, such as to wetlands, riparian habitats, dunes, and upland habitats within the Santa Monica Mountains (M Overlay Zone). Protections in some cases are different for different segments of the coastal zone.

Copies of the Coastal Area Plan and the Coastal Zoning Ordinance can be found at: <http://www.ventura.org/rma/planning/Programs/local.html>.

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### **Wildlife Migration Regulations**

The Ventura County General Plan specifically includes wildlife migration corridors as an element of the region's significant biological resources. In addition, protecting habitat connectivity is critical to the success of special status species and other biological resource protections. Potential project impacts to wildlife migration are analyzed by biologists on a case-by-case basis. The issue involves both a macro-scale analysis—where routes used by large carnivores connecting very large core habitat areas may be impacted—as well as a micro-scale analysis—where a road or stream crossing may impact localized movement by many different animals.

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### **Locally Important Species/Communities Regulations**

Locally important species/communities are considered to be significant biological resources in the Ventura County General Plan.

#### ***Locally Important Species***

The Ventura County General Plan defines a Locally Important Species as a plant or animal species that is not an endangered, threatened, or rare species, but is considered by qualified biologists to be a quality example or unique species within the County and region. The following criteria further define what local qualified biologists have determined to be Locally Important Species:

#### **Locally Important Animal Species Criteria**

Taxa for which habitat in Ventura County is crucial for their existence either globally or in Ventura County. This includes:

- Taxa for which the population(s) in Ventura County represents 10 percent or more of the known extant global distribution; or
- Taxa for which there are five (5) or fewer *element occurrences*, or less than 1,000 individuals, or less than 2,000 acres of habitat that sustains populations in Ventura County; or,
- Native taxa that are generally declining throughout their range or are in danger of extirpation in Ventura County.



### **Locally Important Plant Species Criteria**

- Taxa that are declining throughout the extent of their range AND have five (5) or fewer element occurrences in Ventura County.

The County maintains a list of locally important species, which can be found on the Planning Division website at: [http://www.ventura.org/rma/planning/ceqa/bio\\_resource\\_review.html](http://www.ventura.org/rma/planning/ceqa/bio_resource_review.html). *This list should not be considered comprehensive.* Any species that meets the criteria qualifies as locally important, whether or not it is included on this list.

### **Locally Important Communities**

The Ventura County Initial Study Assessment Guidelines defines a locally important community as one that is considered by qualified biologists to be a quality example characteristic of or unique to the County or region, with this determination being made on a case-by-case basis. The County has not developed a list of locally important communities. Oak woodlands have however been deemed by the Ventura County Board of Supervisors to be a locally important community.

The state passed legislation in 2001, the Oak Woodland Conservation Act, to emphasize that oak woodlands are a vital and threatened statewide resource. In response, the County of Ventura prepared and adopted an Oak Woodland Management Plan that recommended, among other things, amending the County's Initial Study Assessment Guidelines to include an explicit reference to oak woodlands as part of its definition of locally important communities. The Board of Supervisors approved this management plan and its recommendations.

## Appendix Two

### Observed Species Tables

List in the table below the species observed during the survey(s). The most current taxonomy should be used for the scientific names. All taxa should be identified to the fullest extent for those with subspecies/varieties. If the species of an observed plant or animal is not known, indicate the genus and include any comments on the potential species. Include native and non-native species. Organize the list by the following categories: Plants, including nonvascular and vascular; Fungi; and Animals, including invertebrates, fish, amphibians, reptiles, birds, and mammals. You may provide separate tables for plants and animals or add columns for information you determine is important. Use Bold for special-status species.

Species Observed			
Scientific Name (Species or Genus)	Common Name	Native (1)	Notes (2)
<b>PLANTS</b>			
<b>Dicots</b>			
<i>Acmispon strigosus</i>	strigose lotus	1	
<i>Adenostoma fasciculatum</i>	Chamise	1	
<i>Amsinckia menziesii</i>	small flowered fiddleneck	1	
<i>Artemisia californica</i>	California sagebrush	1	
<i>Acmispon glaber</i> g. ( <i>Lotus scoparius</i> )	deerweed	1	
<i>Asclepias fascicularis</i>	narrowleaf milkweed	1	
<i>Baccharis pilularis</i>	coyote brush	1	
<i>Calystegia macrostegia</i>	Island morning glory	1	
<i>Castilleja affinis</i> ssp. <i>affinis</i>	Coast Indian paintbrush	1	
<i>Ceanothus megacarpus</i> var. <i>megacarpus</i>	Big pod ceanothus	1	
<i>Ceanothus spinosus</i>	greenbark ceanothus	1	
<i>Ceanothus cuneatus</i>	buckbrush	1	
<i>Cryptantha muricata</i>	prickly popcorn flower	1	
<i>Chlorogalum pomeridianum</i>	Amole	1	
<i>Corethrogyne filaginifolia</i>	wooly aster	1	
<i>Deinandra fasciculata</i>	fascicled tarweed	1	
<i>Delphinium cardinale</i>	Scarlet larkspur	1	
<i>Diplacus aurantiacus</i>	bush monkeyflower	1	
<i>Dipterostemon capitatus</i>	blue dicks	1	
<i>Elymus condensatus</i>	giant wildrye	1	
<i>Eucrypta chrysanthemifolia</i>	common eucrypta	1	
<i>Encelia californica</i>	bush Sunflower	1	
<i>Erigeron canadensis</i>	Horseweed	1	
<i>Erodium botrys</i>	long-beaked filaree		
<i>Erodium cicutarium</i>	red-stem filaree		
<i>Eriogonum fasciculatum</i> ssp. <i>foliolosum</i>	California buckwheat	1	
<i>Epilobium brachycarpum</i>	Annual willowherb	1	
<i>Hesperoyucca whipplei</i>	Our Lord's candle	1	
<i>Heteromeles arbutifolia</i>	Toyon	1	
<i>Heterotheca grandiflora</i>	telegraph weed	1	
<i>Hirschfeldia incana</i>	summer mustard		
<i>Hordeum murinum</i>	Foxtail barley		

Species Observed			
Scientific Name (Species or Genus)	Common Name	Native (1)	Notes (2)
<i>Isocoma menziesii</i>	Coast goldenbush	1	
<i>Malacothrix saxatilis</i> var. <i>tenuifolia</i>	cliff aster	1	
<i>Malosama laurina</i>	laurel sumac	1	
<i>Malacothamnus fasciculatus</i>	bush mallow	1	
<i>Marah fabacea</i>	California manroot	1	
<i>Marah macrocarpa</i>	Wild cucumber	1	
<i>Marrubium vulgare</i>	Horehound		
<i>Melica imperfecta</i>	coast melic grass	1	
<i>Mirabilis laevis</i> var. <i>crassifolia</i>	California four o'clock	1	
<i>Paeonia californica</i>	California peony	1	
<i>Primula clevelandii</i>	Padre's shooting star	1	
<i>Quercus agrifolia</i>	coast live oak	1	
<i>Quercus berberidifolia</i>	California scrub oak	1	
<i>Ribes speciosum</i>	fuchsia flowering gooseberry	1	
<i>Pectocarya linearis</i> ssp. <i>ferocula</i>	Slender comb seed	1	
<i>Plantago ovata</i>	Desert plantain	1	
<i>Phacelia cicutaria</i> var. <i>hispida</i>	Caterpillar phacelia	1	
<i>Phacelia ramosissima</i>	Branching phacelia	1	
<i>Rhamnus crocea</i>	Redberry Buckthorn	1	
<i>Rhamnus ilicifolia</i>	hollyleaf redberry	1	
<i>Ribes malvaceum</i> var. <i>malvaceum</i>	Chaparral currant	1	
<i>Ribes speciosum</i>	Fuchsia flowered gooseberry	1	
<i>Pseudognaphalium californicum</i> ( <i>Gnaphalium californicum</i> )	California everlasting	1	
<i>Pseudognaphalium microcephalum</i> ( <i>Gnaphalium canescens</i> <i>microcephalum</i> )	white everlasting	1	
<i>Salsola kali</i>	Russian thistle		
<i>Salvia leucophylla</i>	purple sage	1	
<i>Sambucus nigra</i> ssp. <i>caerulea</i> ( <i>Sambucus mexicana</i> )	blue elderberry	1	
<i>Salvia mellifera</i>	black sage	1	
<i>Sanicula pacifica</i>	Pacific sanicle	1	
<i>Silene gallica</i>	Common catchfly		
<i>Scrophularia californica</i>	California figwort	1	
<i>Solanum xanti</i>	Purple nightshade	1	
<i>Toxicodendron diversilobum</i>	Poison oak	1	

<b>Species Observed</b>			
<b>Scientific Name (Species or Genus)</b>	<b>Common Name</b>	<b>Native (1)</b>	<b>Notes (2)</b>
<b>Monocots</b>			
<i>Bromus diandrus</i>	ripgut brome		
<i>Bromus hordeaceus</i>	soft chess		
<i>Bromus madritensis</i> ssp. <i>rubens</i>	red brome		
<i>Elymus condensatus</i>	giant wildrye	1	
<i>Festuca</i> sp.	Fescue	1	
<i>Hesperoyucca whipplei</i> ( <i>Yucca whipplei intermedia</i> )	Whipple's yucca	1	
<i>Melica imperfecta</i>	coast melic grass	1	
<i>Schismus barbatus</i>	Mediterranean grass		
<i>Stipa miliacea</i>	Smilo grass		
<i>Stipa lepidia</i>	Foothill needlegrass	1	
<b>ANIMALS</b>			
<b>Reptiles</b>			
<i>Sceloporus occidentalis</i>	Western fence lizard		
<b>Birds</b>			
<i>Accipiter cooperi</i>	Cooper's hawk		
<i>Aphelocoma californica</i>	western scrub-jay		
<i>Ardea Herodias</i>	Great blue heron		
<i>Buteo jamaicensis</i>	red-tailed hawk		
<i>Callipepla californica</i>	California quail		
<i>Cathartes aura</i>	turkey vulture		
<i>Colaptes auratus</i>	northern flicker		
<i>Haemorhous mexicanus</i> ( <i>Carpodacus mexicanus</i> )	house finch		
<i>Melospiza crissalis</i>	California towhee		
<i>Passer domesticus</i>	House sparrow		
<i>Psaltriparus minimus</i>	bushtit		
<i>Spinus psaltria</i> ( <i>Carduelis tristis</i> )	lesser goldfinch		
<i>Tyrannus verticalis</i>	western kingbird		
<i>Tyrannus vociferans</i>	Cassin's kingbird		
<i>Zenaidura macroura</i>	Mourning dove		
<i>Zonotrichia leucophrys</i>	White-crowned sparrow		
<b>Mammals</b>			
<i>Canis latrans</i>	coyote		
<i>Lepus</i> sp.	jackrabbit		
<i>Lynx rufus</i>	bobcat		*identified by scat
<i>Odocoileus hemionus</i>	mule deer		
<i>Spermophilus beecheyi</i>	California ground squirrel		

#### Explanation of Table Fields:

1) Native:

Indicate if species is native or not.

2) Notes:

Any unusual or unique occurrences should be noted. If vouchers were taken, provide the collection number here. Provide any other comments deemed appropriate, for instance, whether the species was heard or seen, or other evidence of the species was observed.

3) Bold:

Species in Bold letters are special-status species. See the Special Status Species summary in Section 3.2 for details.

## **ATTACHMENT A**

**List of California Natural Diversity Database (CNDDDB)-tracked species for  
7.5' USGS Thousand Oaks quadrangle and surrounding quadrangles.**



# Summary Table Report

## California Department of Fish and Wildlife

### California Natural Diversity Database



**Query Criteria:** Quad< IS > (Newbury Park (3411828)< OR > Thousand Oaks (3411827)< OR > Triunfo Pass (3411818)< OR > Moorpark (3411838)< OR > Camarillo (3411921))

Name (Scientific/Common)	CNDDB Ranks	Listing Status (Fed/State)	Other Lists	Elev. Range (ft.)	Total EO's	Element Occ. Ranks						Population Status		Presence		
						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Agelaius tricolor</i> tricolored blackbird	G1G2 S1S2	None Threatened	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_EN-Endangered NABCI_RWL-Red Watch List USFWS_BCC-Birds of Conservation Concern	965 965	955 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Aimophila ruficeps canescens</i> southern California rufous-crowned sparrow	G5T3 S3	None None	CDFW_WL-Watch List	920 1,400	235 S:2	0	0	2	0	0	0	1	1	2	0	0
<i>Anniella spp.</i> California legless lizard	G3G4 S3S4	None None	CDFW_SSC-Species of Special Concern	133 1,115	119 S:8	1	2	2	3	0	0	2	6	8	0	0
<i>Anniella stebbinsi</i> Southern California legless lizard	G3 S3	None None	CDFW_SSC-Species of Special Concern USFS_S-Sensitive	67 2,305	417 S:4	0	1	1	0	0	2	2	2	4	0	0
<i>Antrozous pallidus</i> pallid bat	G4 S3	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern USFS_S-Sensitive WBWG_H-High Priority	2,050 2,050	420 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Aquila chrysaetos</i> golden eagle	G5 S3	None None	BLM_S-Sensitive CDF_S-Sensitive CDFW_FP-Fully Protected CDFW_WL-Watch List IUCN_LC-Least Concern USFWS_BCC-Birds of Conservation Concern	1,300 2,700	323 S:3	0	0	0	0	0	3	3	0	3	0	0
<i>Arizona elegans occidentalis</i> California glossy snake	G5T2 S2	None None	CDFW_SSC-Species of Special Concern	901 901	260 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Aspidoscelis tigris stejnegeri</i> coastal whiptail	G5T5 S3	None None	CDFW_SSC-Species of Special Concern	1,100 1,369	148 S:3	0	2	1	0	0	0	2	1	3	0	0



## Summary Table Report

### California Department of Fish and Wildlife California Natural Diversity Database



Name (Scientific/Common)	CNDDB Ranks	Listing Status (Fed/State)	Other Lists	Elev. Range (ft.)	Total EO's	Element Occ. Ranks						Population Status		Presence		
						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Astragalus brauntonii</i> Braunton's milk-vetch	G2 S2	Endangered None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_SBBG-Santa Barbara Botanic Garden	266 2,100	57 S:21	0	2	6	3	0	10	2	19	21	0	0
<i>Athene cunicularia</i> burrowing owl	G4 S3	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern USFWS_BCC-Birds of Conservation Concern	12 83	2011 S:7	0	1	3	1	0	2	0	7	7	0	0
<i>Baccharis malibuensis</i> Malibu baccharis	G1 S1	None None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	1,617 1,617	13 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Bombus crotchii</i> Crotch bumble bee	G3G4 S1S2	None Candidate Endangered		11 2,198	437 S:8	0	0	0	0	0	8	1	7	8	0	0
<i>Calochortus clavatus var. gracilis</i> slender mariposa-lily	G4T2T3 S2S3	None None	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden USFS_S-Sensitive	325 1,210	143 S:2	0	0	0	0	0	2	0	2	2	0	0
<i>Calochortus plummerae</i> Plummer's mariposa-lily	G4 S4	None None	Rare Plant Rank - 4.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	300 2,080	230 S:9	0	1	2	0	0	6	5	4	9	0	0
<i>Catostomus santaanae</i> Santa Ana sucker	G1 S1	Threatened None	AFS_TH-Threatened IUCN_VU-Vulnerable	650 650	28 S:1	0	1	0	0	0	0	0	1	1	0	0



# Summary Table Report

## California Department of Fish and Wildlife

### California Natural Diversity Database



Name (Scientific/Common)	CNDDB Ranks	Listing Status (Fed/State)	Other Lists	Elev. Range (ft.)	Total EO's	Element Occ. Ranks						Population Status		Presence		
						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Centromadia parryi ssp. australis</i> southern tarplant	G3T2 S2	None None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_CRES-San Diego Zoo CRES Native Gene Seed Bank SB_SBBG-Santa Barbara Botanic Garden	638 638	94 S:1	0	0	1	0	0	0	0	1	1	0	0
<i>Chaenactis glabriuscula var. orcuttiana</i> Orcutt's pincushion	G5T1T2 S1	None None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_CRES-San Diego Zoo CRES Native Gene Seed Bank		36 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Coccyzus americanus occidentalis</i> western yellow-billed cuckoo	G5T2T3 S1	Threatened Endangered	BLM_S-Sensitive NABCI_RWL-Red Watch List USFS_S-Sensitive USFWS_BCC-Birds of Conservation Concern	306 306	165 S:1	0	1	0	0	0	0	0	1	1	0	0
<i>Coelus globosus</i> globose dune beetle	G1G2 S1S2	None None	IUCN_VU-Vulnerable	53 53	50 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Danaus plexippus pop. 1</i> monarch - California overwintering population	G4T2T3 S2S3	None None	USFS_S-Sensitive	25 100	383 S:3	0	1	1	0	1	0	1	2	2	1	0
<i>Deinandra minthornii</i> Santa Susana tarplant	G2 S2	None Rare	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	1,100 2,000	35 S:11	4	2	0	0	0	5	5	6	11	0	0
<i>Delphinium parryi ssp. blochmaniae</i> dune larkspur	G4T2 S2	None None	Rare Plant Rank - 1B.2	1,000 1,000	27 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Diadophis punctatus modestus</i> San Bernardino ringneck snake	G5T2T3 S2?	None None	USFS_S-Sensitive	711 711	14 S:1	0	1	0	0	0	0	0	1	1	0	0





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						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Dudleya blochmaniae ssp. blochmaniae</i> Blochman's dudleya	G3T2 S2	None None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	82 950	81 S:9	0	2	0	0	0	7	2	7	9	0	0
<i>Dudleya cymosa ssp. agourensis</i> Agoura Hills dudleya	G5T1 S1	Threatened None	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	860 1,500	8 S:8	2	3	0	0	0	3	3	5	8	0	0
<i>Dudleya cymosa ssp. marcescens</i> marcescent dudleya	G5T2 S2	Threatened Rare	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	825 2,200	14 S:7	1	5	0	0	0	1	2	5	7	0	0
<i>Dudleya cymosa ssp. ovatifolia</i> Santa Monica dudleya	G5T1 S1	Threatened None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	1,100 1,100	3 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Dudleya parva</i> Conejo dudleya	G1 S1	Threatened None	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	300 1,000	13 S:11	2	5	3	0	0	1	2	9	11	0	0
<i>Dudleya verityi</i> Verity's dudleya	G1 S1	Threatened None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	200 1,100	8 S:8	0	0	0	0	0	8	1	7	8	0	0
<i>Elanus leucurus</i> white-tailed kite	G5 S3S4	None None	BLM_S-Sensitive CDFW_FP-Fully Protected IUCN_LC-Least Concern	42 42	180 S:1	0	0	1	0	0	0	0	1	1	0	0
<i>Empidonax traillii extimus</i> southwestern willow flycatcher	G5T2 S1	Endangered Endangered	NABCI_RWL-Red Watch List	305 305	70 S:1	1	0	0	0	0	0	0	1	1	0	0
<i>Emys marmorata</i> western pond turtle	G3G4 S3	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_VU-Vulnerable USFS_S-Sensitive	55 955	1398 S:8	0	4	1	1	2	0	5	3	6	2	0



# Summary Table Report

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						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Eremophila alpestris actia</i> California horned lark	G5T4Q S4	None None	CDFW_WL-Watch List IUCN_LC-Least Concern	55 55	94 S:1	0	0	0	1	0	0	0	1	1	0	0
<i>Eriogonum crocatum</i> conejo buckwheat	G1 S1	None Rare	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	300 1,900	13 S:13	1	7	1	0	0	4	6	7	13	0	0
<i>Eumops perotis californicus</i> western mastiff bat	G4G5T4 S3S4	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern WBWG_H-High Priority	2,050 2,050	296 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Gasterosteus aculeatus williamsoni</i> unarmored threespine stickleback	G5T1 S1	Endangered Endangered	AFS_EN-Endangered CDFW_FP-Fully Protected	950 950	16 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Gila orcuttii</i> arroyo chub	G2 S2	None None	AFS_VU-Vulnerable CDFW_SSC-Species of Special Concern USFS_S-Sensitive	15 300	49 S:4	0	4	0	0	0	0	4	0	4	0	0
<i>Horkelia cuneata var. puberula</i> mesa horkelia	G4T1 S1	None None	Rare Plant Rank - 1B.1 USFS_S-Sensitive	1,165 1,165	103 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Lupinus paynei</i> Payne's bush lupine	G1Q S1	None None	Rare Plant Rank - 1B.1	1,100 1,100	7 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Monardella hypoleuca ssp. hypoleuca</i> white-veined monardella	G4T3 S3	None None	Rare Plant Rank - 1B.3		29 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Monardella sinuata ssp. gerryi</i> Gerry's curly-leaved monardella	G3T1 S1	None None	Rare Plant Rank - 1B.1	600 700	3 S:3	0	0	0	0	2	1	2	1	1	2	0
<i>Myotis ciliolabrum</i> western small-footed myotis	G5 S3	None None	BLM_S-Sensitive IUCN_LC-Least Concern WBWG_M-Medium Priority	2,050 2,050	82 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Navarretia ojaiensis</i> Ojai navarretia	G2 S2	None None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden USFS_S-Sensitive	700 1,590	22 S:5	0	0	1	0	1	3	1	4	4	0	1



# Summary Table Report

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						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Neotoma lepida intermedia</i> San Diego desert woodrat	G5T3T4 S3S4	None None	CDFW_SSC-Species of Special Concern	450 1,443	132 S:2	0	1	1	0	0	0	1	1	2	0	0
<i>Nolina cismontana</i> chaparral nolina	G3 S3	None None	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_SBBG-Santa Barbara Botanic Garden USFS_S-Sensitive	1,200 1,600	68 S:6	0	3	1	0	0	2	1	5	6	0	0
<i>Oncorhynchus mykiss irideus pop. 10</i> steelhead - southern California DPS	G5T1Q S1	Endangered None	AFS_EN-Endangered	112 400	20 S:2	0	0	0	1	0	1	1	1	2	0	0
<i>Orcuttia californica</i> California Orcutt grass	G1 S1	Endangered Endangered	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_CRES-San Diego Zoo CRES Native Gene Seed Bank		37 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Pentachaeta lyonii</i> Lyon's pentachaeta	G1 S1	Endangered Endangered	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	280 1,312	45 S:22	2	14	3	0	1	2	13	9	21	1	0
<i>Phrynosoma blainvillii</i> coast horned lizard	G3G4 S3S4	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern	400 500	784 S:2	0	1	1	0	0	0	0	2	2	0	0
<i>Polioptila californica californica</i> coastal California gnatcatcher	G4G5T3Q S2	Threatened None	CDFW_SSC-Species of Special Concern NABCI_YWL-Yellow Watch List	40 1,556	915 S:16	1	7	7	0	0	1	0	16	16	0	0
<i>Pseudognaphalium leucocephalum</i> white rabbit-tobacco	G4 S2	None None	Rare Plant Rank - 2B.2	60 60	62 S:1	0	0	0	0	0	1	1	0	1	0	0



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						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Quercus dumosa</i> Nuttall's scrub oak	G3 S3	None None	Rare Plant Rank - 1B.1 BLM_S-Sensitive SB_CRES-San Diego Zoo CRES Native Gene Seed Bank USFS_S-Sensitive	865 1,550	180 S:2	0	0	1	0	0	1	1	1	2	0	0
<i>Riparia riparia</i> bank swallow	G5 S2	None Threatened	BLM_S-Sensitive IUCN_LC-Least Concern	380 1,000	298 S:2	0	0	0	0	2	0	2	0	0	0	2
<i>Senecio aphanactis</i> chaparral ragwort	G3 S2	None None	Rare Plant Rank - 2B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_CRES-San Diego Zoo CRES Native Gene Seed Bank	700 1,200	98 S:7	0	0	0	0	0	7	5	2	7	0	0
<i>Southern Coast Live Oak Riparian Forest</i> Southern Coast Live Oak Riparian Forest	G4 S4	None None		300 1,200	246 S:11	0	0	0	0	0	11	11	0	11	0	0
<i>Southern Riparian Forest</i> Southern Riparian Forest	G4 S4	None None		280 280	20 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Southern Riparian Scrub</i> Southern Riparian Scrub	G3 S3.2	None None		300 1,300	56 S:4	0	0	0	0	0	4	4	0	4	0	0
<i>Southern Sycamore Alder Riparian Woodland</i> Southern Sycamore Alder Riparian Woodland	G4 S4	None None		200 1,100	230 S:10	0	0	0	0	1	9	10	0	9	1	0
<i>Southern Willow Scrub</i> Southern Willow Scrub	G3 S2.1	None None		425 425	45 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Spea hammondi</i> western spadefoot	G3 S3	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_NT-Near Threatened	1,500 1,500	1409 S:1	1	0	0	0	0	0	0	1	1	0	0
<i>Taxidea taxus</i> American badger	G5 S3	None None	CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern	123 646	594 S:2	0	0	1	1	0	0	0	2	2	0	0



## Summary Table Report

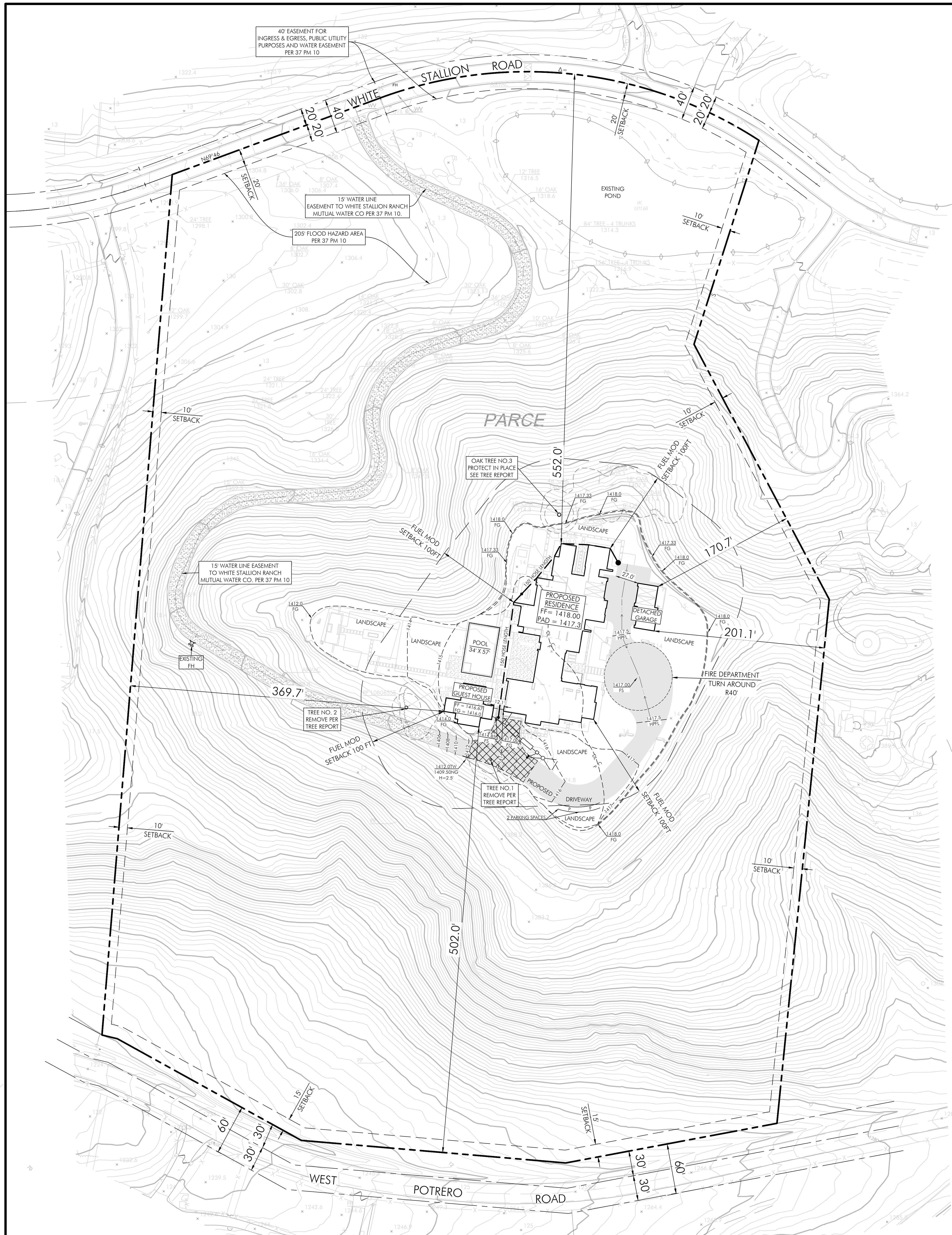
### California Department of Fish and Wildlife California Natural Diversity Database



Name (Scientific/Common)	CNDDB Ranks	Listing Status (Fed/State)	Other Lists	Elev. Range (ft.)	Total EO's	Element Occ. Ranks						Population Status		Presence		
						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Texosporium sancti-jacobi</i> woven-spored lichen	G3 S2	None None	Rare Plant Rank - 3	347 347	19 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Thamnophis hammondi</i> two-striped gartersnake	G4 S3S4	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern USFS_S-Sensitive	17 1,032	184 S:5	1	1	3	0	0	0	2	3	5	0	0
<i>Thelypteris puberula var. sonorensis</i> Sonoran maiden fern	G5T3 S2	None None	Rare Plant Rank - 2B.2 USFS_S-Sensitive	450 1,200	27 S:2	0	0	0	0	0	2	2	0	2	0	0
<i>Tortula californica</i> California screw moss	G2G3 S2?	None None	Rare Plant Rank - 1B.2 BLM_S-Sensitive	2,200 2,200	15 S:2	0	0	0	0	0	2	0	2	2	0	0
<i>Trimerotropis occidentiloides</i> Santa Monica grasshopper	G1G2 S1S2	None None	IUCN_EN-Endangered	360 1,640	4 S:3	0	0	0	0	0	3	3	0	3	0	0
<i>Valley Needlegrass Grassland</i> Valley Needlegrass Grassland	G3 S3.1	None None		940 940	45 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Valley Oak Woodland</i> Valley Oak Woodland	G3 S2.1	None None		220 1,240	91 S:9	0	0	0	0	3	6	9	0	6	0	3
<i>Vireo bellii pusillus</i> least Bell's vireo	G5T2 S2	Endangered Endangered	IUCN_NT-Near Threatened NABCI_YWL-Yellow Watch List	25 788	503 S:9	1	4	3	0	0	1	0	9	9	0	0

# **ATTACHMENT B**

## **Site Plan**



**LEGEND:**

- — — — — PROPERTY LINE
- — — — — CENTER LINE
- — — — — FLOW LINE
- — — — — FUEL MOD LINE
- — — — — SETBACKS
- C/F CUT/FILL LINE
- DL DAYLIGHT
- F.F. FINISHED FLOOR
- F.G. FINISHED GROUND

**PROJECT STATISTICS:**

PARCEL SIZE: 20.79 ACRES (905,720.9 SQ.FT.)  
 ZONING: OS-20  
 GROSS AREA: 20.79 ACRES (905,725 SQ.FT.)  
 NET AREA: 19.15 ACRES (835,673.8 SQ.FT.)

**PROPERTY SETBACKS:**

FRONT YARD: 20'  
 SIDE YARD: 10'  
 REAR YARD: 15'

**BENCH MARK:**

VCIPD 1343  
 22-274 RM 1  
 EL = 376.313 METERS (NAVD 88)  
 1234.62 FEET  
 0.3 MILE WESTERLY ALONG POTRERO ROAD FROM ITS INTERSECTION WITH HIDDEN VALLEY ROAD, 50.0 FEET NORTHERLY FROM THE CENTER OF POTRERO ROAD, 6.0 FEET NORTHERLY FROM A CONCRETE DROP INLET AND IN THE EASTERLY CURB OF THE ENTRANCE TO WHITE STALLION RANCH.



VICINITY MAP  
 N.T.S.

**20-1701 - 2551 WHITE STALLION STRUCTURE AND PROPERTY STATISTICS**

STRUCTURE TYPE	EXISTING/ PROPOSED	DESCRIPTION (§18-05-04)	GROSS AREA (SQ.FT.)	BUILDING COVERAGE (SQ.FT.)	TOTAL GROSS FLOOR AREA (SQ.FT.)	TOTAL NET BUILDING COVERAGE (%)	REQUIRED PARKING	PROPOSED PARKING
MAIN HOUSE	PROPOSED	DWELLING	15,784	17,726	21,334	2.4	4	8
POOL HOUSE	PROPOSED	DWELLING/ ACCESSORY STRUCTURE	1,799	2,161	21,334	2.4	1	8
DETACHED GARAGE	PROPOSED	GARAGE	1,272	1,446	21,334	2.4	N/A	N/A

**20-1701 - 2551 WHITE STALLION IMPERVIOUS SURFACES**

PROPOSED IMPERVIOUS SURFACE TYPE	IMPERVIOUS AREA (SQ.FT.)
STRUCTURES-ROOF TOPS	21,334
HARDSCAPE: DRIVEWAYS, SIDEWALKS, & STEPPING STONES	6,413

**20-1701 - 2551 WHITE STALLION PERVIOUS SURFACES**

PROPOSED PERVIOUS SURFACE TYPE	IMPERVIOUS AREA (SQ.FT.)
LANDSCAPE	44,729

# DISCRETIONARY LAND USE ENTITLEMENT PLAN SINGLE FAMILY RESIDENCE

2551 WHITE STALLION ROAD  
 THOUSAND OAKS, CALIFORNIA

A.P.N.: 668-0-080-140 & 668-0-080-150

PARCEL 9, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON THE MAP FILED FEBRUARY 18, 1983, IN BOOK 37, PAGES 10, 11, 12 AND 13, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

February 12, 2021

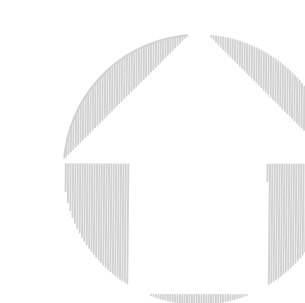
**DEVELOPER:**  
 ALLIED PROPERTY GROUP LLC  
 1411 WINDSOR DRIVE  
 THOUSAND OAKS, CA 91360  
 (805) 760-4522

**ARCHITECT:**  
 GREYSON TERRIO, PE  
 22647 VENTURA BLVD. #362  
 WOODLANDS HILLS, CA  
 (805) 469-4883  
 GREYSON@CREATIONINC.COM

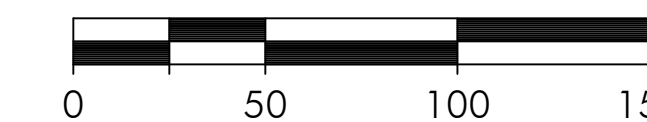
**PREPARED BY:**

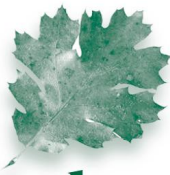
**PACIFIC COAST CIVIL, INC.**  
 30141 AGOURA ROAD, SUITE 200  
 AGOURA HILLS, CA 91301  
 PH: (818) 865-4168  
 FAX: (818) 865-4198

**LANDSCAPE DESIGN:**  
 JOANNE PERRIN  
 2393 TELLER ROAD  
 NEWBURY PARK, CA  
 (805) 795-7995  
 JJPERRIN@VERIZON.NET.COM



SCALE: 1" = 50'





**Bill Spiewak**

CONSULTING ARBORIST

Registered Consulting Arborist #381 • American Society of Consulting Arborists

## **TREE ASSESSMENT AND PROTECTION PLAN**

**Job Location: 2551 White Stallion Rd., Thousand Oaks, CA**

*Prepared for:*

Nick Jones

2551 White Stallion Rd.

Thousand Oaks, CA 91361

nickjonesconstruction@yahoo.com

February 7, 2021,

### **SUMMARY**

The owner of the subject property is proposing to build a residence on an approximate two acre pad at the top of his parcel. There are three trees that may qualify for protection as per the County of Ventura Tree Protection Ordinance. These include an oak and two Italian Stone Pines. However, it is not completely clear if the pines qualify for protection due to their less than 60' height and their high susceptibility to flammability in a high fire zone in the foothills of the Santa Monica Mountains.

The two pines will be removed for the project, one of which is in poor condition from previous pruning adjacent high voltage lines. The oak is actually down-slope from construction but close enough to require assessment and protection.

As per the County of Ventura, I appraised the value of the three trees based on guidelines and formulas in the Tenth Addition of the *Guide For Plant Appraisal* authored by the Council of Tree and Landscape Appraisers. However, it is not certain the pines warrant appraisal due to their less than 60 foot height and their high flammability.

In order to avoid impacts to the oak and adjacent downslope trees, a fence will need to be erected at the top edge off the building pad as depicted on the site plan.

The Table of Contents on the next page illustrates the organization of this report.

County of Ventura Planning Director Hearing Case No. PL21-0020 Exhibit 10 - Arborist Report
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## BACKGROUND AND ASSIGNMENT

The owner of the subject property is proposing to build a house at the top of his lot. I was retained to inspect the lot and any trees that may be in conflict with the development as per the County of Ventura. I was also asked to prepare a report with my findings and recommendations. I was on the site during February 3, 2021 to perform my field work.

## SCOPE OF PROJECT

In order to complete my assignment, the following tasks were required:

- Visit the property and identify native and heritage trees as per the County of Ventura's Tree Protection Ordinance.
- Update the site plan with pertinent information.
- Appraise the value of trees to be removed and those with critical root zones within 20 feet of the proposed construction.
- Prepare this report.

My assessment, appraisal, and report follows protocol in the most recent publications:

- *The International Society of Arboriculture's Best Management Practices-Managing Trees During Construction.*
- *American National Standards Institute (ANSI) A300 Part 5-Management of Trees and Shrubs During Site Planning, Development, and Construction*
- Tenth Addition of the *Guide For Plant Appraisal* authored by the Council of Tree and Landscape Appraisers, published by the International Society of Arboriculture, 2018.

## OBSERVATIONS

1. The entire property is approximately twenty acres and is in the northern foothills of the Santa Monica Mountains.
2. There is an improved winding driveway (new asphalt with concrete curbs) that leads up to the flat building pad at the top of the parcel.
3. The pad is approximately two acres.
4. Upon entrance at the west end of the building pad, top of the driveway, there are two Italian Stone Pines (*Pinus pinea*). Due to their trunk diameters, these pines are considered to be heritage trees and will be identified as #1 and #2 on the spreadsheet and corresponding site plan.
5. Pine #2 is adjacent high voltage utility wires and has been severely pruned on its northwestern side to direct growth away from the wires. This has resulted in an unbalanced canopy that will never recover due to its anatomy and physiology.
6. Also note that both pines are highly flammable and are growing in a high fire zone (as per Cal Fire).
7. At the north end of the building pad where the terrain descends down-slope, is a group of California Live Oak trees (*Quercus agrifolia*). The trunk of the closest oak to the building pad is approximately 21' downslope from the edge of the pad and will be identified as #3. The other oaks are further away.
8. One Aleppo pine (*Pinus halepensis*), is close to the proposed building but the tree is 14" in diameter and does not qualify for protection. However, as a fire susceptible tree species, it does pose potential fire risks.
9. The proposed project will warrant the removal of the two Stone Pines and will not encroach into the critical root zone of the oak.

**Tree Inventory**

#	Type	DBH	Girth	Height	Condition	Comment	Potential Project Impact
1	Stone pine	32"	100"	25'	3-fair	Codominant limbs at 4' but typical of species, interior deadwood, high fire prone tree	Remove
2	Stone pine	45"	141"	40'	2-poor	One sided from high voltage side pruning, interior deadwood, codominant trunks with severe included bark	Remove
3	Ca Live Oak	11/8/8 /7/9	135"	15'	3-fair	Infested with twig girdler, typical of unmanaged tree on slope, trunk is 21' from top of slope, out of work zone	Protect

**DISCUSSION**

In order to comply with the Ventura County Tree Protection Ordinance, the value of the trees was appraised. Due to the flammability of the pines, and confusing policies about heritage tree girth versus height over 60', it is unlikely that removal of pines will trigger the requirement for mitigation. However, in order to be proactive, values were established for the two pines and the oak.

## TREE APPRAISAL

My appraisal is based on guidelines and formulas in the Tenth Addition of the *Guide For Plant Appraisal* authored by the Council of Tree and Landscape Appraisers, published by the International Society of Arboriculture, 2018. The *Trunk Formula Technique* was utilized to value these trees.

The *Trunk Formula Technique* employs formulas based on tree species and size, rate of growth, health, structure, and form, its functional limitations and interactions in the specific site in which it was growing, and possible external limitations such as laws or CC&Rs regarding the species, water restrictions, etcetera.

Trunk area x cost/sq" = basic cost x condition x functional limitations x external limitations = appraised cost, which is then rounded to the nearest \$100.  
(note that basic cost is depreciated by the previous plant condition, functional &

### Tree Appraisal Worksheet

#	Type	DBH	Girth	Height	Condition	Comment	Potential Project Impact	DBH Equivalent for Multi-trunks	Trunk area sq"	Group #	Cost per sq"	TFT-Basic Cost	AVERAGE Condition Rating-%	Functional Limitation Rating %	External factors	Appraised Value	Rounded to nearest \$100
1	Stone pine	32"	100"	25'	3-fair	Codominant limbs at 4' but typical of species, interior deadwood, high fire prone tree	Remove	32	804	3	62	\$49,838	70%	30%	10%	\$1,047	\$ 1,000
2	Stone pine	45"	141"	40'	2-poor	One sided from high voltage side pruning, interior deadwood, codominant trunks with severe included bark	Remove	45	1590	1	45	\$71,533	20%	10%	none	\$1,431	\$ 1,400
3	Ca Live Oak	11/8/8 /7/9	135"	15'	3-fair	Infested with twig girdler, typical of unmanaged tree on slope, trunk is 21' from top of slope, out of work zone	Protect	19	283	1	45	\$12,752	70%	90%	none	\$8,034	\$ 8,000

## CONCLUSIONS & TREE PROTECTION MEASURE

- No oak trees or native trees will be effected by this project provided a fence is installed as depicted in the site plan to prevent debris or spoils from being placed on the slope below the building pad in the tree protection zone.**
- The two pines, that may qualify as heritage trees, will be removed for the project.
- However, due to ambiguous statements in the Ventura County Tree Protection Ordinance, the pines may not qualify to be protected due to their less than 60' height. The pines are also considered to be highly flammable and may be recommended for removal by CAL FIRE.
- Tree values provide a basis for tree replacement if trees are removed or significantly compacted. If the oak tree is removed or damaged, a quantity of new oak trees must be replanted with trunk diameters that equal the total diameters of the removed or damaged trees. Replacement trees must be at least in 24" box sizes are larger.
- If pines need to be replaced, new non-natives (or other) must be planted that equal the total appraised value of removed trees and not be smaller than 24"box size.
- The appraised value of the oak tree is \$8,000.
- The appraised value of the two pines is \$2,400.

## ARBORIST'S DISCLOSURE AND CERTIFICATION OF PERFORMANCE

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

Treatment, pruning and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees.

I Bill Spiewak, certify:

That I have personally inspected the trees on the property referred to in this report and have stated my findings accurately.

The analysis, opinions and conclusions stated herein are my own and are based on current scientific procedures and commonly accepted arboricultural practices.

Signed:

Bill Spiewak

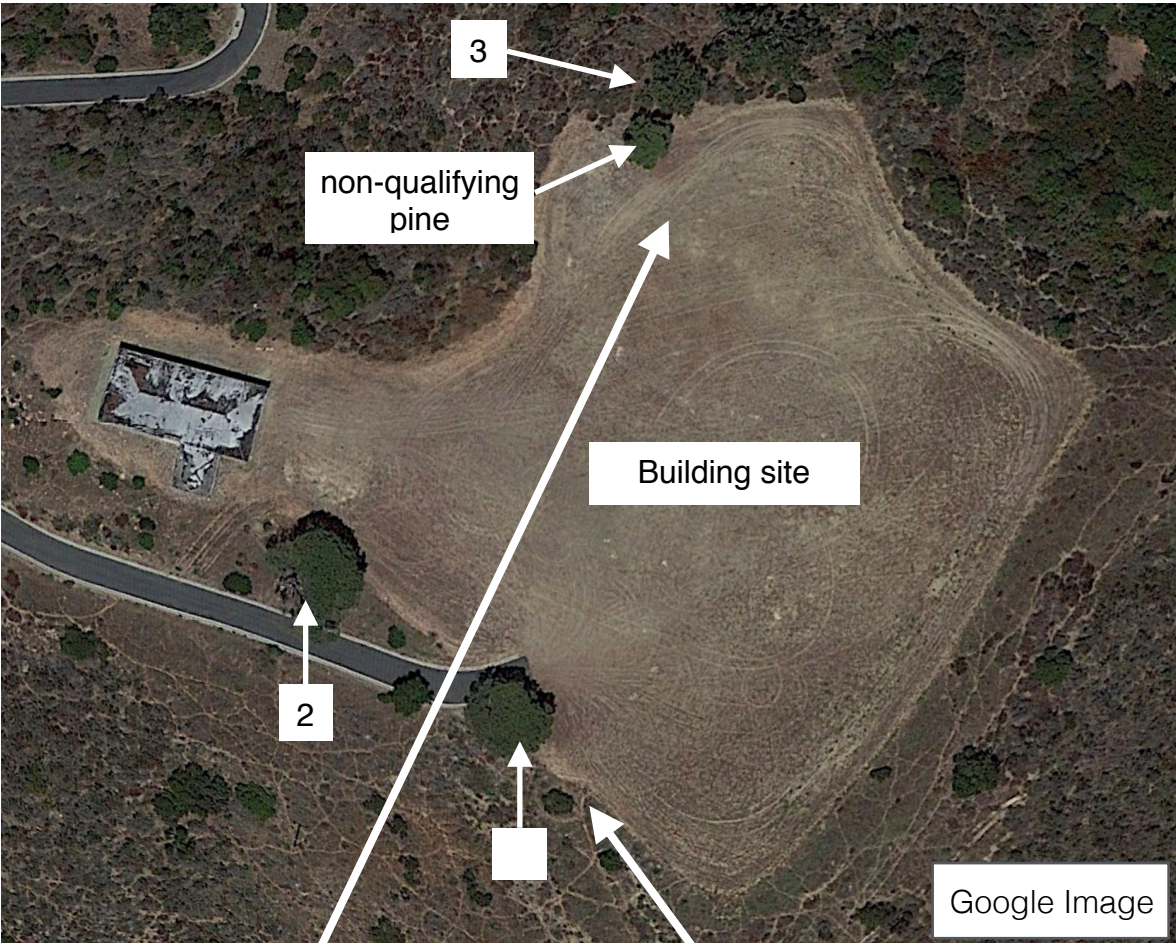
Bill Spiewak  
Registered Consulting Arborist #381  
American Society of Consulting Arborists  
Qualified Tree and Plant Appraiser

Board Certified Master Arborist #310B  
International Society of Arboriculture  
Qualified Tree Risk Assessor





**PHOTOS**



#1 Pine looking north



#1 Pine looking southeast



#1 Pine looking east at trunk with codominant stems



#1 Pine looking south



#1 Pine looking north at trunk with codominant stems

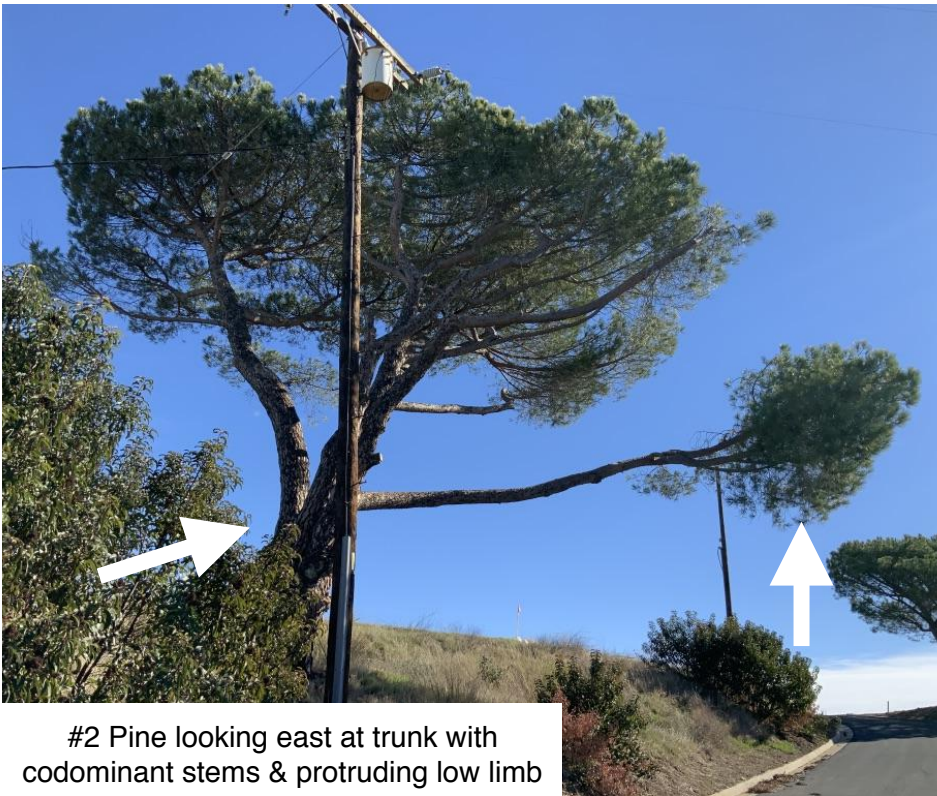




#2 Pine looking north at side trimmed & unbalanced tree



#2 Pine looking south at side trimmed tree & unbalanced tree



#2 Pine looking east at trunk with codominant stems & protruding low limb



#2 Pine looking west



oak cluster to north, downslope from top of pad



#3 oak-looking north and downslope from top of pad





oak cluster downslope-looking east at unmanaged trees, arrow points to #3



**Bill Spiewak**

CONSULTING ARBORIST

Registered Consulting Arborist #381 • American Society of Consulting Arborists

## **ADDENDUM TO: TREE ASSESSMENT AND PROTECTION PLAN**

**Job Location: 2551 White Stallion Rd., Thousand Oaks, CA**

*Prepared for:*

Nick Jones and Robert Erdmann  
2551 White Stallion Rd.  
Thousand Oaks, CA 91361  
nickjonesconstruction@yahoo.com

May 8, 2021,

In February of 2021, I prepared a Tree Assessment and Protection Plan for the proposed project. I recommended removing two Stone Pines, one in poor condition adjacent to high voltage wires, and the second within the proposed driveway hammerhead.

According to the applicant, the County of Ventura was concerned about removing these pines in this high fire region. However, a recent email from the Fire Inspector Ruben Luna of the Ventura County Fire Department, confirmed that the two trees need to be removed or relocated to comply with conditions of the fire department.

Due to the zero chance of these trees surviving relocation, their removal is mitigated with new landscape. The planting plan on this project shows that 58 trees will be installed on the site. These include trees that vary from 36" box size to 72" box size. The total cost of the new landscape trees far exceeds the appraised value of the two pines (\$2,400) and more than adequately mitigates their removal.

Attached is a copy of the email and the proposed tree list.

Please contact me with any questions.

Signed: *Bill Spiewak*  
Bill Spiewak  
Registered Consulting Arborist #381  
American Society of Consulting Arborists  
Qualified Tree and Plant Appraiser

Board Certified Master Arborist #310B  
International Society of Arboriculture  
Qualified Tree Risk Assessor



**RL** Luna, Ruben  
 RE: 2551 White Stallion  
 To: ROBERT ERDMANN



Siri found updated contact info Ruben Luna ruben.luna@ventura.org

Hi Robert,

The trees on both the required access and the one adjacent to the proposed guest house would need to be removed and or relocated.




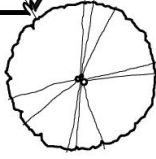

Thank you,

**Ruben Luna**  
*Fire Inspector II*  
 Ventura County Fire Department  
 Direct/Cell: 805-914-8801  
 Fire Prevention General Information: 805-389-9738  
 Email: [ruben.luna@ventura.org](mailto:ruben.luna@ventura.org)  
 Website: [VCFD.org](http://VCFD.org)  
 Facebook: [@VenturaCountyFire](https://www.facebook.com/VenturaCountyFire)  
 Twitter: [@VCFD](https://twitter.com/VCFD)



**From:** Robert Erdmann <[rob.erdmann@gmail.com](mailto:rob.erdmann@gmail.com)>  
**Sent:** Thursday, May 6, 2021 4:11 PM

# PROPOSED PLANT LEGEND

SYMBOL	QTY	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS/ WATER USAGE L/M
<b>TREES</b>				
	7	36" BOX	ARBUTUS UNEDO 'MARINA' MARINA STRAWBERRY TREE	EVERGREEN STD TRUNK
	7	36" BOX	LAGERSTROEMIA INDICA 'TUSCARORA' TUSCARORA GRAPE MYRTLE	DECIDUOUS STD TRUNK
	7	36" BOX	ACACIA SALIGNA BLUE-LEAF WEEPING WATTLE	EVERGREEN LB
	22	36" BOX	OLEA EUROPAEA 'MAJESTIC BEAUTY' MAJESTIC BEAUTY FRUITLESS OLIVE	EVERGREEN MULTI TRUNK
	6	48" BOX		
	4	60" BOX		
	4	72" BOX		
		36" BOX	PARKINSONIA HYBRID 'AZT' PALO VERDE THORNLESS HYBRID	EVERGREEN STD

See the full landscape plan for location of proposed trees.